

WETLANDS AND SITE PLAN APPLICATION

THE RESIDENCE AT EVERGREEN WALK

PROPOSED MULTIFAMILY DEVELOPMENT

PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 PROPERTY LOCATED AT
 UNIT 7C EVERGREEN WALK
 SOUTH WINDSOR, CONNECTICUT

CURRENT PROPERTY OWNER

EVERGREEN WALK, LLC
 CITY PLACE, 185 ASYLUM STREET
 HARTFORD, CT 06103

APPLICANT & DEVELOPER

HOWARD S. RAPPAPORT, PRINCIPAL
 LONGLEAF DEVELOPERS, L.L.C.
 145 HUDSON STREET, SUITE 6C
 NEW YORK, NY 10013
 PHONE: 212-874-5486
 EMAIL: hsrappaport@continentalproperties.com

CONSULTANTS

ZONING COUNSEL

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 P.O. Box 1530
 Glastonbury, CT 06033
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CIVIL ENGINEERING AND SURVEYING

JAMES. P. CASSIDY, P.E.
 HALLISEY, PEARSON & CASSIDY ENGINEERING ASSOCIATES, INC.
 630 MAIN STREET, SUITE 1A
 CROMWELL, CT 06416
 TELEPHONE NUMBER: 860-529-6812
 EMAIL: jcassidy@hpcenr.com

ARCHITECTURE FOR CLUBHOUSE & 37 / 38 UNIT BUILDINGS

STEVEN MAST, RA
 EMAIL: smast@MARTINAIA.com
 The Martin Architectural Group, P.C.
 240 N. 22nd Street
 Philadelphia, PA 19103
 PHONE: (215) 665-1080 x195

ARCHITECTURE FOR 10 & 5 UNIT BUILDINGS

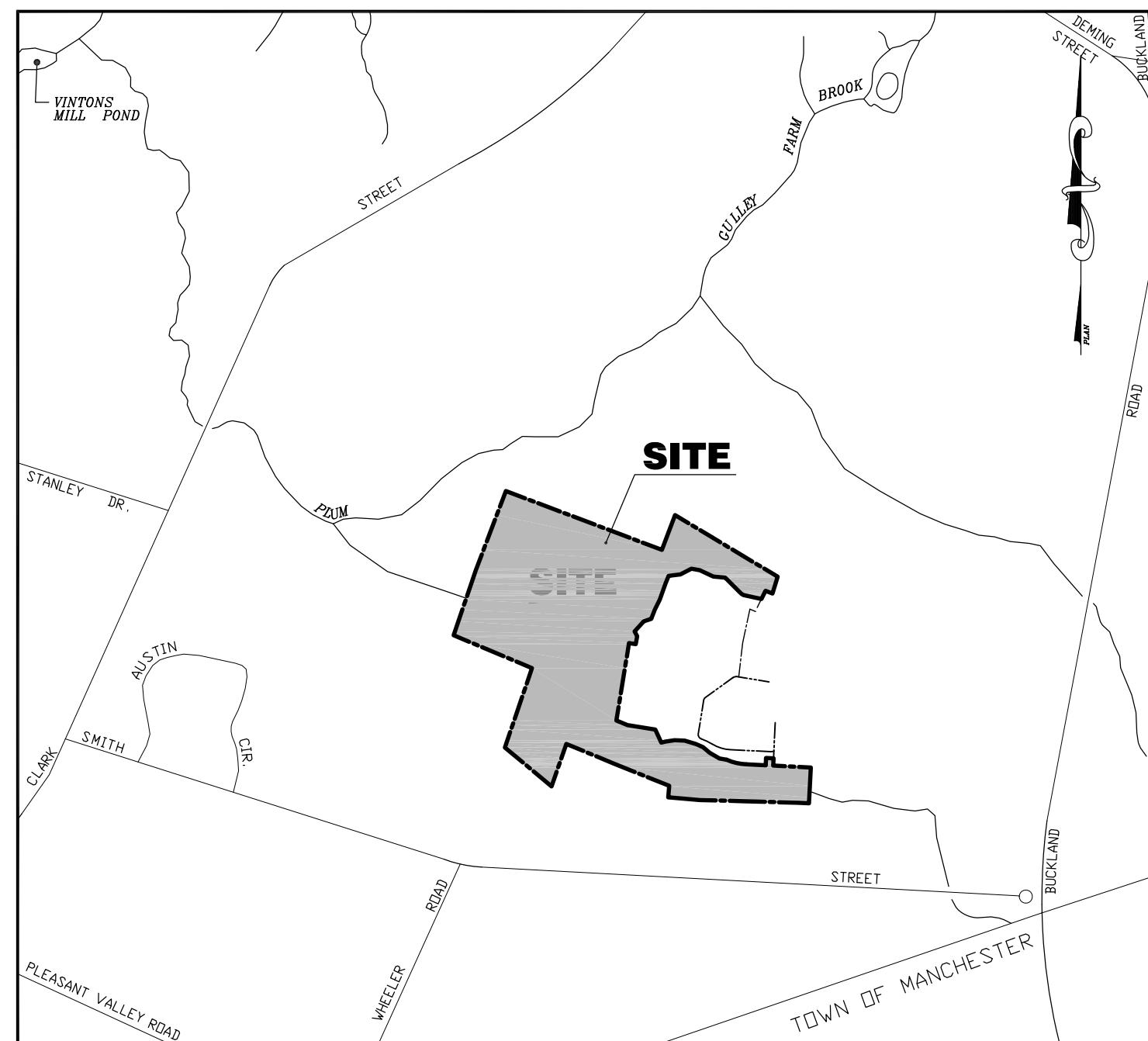
STEVEN MAST, RA
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 240 N. 22nd Street
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PUBLIC OUTREACH

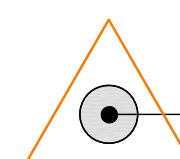
CHUCK COURSEY, PRINCIPAL and PRESIDENT
 COURSEY & COMPANY
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 WEST HARTFORD, CT 06127
 PHONE: 860-305-0055
 EMAIL: chuck@courseyco.com

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C-1 TO C-2	BOUNDARY/ TOPOGRAPHIC SURVEY - EXISTING CONDITIONS
C-3 TO C-4	ZONING IMPROVEMENT LOCATION SURVEY & SITE LAYOUT PLAN
C-5 TO C-6	SITE GRADING & STORMWATER MANAGEMENT PLAN
C-7 TO C-8	SITE UTILITIES PLAN
C-9 TO C-12	ROADWAY PLAN & PROFILES
C-13 TO C-14	RETAINING WALL PLAN & PROFILES
C-15 TO C-16	SITE EROSION & SEDIMENT CONTROL PLAN
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LOCATION MAP
 SCALE: 1"=1,000'



HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

NO.	DATE	DESCRIPTION	BY
2	09/20/23	PER TOWN STAFF COMMENTS	J.P.C.
1	06/23/23	UPDATED STORM DRAINAGE SYSTEM	J.P.C.

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
⊙ I.P. FND.	IRON PIN OR IRON PIPE FOUND
---	EXISTING TREE LINE
---	EXISTING CONTOUR
---	EXISTING SPOT GRADE
⊙ POLE #	EXISTING TELEPHONE POLE
---	EXISTING BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM
---	EXISTING WATER MAIN
---	EXISTING SANITARY SEWER
---	LIMITS OF TOWN WETLANDS
---	SOIL SERIES LINE
---	SOIL SERIES UNIT NUMBER

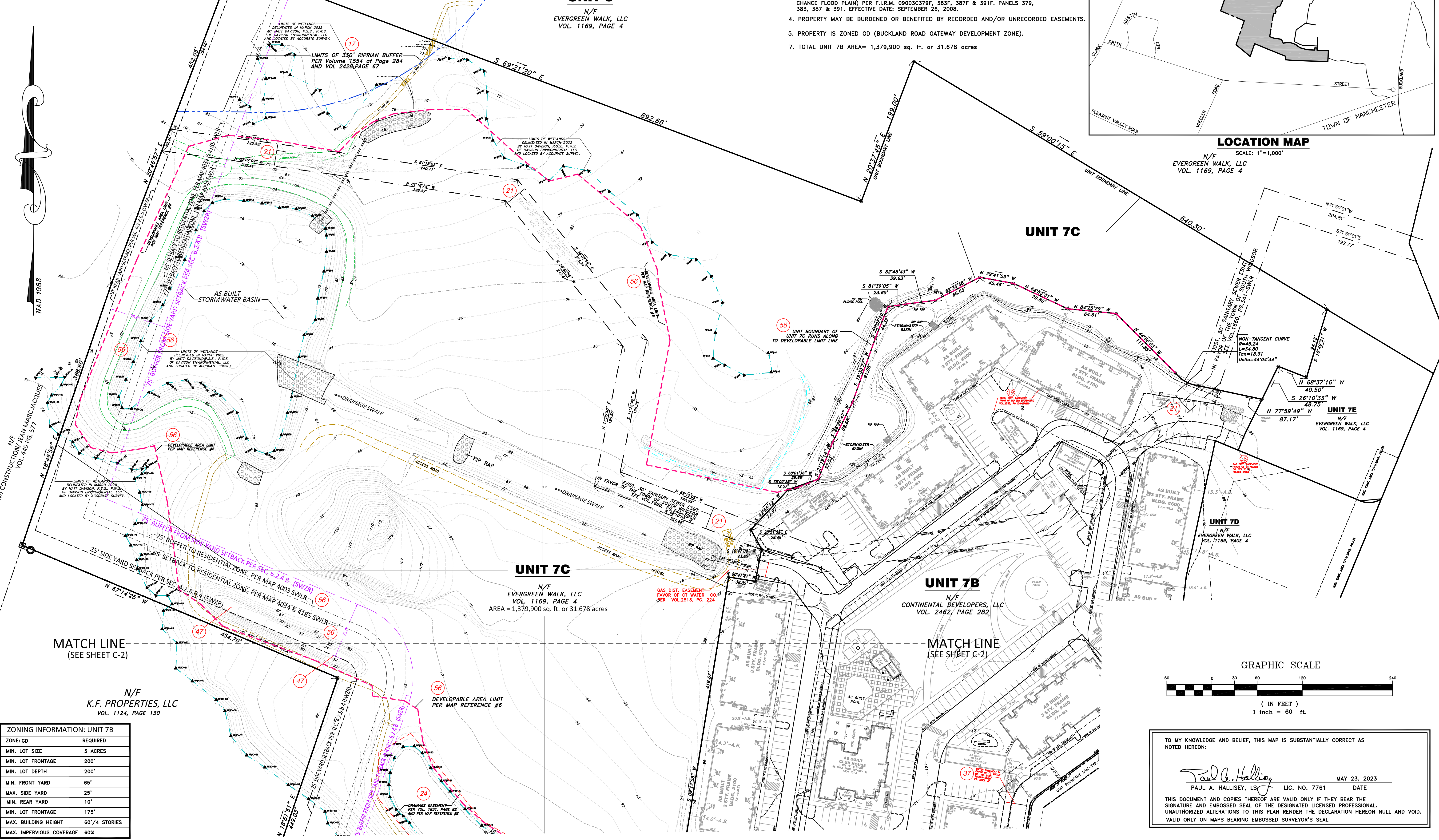
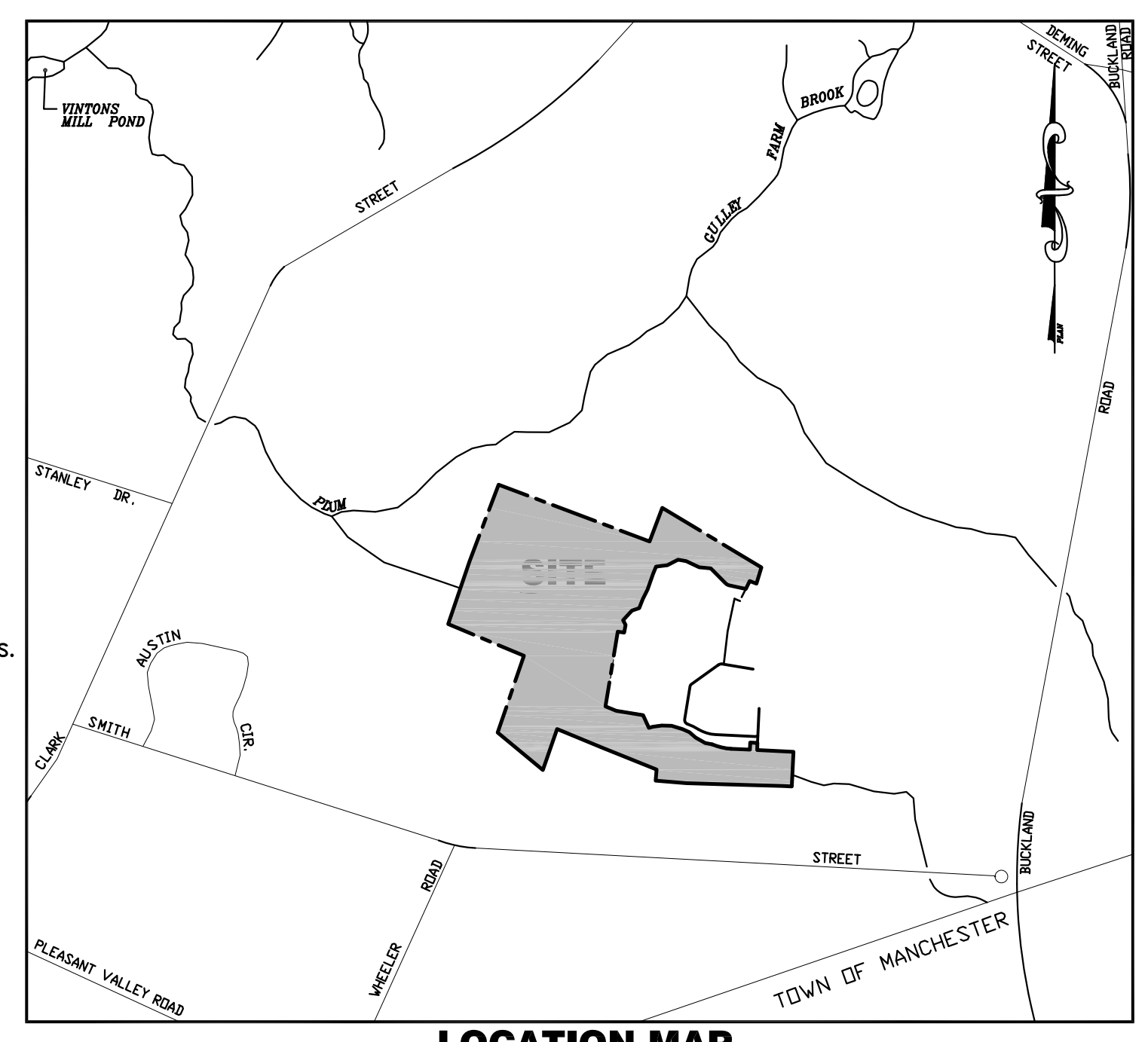
23A

NOTES:

1. SURVEY NOTES:
 -This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 -Type Of Survey is ALTA/NSPS LAND TITLE SURVEY
 -Boundary Determination Category is DEPENDENT RESURVEY
 -Class of Accuracy is HOR.-A-2

2. MAP REFERENCE:
 1. Evergreen Walk Lifestyle Center, LLC Proposed Sanitary Sewer Easement to be Granted to Town of South Windsor, Buckland Road South Windsor, Connecticut, Date: 02-05-04, Revised Through: 3-30-04, Scale: 1" = 80' Prepared by Fuss & O'Neill, Inc.
 2. Evergreen Walk, LLC Limited Property Boundary Plan Drainage Easement Prepared for Evergreen Walk, LLC, South Windsor, Connecticut, Date 5-6-2014 Project No 2000481.A68 Scale 1" = 30' Prepared by Fuss & O'Neill.

2. MAP REFERENCE CONT.:
- Exhibit A Riparian Buffer Boundary Evergreen Walk Buckland Road, South Windsor, Connecticut, Proj. No. 00-481A10 Date 11-06-03 Revised Through 03/23/2021, Scale 1" = 200', Prepared by Fuss & O'Neill (This Plan is to be filed on the Land Records)
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3. PROPERTY LIES IN FLOOD HAZARD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) PER F.I.R.M. 09003C379F. 383F. 387F & 391F. PANELS 379, 383, 387 & 391. EFFECTIVE DATE: SEPTEMBER 26, 2008.
4. PROPERTY MAY BE BURDENED OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.
5. PROPERTY IS ZONED GD (BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE).
7. TOTAL UNIT 7B AREA= 1,379,900 sq. ft. or 31.678 acres



ZONING INFORMATION: UNIT 7B

ZONE:	REQUIRED
MIN. LOT SIZE	3 ACRES
MIN. LOT FRONTAGE	200'
MIN. LOT DEPTH	200'
MIN. FRONT YARD	65'
MAX. SIDE YARD	25'
MIN. REAR YARD	10'
MIN. LOT FRONTAGE	175'
MAX. BUILDING HEIGHT	60'/4 STORIES
MAX. IMPERVIOUS COVERAGE	60%

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

Paul A. Hallisey MAY 23, 2023
 PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

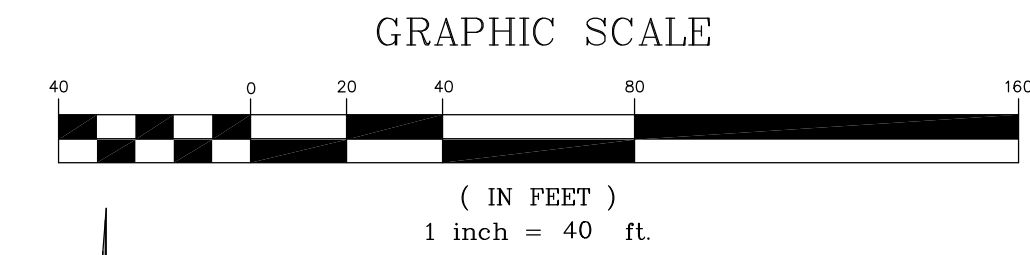
HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

BOUNDARY / TOPOGRAPHIC SURVEY
 PROPERTY SURVEY
 PREPARED FOR
 LONGLEAF DEVELOPERS, L.L.C.
 THE RESIDENCE AT EVERGREEN WALK
 UNIT 7C EVERGREEN WALK
 SOUTH WINDSOR, CONNECTICUT

CHECKED BY: J.P.C.
 SCALE: 1"=80'
 DATE: MAY 23, 2023
 JOB No.: 2574
 ACAD FILE: 2574-EX
 SHEET: **C** of **1**
 REVISIONS:
 JUNE 23, 2023 UPDATED STORMWATER DESIGN

LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING TREE LINE
---	EXISTING TELEPHONE POLE
---	LIMITS OF 100' UPLANDS REVIEW AREA
---	EXISTING FENCE
---	AREA OF SNOW STORAGE
---	PROPOSED BT. CURB
---	LIMITS OF FLAGGED WETLANDS
---	PROPOSED TREE LINE
---	PROPOSED BT. CURB
---	PROPOSED CONC. CURB
---	AREA OF PAVEMENT
---	PROPOSED CONCRETE

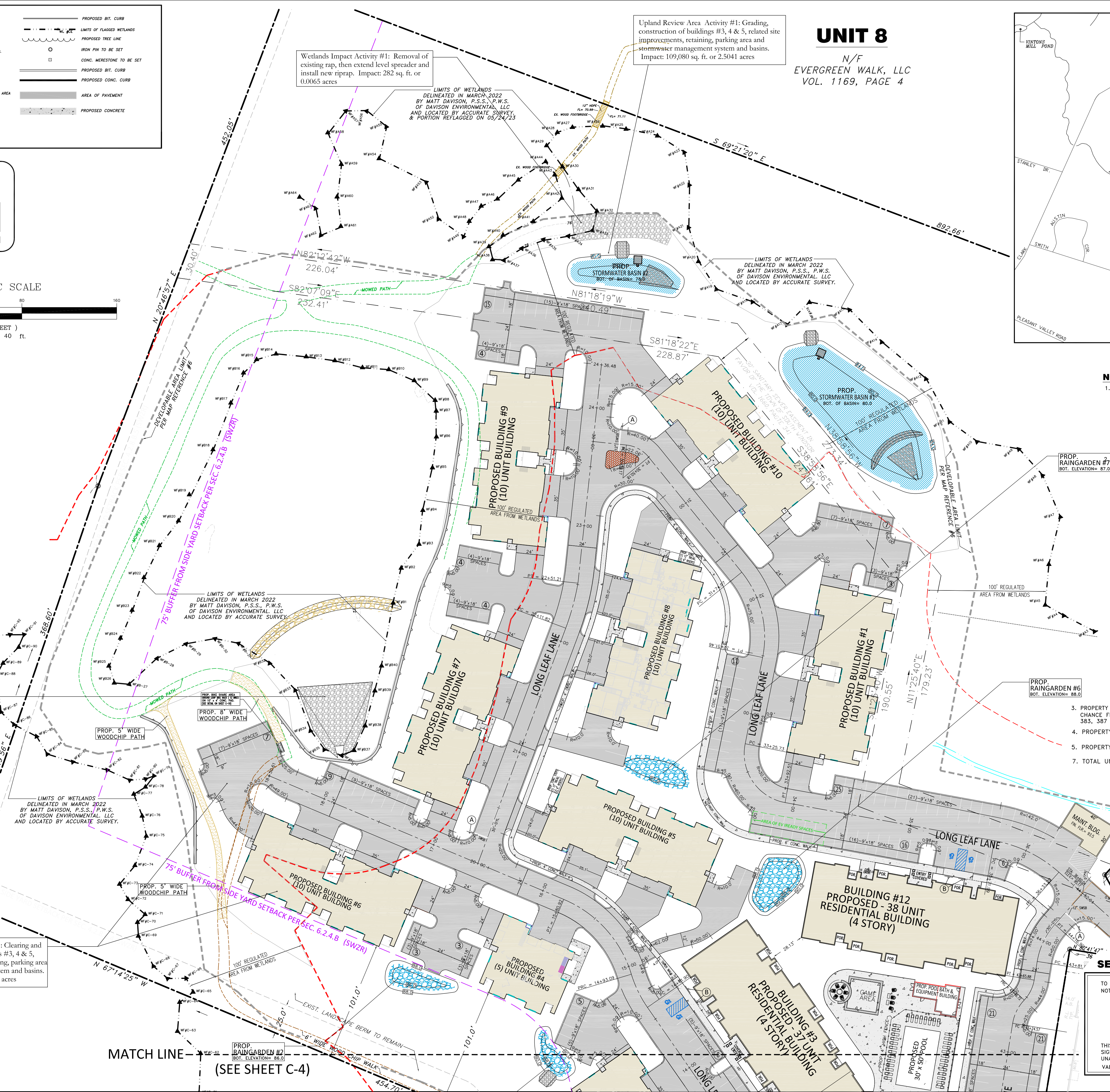
PROPOSED SIGNAGE LEGEND	
SYMBOL	CONDOT CATALOG# TYPE OF SIGN
(A) INSTALL	31-0552
(B) INSTALL	31-0629 +31-0648 (WHERE REQUIRED)



CT CRID NAD 83

JMI CONSTRUCTION/JEAN MARC JACQUES
N/F VOL. 449 PG. 577

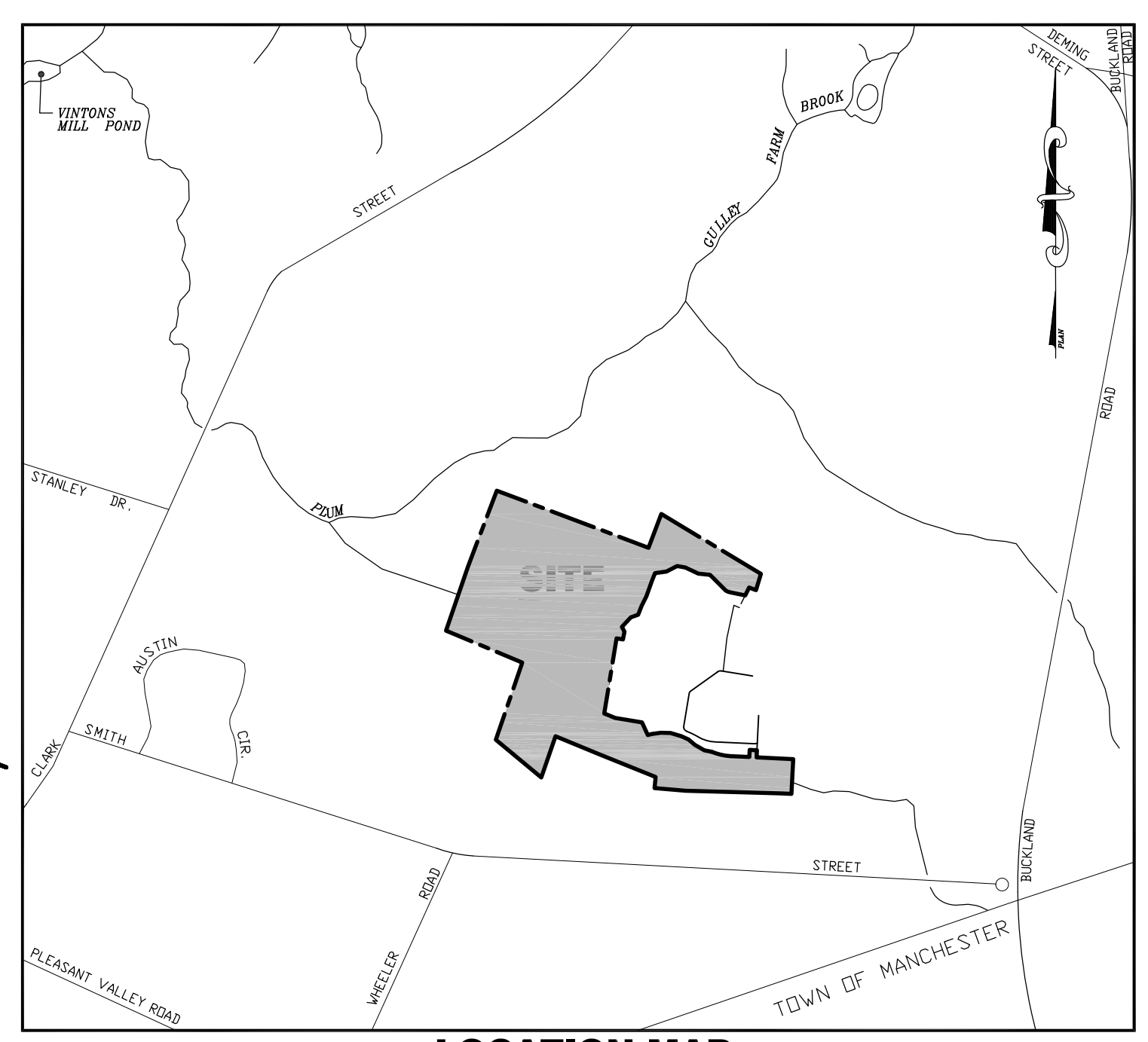
Upland Review Area Activity #1: Clearing and grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2,5041 acres



Wetlands Impact Activity #1: Removal of existing rap, then extend level spreader and install new riprap. Impact: 282 sq. ft. or 0.0065 acres

Upland Review Area Activity #1: Grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2,5041 acres

UNIT 8
N/F EVERGREEN WALK, LLC
VOL. 1169, PAGE 4



- NOTES:**
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SEE SHEET #C-4 FOR ZONING AND PARKING TABLE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

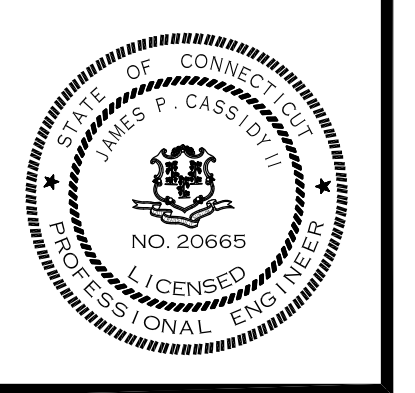
Paul A. Hallisey
PAUL A. HALLISEY, LS LIC. NO. 7761 DATE MARCH 23, 2023

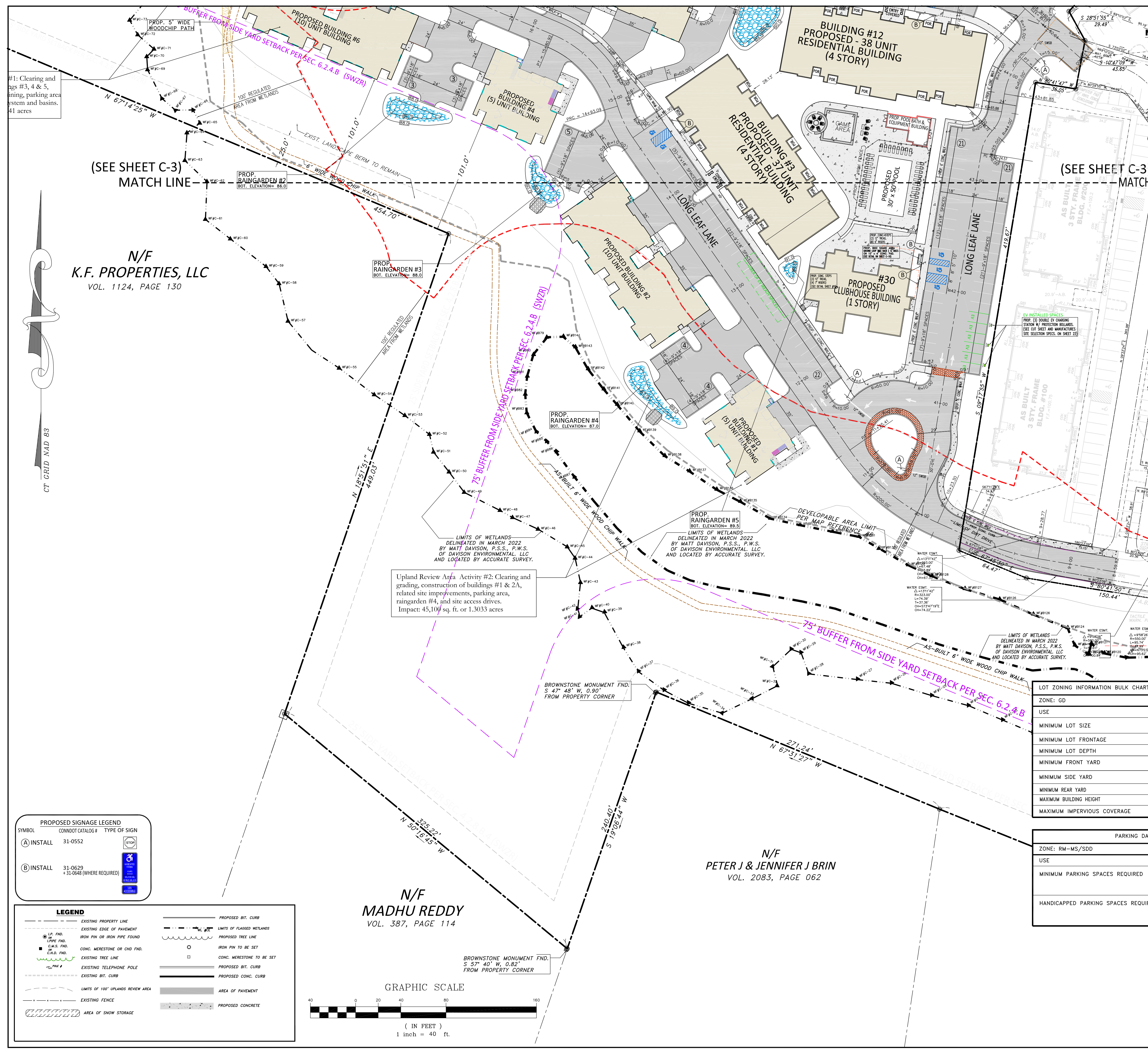
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SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB NO.: 2574	ACAD FILE: 2574-21-23
SHEET: C OF 3	
	REVISIONS: UNDATED, STORMWATER DESIGN

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

ZONING IMPROVEMENT LOCATION SURVEY - PROPOSED
& SITE LAYOUT PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





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EV PARKING SPACE REQUIREMENT PER SECTION 6.4.10

REQUIRED
TOTAL NUMBER OF PARKING SPACES EXCLUDING GARAGE SPACE = (289 - 90) = 199 SPACES
MIN. NUMBER OF REQUIRED LEVEL 2 EV READY SPACES PER TABLE 6.4.10A = 199 SPACES x 10% = 19.9 EV READY SPACES (USE 20)
MIN. NUMBER OF EV READY SPACES TO BE INSTALLED FRO APPLICATION BETWEEN 2012 to 2023 = 199 SPACES x 3% = 5.97 EV READY SPACES (USE 6)
MIN. NUMBER OF REQUIRED LEVEL 2 EV READY SPACES PER TABLE 6.4.10C - RESIDENTIAL USES = 90 GARAGE SPACES x 100% = 90 EV READY SPACES (USE 20)
PROVIDED
EV INSTALLED SPACES = 6
EV READY SPACES = 14
TOTAL EV INSTALLED & READY SPACES = 20
EV READY GARAGE SPACES = 90

LOT ZONING INFORMATION BULK CHART: GD (BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE)

ZONE: GD	REQUIRED	PROVIDED
USE		MULTI-FAMILY DWELLING
MINIMUM LOT SIZE	3 acres	31.678 acres
MINIMUM LOT FRONTAGE	200'	>200' (OVERALL DEVELOPMENT)
MINIMUM LOT DEPTH	200'	>200' (OVERALL DEVELOPMENT)
MINIMUM FRONT YARD	65'	>65' TO BUCKLAND STREET
MINIMUM SIDE YARD	25'	101.0'/168.6'
MINIMUM REAR YARD	10'	219.2'
MAXIMUM BUILDING HEIGHT	60/4 STORIES	<60'
MAXIMUM IMPERVIOUS COVERAGE	60%	264,390 sq. ft. / 1,379,900 sq. ft. = 19.2%

PARKING DATA:

ZONE: RM-MS/SDD	REQUIRED	PROVIDED
USE		MULTIFAMILY DWELLING
MINIMUM PARKING SPACES REQUIRED	1.75 SPACES PER UNIT x 165 UNITS = 289 spaces	DRIVEWAY SPACES= 90 SURFACE SPACES= 189 (INC. 12 H.C. SPACES) GARAGE SPACES= 90 TOTAL SPACES= 369 OR 2.24/UNIT
HANDICAPPED PARKING SPACES REQUIRED	2% OF UNITS x 165 UNITS= 4 SPACES + 2% OF REMAINING PARKING SPACES 289-369 = 90 x 2% = 1.8 SPACES TOTAL H.C. SPACES REQUIRED= 7.6 (SAY 8 SPACES)	TOTAL SPACES= (8 H.C. SPACES)

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

Paul A. Hallisey MARCH 23, 2023
 PAUL A. HALLISEY, LS LIC. NO. 7761 DATE

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CHECKED BY: J.P.C.
 DATE: MAY 23, 2023
 DRAWN BY: J.M.P.
 JOB NO.: 2574
 ACAD FILE: 2574-21-23

SHEET: **C** of **4**

REVISIONS: UNBUILT EMBOSSED SEAL
 SEPT. 20, 2023 PER TOWN STAFF COMMENT

HALLISEY, PEARSON & CASSIDY
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ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED

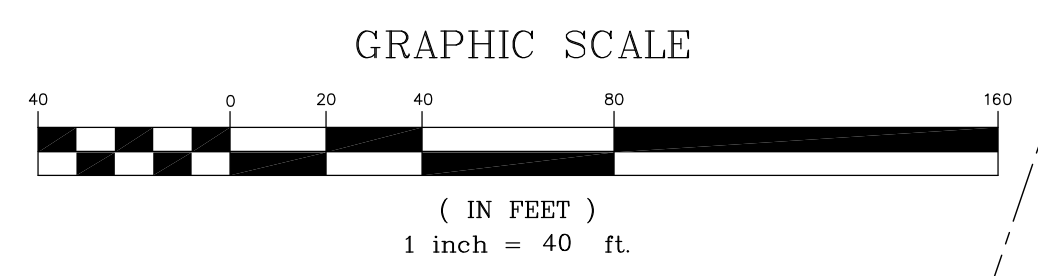
PROPERTY SURVEY PREPARED FOR SOUTH WINDSOR DEVELOPERS, LLC LOCATED AT THE RESIDENCE AT EVERGREEN WALK UNIT 7C EVERGREEN WALK SOUTH WINDSOR, CONNECTICUT

PROPOSED SIGNAGE LEGEND

SYMBOL	CONDUIT/CATALOG #	TYPE OF SIGN
(A) INSTALL	31-0552	STOP
(B) INSTALL	31-0629 +31-0648 (WHERE REQUIRED)	Blue Sign

LEGEND

--- EXISTING PROPERTY LINE	--- PROPOSED BIT. CURB
--- EXISTING EDGE OF PAVEMENT	--- LIMITS OF FLAGGED WETLANDS
--- U.P. FND. IRON PIN OR IRON PIPE FOUND	--- PROPOSED TREE LINE
--- C.A.S. FND. CONC. MERESTONE OR CHD FND.	○ IRON PIN TO BE SET
--- C.A.D. FND. EXISTING TREE LINE	○ CONC. MERESTONE TO BE SET
--- EXISTING TELEPHONE POLE	--- PROPOSED BIT. CURB
--- EXISTING BIT. CURB	--- PROPOSED CONC. CURB
--- LIMITS OF 100' UPLANDS REVIEW AREA	--- AREA OF PAVEMENT
--- EXISTING FENCE	--- PROPOSED CONCRETE
--- AREA OF SNOW STORAGE	



N/F
K.F. PROPERTIES, LLC
 VOL. 1124, PAGE 130

N/F
PETER J & JENNIFER J BRIN
 VOL. 2083, PAGE 062

N/F
MADHU REDDY
 VOL. 387, PAGE 114

BROWNSTONE MONUMENT FND.
 S 57' 40" W, 0.82' FROM PROPERTY CORNER

BROWNSTONE MONUMENT FND.
 S 47' 48" W, 0.90' FROM PROPERTY CORNER

PROP. RAINGARDEN #5
 BOT. ELEVATION= 87.0

PROP. RAINGARDEN #3
 BOT. ELEVATION= 88.0

#1: Clearing and grading, parking area, system and basins. 41 acres

CT GRID NAD 83

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

UNIT 6
N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4

LEGEND

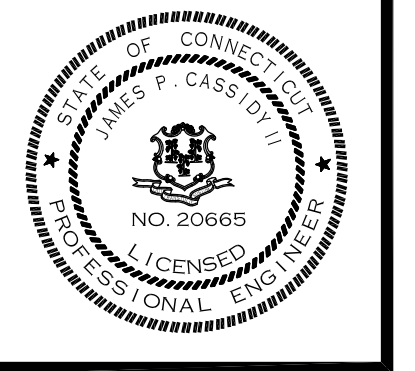
---	EXISTING PROPERTY LINE	---	PROPOSED STORM DRAINAGE SYSTEM
---	EXISTING EDGE OF PAVEMENT	---	PROPOSED WATER MAIN
---	IRON PIN OR IRON PIPE FOUND	---	PROPOSED SANITARY SEWER
---	CONC. MERESTONE OR CHD FND.	---	LIMITS OF FLAGGED WETLANDS
---	EXISTING TREE LINE	---	PROPOSED CONTOUR
---	EXISTING SPOT GRADE	---	PROPOSED SPOT GRADE
---	EXISTING TELEPHONE POLE	---	PROPOSED TREE LINE
---	EXISTING BIT. CURB	---	IRON PIN TO BE SET
---	EXISTING STORM DRAINAGE SYSTEM	---	CONC. MERESTONE TO BE SET
---	EXISTING WATER MAIN	---	PROPOSED BIT. CURB
---	EXISTING SANITARY SEWER	---	PROPOSED CONC. CURB
---	LIMITS OF 100' UPLANDS REVIEW AREA	---	AREA OF STANDARD DUTY PAVEMENT
---	EXISTING FENCE	---	PROPOSED CONCRETE

SEE SHEET #C-15 FOR GENERAL NOTES

JMI CONSTRUCTION N/F
VOL. 449 PG. 577

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

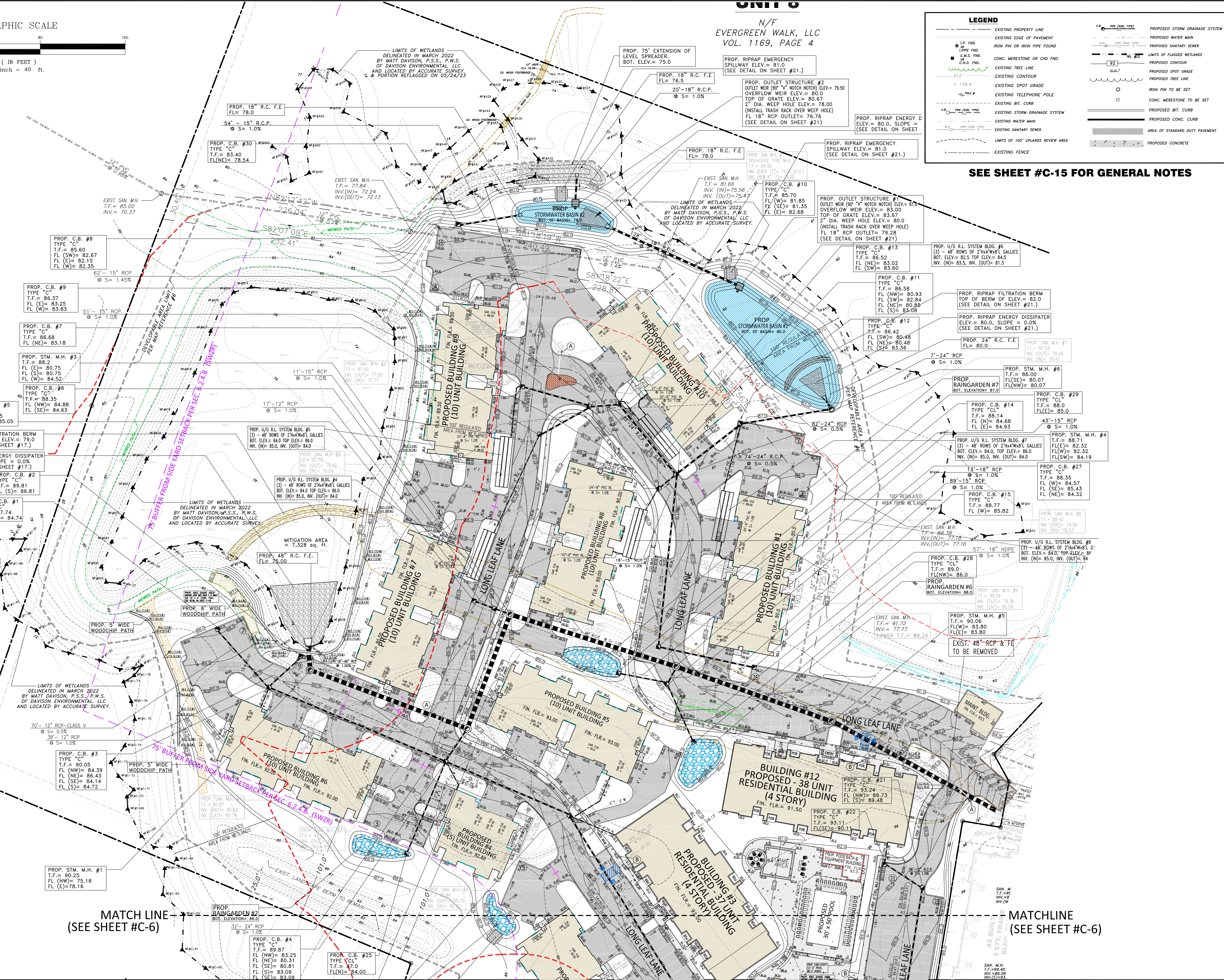
SITE GRADING & DRAINAGE PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

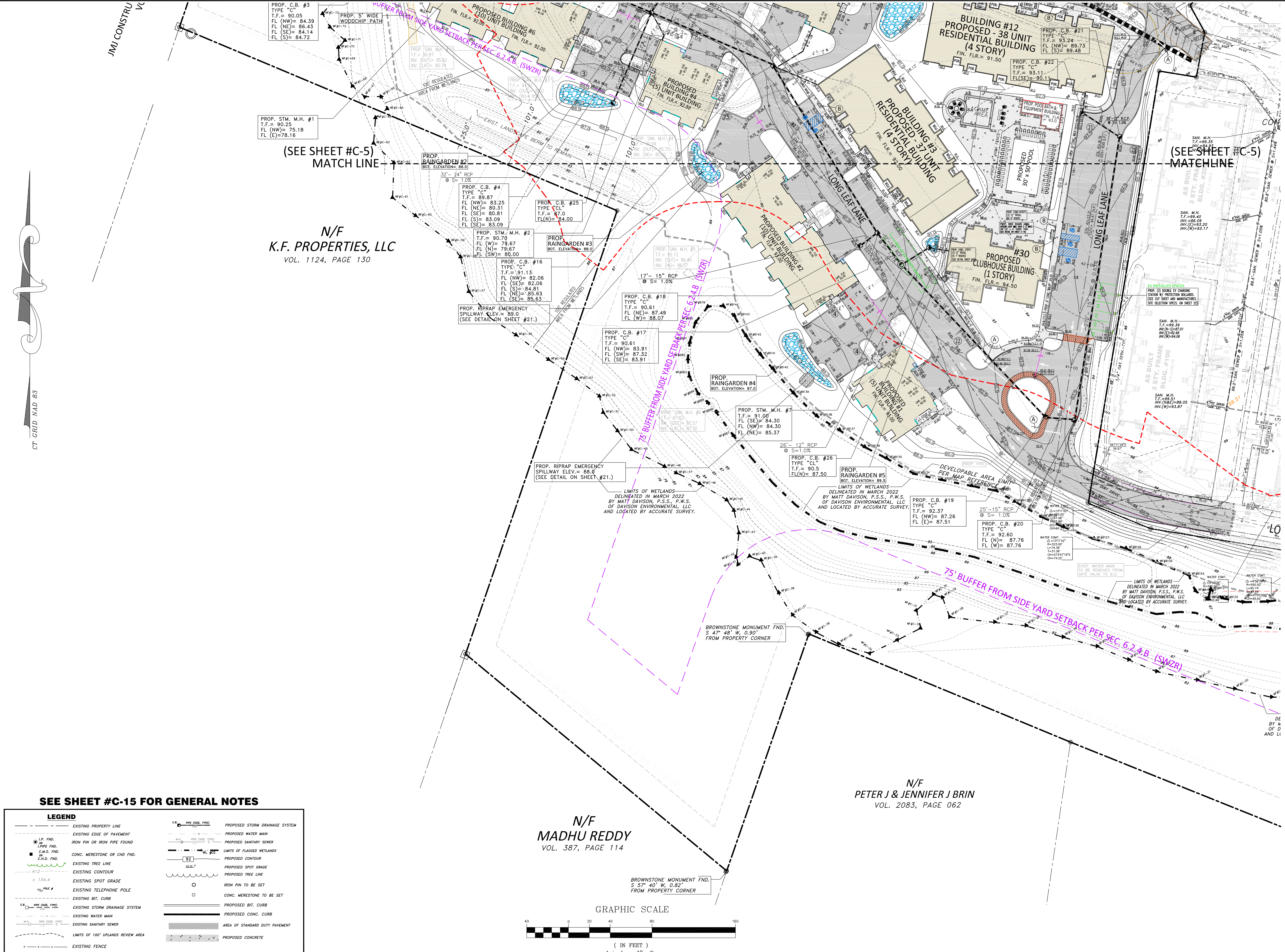


CHECKED BY: J.P.C.
DATE: MAY 23, 2023
DRAWN BY: J.M.P.
JOB No.: 2574
ACAD FILE: 2574-SG
SHEET: **C** of **5**
REVISIONS: USA/AR ASSUMED DESIGN
SEPT. 20, 2023 PER TOWN STAFF COMMENT

MATCH LINE
(SEE SHEET #C-6)

MATCHLINE
(SEE SHEET #C-6)





N/F
K.F. PROPERTIES, LLC
VOL. 1124, PAGE 130

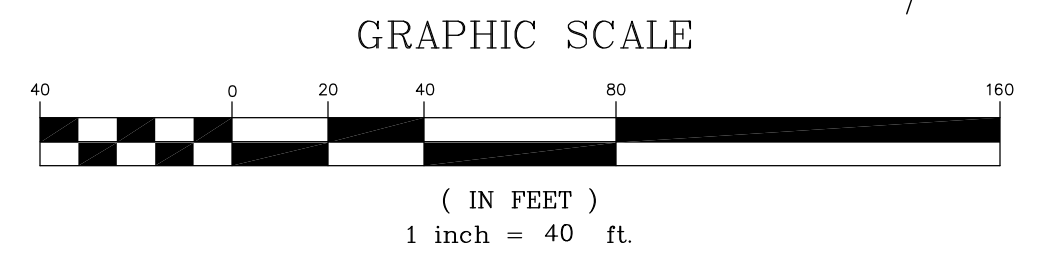
N/F
MADHU REDDY
VOL. 387, PAGE 114

N/F
PETER J & JENNIFER J BRIN
VOL. 2083, PAGE 062

SEE SHEET #C-15 FOR GENERAL NOTES

LEGEND

	EXISTING PROPERTY LINE		PROPOSED STORM DRAINAGE SYSTEM
	EXISTING EDGE OF PAVEMENT		PROPOSED WATER MAIN
	IRON PIN OR IRON PIPE FOUND		PROPOSED SANITARY SEWER
	CONC. MERESTONE OR CHD. FND.		LIMITS OF FLAGGED WETLANDS
	EXISTING TREE LINE		PROPOSED CONTOUR
	EXISTING CONTOUR		PROPOSED SPOT GRADE
	EXISTING SPOT GRADE		PROPOSED TREE LINE
	EXISTING TELEPHONE POLE		IRON PIN TO BE SET
	EXISTING BIT. CURB		CONC. MERESTONE TO BE SET
	EXISTING STORM DRAINAGE SYSTEM		PROPOSED BIT. CURB
	EXISTING WATER MAIN		PROPOSED CONC. CURB
	EXISTING SANITARY SEWER		AREA OF STANDARD DUTY PAVEMENT
	LIMITS OF 100' UPLANDS REVIEW AREA		PROPOSED CONCRETE
	EXISTING FENCE		



HALLISEY, PEARSON & CASSIDY
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630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SCALE: 1"=40'	CHECKED BY: J.F.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-S6
SHEET: C	OF: 6
REVISIONS: ISSUED ASSOCIATED DESIGN SEPT 2023 PER TOWN STAFF COMMENT	

SITE GRADING & DRAINAGE PLAN
PROPERTY SURVEY
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



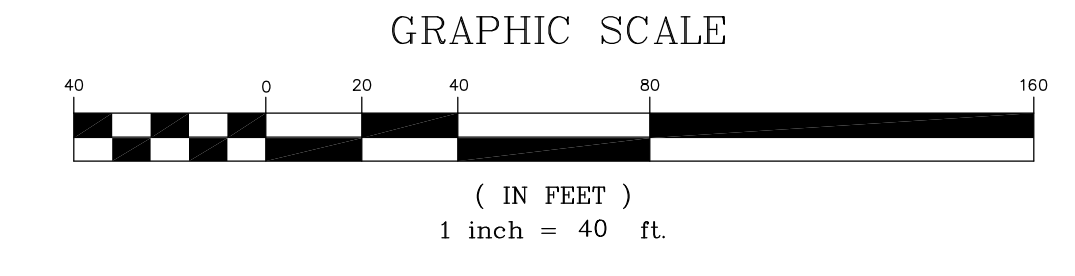
UNIT 8

N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4

LEGEND

---	EXISTING PROPERTY LINE	---	PROPOSED STORM DRAINAGE SYSTEM
---	EXISTING EDGE OF PAVEMENT	---	PROPOSED WATER MAIN
---	IRON PIN OR IRON PIPE FOUND	---	LIMITS OF FLAGGED WETLANDS
---	CONC. MERESTONE OR CHD FND.	---	PROPOSED CONTOUR
---	EXISTING TREE LINE	---	PROPOSED SPOT GRADE
---	EXISTING CONTOUR	---	PROPOSED TREE LINE
---	EXISTING SPOT GRADE	---	IRON PIN TO BE SET
---	EXISTING TELEPHONE POLE	---	CONC. MERESTONE TO BE SET
---	EXISTING BIT. CURB	---	PROPOSED BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM	---	PROPOSED CONC. CURB
---	EXISTING WATER MAIN	---	AREA OF STANDARD DUTY PAVEMENT
---	EXISTING SANITARY SEWER	---	PROPOSED CONCRETE
---	LIMITS OF 100' UPLANDS REVIEW AREA		
---	EXISTING FENCE		

SEE SHEET #C-15 FOR GENERAL NOTES



CT GRID NAD 83

JMI CONSTRUCTION N/F
VOL. 449 PG. 577

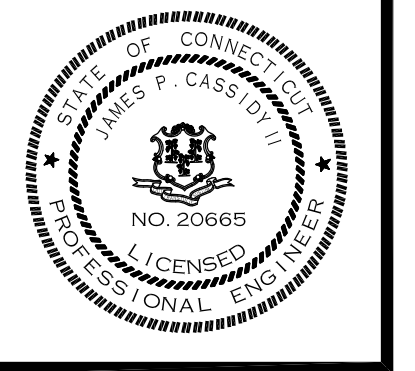
MATCH LINE
(SEE SHEET C-8)

(SEE SHEET C-8)

CHECKED BY: J.P.C.	DATE: MAY 23, 2023	DRAWN BY: J.M.P.	ACAD FILE: 2574-SU
SCALE: 1"=40'	JOB NO.: 2574	SHEET: C	OF: 7
REVISIONS: UPDATED ASSUMED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT			

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PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE UTILITIES PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



JMJ CONSTRU

PROP. C.B. #3
TYPE "C"
T.F. = 90.05
FL (NW) = 84.39
FL (NE) = 86.43
FL (SE) = 84.14
FL (S) = 84.72

PROP. SAN. M.H. #10
T.F. = 90.87
INV. (OUT) = 85.62
INV. (IN) = 85.79

PROP. SAN. M.H. #3
T.F. = 91.21
INV. (OUT) = 85.75
INV. (IN) = 85.77

PROP. SAN. M.H. #4
T.F. = 90.94
INV. (OUT) = 85.75
INV. (IN) = 85.92

PROP. SAN. M.H. #5
T.F. = 92.12
INV. (OUT) = 86.40
INV. (IN) = 86.57

PROP. C.B. #4
TYPE "C"
T.F. = 89.87
FL (NW) = 83.25
FL (NE) = 80.31
FL (SE) = 83.09
FL (S) = 83.09

PROP. C.B. #25
TYPE "CL"
T.F. = 87.0
FL (N) = 84.00

PROP. C.B. #16
TYPE "C"
T.F. = 91.13
FL (NW) = 82.06
FL (SE) = 82.06
FL (S) = 84.81
FL (NE) = 85.63
FL (E) = 85.63

PROP. C.B. #18
TYPE "C"
T.F. = 90.61
FL (NE) = 87.49
FL (W) = 88.07

PROP. C.B. #17
TYPE "C"
T.F. = 90.61
FL (NW) = 83.91
FL (SW) = 87.32
FL (SE) = 83.91

PROP. SAN. M.H. #6
T.F. = 91.02
INV. (OUT) = 87.57
INV. (IN) = 87.70

PROP. STM. M.H. #7
T.F. = 91.00
FL (SE) = 84.30
FL (NW) = 84.30
FL (NE) = 85.37

PROP. C.B. #26
TYPE "CL"
T.F. = 90.5
FL (N) = 87.50

PROP. RAINGARDEN #5
BOT. ELEVATION = 89.5

PROP. C.B. #19
TYPE "C"
T.F. = 92.37
FL (NW) = 87.26
FL (E) = 87.51

PROP. C.B. #20
TYPE "C"
T.F. = 92.60
FL (N) = 87.76
FL (W) = 87.76

LIMITS OF WETLANDS
DELMINATED IN MARCH 2022
BY MATT DAVISON, P.S.S., P.W.S.
OF DAVISON ENVIRONMENTAL, LLC
AND LOCATED BY ACCURATE SURVEY.

LIMITS OF WETLANDS
DELMINATED IN MARCH 2022
BY MATT DAVISON, P.S.S., P.W.S.
OF DAVISON ENVIRONMENTAL, LLC
AND LOCATED BY ACCURATE SURVEY.

LIMITS OF WETLANDS
DELMINATED IN MARCH 2022
BY MATT DAVISON, P.S.S., P.W.S.
OF DAVISON ENVIRONMENTAL, LLC
AND LOCATED BY ACCURATE SURVEY.

BROWNSTONE MONUMENT FND.
S 47° 48' W, 0.90'
FROM PROPERTY CORNER

BROWNSTONE MONUMENT FND.
S 57° 40' W, 0.82'
FROM PROPERTY CORNER

(SEE SHEET C-7)
MATCH LINE

(SEE SHEET C-7)

N/F
K.F. PROPERTIES, LLC
VOL. 1124, PAGE 130

N/F
MADHU REDDY
VOL. 387, PAGE 114

N/F
PETER J & JENNIFER J BRIN
VOL. 2083, PAGE 062

SEE SHEET #C-15 FOR GENERAL NOTES

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD. FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	LIMITS OF 100' UPLANDS REVIEW AREA
	EXISTING FENCE
	PROPOSED STORM DRAINAGE SYSTEM
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	LIMITS OF FLAGGED WETLANDS
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TREE LINE
	IRON PIN TO BE SET
	CONC. MERESTONE TO BE SET
	PROPOSED BIT. CURB
	PROPOSED CONC. CURB
	AREA OF STANDARD DUTY PAVEMENT
	PROPOSED CONCRETE

GRAPHIC SCALE

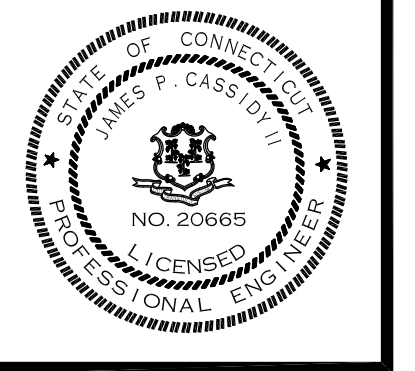


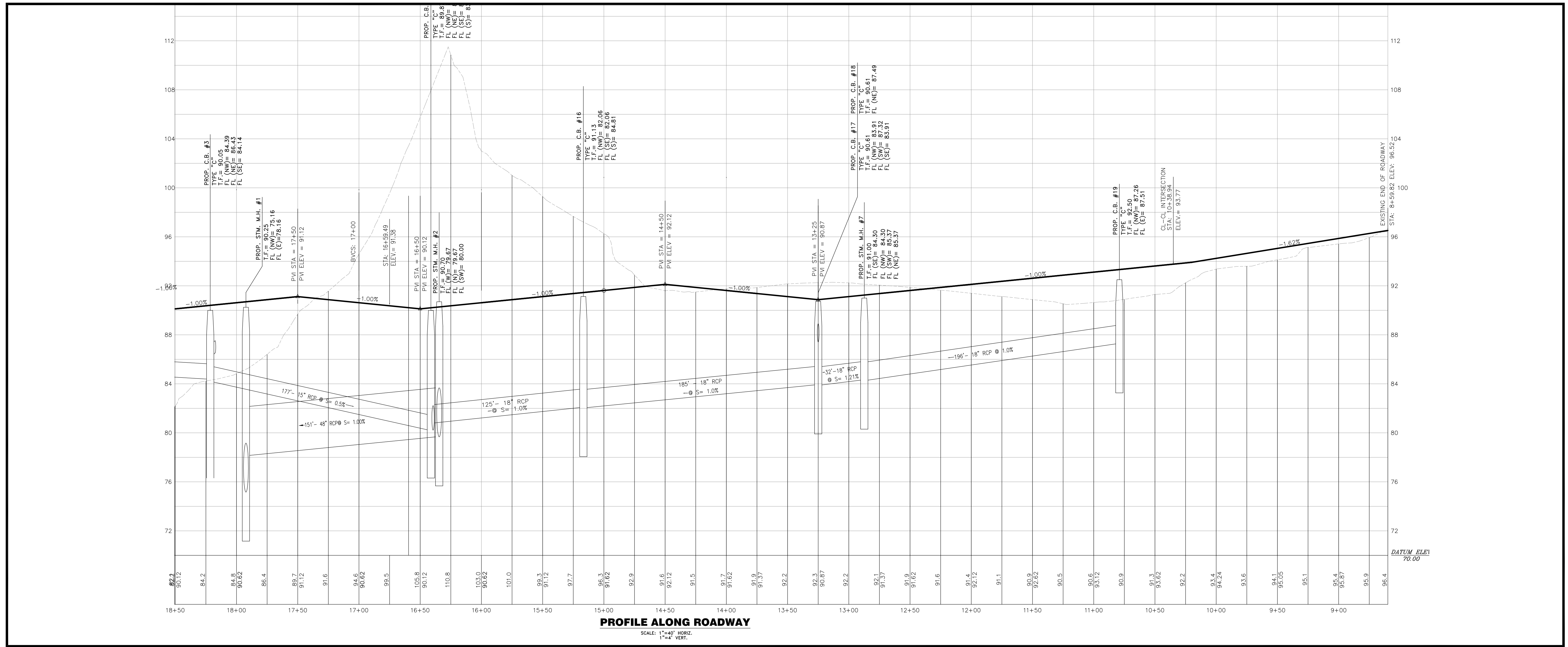
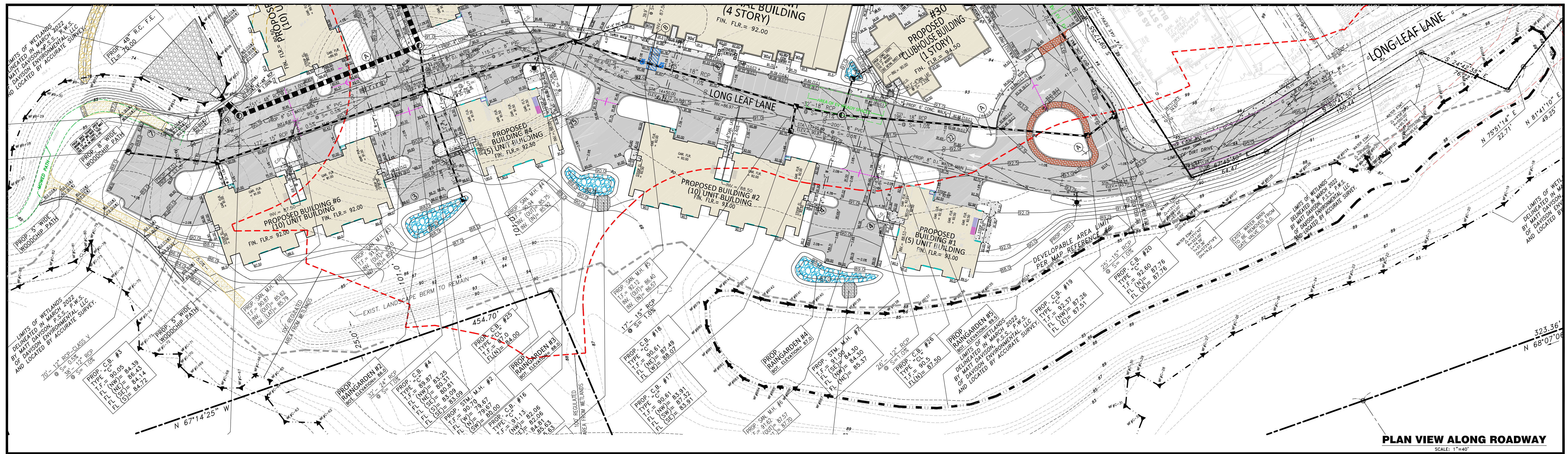
(IN FEET)
1 inch = 40 ft.

SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-SU
SHEET: C	OF: 8
REVISIONS: UNBID, UNREVISED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	

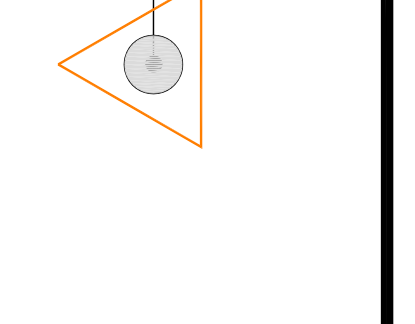
HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE UTILITIES PLAN
 PROPERTY SURVEY
 PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



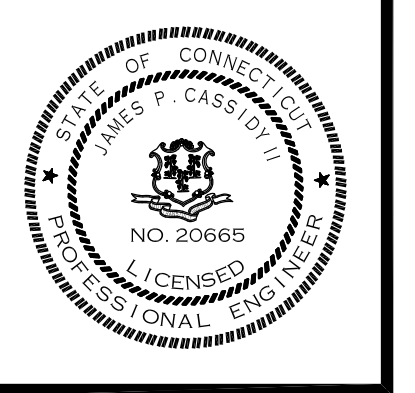


CHECKED BY: J.P.C.
 DATE: MAY 23, 2023
 DRAWN BY: J.M.P.
 JOB NO.: 2574
 ACAD FILE: 2574-PROJ
 SHEET: **C** of **9**
 REVISIONS: SEE REVISIONS DESIGN
 SEPT. 20, 2023 PER TOWN STAFF COMMENT



HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
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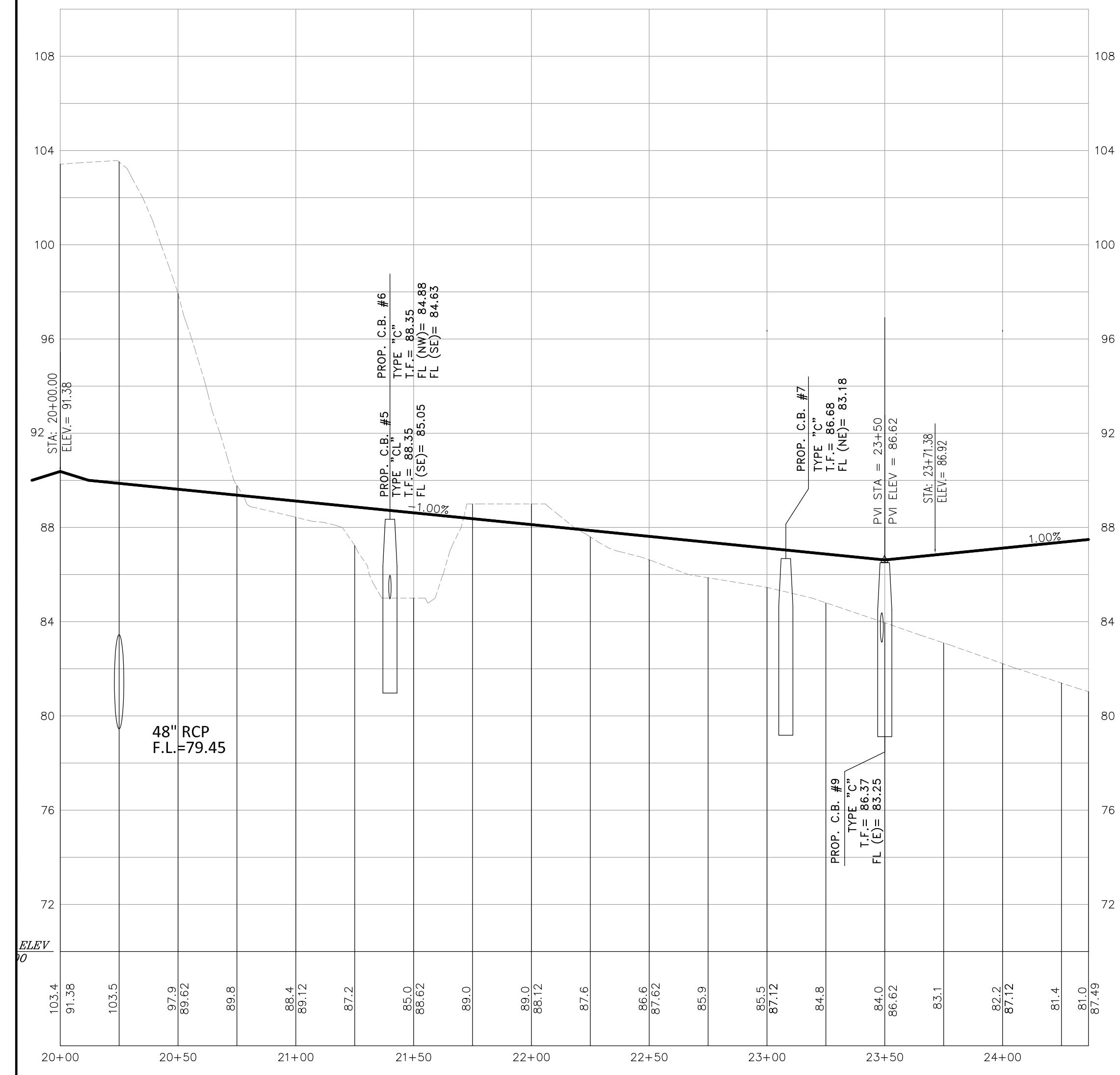
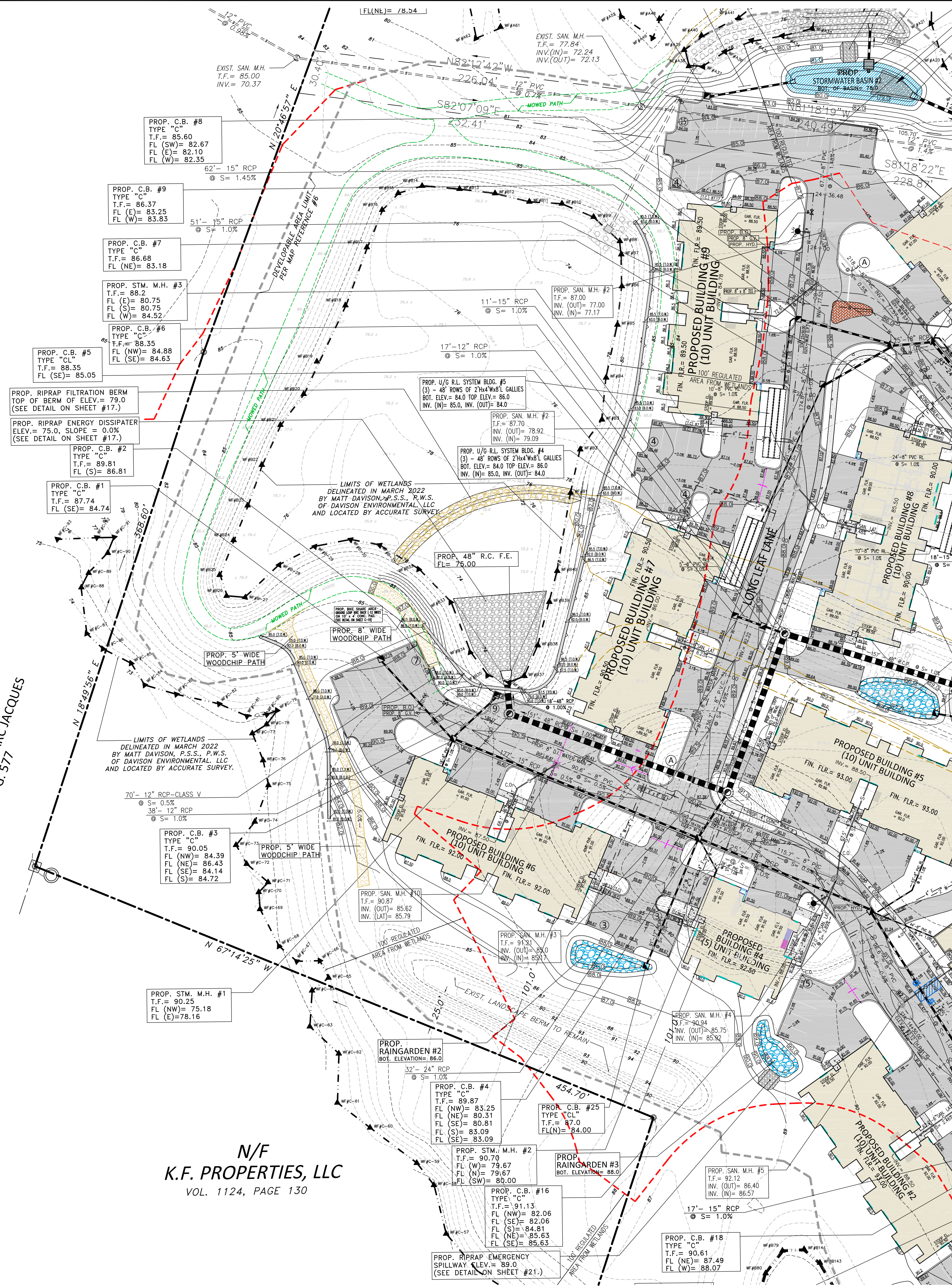
PLAN AND PROFILE ALONG PROP. ROADWAY #1
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



JMJ CONSTRUCTION/ JEAN MARC JACQUES
N/F
VOL. 449 PG. 577

N/F
K.F. PROPERTIES, LLC
VOL. 1124, PAGE 130

PLAN VIEW ALONG ROADWAY
SCALE: 1"=40'

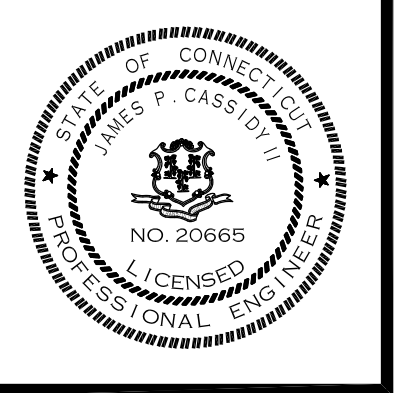


PROP. ROADWAY #2
PROFILE ALONG ROADWAY
SCALE: 1"=40' HORIZ.
1"=4' VERT.

SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-PROJ
SHEET: C of 10	
REVISIONS: NO. 1: 05/23/2023 NO. 2: 05/23/2023 NO. 3: 05/23/2023 NO. 4: 05/23/2023 NO. 5: 05/23/2023	

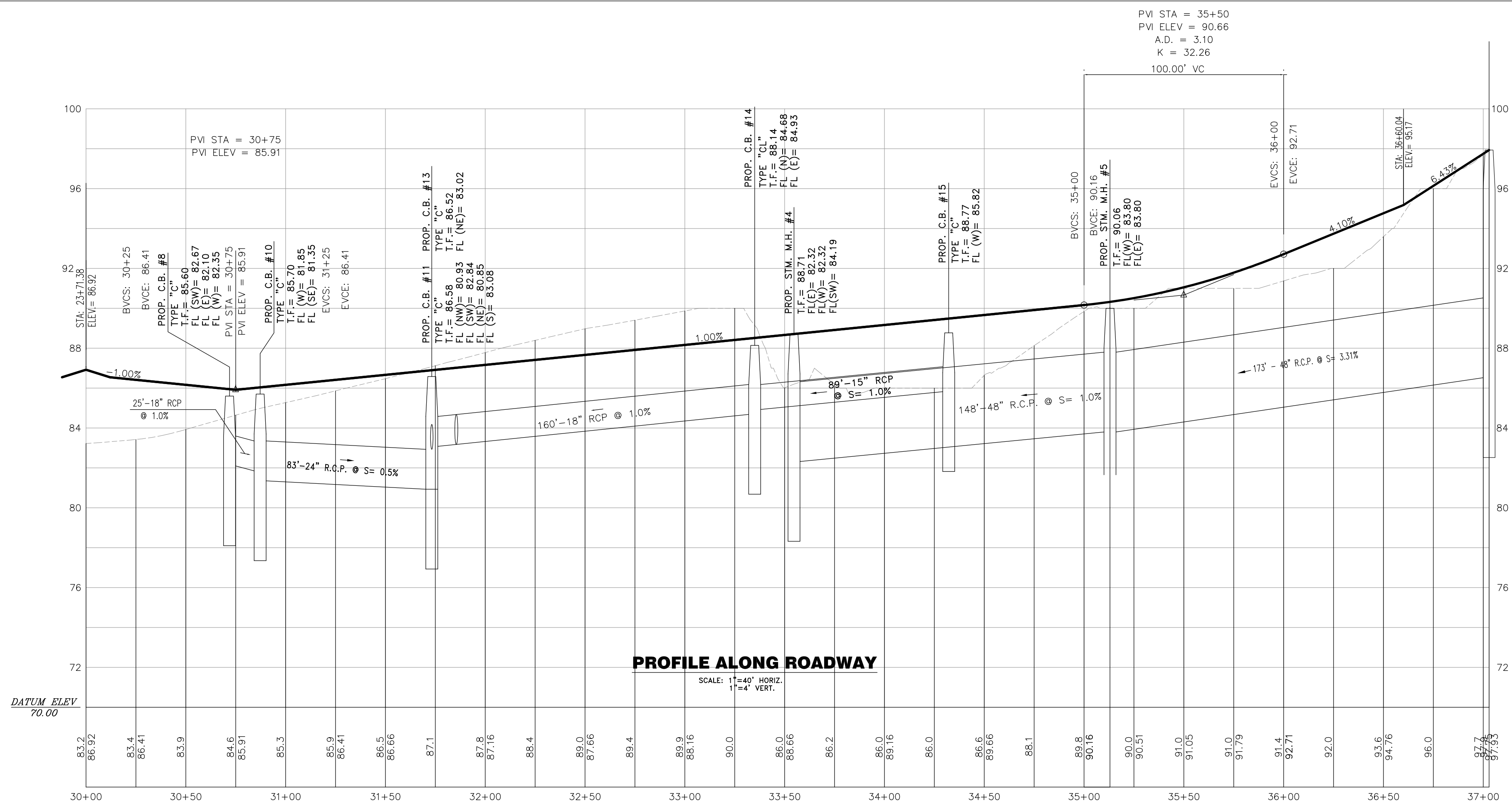
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

PLAN AND PROFILE ALONG PROP. ROADWAY #2
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



PLAN VIEW ALONG ROADWAY

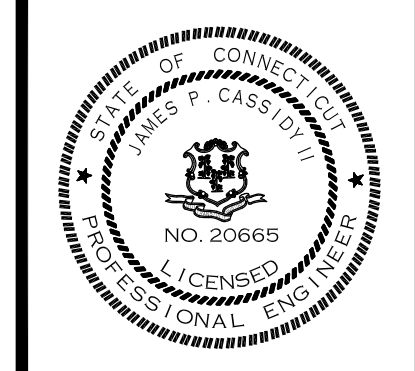
SCALE: 1"=40'

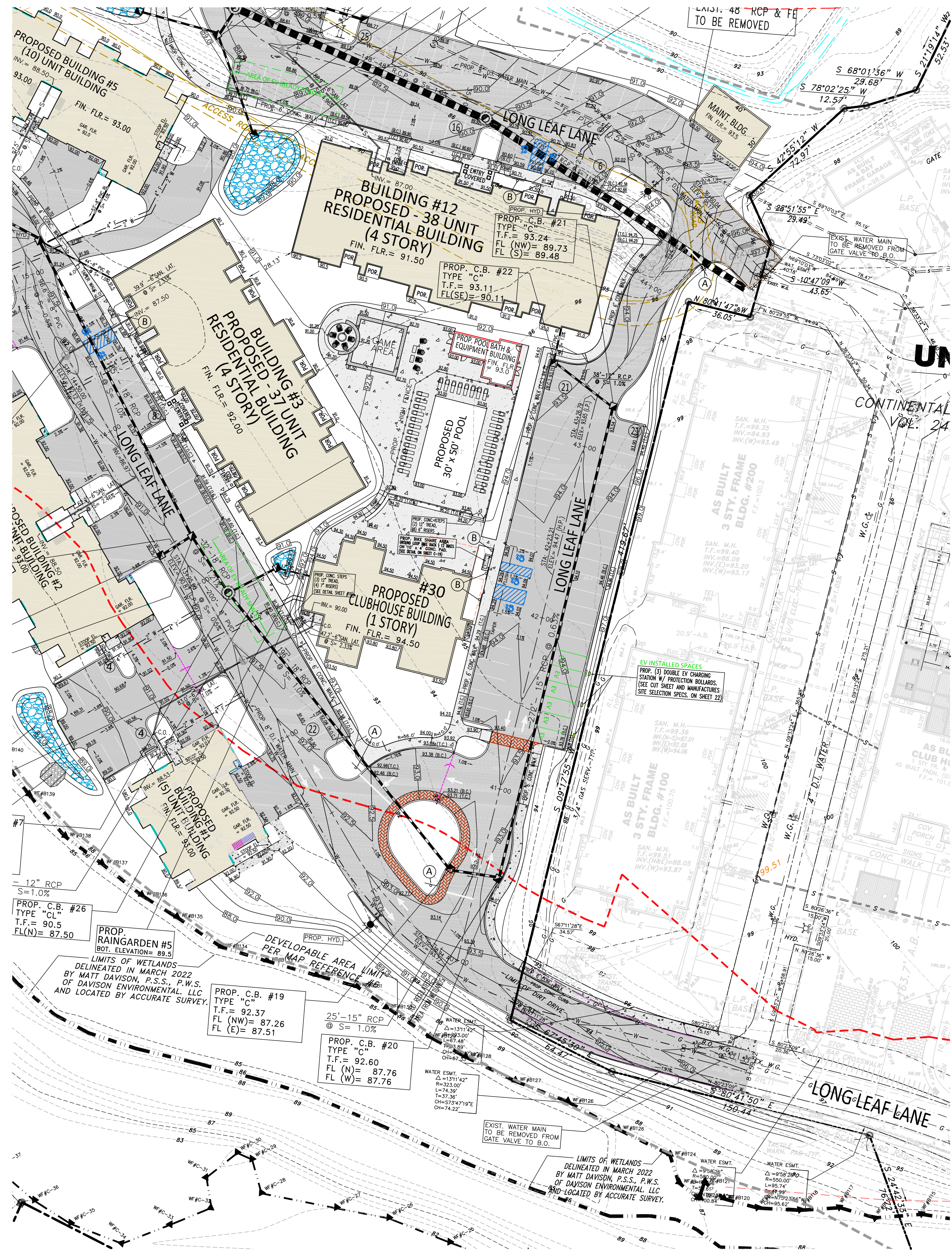


HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

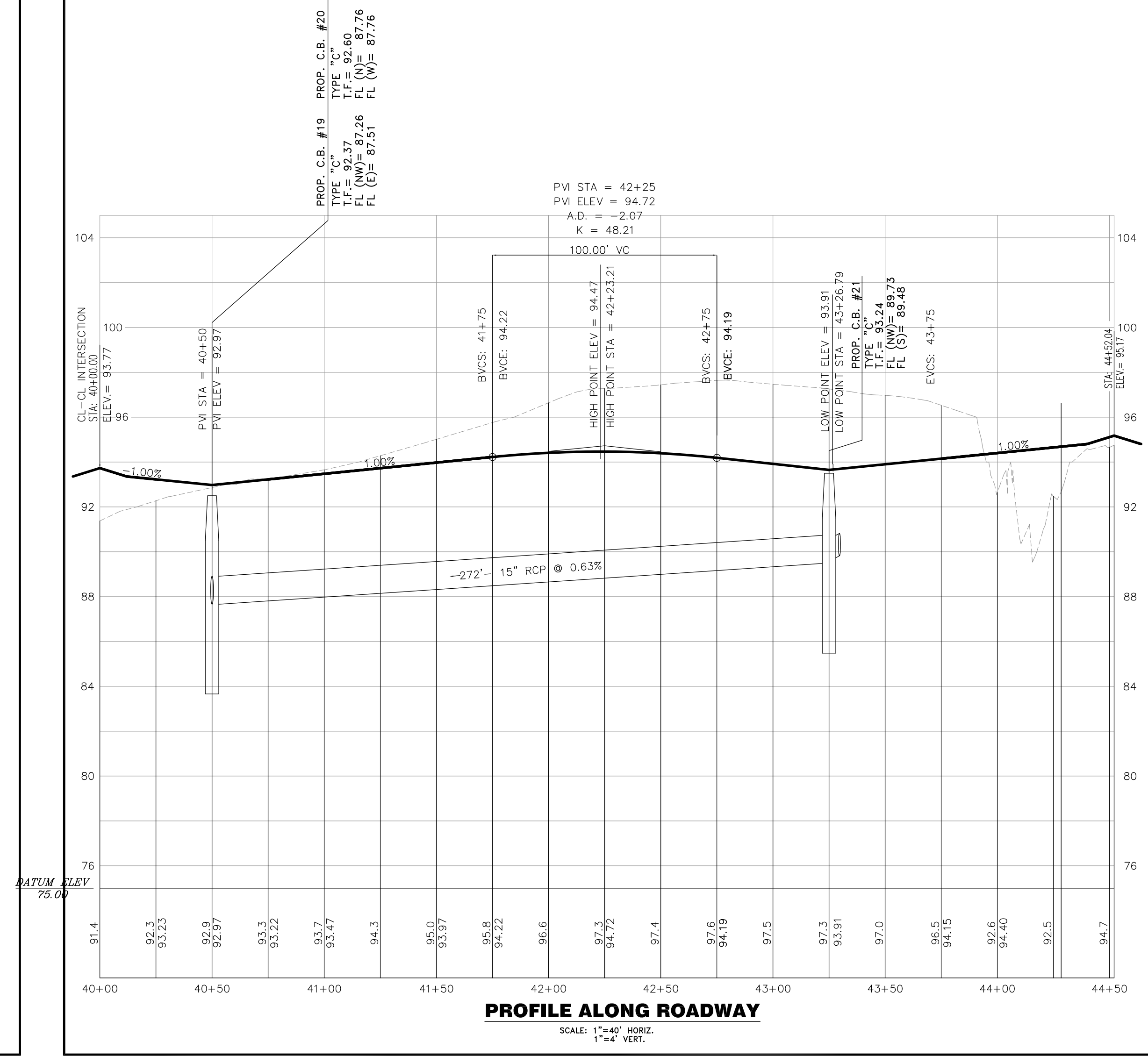
CHECKED BY: J.P.C.
 DATE: MAY 23, 2023
 DRAWN BY: J.M.P.
 JOB NO.: 2574
 ACAD FILE: 2574-PROJ
 SHEET: **C** of **11**
 REVISIONS: ISSUED ASSUMED DESIGN
 SEPT. 20, 2023 PER TOWN STAFF COMMENT

PLAN AND PROFILE ALONG PROP. ROADWAY #3
 PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





PLAN VIEW ALONG ROADWAY
SCALE: 1"=40'

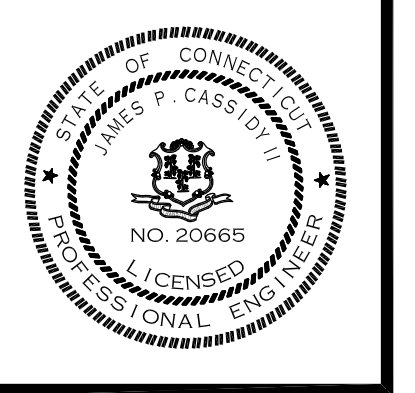


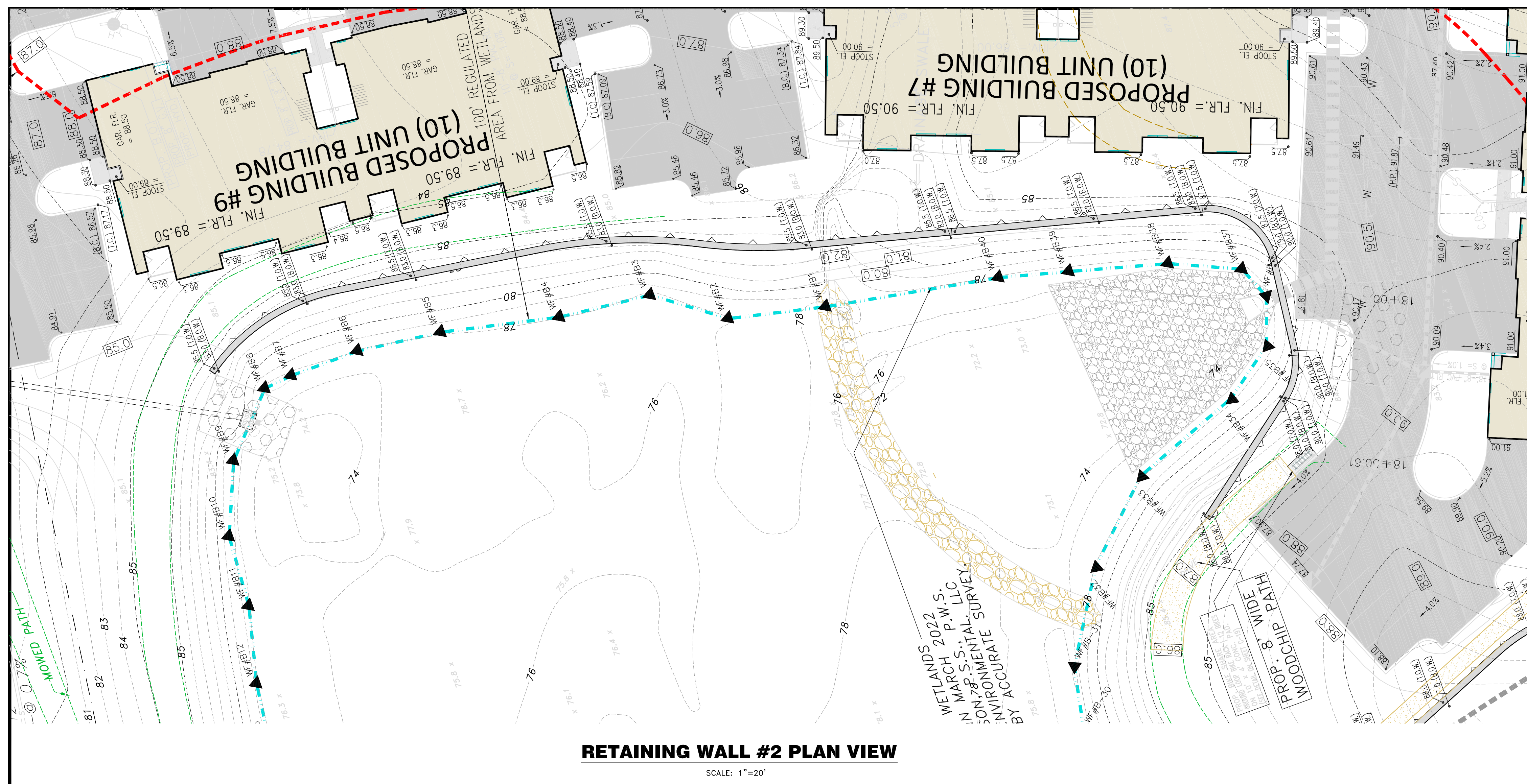
PROFILE ALONG ROADWAY
SCALE: 1"=40' HORIZ.
1"=4' VERT.

SCALE: 1"=40'
DATE: MAY 23, 2023
JOB No.: 2574
SHEET: **C** of **12**
CHECKED BY: J.P.C.
DRAWN BY: J.M.P.
ACAD FILE: 2574-PROJ
REVISIONS: SEE THE ATTACHED LOG
SEPT. 20, 2023 PER TOWN STAFF COMMENT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

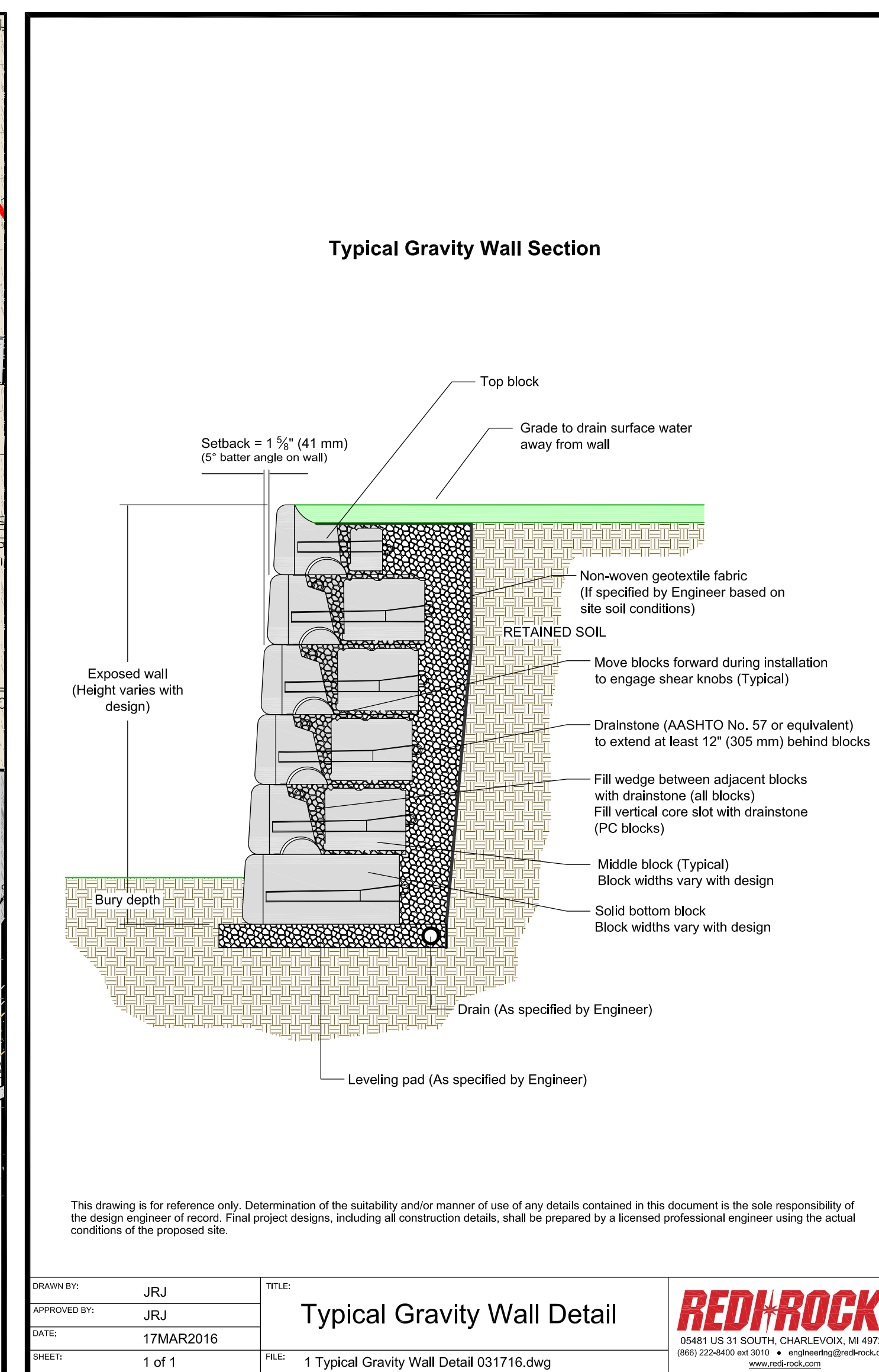
PLAN AND PROFILE ALONG PROP. ROADWAY #4
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





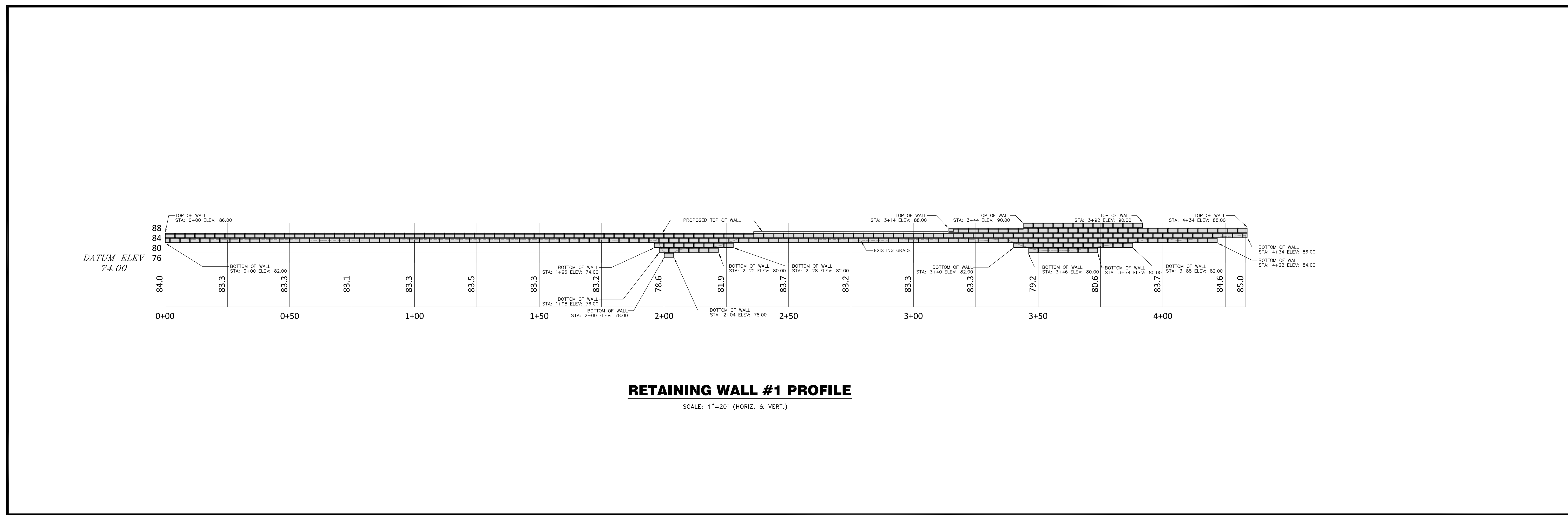
RETAINING WALL #2 PLAN VIEW

SCALE: 1"=20'



This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site.

DRAWN BY:	JRJ	TITLE:	Typical Gravity Wall Detail
APPROVED BY:	JRJ	DATE:	17MAR2016
SHEET:	1 of 1	FILE:	1 Typical Gravity Wall Detail 031716.dwg



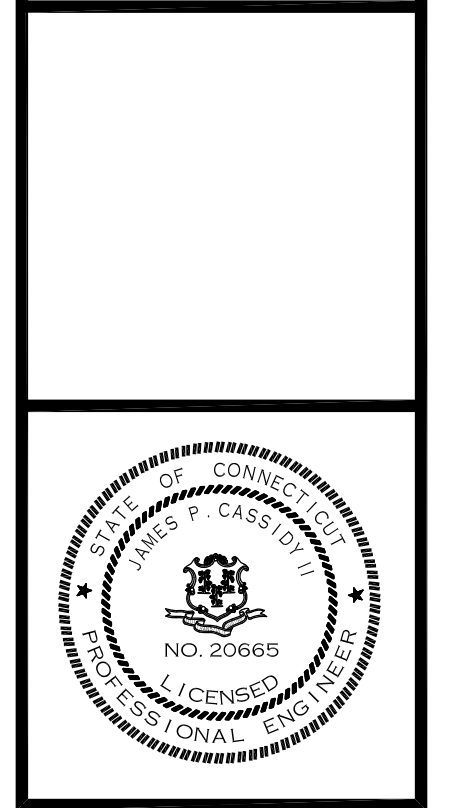
RETAINING WALL #1 PROFILE

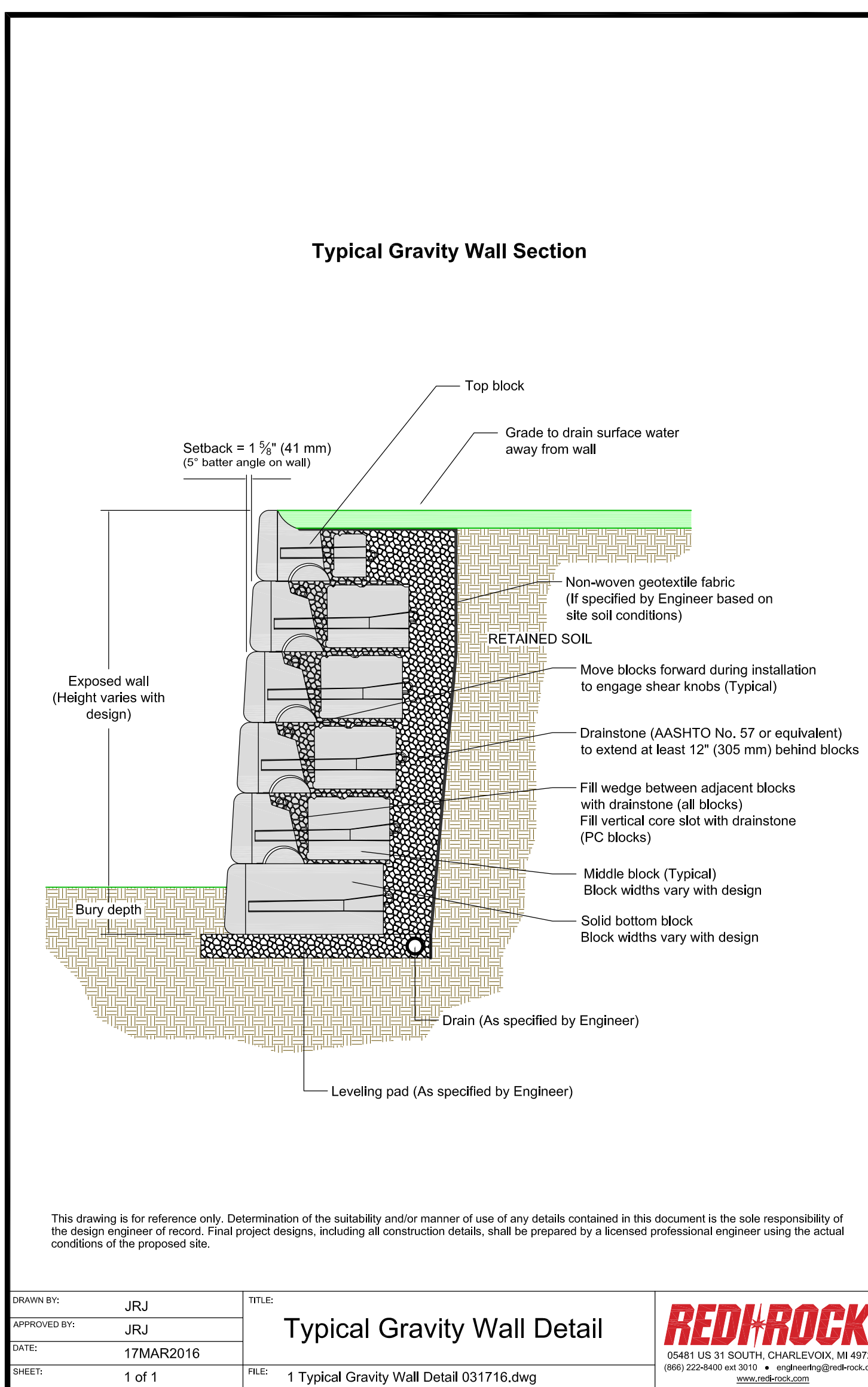
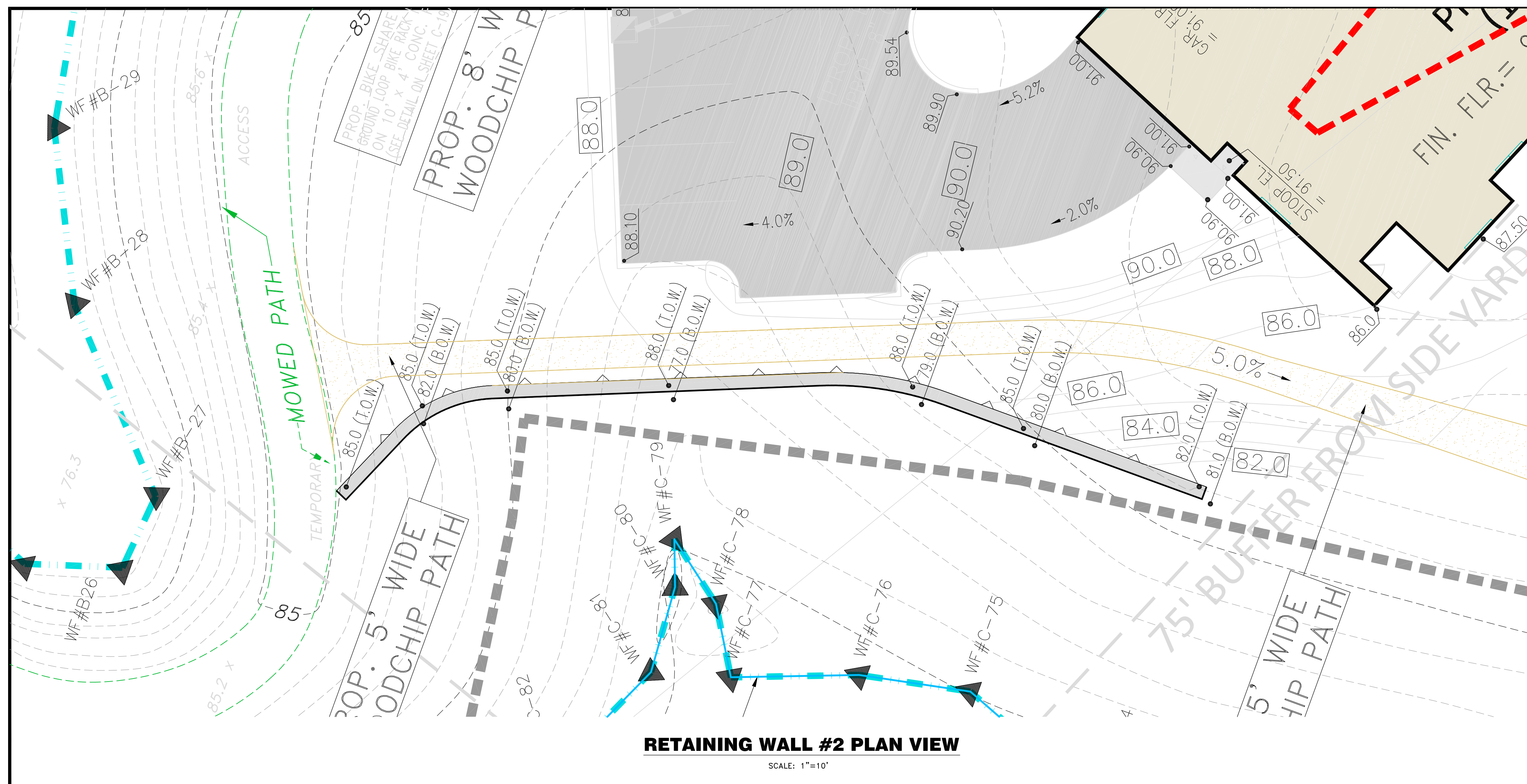
SCALE: 1"=20' (HORIZ. & VERT.)

SCALE: 1"=20'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-WALL.DWG
SHEET: C	OF: 13
REVISIONS: 10/20/2023 ASSUMED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	

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 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

RETAINING WALL #1 PLAN & PROFILE
 PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

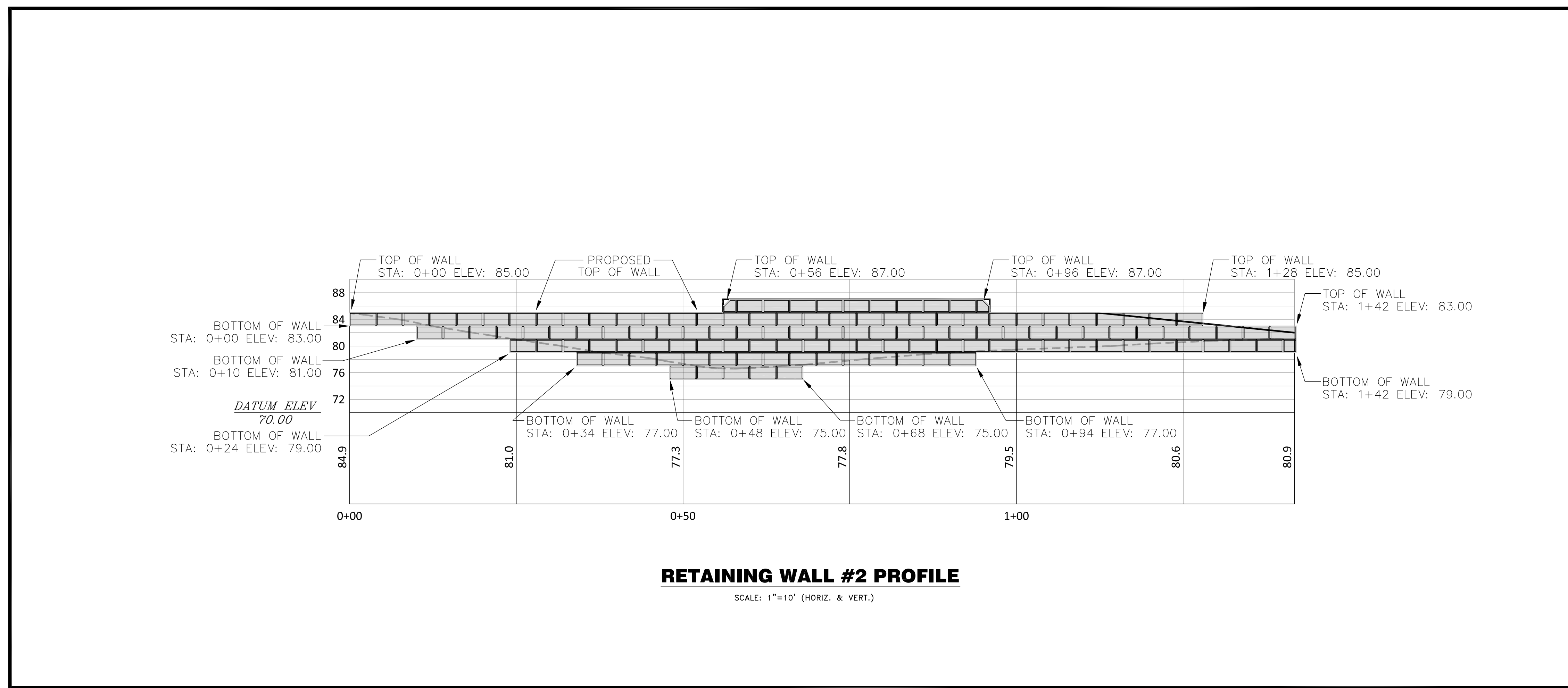




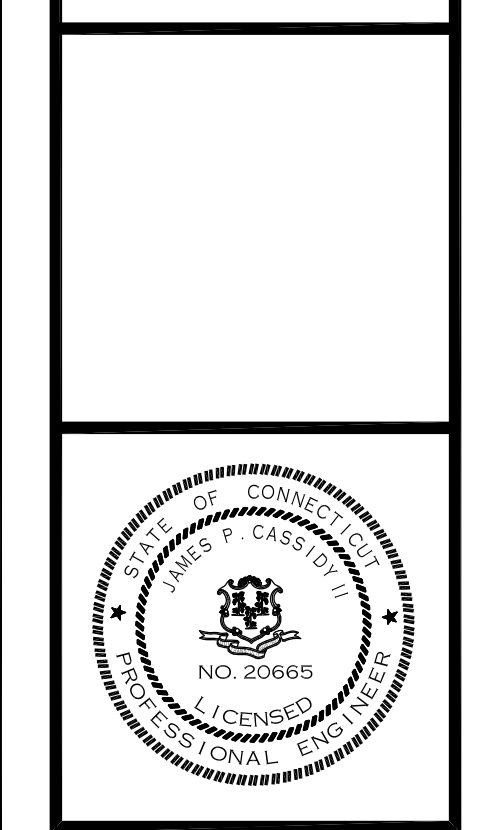
SCALE: 1"=10'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-WALL.DWG
SHEET: C	OF: 14
REVISIONS: UNLESS OTHERWISE SPECIFIED, SEE DETAIL ON SHEET C-19	

HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

DRAWN BY: JRJ	TITLE: Typical Gravity Wall Detail	REDi-ROCK
APPROVED BY: JRJ	DATE: 17MAR2016	0581 US 31 SOUTH, CROMWELL, CT 06416 (860) 222-8400 ext. 2010 • engineering@red-rock.com
SHEET: 1 of 1	FILE: 1 Typical Gravity Wall Detail 031716.dwg	



RETAINING WALL #2 PLAN & PROFILE
 PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



UNIT 8

N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4

LEGEND	
EXISTING PROPERTY LINE	PROPOSED STORM DRAINAGE SYSTEM
EXISTING EDGE OF PAVEMENT	PROPOSED WATER MAIN
IRON PIN OR IRON PIPE FOUND	PROPOSED SANITARY SEWER
CONC. MERESTONE OR CHD FND.	LIMITS OF FLAGGED WETLANDS
EXISTING TREE LINE	PROPOSED CONTOUR
EXISTING CONTOUR	PROPOSED SPOT GRADE
EXISTING SPOT GRADE	PROPOSED TREE LINE
EXISTING TELEPHONE POLE	IRON PIN TO BE SET
EXISTING BIT. CURB	CONC. MERESTONE TO BE SET
EXISTING WATER MAIN	PROPOSED BIT. CURB
EXISTING STORM DRAINAGE SYSTEM	PROPOSED CONC. CURB
EXISTING SANITARY SEWER	AREA OF STANDARD DUTY PAVEMENT
LIMITS OF 100' UPLANDS REVIEW AREA	PROPOSED CONCRETE
EXISTING FENCE	

EROSION LEGEND	
CSF	SEDIMENT FILTER FENCE
HB	STAKED HAY BALE
CE	CONSTRUCTION ENTRANCE
ECB	EROSION CONTROL BLANKET NORTH AMERICAN GREEN SC150 (ALONG SIDE AND REAR SLOPES) BLANKETS SHALL BE MONITORED ON A CASE BY CASE BASIS, DEPENDING ON TIME OF YEAR. ALTERNATE STABILIZATION PRACTICES MAY BE ACCEPTABLE. SEDIMENT FILTER FENCE.
STK	TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
SCD	STONE CHECK DAM
IP	INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
TST	TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION, CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
WB	WATER BAR
DB	TEMPORARY DIVERSION BERM

SEE SHEET #C-16 FOR EROSION & SEDIMENT CONTROL NOTES

Wetlands Impact Activity #1: Removal of existing rap, then extend level spreader and install new riprap. Impact: 282 sq. ft. or 0.0065 acres

Upland Review Area Activity #1: Grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

TEMPORARY SEDIMENT TRAP #2
REQUIRED VOLUME=
5.0 acres x 134 cu. yd./acre= 670 cu. yds.
155' AVG. LENGTH x 60' AVG. WIDTH x 2' DEEP
PROVIDED VOLUME= 690 cu.yds.

Wetlands Impact Activity #2: Intall riprap energy dissipator and riprap filtration berm. Impact: 3,898 sq. ft. or 0.0895 acres

N/F
JMI CONSTRUCTION / JEAN MARC JACQUES
VOL. 449 PG. 577

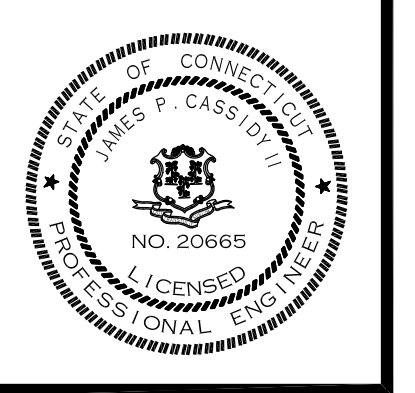
Upland Review Area Activity #1: Clearing and grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

TEMPORARY SEDIMENT TRAP #1
REQUIRED VOLUME=
5.0 acres x 134 cu. yd./acre= 670 cu. yds.
155' AVG. LENGTH x 60' AVG. WIDTH x 2' DEEP
PROVIDED VOLUME= 690 cu.yds.

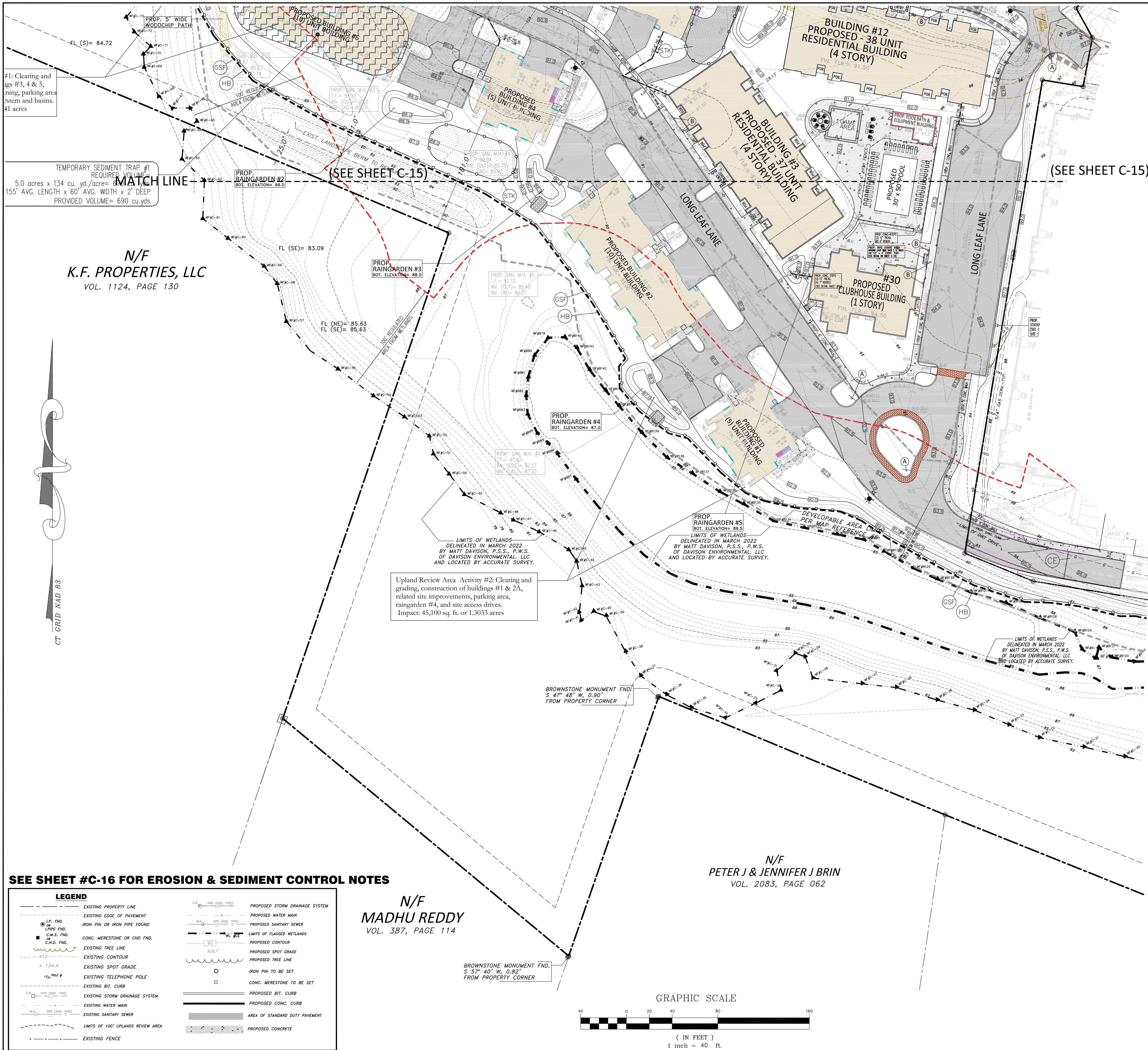
PROG. RAINGARDEN #2
(SEE SHEET C-16)

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE EROSION & SEDIMENT CONTROL PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



CHECKED BY: J.P.C.	SCALE: 1"=40'
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-ES
SHEET: C	OF: 15
REVISIONS: UNBIDDABLE EXHIBIT DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	



#1: Clearing and grading, parking area, storm and basins. 41 acres

TEMPORARY SEDIMENT TRAP #1
5.0 acres x 134 cu. yd./acre = 670 cu.yd.
155' AVG. LENGTH x 60' AVG. WIDTH x 2' DEEP
PROVIDED VOLUME = 690 cu.yds.

N/F
K.F. PROPERTIES, LLC
VOL. 1124, PAGE 130

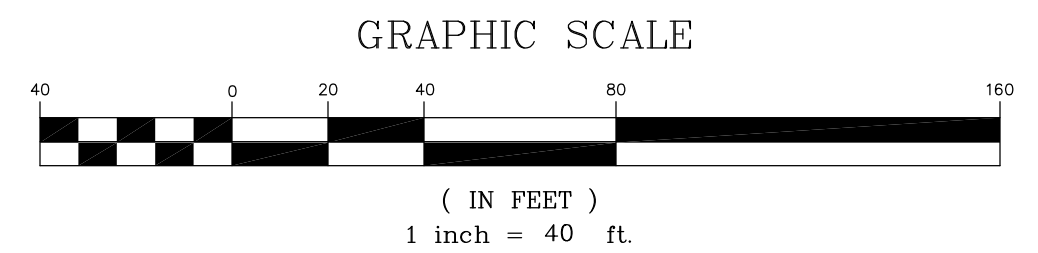
Upland Review Area Activity #2: Clearing and grading, construction of buildings #1 & 2A, related site improvements, parking area, rain garden #4, and site access drives.
Impact: 45,100 sq. ft. or 1.3033 acres

N/F
PETER J & JENNIFER J BRIN
VOL. 2083, PAGE 062

N/F
MADHU REDDY
VOL. 387, PAGE 114

SEE SHEET #C-16 FOR EROSION & SEDIMENT CONTROL NOTES

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD. FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	LIMITS OF 100' UPLANDS REVIEW AREA
	EXISTING FENCE
	PROPOSED STORM DRAINAGE SYSTEM
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	LIMITS OF FLAGGED WETLANDS
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TREE LINE
	IRON PIN TO BE SET
	CONC. MERESTONE TO BE SET
	PROPOSED BIT. CURB
	PROPOSED CONC. CURB
	AREA OF STANDARD DUTY PAVEMENT
	PROPOSED CONCRETE



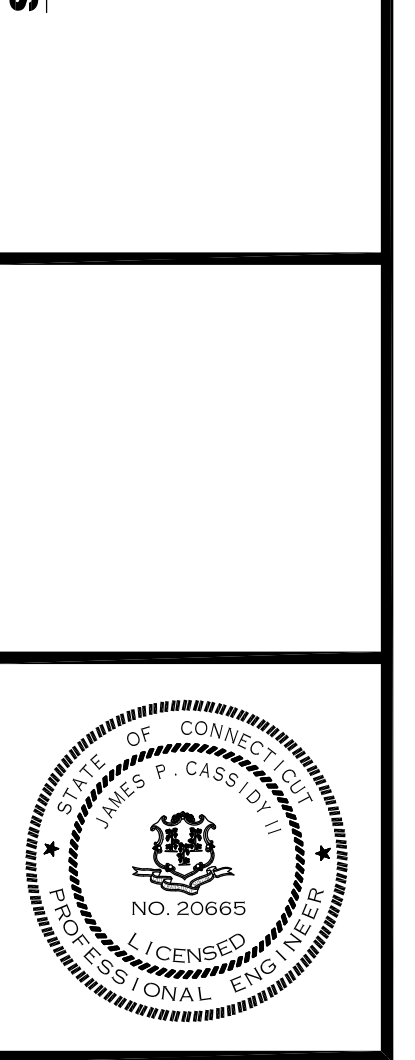
EROSION CONTROL MEASURE	CONTROL OBJECTIVE	INSPECTION/MAINTENANCE	FAILURE INDICATORS	REMOVAL
TEMPORARY SEDIMENT TRAP (ST)	RETAIN SEDIMENT-LADEN RUNOFF FROM SMALL MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
TEMPORARY SEDIMENT BASIN (DETENTION BASIN) (SB/PST)	RETAIN SEDIMENT-LADEN RUNOFF FROM SMALL MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
SILT FENCE (SFT)	RETAIN SEDIMENT-LADEN RUNOFF FROM SMALL MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
HAY BALES (HB)	RETAIN SEDIMENT-LADEN RUNOFF FROM SMALL MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
TEMPORARY DIVERSION (TD)	REDUCE THE THREATS OF EROSION OFF-SITE	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
CONSTRUCTION ENTRANCE (CE)	REDUCE THE THREATS OF EROSION OFF-SITE	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
CATCH BASIN (CB)	REDUCE THE THREATS OF EROSION OFF-SITE	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
STOCKPILE PROTECTION (STK)	REDUCE THE THREATS OF EROSION OFF-SITE	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.
DUST PROTECTION (DP)	REDUCE THE THREATS OF EROSION OFF-SITE	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH BELOW AVERAGE OF PREVIOUS STORMS. MUST BE REMOVED WHEN ACCUMULATION REACHES 1/2 OF THE DESIGNATED STORAGE.	-THRESH WATERS -SEDIMENT ACCUMULATION -OVERFLOWING EVIDENCE	THE MAT BE REMOVED ONCE THE SEDIMENT ACCUMULATION IS PERMANENTLY STABILIZED.

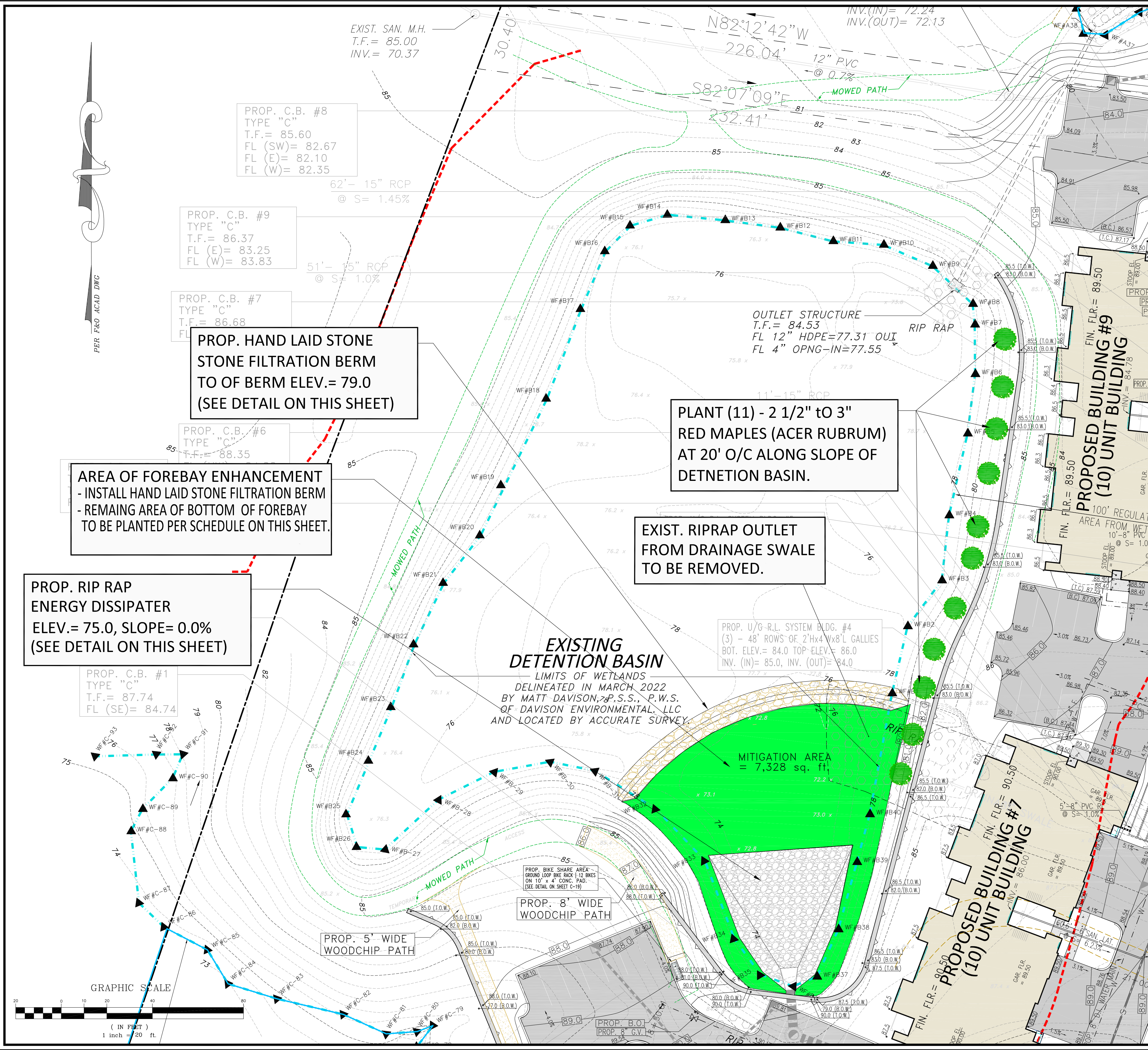
EROSION LEGEND	
	(GSF) SEDIMENT FILTER FENCE
	(HB) STAKED HAY BALE
	(CE) CONSTRUCTION ENTRANCE
	(ECB) EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SCISSOR) ALONG SIDE AND REAR SLOPES
	(STK) TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
	(SCD) STONE CHECK DAM
	(IP) INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
	(TST) TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION. CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
	(WB) WATER BAR
	(DB) TEMPORARY DIVERSION BERM

SCALE: 1"=40'
DATE: MAY 23, 2023
JOB No.: 2574
SHEET: C of 16
REVISIONS: UNBIDDED ASSUMED DESIGN
SEPT. 20, 2023 PER TOWN STAFF COMMENT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
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SITE EROSION & SEDIMENT CONTROL PLAN
PROPERTY SURVEY
PREPARED FOR
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THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





PROP. C.B. #8
TYPE "C"
T.F. = 85.60
FL (SW) = 82.67
FL (E) = 82.10
FL (W) = 82.35

PROP. C.B. #9
TYPE "C"
T.F. = 86.37
FL (E) = 83.25
FL (W) = 83.83

PROP. C.B. #7
TYPE "C"
T.F. = 86.68
FL (E) = 83.25
FL (W) = 83.83

PROP. C.B. #6
TYPE "C"
T.F. = 88.35

AREA OF FOREBAY ENHANCEMENT
- INSTALL HAND LAID STONE FILTRATION BERM
- REMAINING AREA OF BOTTOM OF FOREBAY
TO BE PLANTED PER SCHEDULE ON THIS SHEET.

PROP. RIP RAP
ENERGY DISSIPATER
ELEV. = 75.0, SLOPE = 0.0%
(SEE DETAIL ON THIS SHEET)

PROP. C.B. #1
TYPE "C"
T.F. = 87.74
FL (SE) = 84.74

PROP. HAND LAID STONE
STONE FILTRATION BERM
TO OF BERM ELEV. = 79.0
(SEE DETAIL ON THIS SHEET)

PLANT (11) - 2 1/2" TO 3"
RED MAPLES (ACER RUBRUM)
AT 20' O/C ALONG SLOPE OF
DETENTION BASIN.

EXIST. RIPRAP OUTLET
FROM DRAINAGE SWALE
TO BE REMOVED.

EXISTING
DETENTION BASIN
LIMITS OF WETLANDS
DELINEATED IN MARCH 2022
BY MATT DAVISON, P.S.S., P.W.S.
OF DAVISON ENVIRONMENTAL, LLC
AND LOCATED BY ACCURATE SURVEY.

PROP. U/G R.L. SYSTEM BLDG. #4
(3) - 48' ROWS OF 2 Hx4 Wx8' L GALLIES
BOT. ELEV. = 84.0 TOP ELEV. = 86.0
INV. (IN) = 85.0, INV. (OUT) = 84.0

PROP. BIKE SHARE AREA -
GROUND LOOP ONE SIDE (12 BIKES
ON 10' x 4' CONC. PAD.
(SEE DETAIL ON SHEET C-19)

PROP. 5' WIDE
WOODCHIP PATH

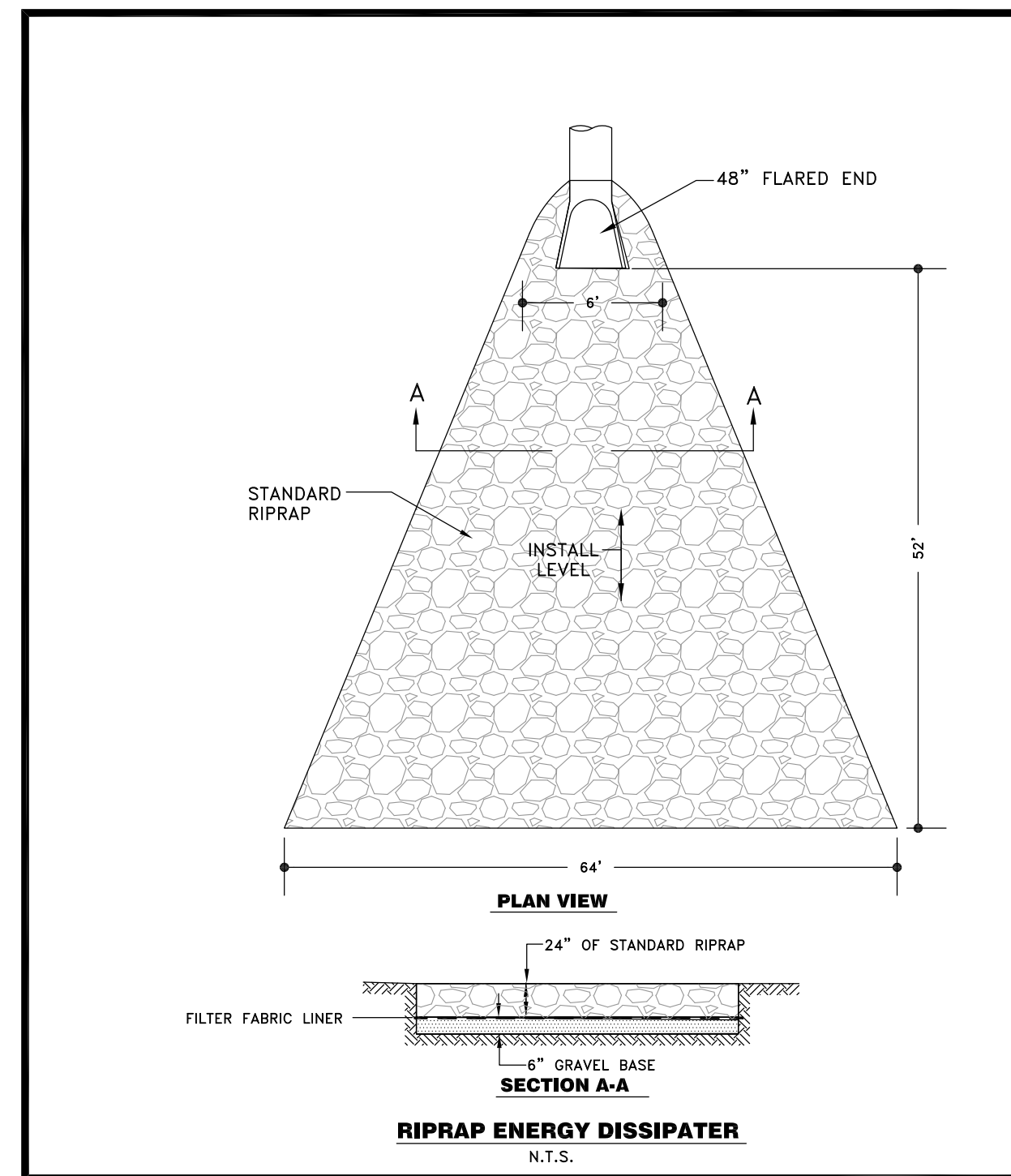
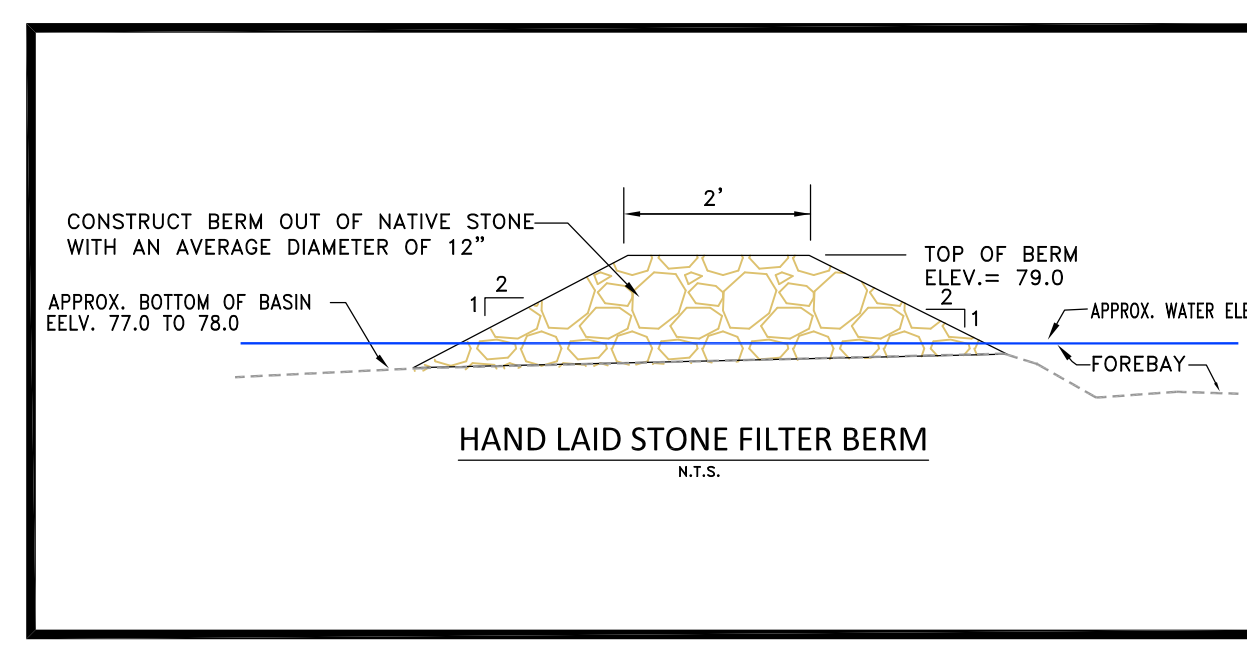
PROP. 8' WIDE
WOODCHIP PATH

Invasive Species Control

- Invasive species are currently present in areas that abut the stormwater wetland/basin, within areas that are not proposed for grading or site work. The primary species present that are of concern include Japanese Knotweed (*Fallopia japonica*), and mugwort (*Artemisia vulgaris*). The goal of invasive species control will be the eradication of these species around the stormwater wetland.
- Invasive species control will begin at the start of construction. A Licensed Pesticide Applicator will develop a specific treatment plan for approval by the Town of South Windsor. The Licensed Pesticide Applicator will be responsible for acquiring any additional State permits that may be required.
- Invasive species control will likely include a combination of mechanical (cutting) and chemical control. Japanese Knotweed may be controlled using a foliar application of an aquatic labeled herbicide with the active ingredient Imazapyr, such as Polaris®. applied according to the manufacturer labeled use instructions. The herbicide will efficiently translocate into the plant's rhizome system, immediately arresting the growth cycle and limiting the extent of their above ground biomass. It will significantly reduce stem density and effectively control the stands. The herbicide would be selectively applied to the plant foliage, avoiding non-target injury and allowing any suppressed species to flourish once the competition from this species is eliminated. A second application is typically necessary in the late summer or early fall to control any growth expression following the initial application.

Stormwater Wetland/Basin Forebay Plantings

- The forebay will need to be hydraulically separated from the basin and dewatered prior to planting. This can be accomplished in conjunction with the construction of a stone wall which will separate the basin from the forebay. The forebay will need to remain dewatered until the plantings roots anchor the plants sufficiently to prevent floating (dislodging) when surface water is present, or approximately 2 weeks.
- Planting can take place once the above-listed task has been completed. The species, size and quantity of the plantings are shown in the Planting Schedule below.
- All plantings to be spaced to provide a dense planting bed. Final plant locations shall be reviewed in the field and approved by a qualified wetland scientist and botanist.
- The Applicant shall be responsible for the careful installation, maintenance (including watering if necessary), and establishment of the plant material. All plants shall be guaranteed to remain alive and healthy for a full twelve (12) month period.



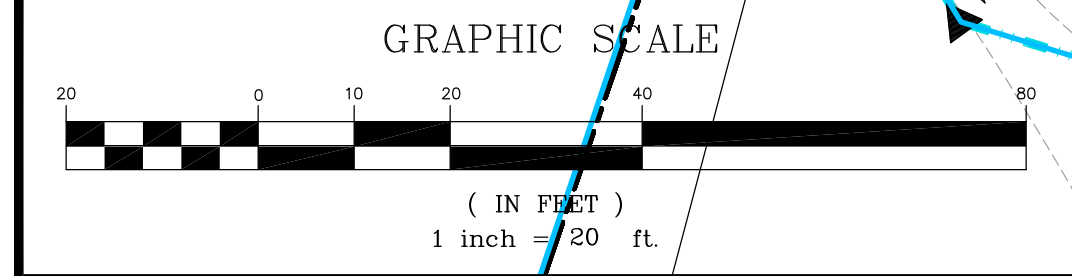
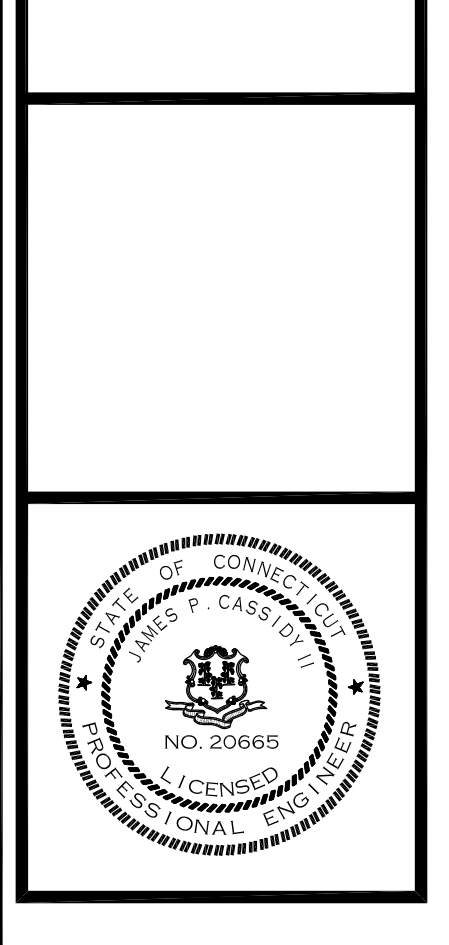
PLANTING SCHEDULE - (7,328 SQFT)

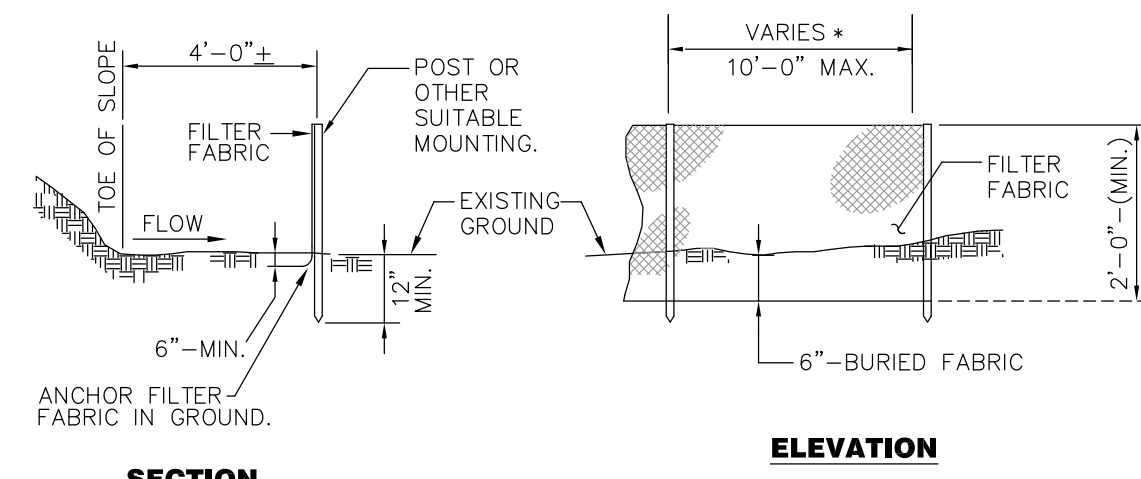
Botanical Name	Common Name	Size	Spacing	Quantity
<i>Acorus americanus</i>	Sweetflag	2" plugs	Min 2FT-O.C.	50
<i>Alismis subcordata</i>	Water Plantain	2" plugs	Min 2FT-O.C.	200
<i>Aster novae-angliae</i>	New England Aster	2" plugs	Min 2FT-O.C.	50
<i>Carex stricta</i>	Tussock Sedge	2" plugs	Min 2FT-O.C.	100
<i>Carex vulpinoidea</i>	Fox Sedge	2" plugs	Min 2FT-O.C.	50
<i>Eupatorium maculatum</i>	Joe-Pye Weed	2" plugs	Min 2FT-O.C.	50
<i>Eupatorium perfoliatum</i>	Boneset	2" plugs	Min 2FT-O.C.	50
<i>Juncus effusus</i>	Soft Rush	2" plugs	Min 2FT-O.C.	100
<i>Iris versicolor</i>	Blue Flag Iris	2" plugs	Min 2FT-O.C.	50
<i>Lobelia cardinalis</i>	Cardinal Flower	2" plugs	Min 2FT-O.C.	50
<i>Nymphaea luteum</i>	Yellow Water Lily	2" plugs	Min 2FT-O.C.	200
<i>Nymphaea odorata</i>	White Water Lily	2" plugs	Min 2FT-O.C.	200
<i>Palatandra virginica</i>	Arrow Arum	2" plugs	Min 2FT-O.C.	200
<i>Schoenoplectus</i>	Soft-Stemmed	2" plugs	Min 2FT-O.C.	200
<i>tabernaemontani</i>	Bulrush	2" plugs	Min 2FT-O.C.	200
<i>Scirpus atrovirens</i>	Green Bulrush	2" plugs	Min 2FT-O.C.	200
<i>Verbena hastata</i>	Blue Vervain	2" plugs	Min 2FT-O.C.	50
<i>Verbena noveboracensis</i>	New York Ironweed	2" plugs	Min 2FT-O.C.	50

Note: Wetland plugs to be provided by New England Wetland Plants, Inc. (413-548-8000), or approved nursery. Substitutions based on availability are acceptable under the direction of a qualified wetland scientist.

Monitoring

- Monitoring of the stormwater wetland/basin (including invasive species control areas) will be conducted as follows. The area will be monitored for the first five (5) growing seasons following construction. Monitoring reports will be submitted to the Town of South Windsor no later than December 15 of each year. The reports will provide details on the success standards described below. Monitoring reports shall include the percent survival of plantings, invasive species presence and extent, extent of herbivory, and observations of vegetation development. Remedial actions recommended and/or completed will also be provided. The first year of monitoring will be the first year that this area has been through a full growing season after completion of construction and planting. For monitoring purposes, a growing season starts no later than May 31. If the success standards are not met, recommendations for additional monitoring/corrective actions will be required.
- The stormwater wetland/basin area (including side-slopes where invasive species are currently present) will be assessed using the following success standards: Standard 1: At least 80% of the surface area shall be established with indigenous species. Standard 2: The mitigation area is properly stabilized. Standard 3: No Japanese Knotweed monocultures are present.





SECTION

ELEVATION

NOTE:
 * POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURERS REQUIREMENTS.

SILT FENCE
 NO SCALE

MAINTENANCE OF SILT FENCE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

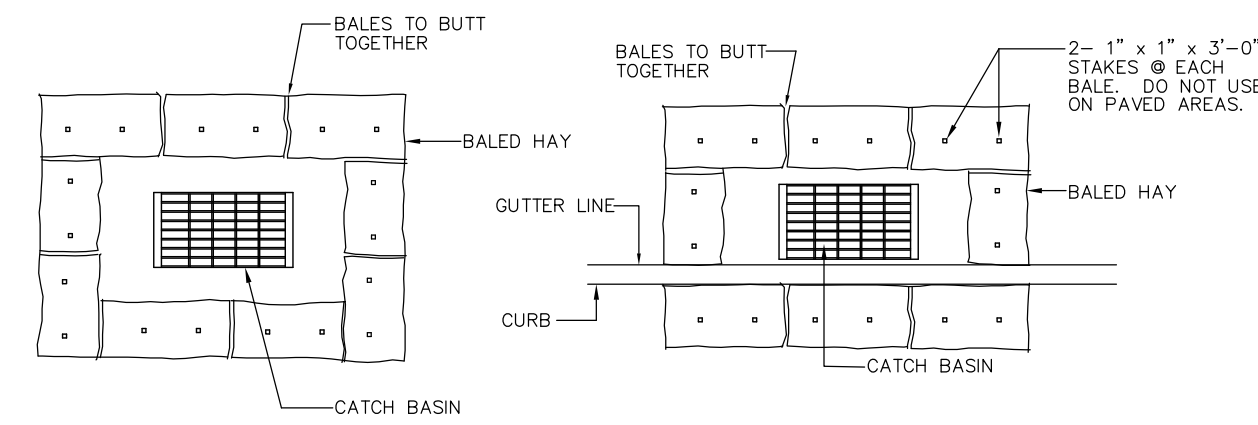
- (A) THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER.
- (B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- (C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



CATCH BASIN WITHOUT CURB

CATCH BASIN WITH CURB

SEDIMENTATION CONTROL BALES
 NO SCALE

MAINTENANCE OF HAY BALE CHECK DAM

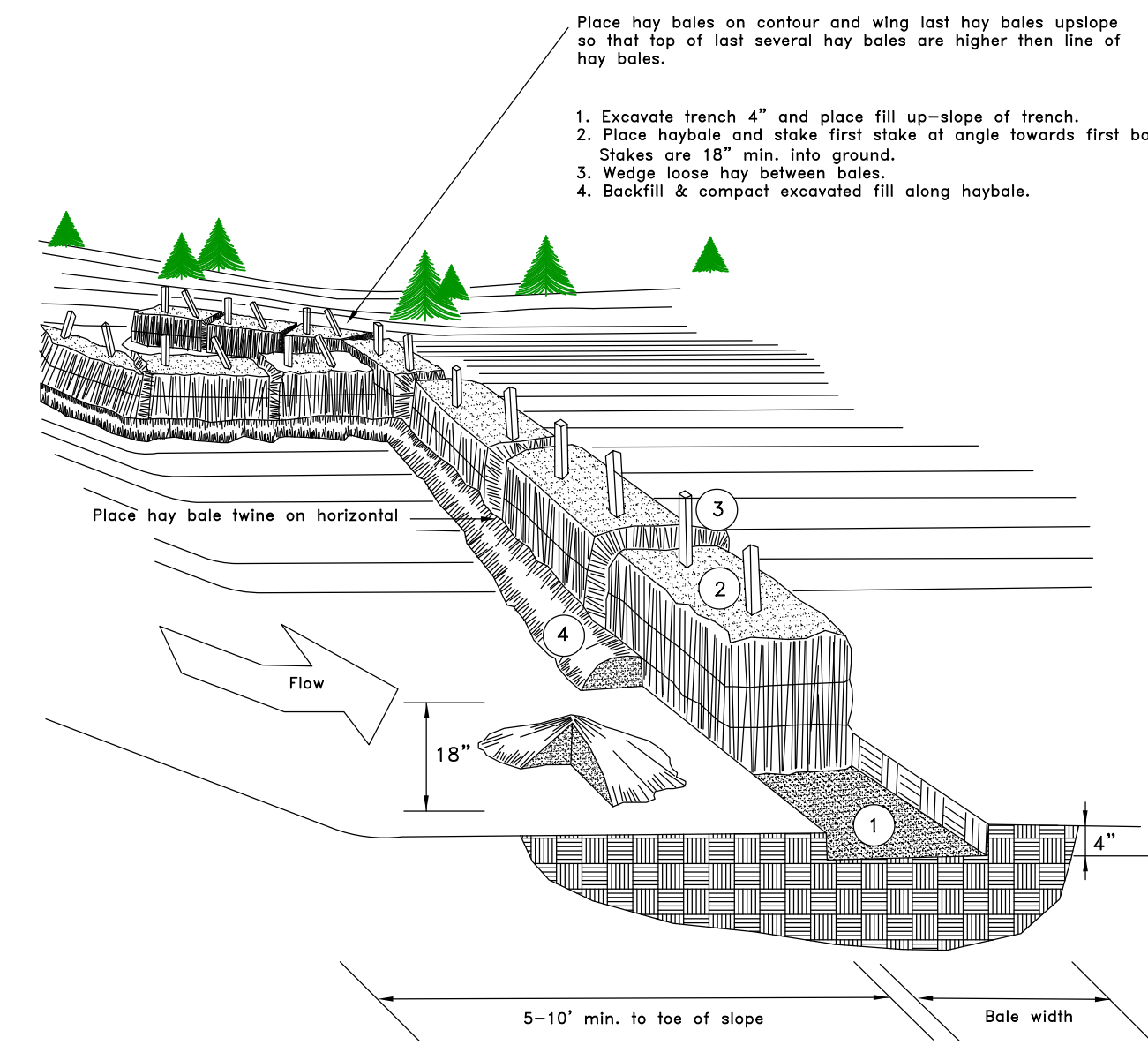
INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:

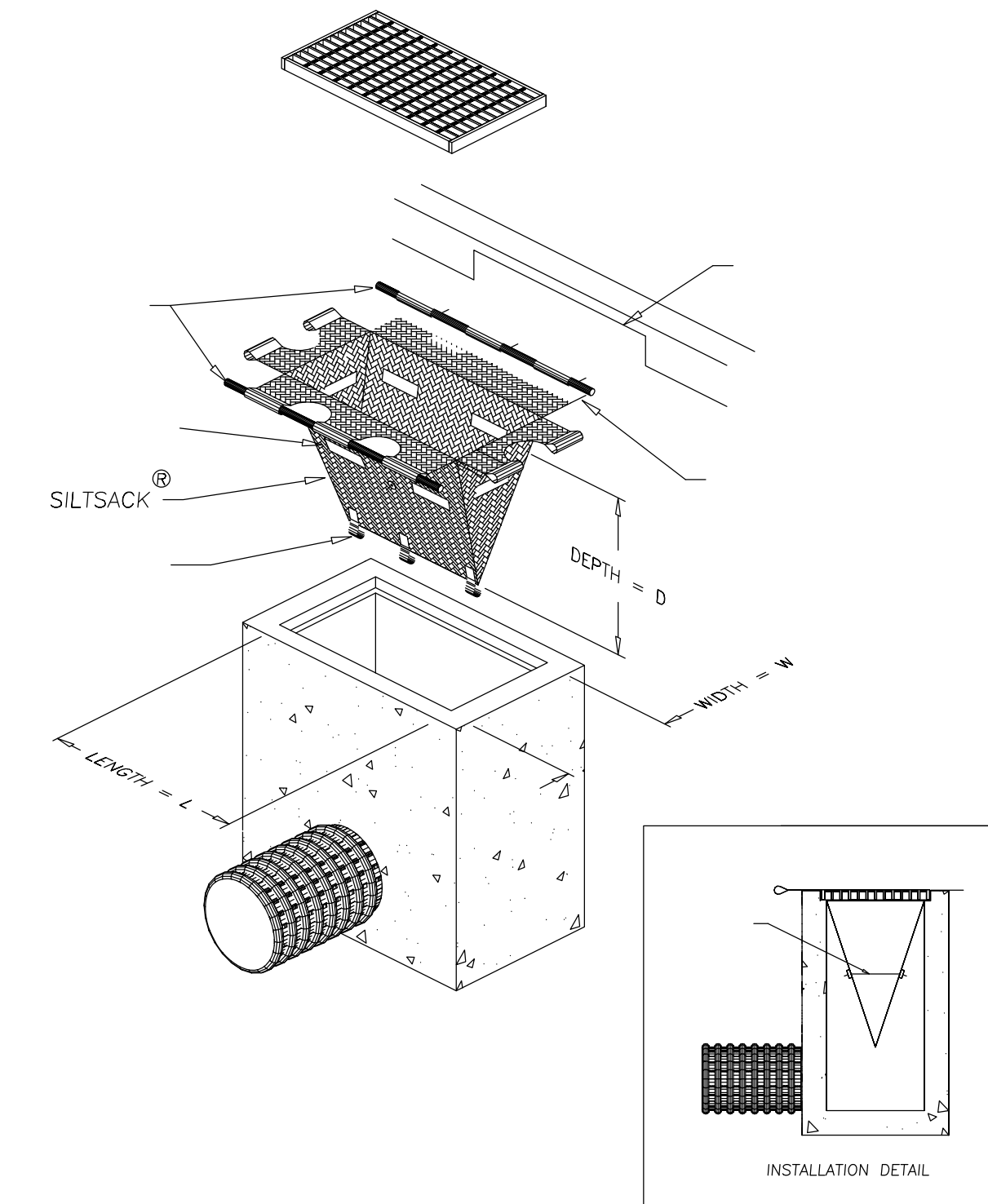
- A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.
- C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES, UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.

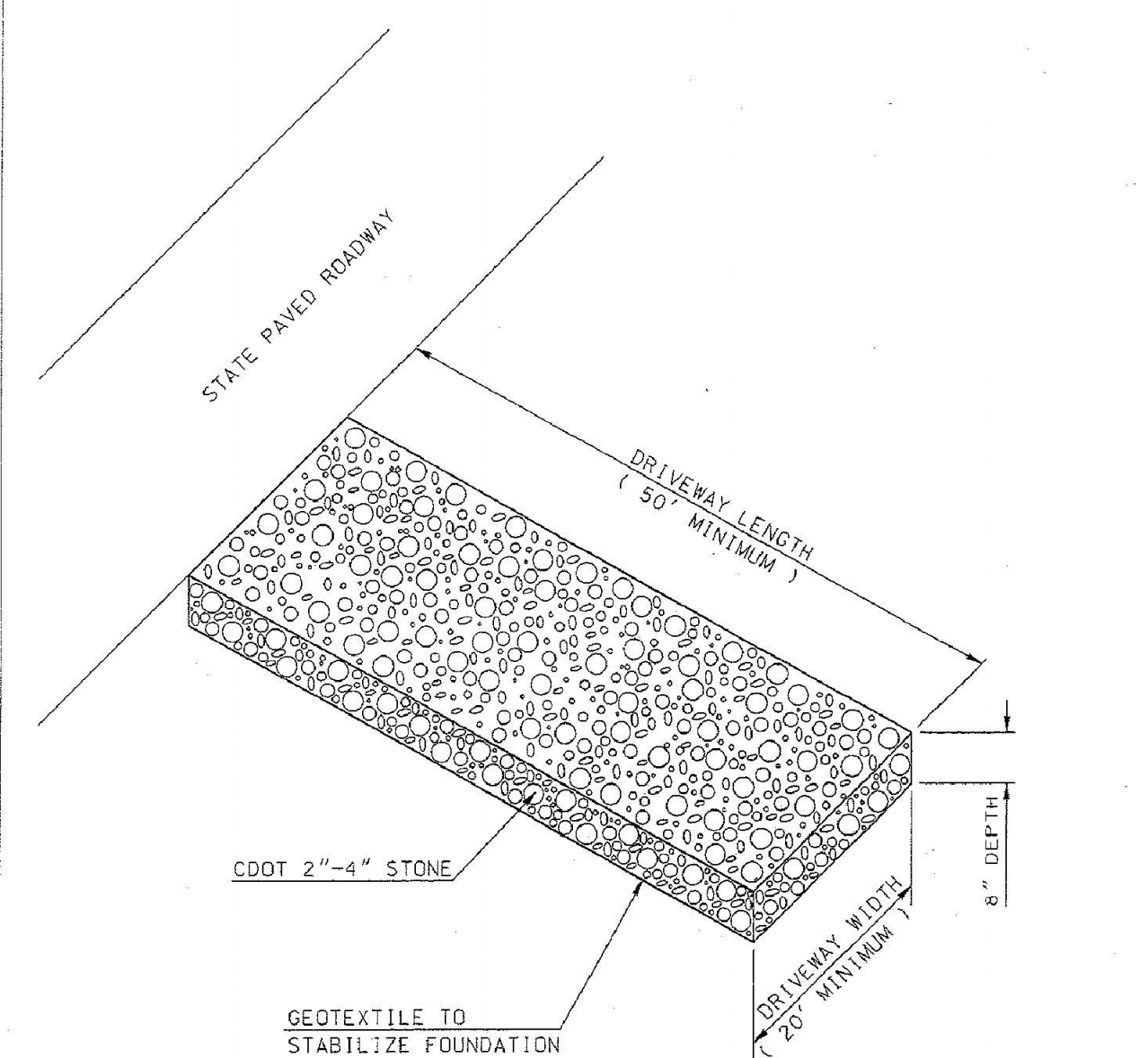


TOE OF SLOPE HAY BALE BARRIER
 NO SCALE



NO SCALE

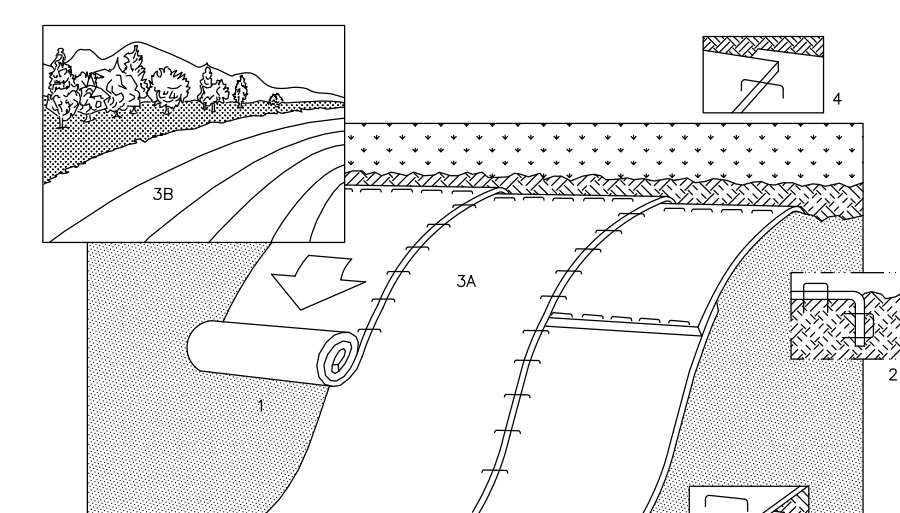
**CONNECTICUT DEPARTMENT OF TRANSPORTATION
 OFFICE OF MAINTENANCE
 DISTRICT 3**



2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (SECTION 5-12)
CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
 NOT TO SCALE

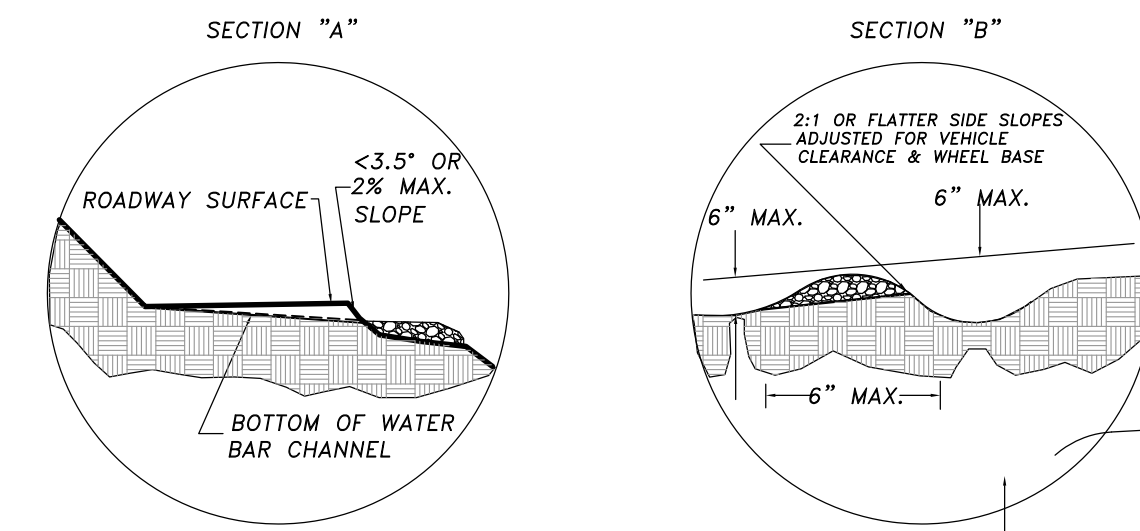
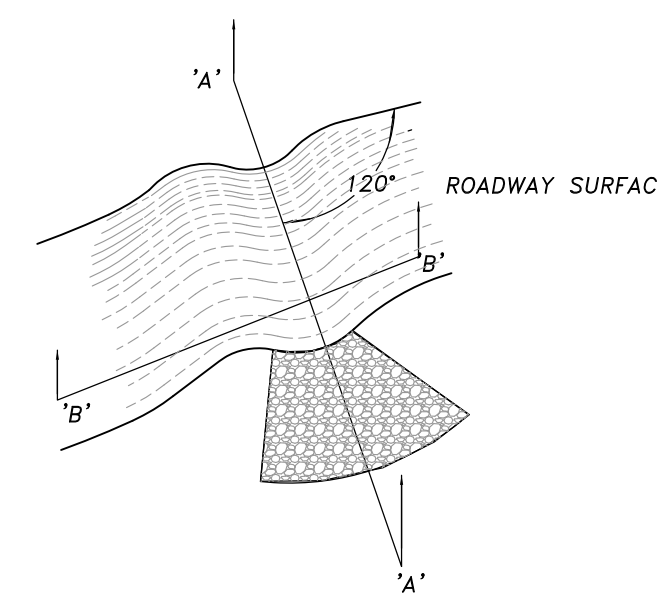
REVISED FEB. 2004

SLOPE INSTALLATION

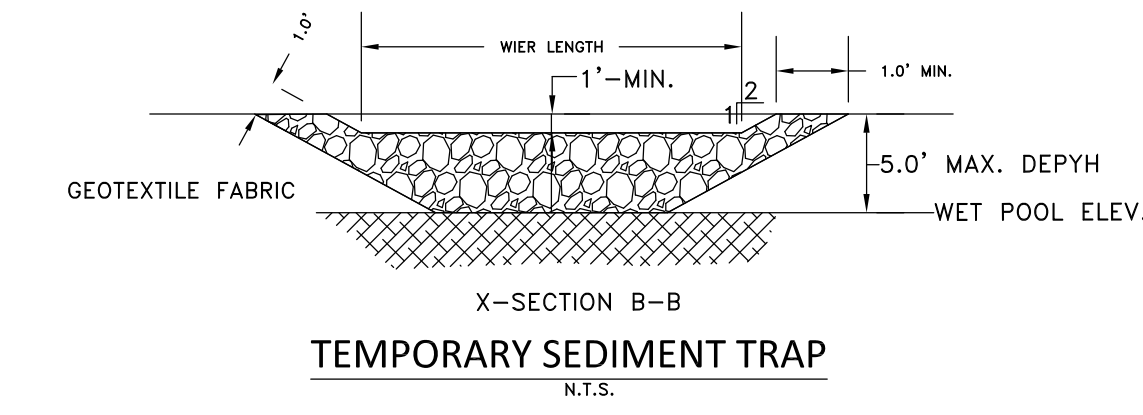
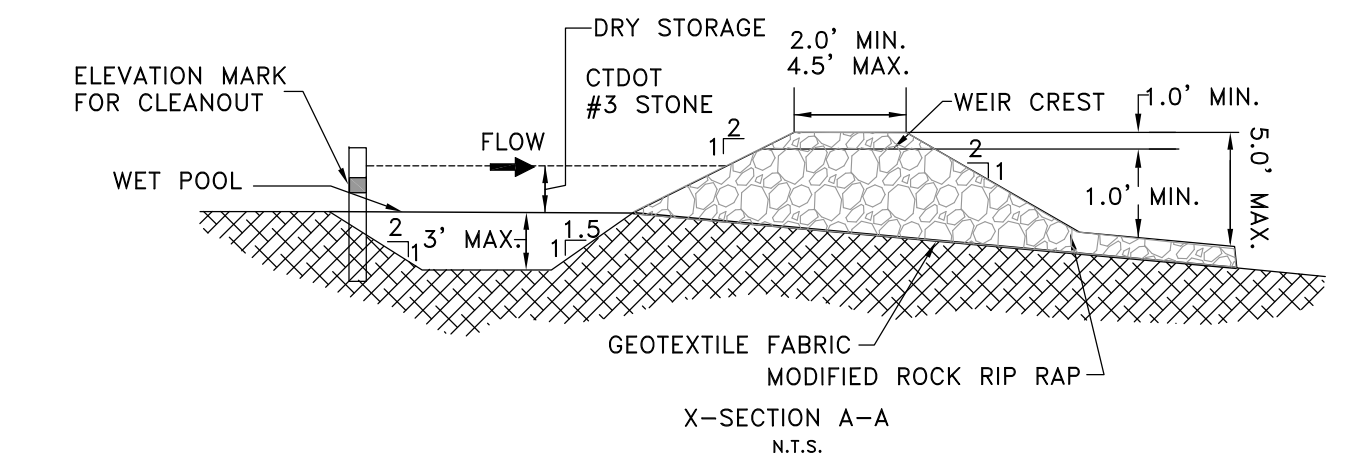


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPUNCE DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

14849 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47711
 USA 1-800-772-2040 CANADA 1-800-448-2040



WATER BAR DETAIL
 (N.T.S.)

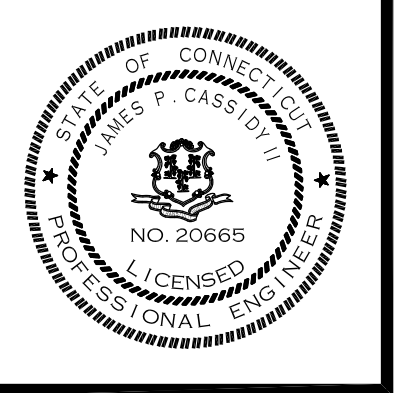


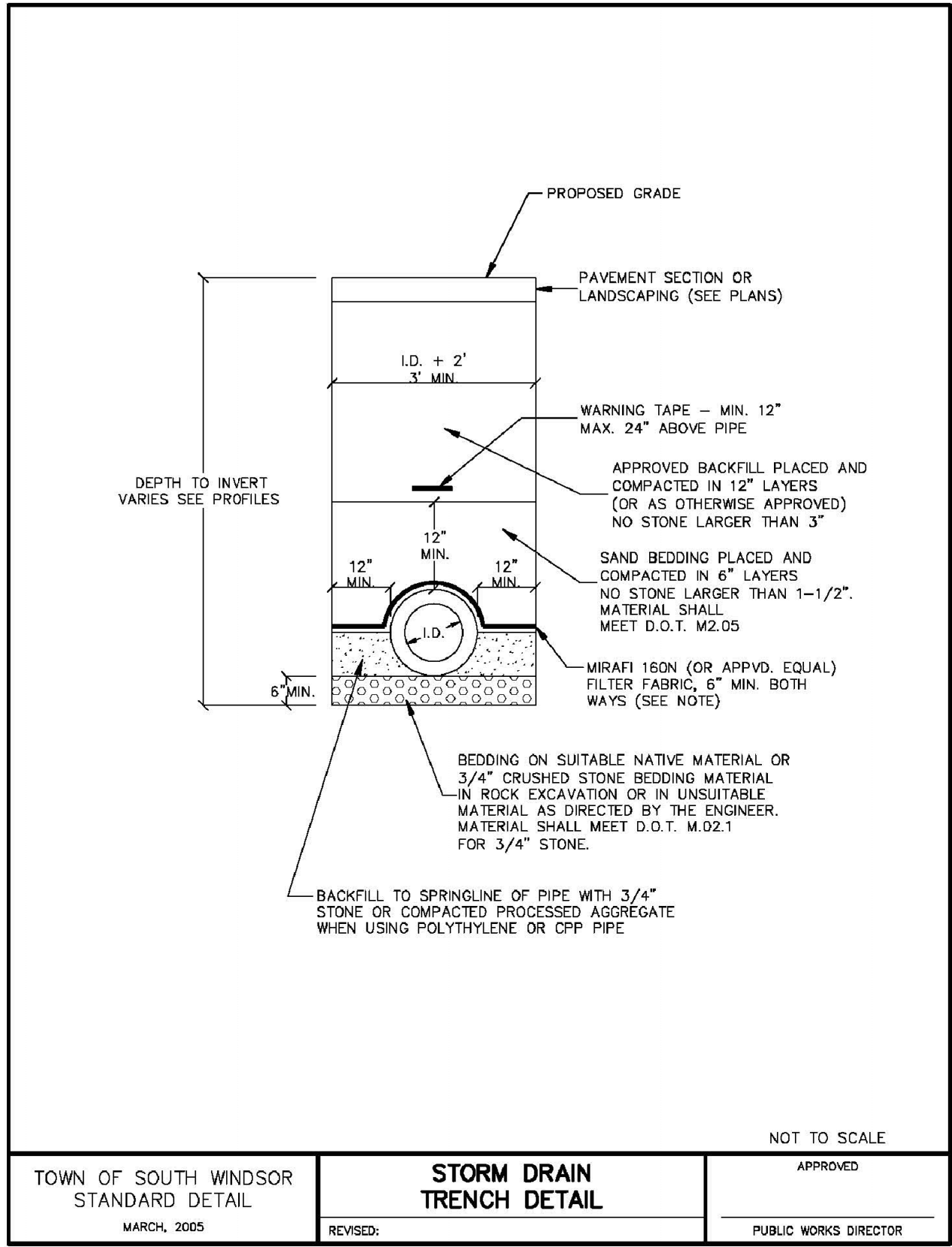
TEMPORARY SEDIMENT TRAP
 (N.T.S.)

SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-DET
SHEET: C	OF: 20
REVISIONS: REVISION APPROVED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	

HALLISEY, PEARSON & CASSIDY
 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

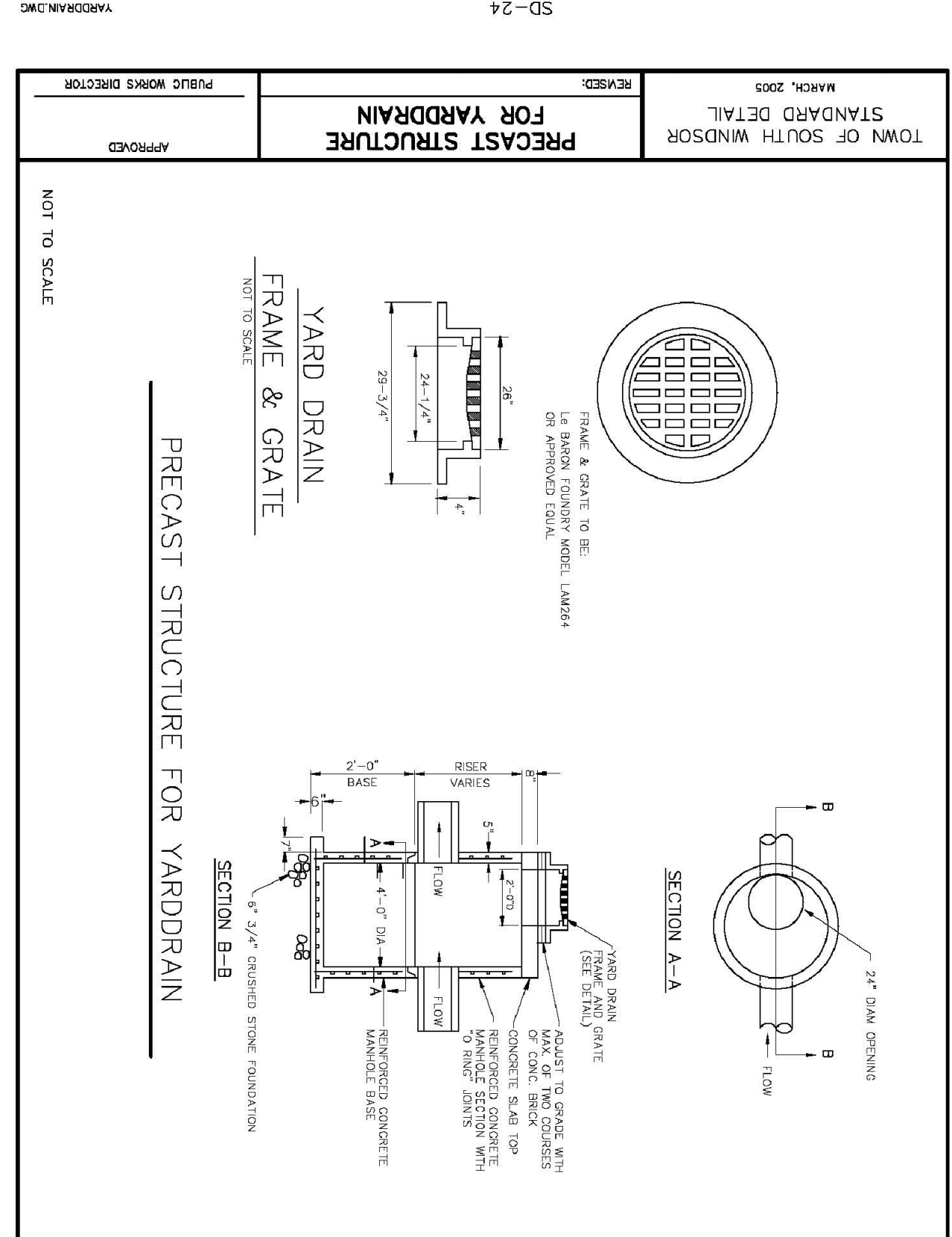
**SITE DETAILS
 PREPARED FOR
 LONGLEAF DEVELOPERS, L.L.C.
 LOCATED AT
 THE RESIDENCE AT EVERGREEN WALK
 UNIT 7C EVERGREEN WALK
 SOUTH WINDSOR, CONNECTICUT**



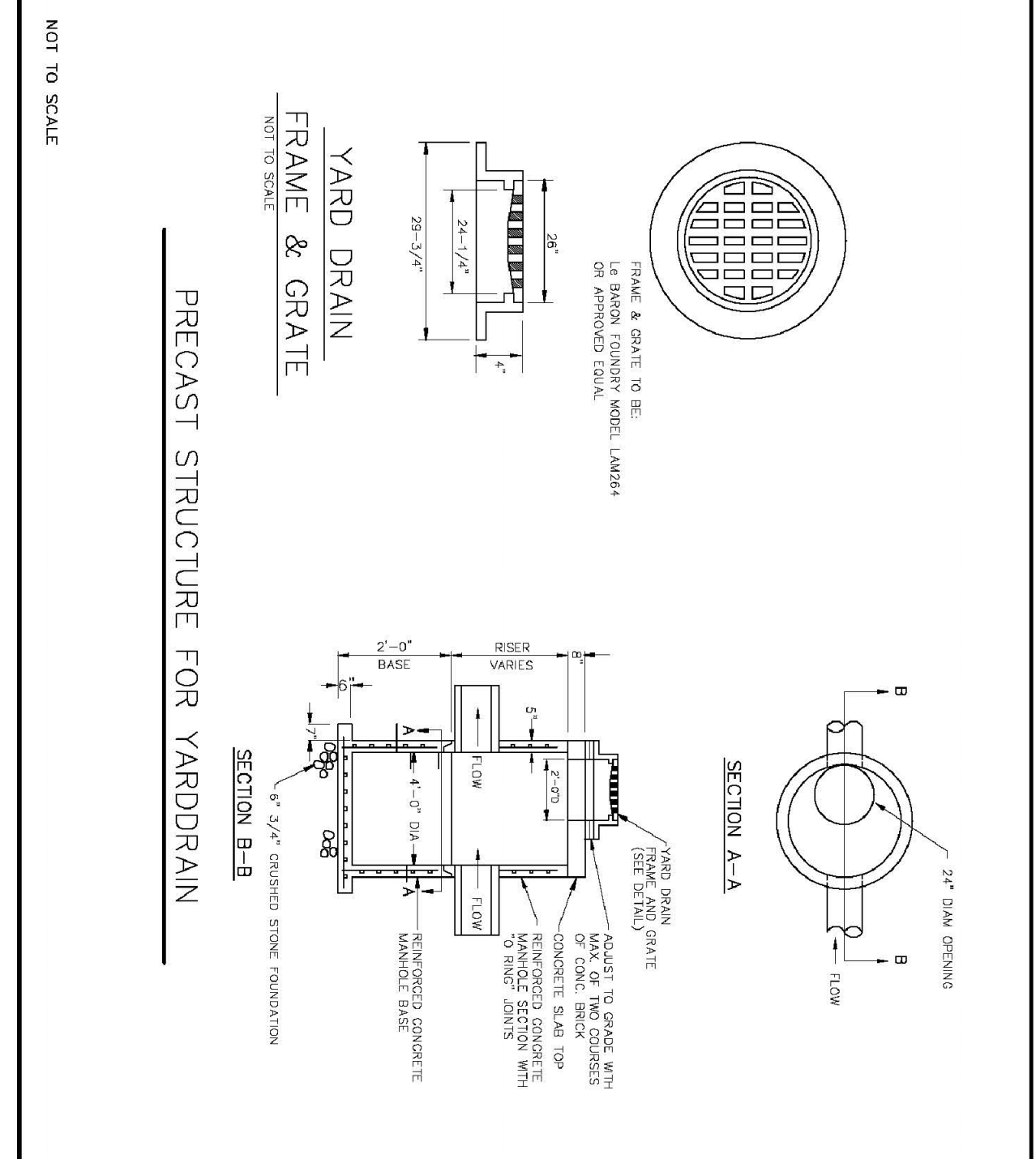


TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORM DRAIN TRENCH DETAIL	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

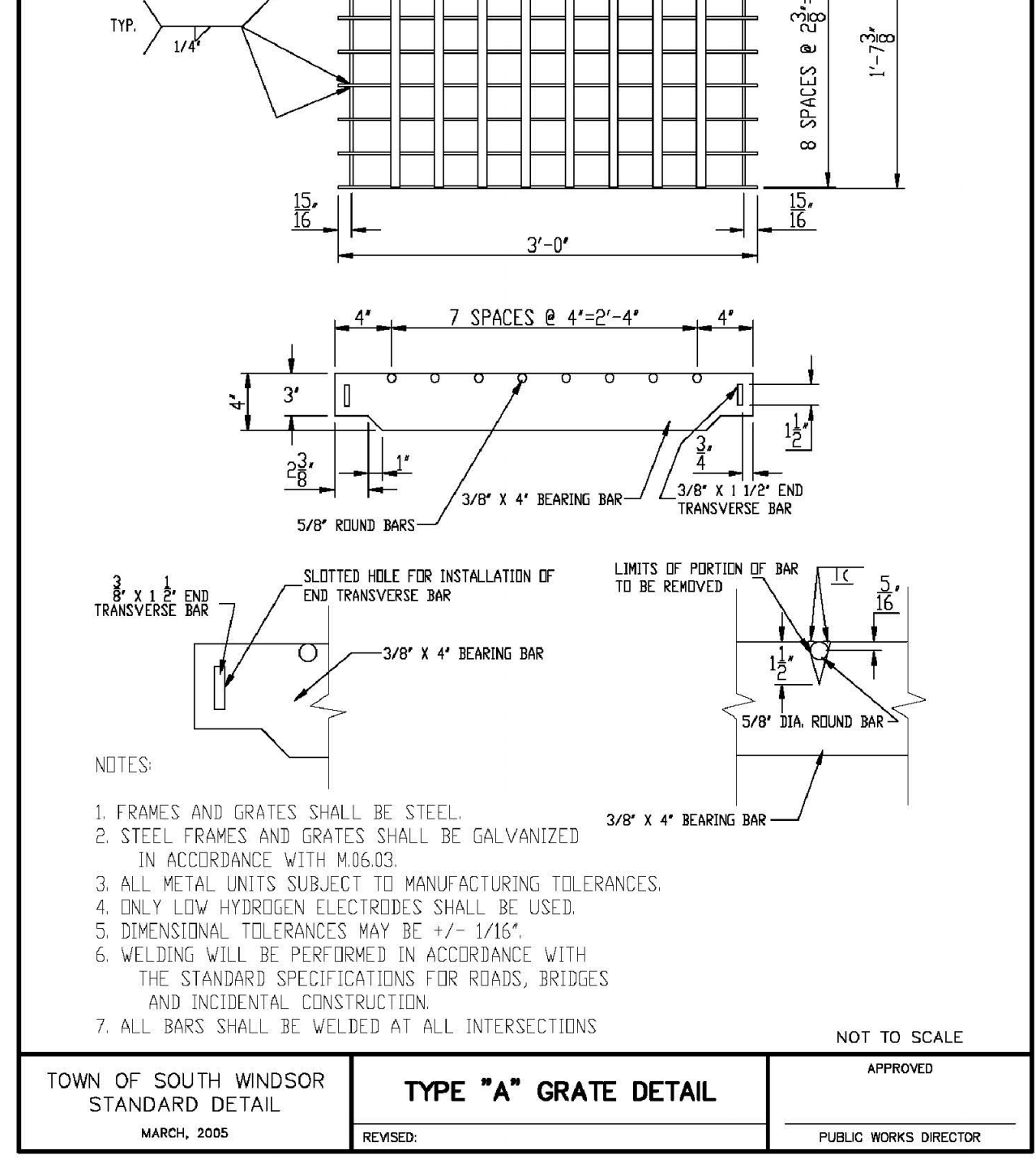
SD-32 50TRENCH.DWG



TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	PRECAST STRUCTURE FOR YARDRAIN	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

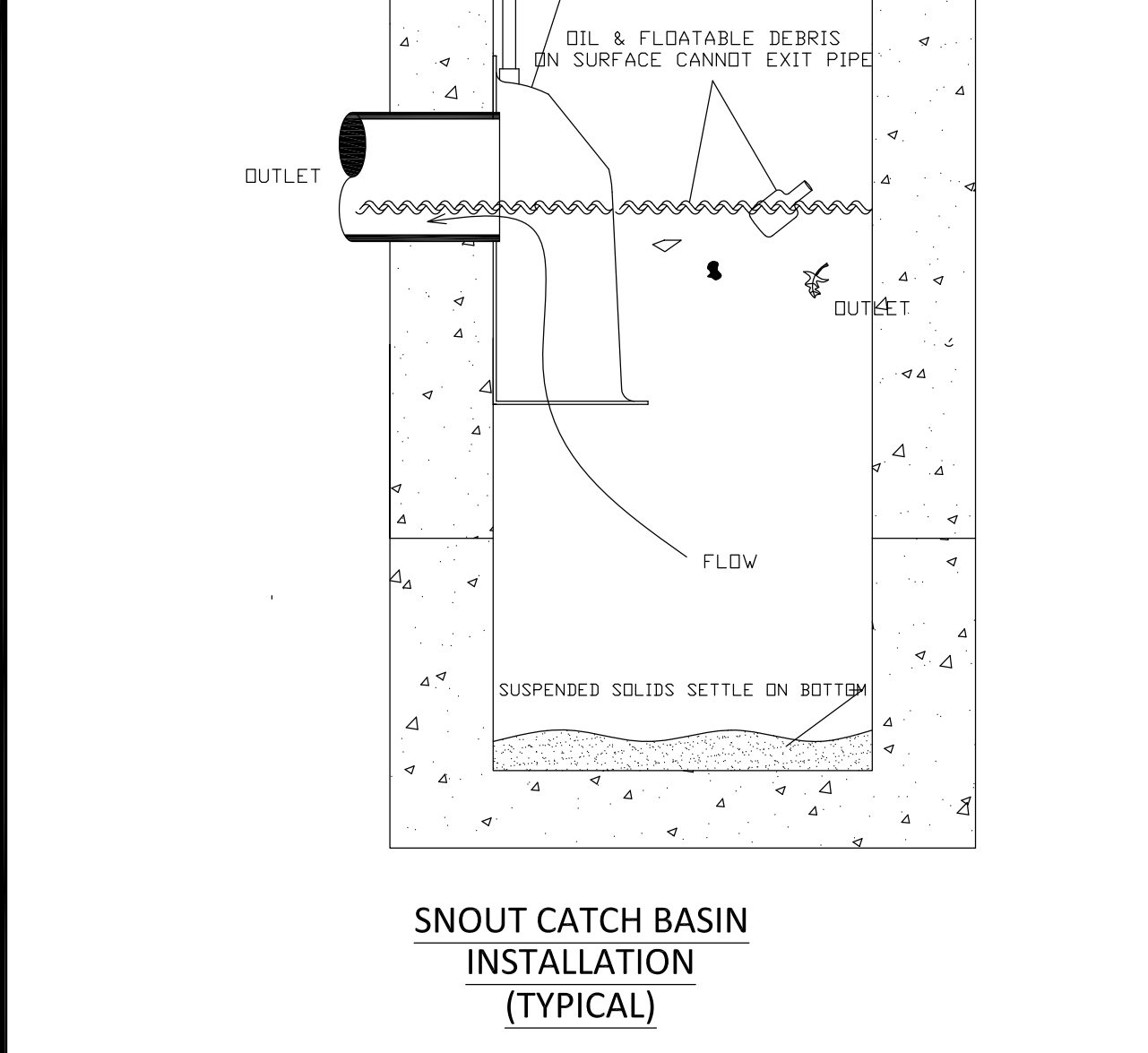


TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TYPE 'C-L' CATCH BASIN	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR



TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TYPE 'A' GRATE DETAIL	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

SD-25 TYPEGRATE.DWG

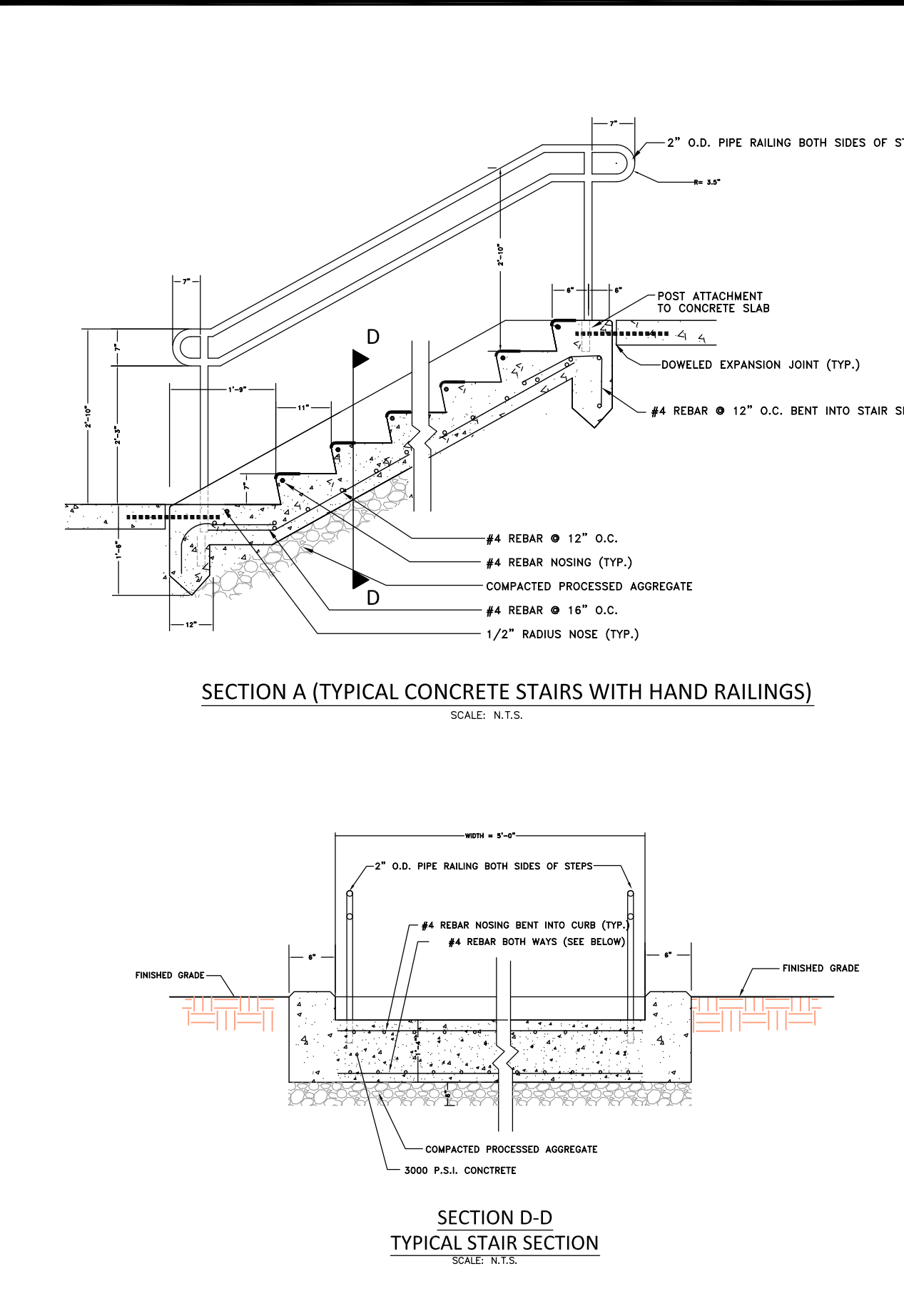


POST CONSTRUCTION STORM WATER POLLUTION MAINTENANCE
RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER: LONGLEAF DEVELOPERS, L.L.C.
145 HUDSON STREET, SUITE 6C
NEW YORK, NEW YORK 10013
PHONE: 212-674-6486

CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)

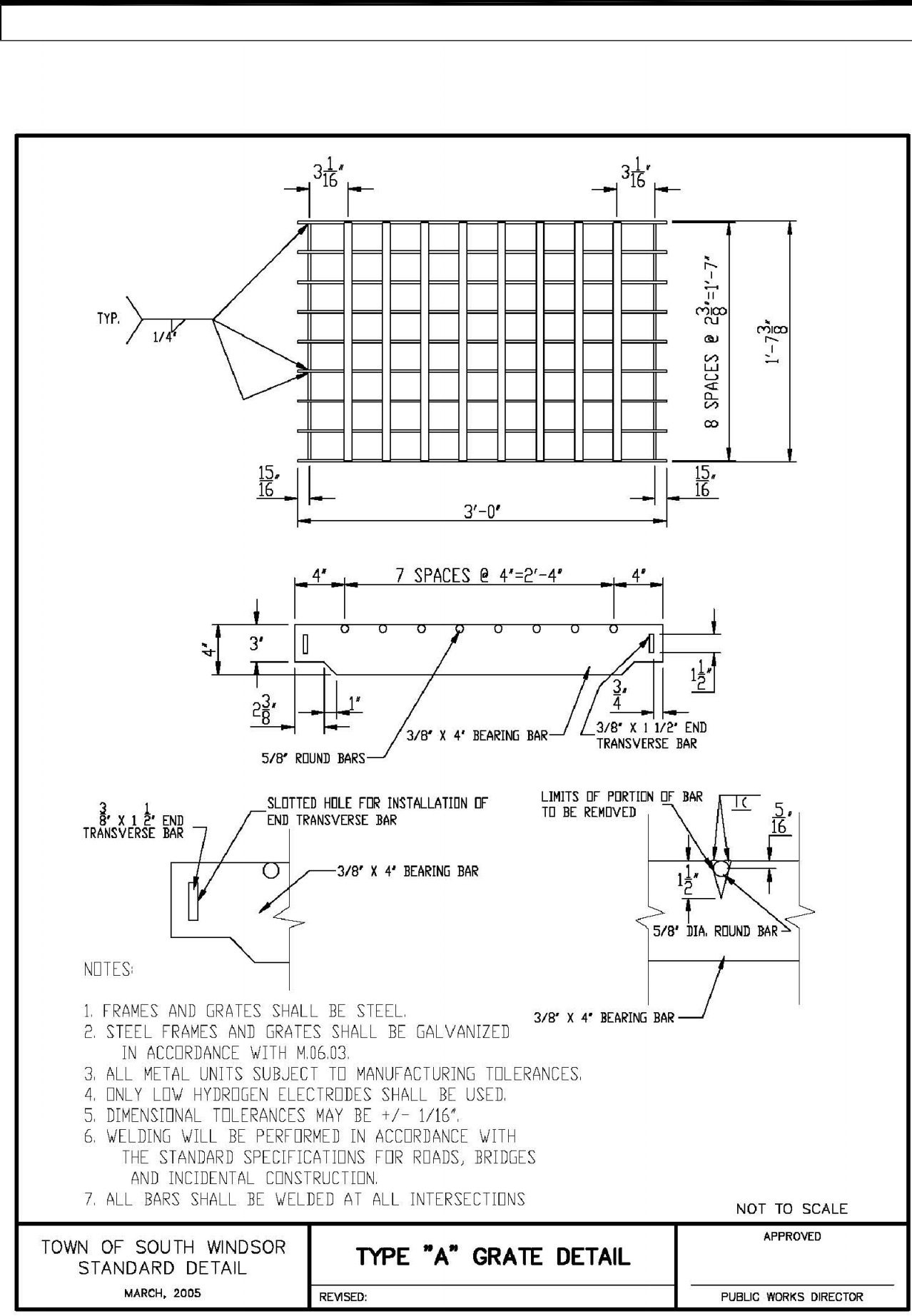
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORM MANHOLE	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

SD-26 STORMH.DWG



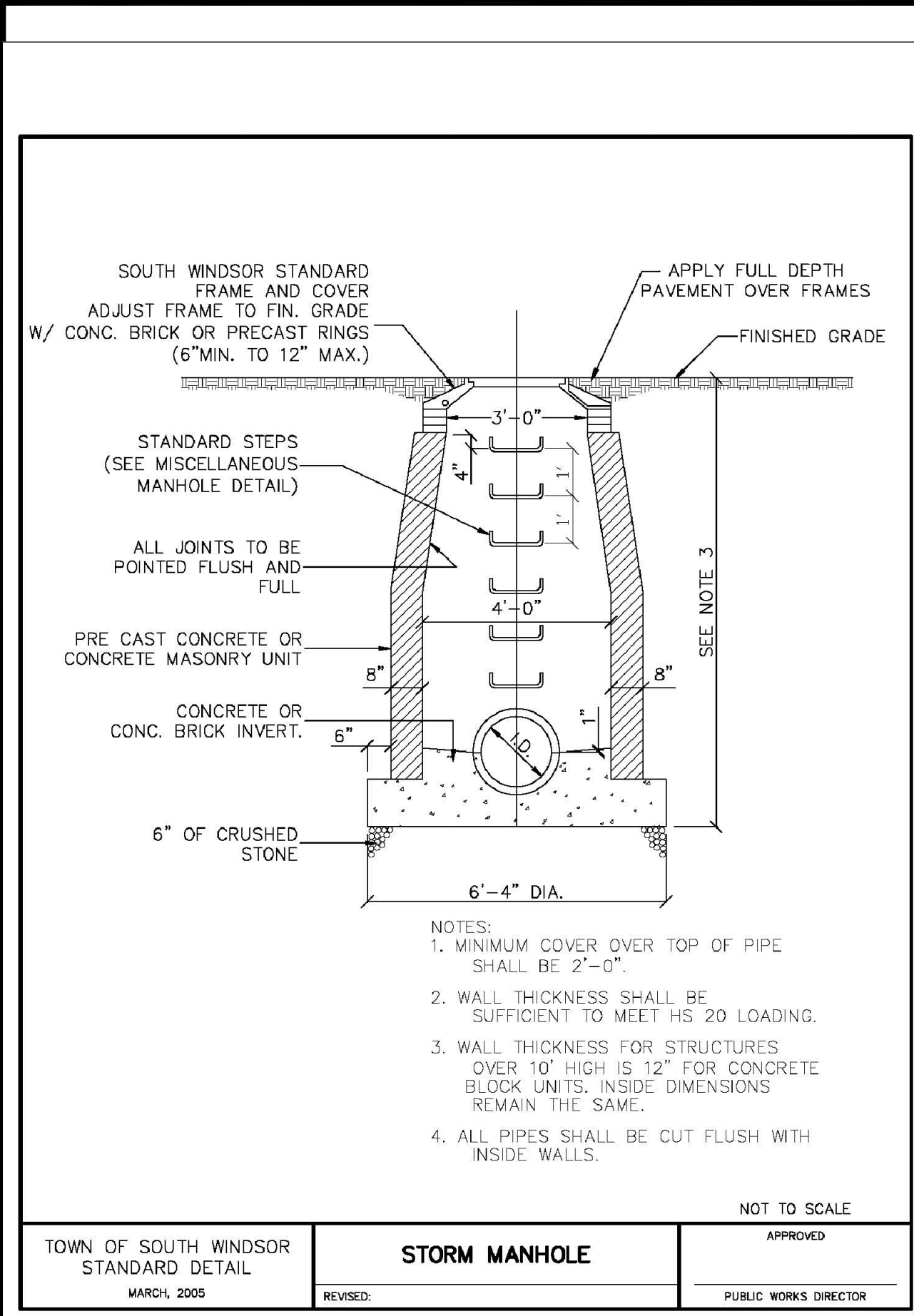
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORM DRAIN TRENCH DETAIL	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

SD-32 50TRENCH.DWG



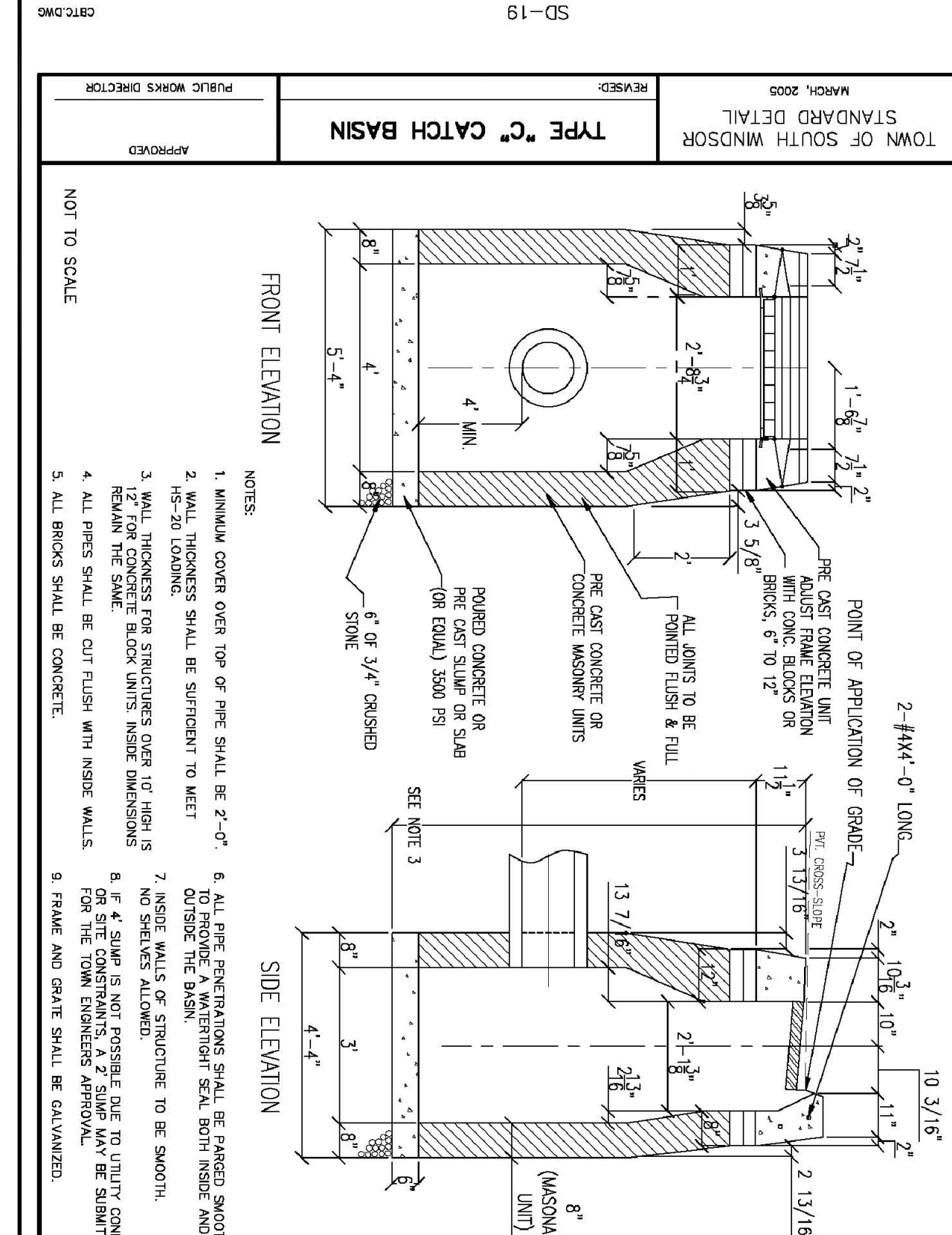
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORM DRAIN TRENCH DETAIL	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

SD-32 50TRENCH.DWG

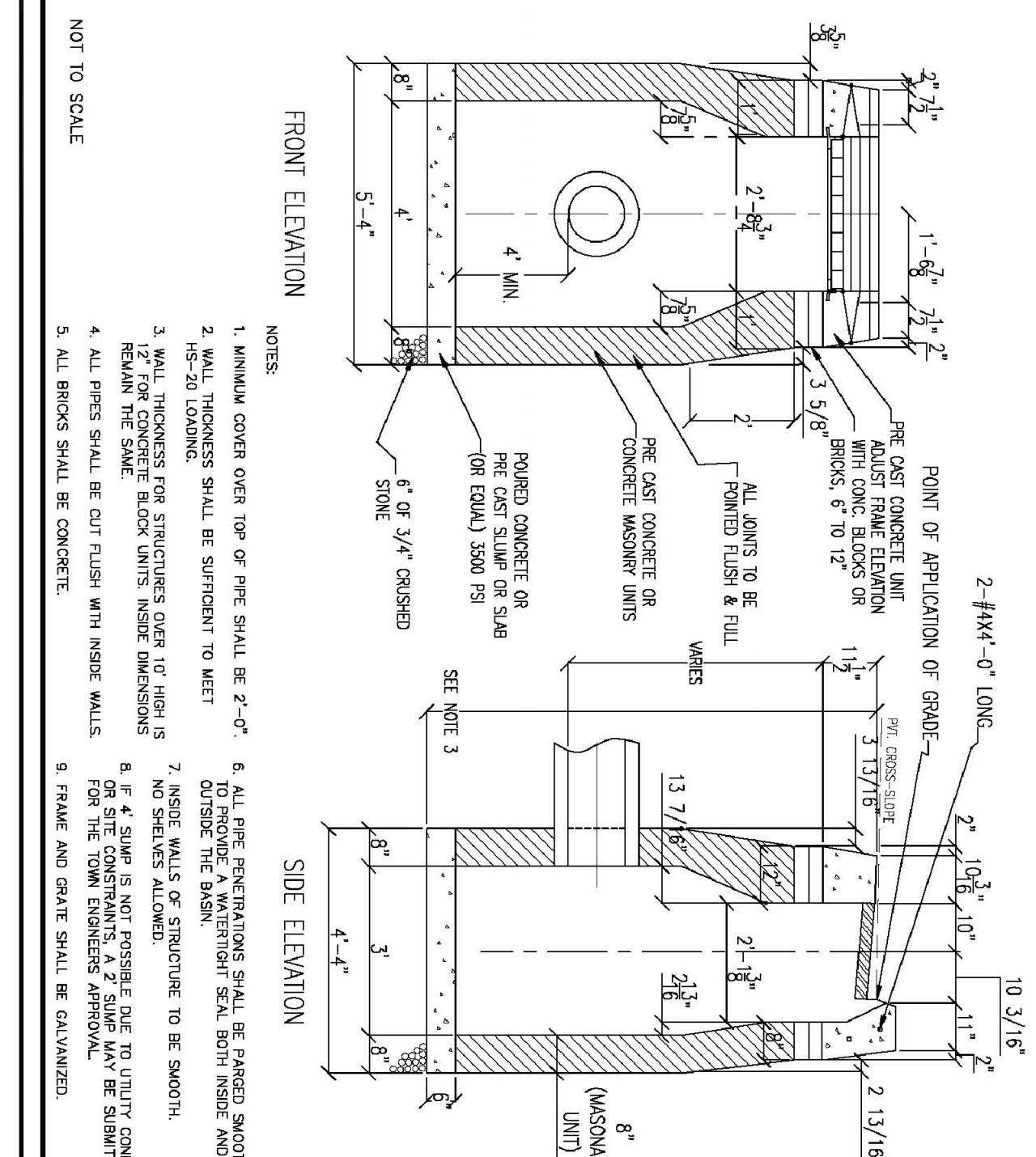


TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORM DRAIN TRENCH DETAIL	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

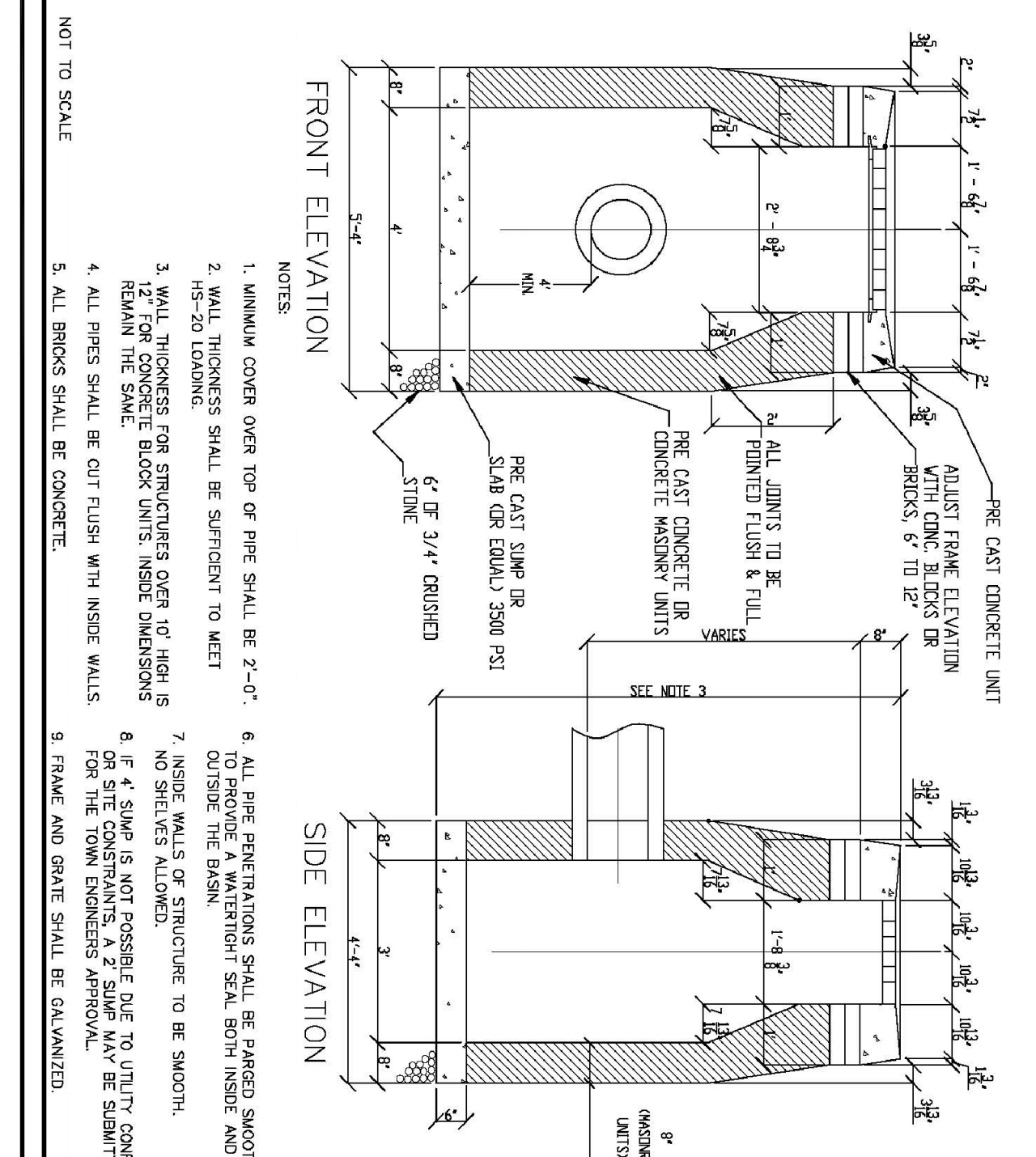
SD-32 50TRENCH.DWG



TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	PRECAST STRUCTURE FOR YARDRAIN	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR



TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TYPE 'C-L' CATCH BASIN	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR



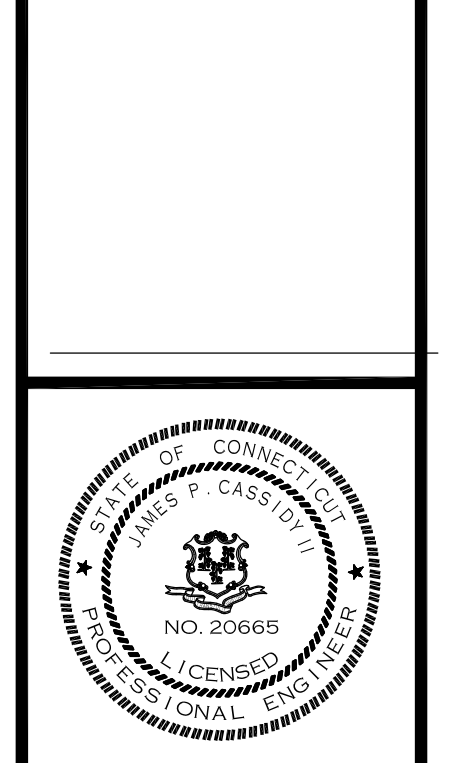
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TYPE 'C-L' CATCH BASIN	APPROVED
REVISED:		PUBLIC WORKS DIRECTOR

SD-32 50TRENCH.DWG

SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-DET
SHEET: C	OF: 21
REVISIONS: REBATES ASSOCIATED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	

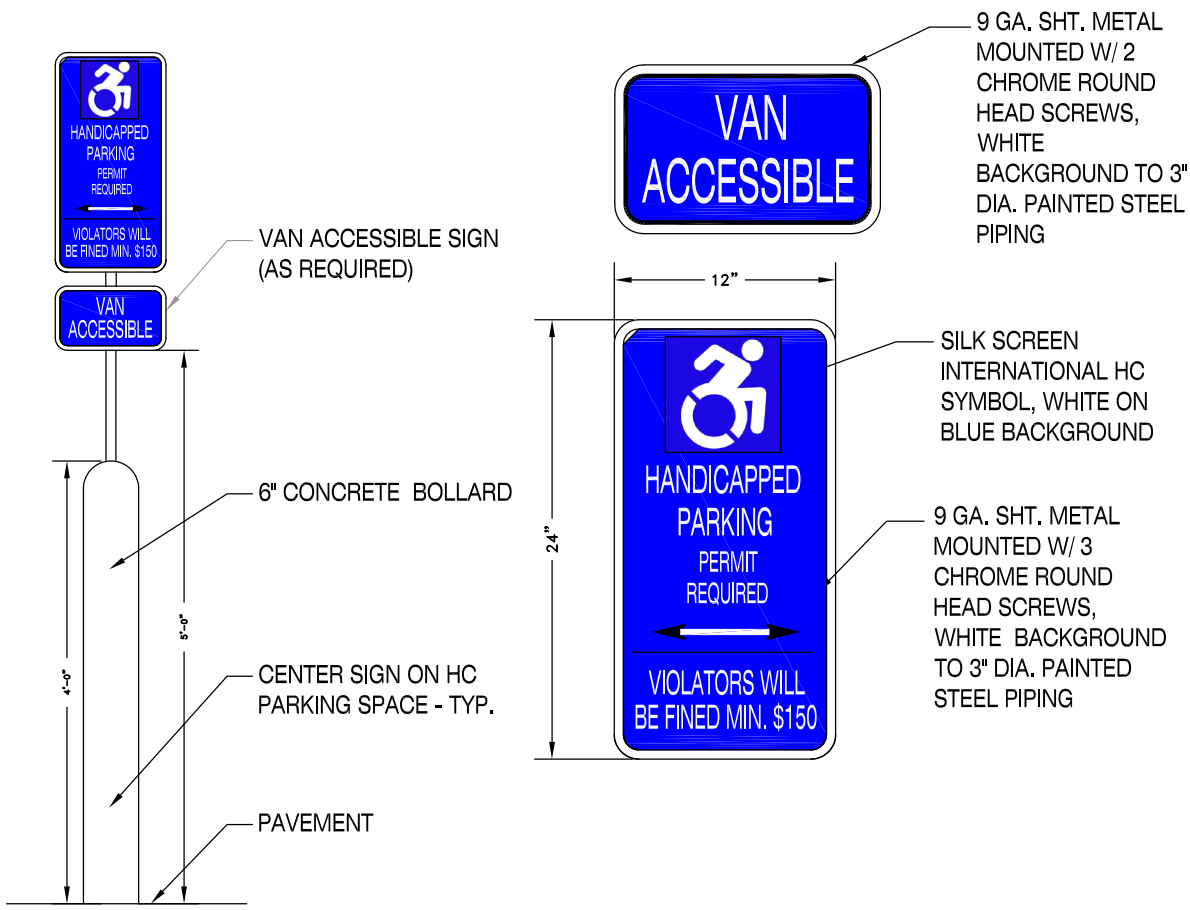
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

**SITE DETAILS
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT**

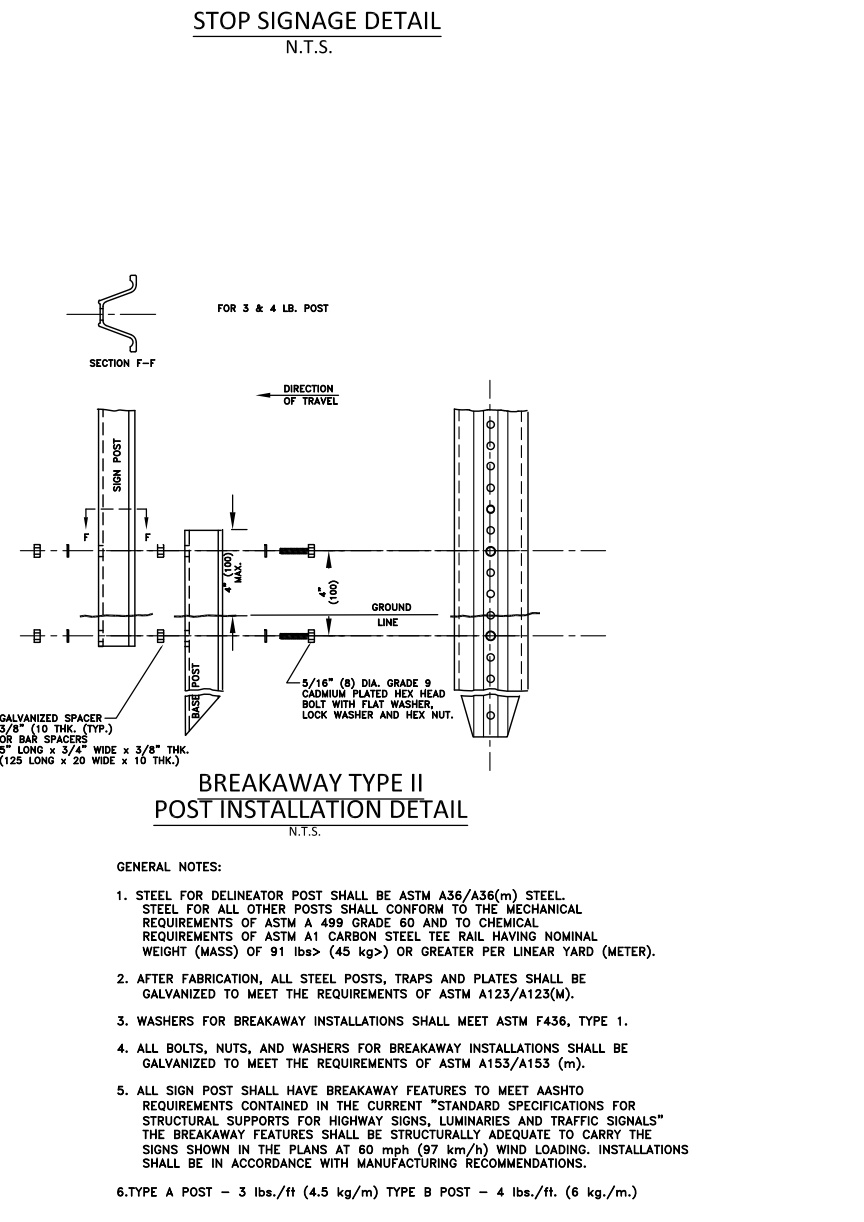
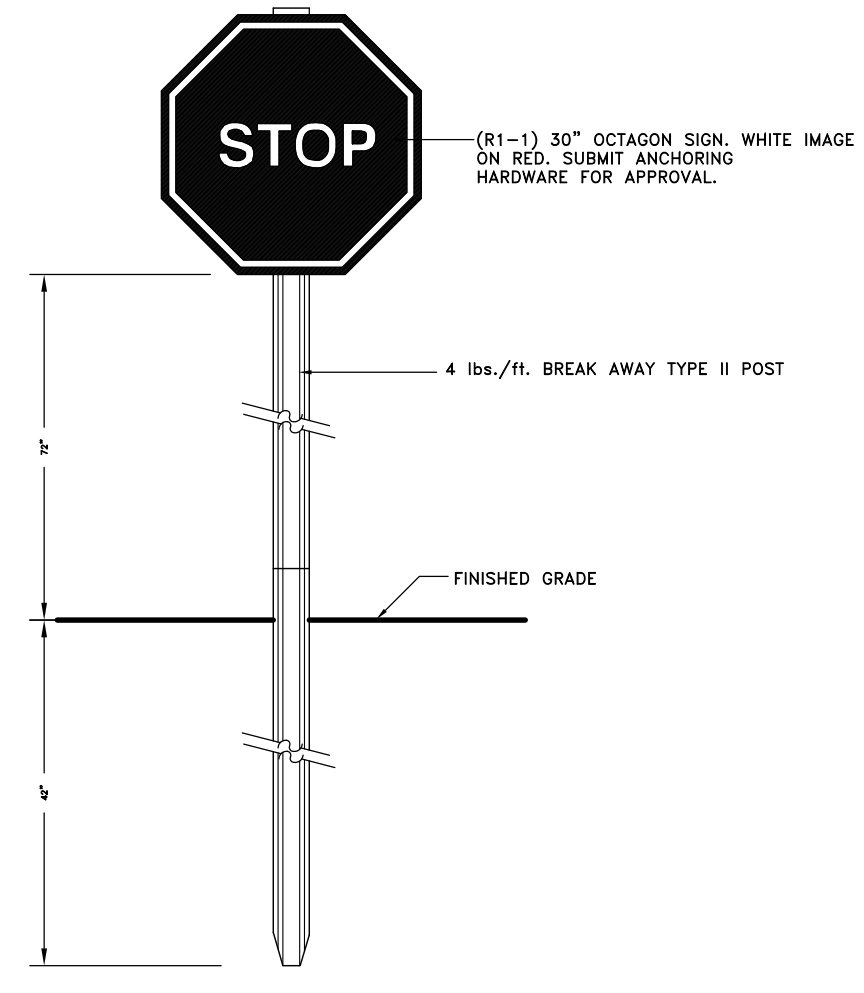




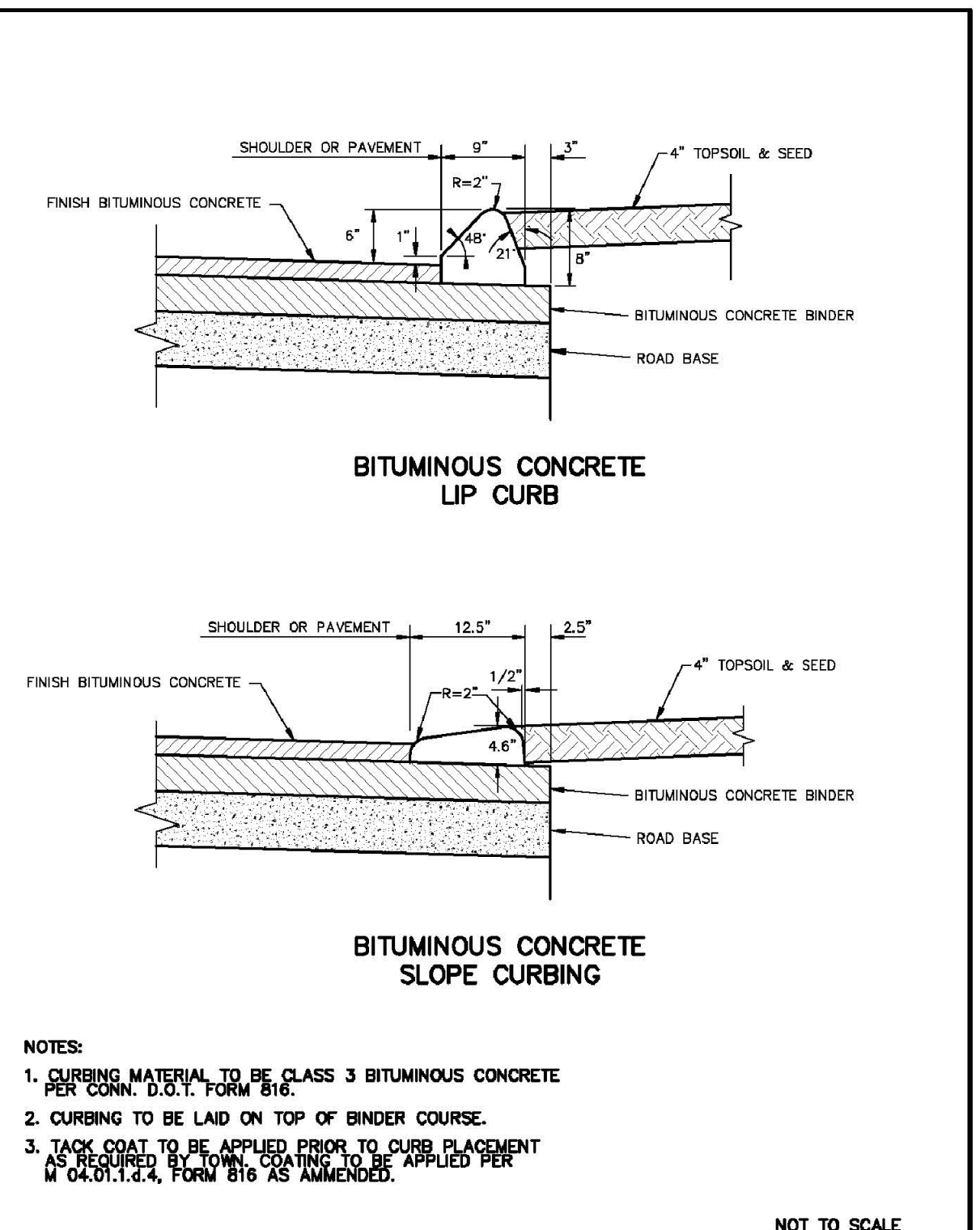
NEW ACCESSIBLE PARKING SPACE SYMBOL ADOPTED JUNE 2016.
PAINTED H.C. PARKING SYMBOL
 NO SCALE



B HANDICAPPED PARKING SIGN DETAIL
 SCALE: N.T.S.

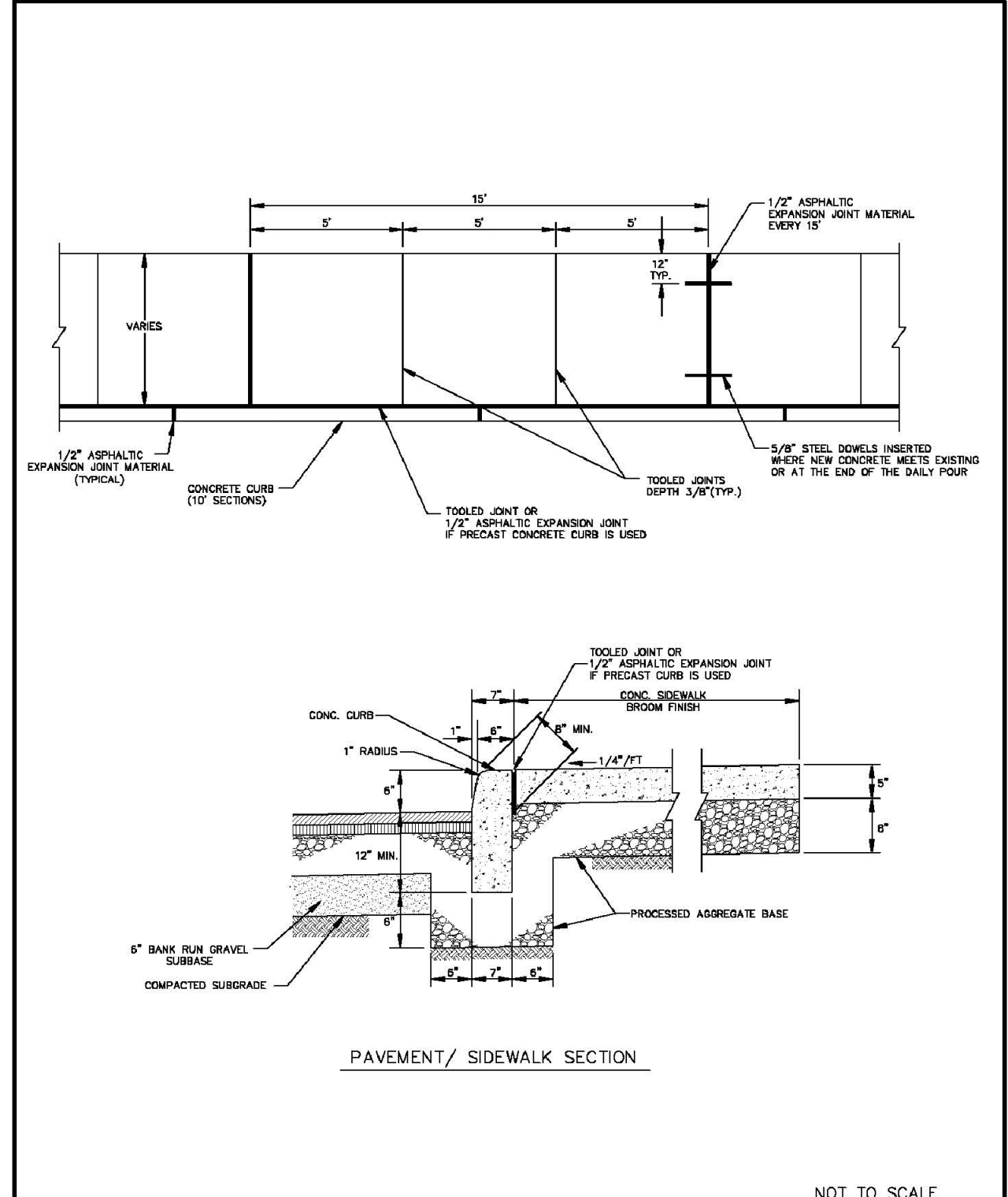


STOP SIGNAGE DETAIL
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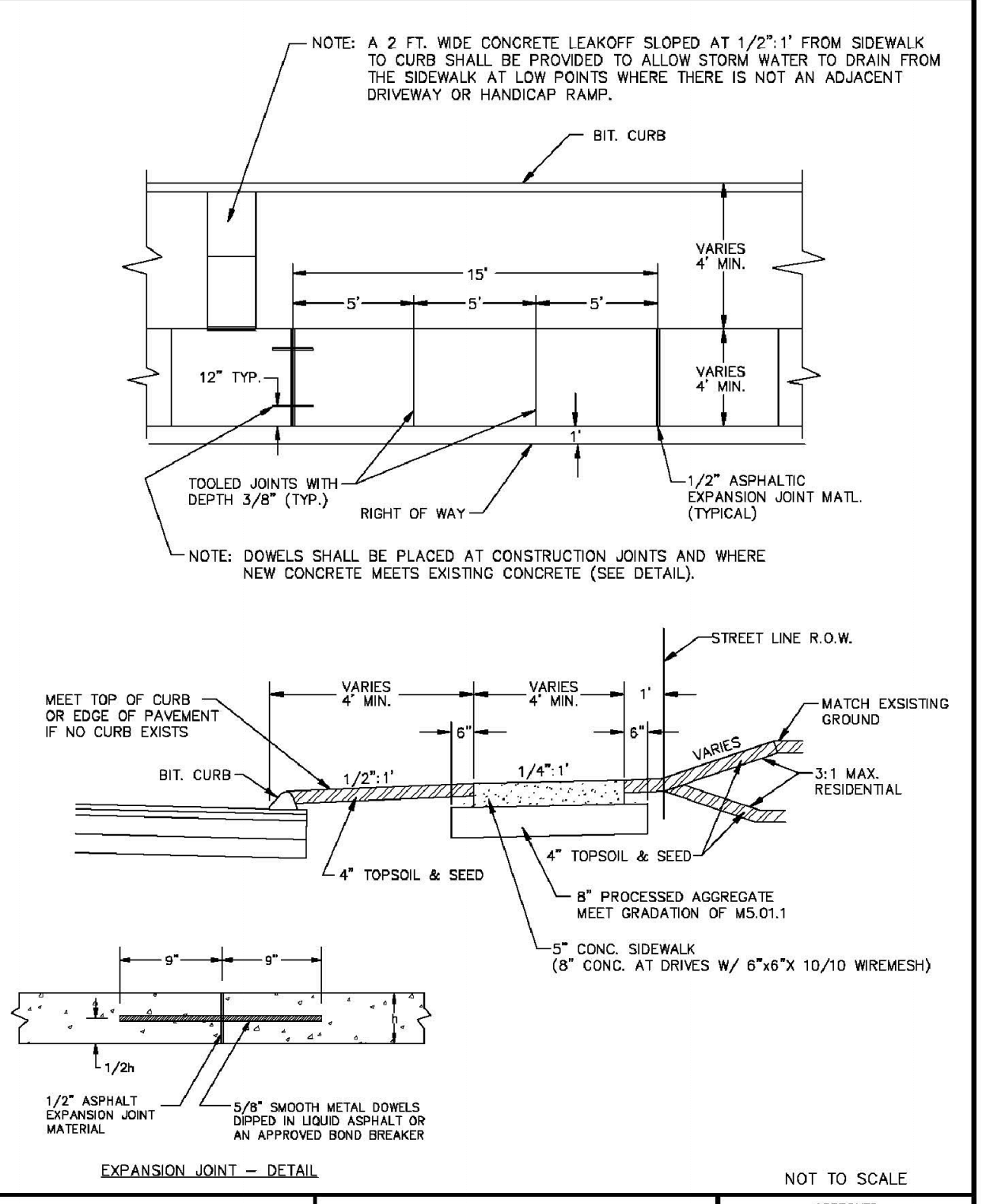
BITUMINOUS CONCRETE LIP CURB
 NOT TO SCALE

TOWN OF SOUTH WINDSOR STANDARD DETAIL
 MARCH 2005
 APPROVED: PUBLIC WORKS DIRECTOR



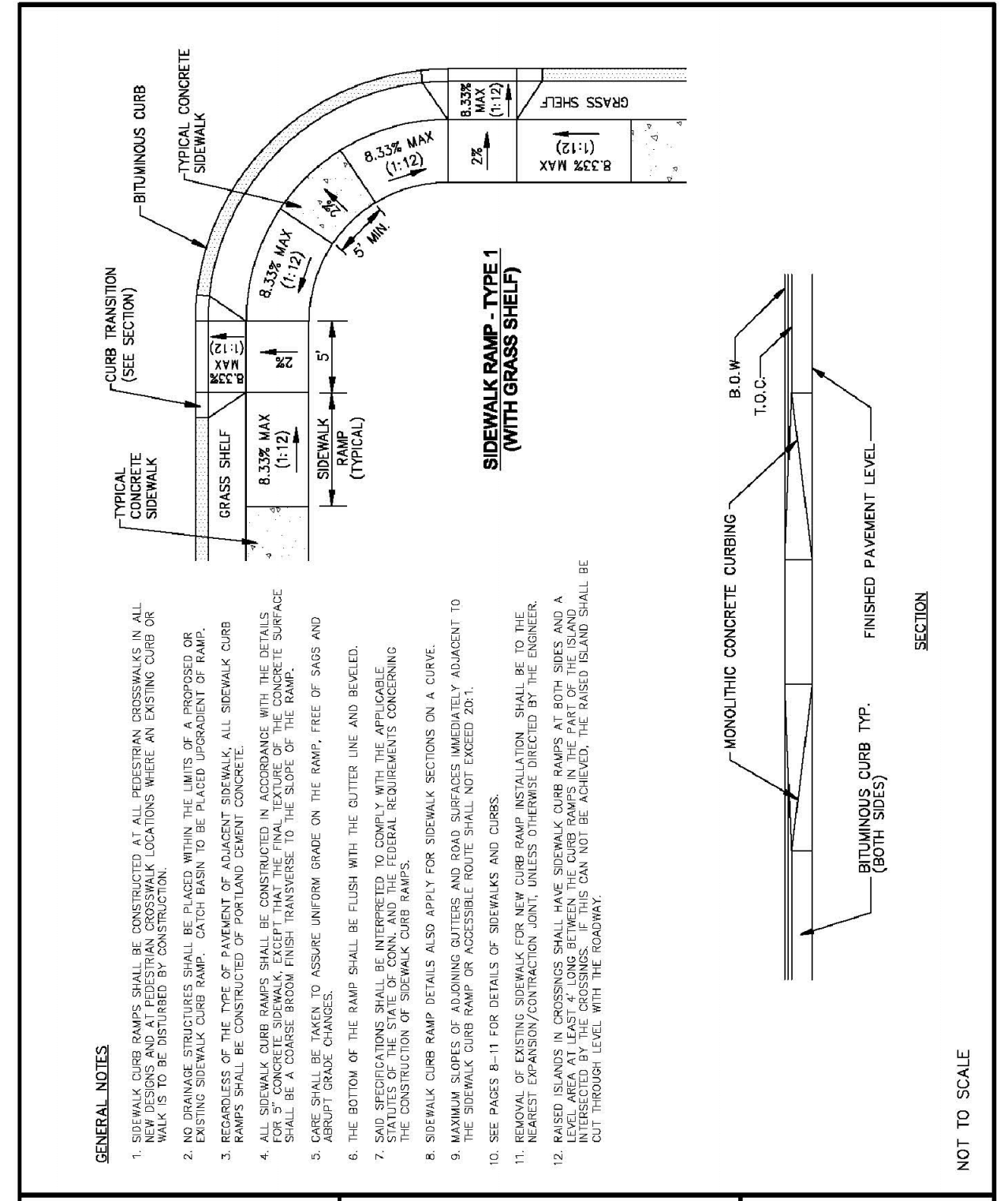
CONCRETE INTEGRAL CURB DETAIL
 NOT TO SCALE

TOWN OF SOUTH WINDSOR STANDARD DETAIL
 MARCH 2005
 APPROVED: PUBLIC WORKS DIRECTOR



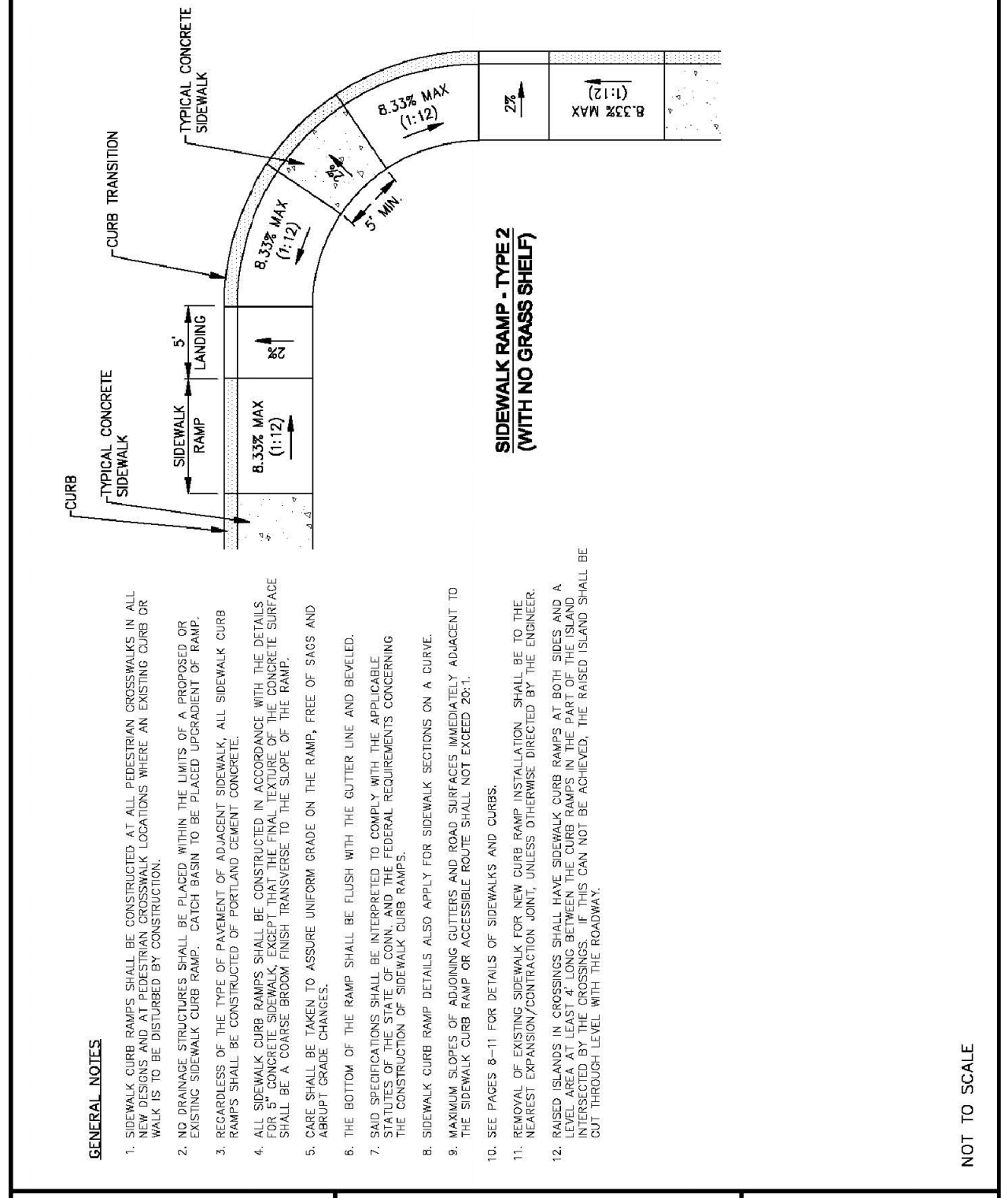
TYPICAL SIDEWALK DETAIL
 NOT TO SCALE

TOWN OF SOUTH WINDSOR STANDARD DETAIL
 MARCH 2005
 APPROVED: PUBLIC WORKS DIRECTOR



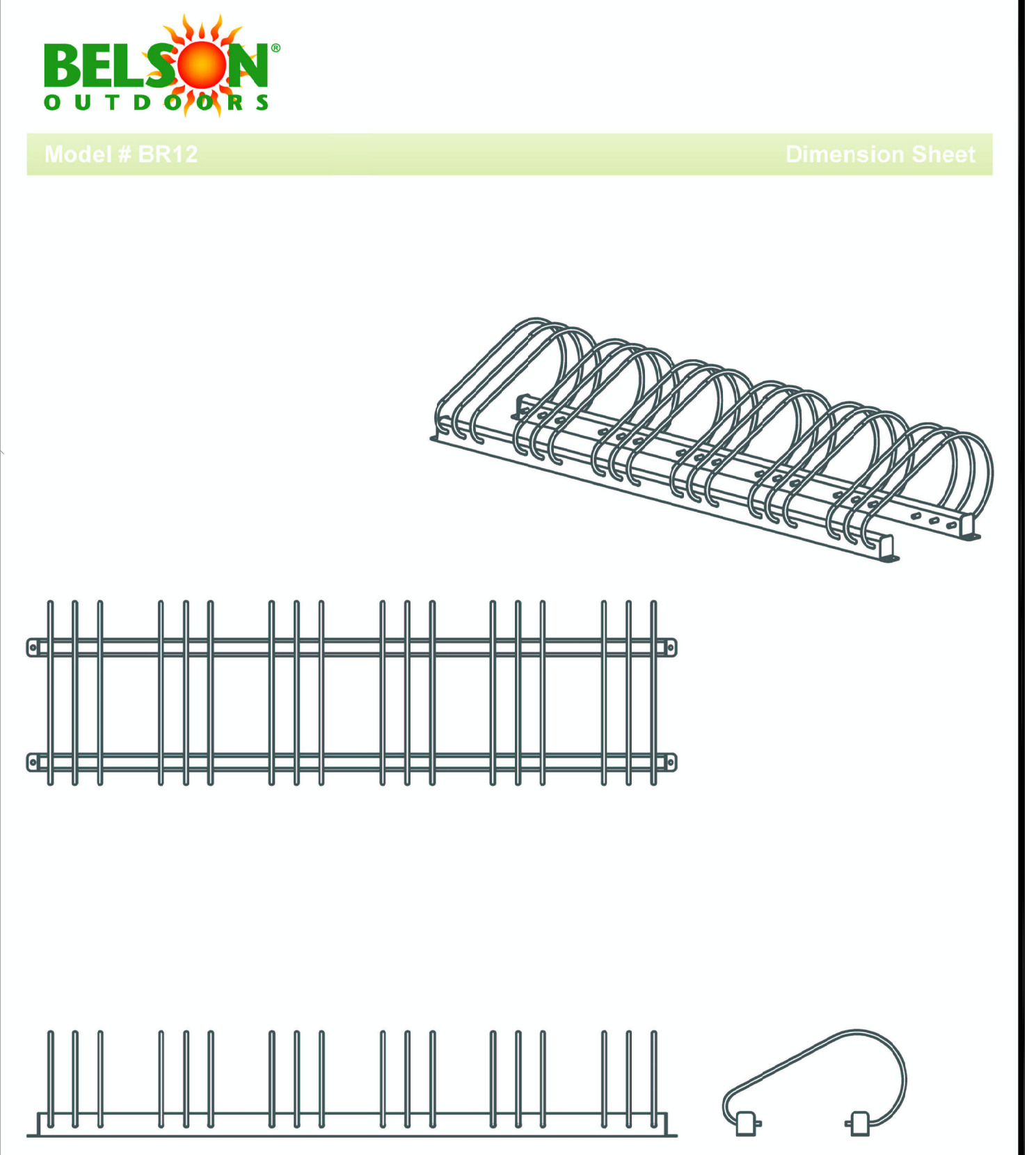
CONCRETE SIDEWALK RAMP TYPE 1
 NOT TO SCALE

TOWN OF SOUTH WINDSOR STANDARD DETAIL
 MARCH 2005
 APPROVED: PUBLIC WORKS DIRECTOR



CONCRETE SIDEWALK RAMP TYPE 2
 NOT TO SCALE

TOWN OF SOUTH WINDSOR STANDARD DETAIL
 MARCH 2005
 APPROVED: PUBLIC WORKS DIRECTOR



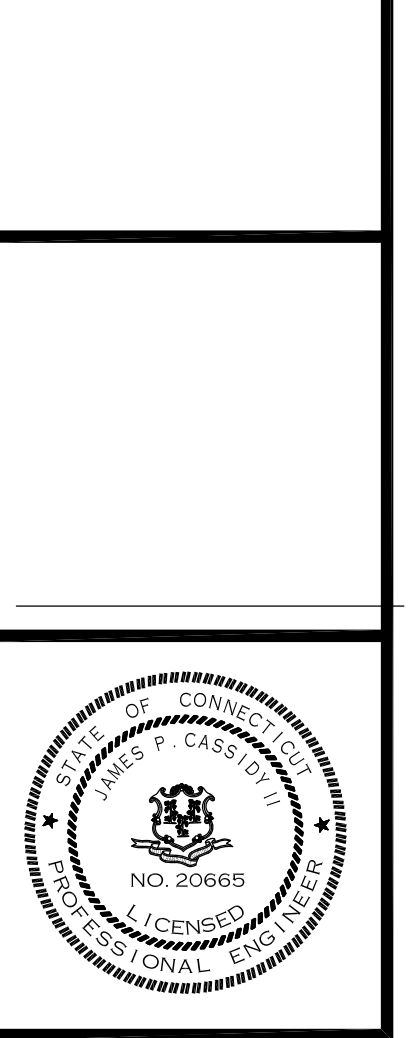
BELSON OUTDOORS
 Model # BR12
 Dimension Sheet

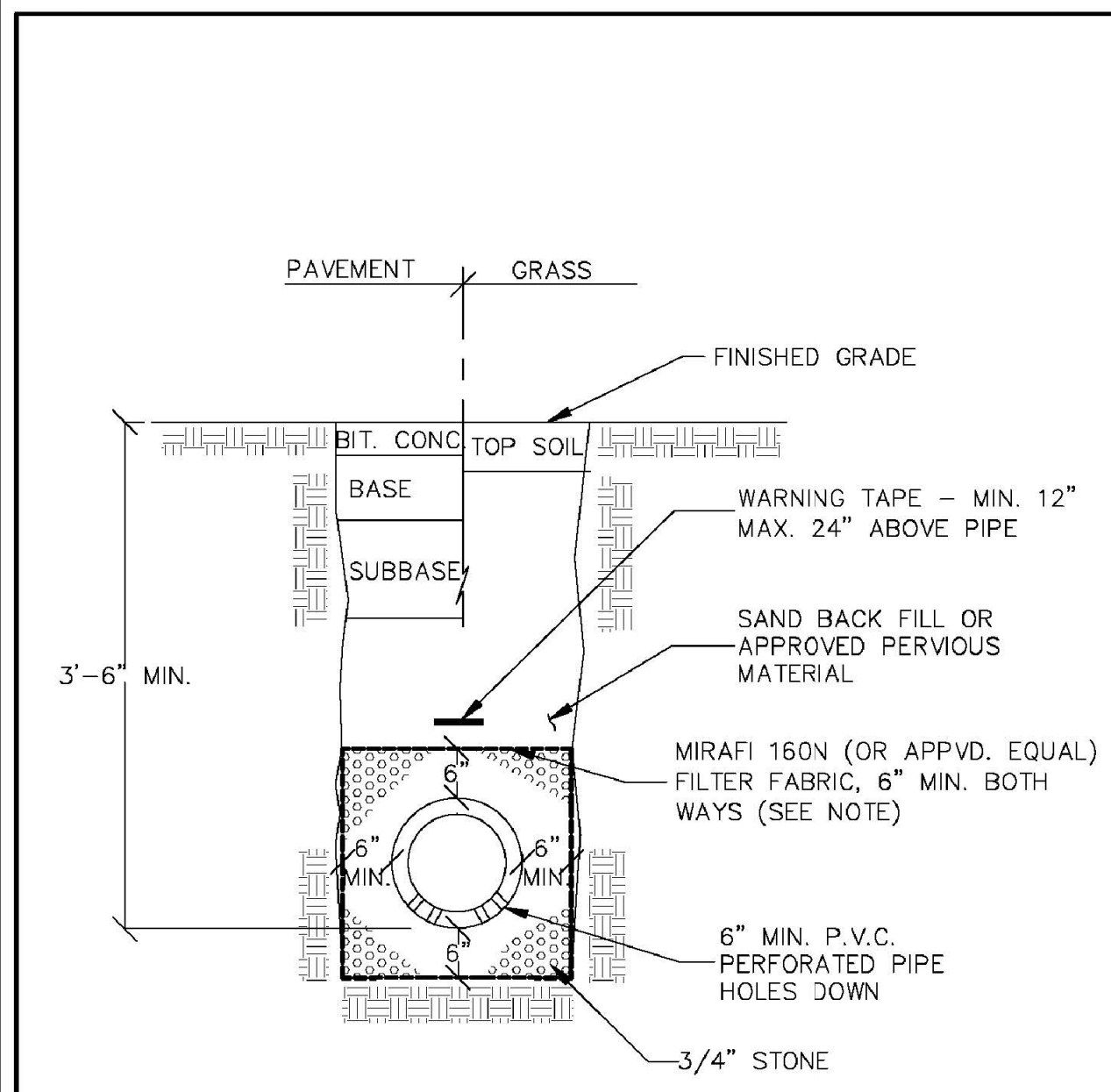
TOWN OF SOUTH WINDSOR STANDARD DETAIL
 MARCH 2005
 APPROVED: PUBLIC WORKS DIRECTOR

SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-DET
SHEET: C	OF: 22
REVISIONS: REBATED, ASSUMED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	

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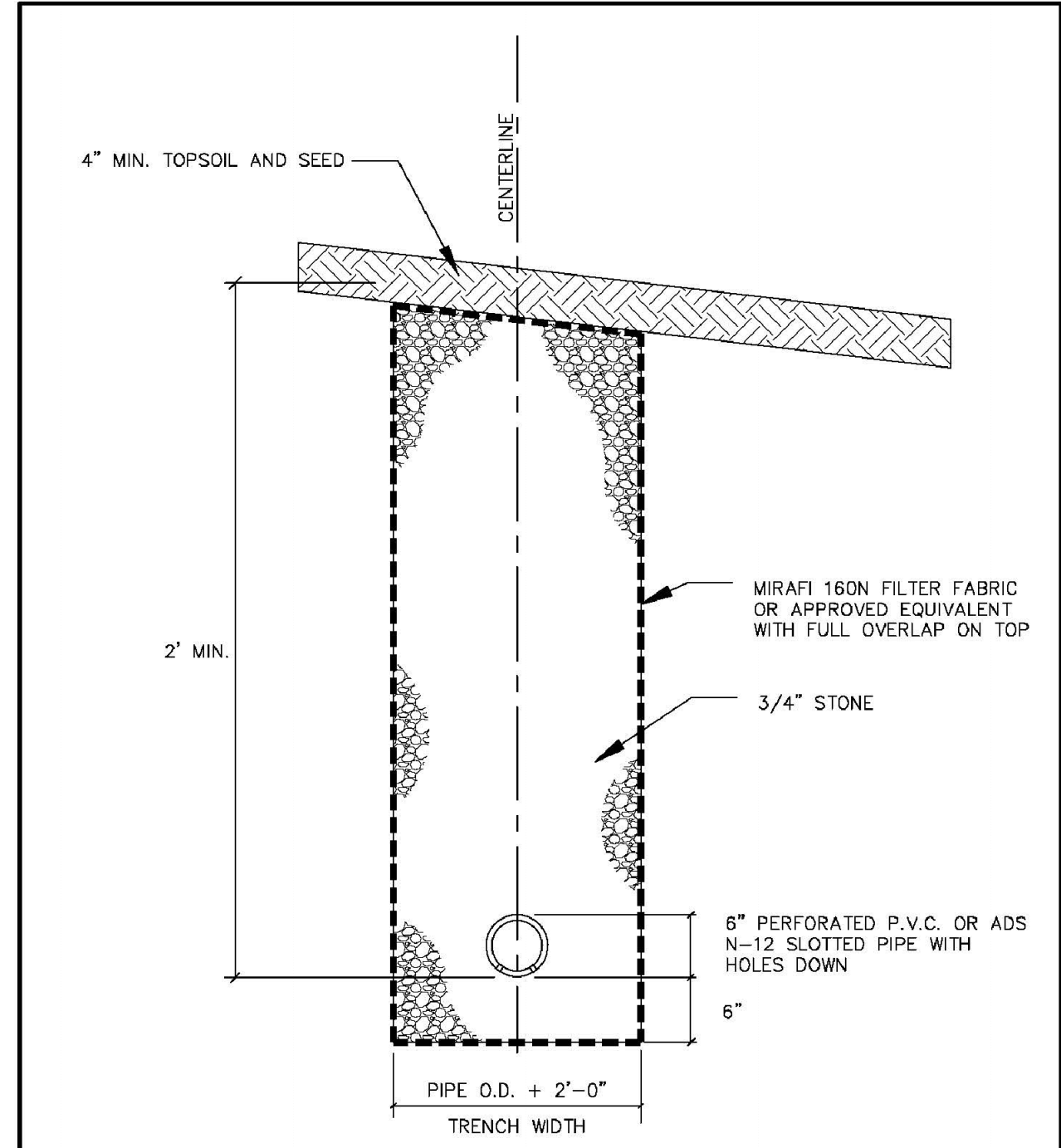


NOTE:
FILTER FABRIC SHALL BE NONWOVEN
AND SHALL MEET AASHTO M288-00, CLASS 2

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	UNDERDRAIN	APPROVED PUBLIC WORKS DIRECTOR
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SD-33

UNDERDRAIN.DWG

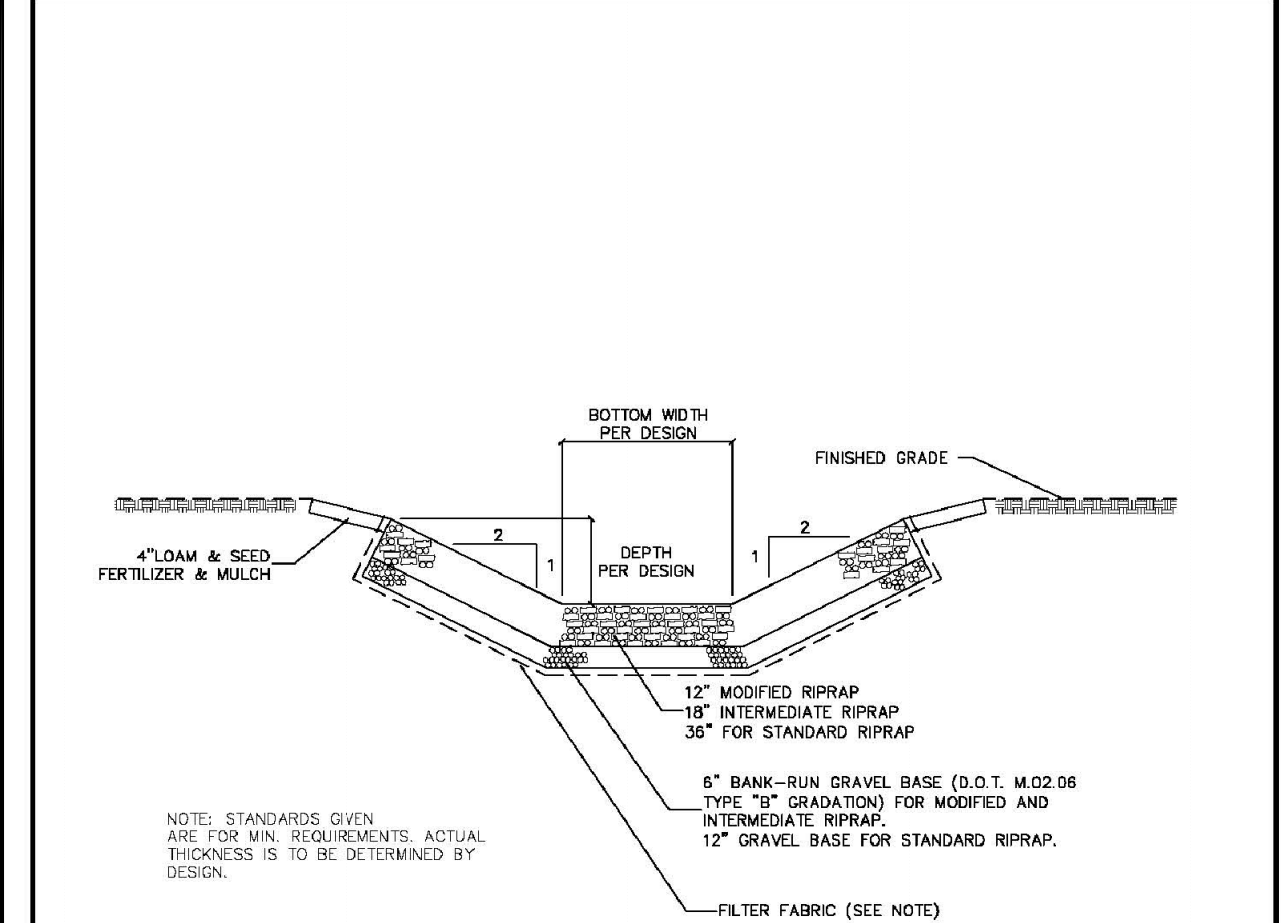


NOTE:
FILTER FABRIC SHALL BE NONWOVEN
AND SHALL MEET AASHTO M288-00, CLASS 2

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	CURTAIN DRAIN	APPROVED PUBLIC WORKS DIRECTOR
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SD-35

CURTAIN.DWG

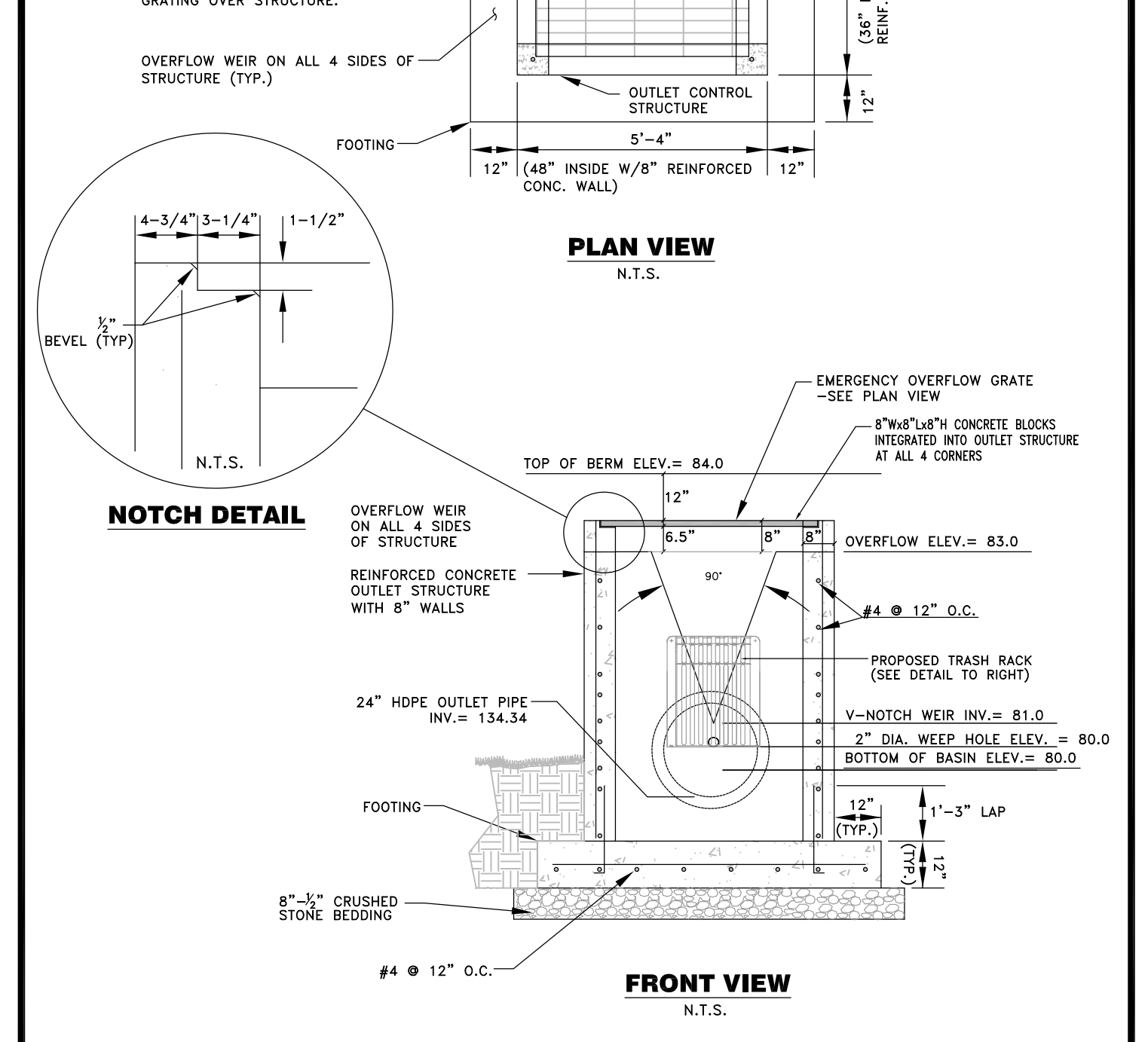


NOTE:
FILTER FABRIC SHALL BE NONWOVEN
AND SHALL MEET AASHTO M288-00, CLASS 2

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	RIPRAP DITCH	APPROVED PUBLIC WORKS DIRECTOR
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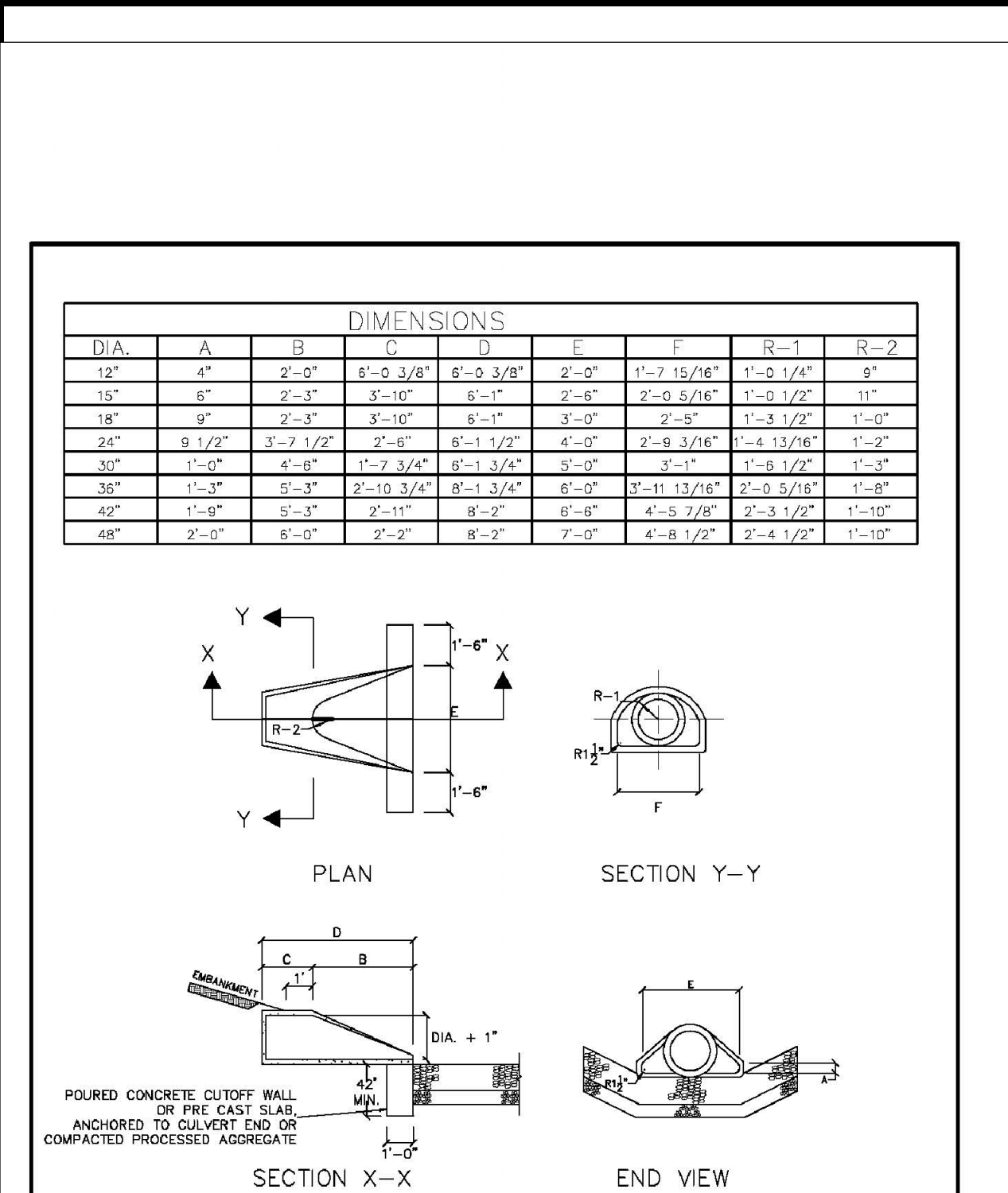
SD-38

RIPDITCH.DWG



**STORMWATER QUALITY BASIN
OUTLET CONTROL STRUCTURE #1**
N.T.S.

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORMWATER QUALITY BASIN OUTLET CONTROL STRUCTURE #1	APPROVED PUBLIC WORKS DIRECTOR
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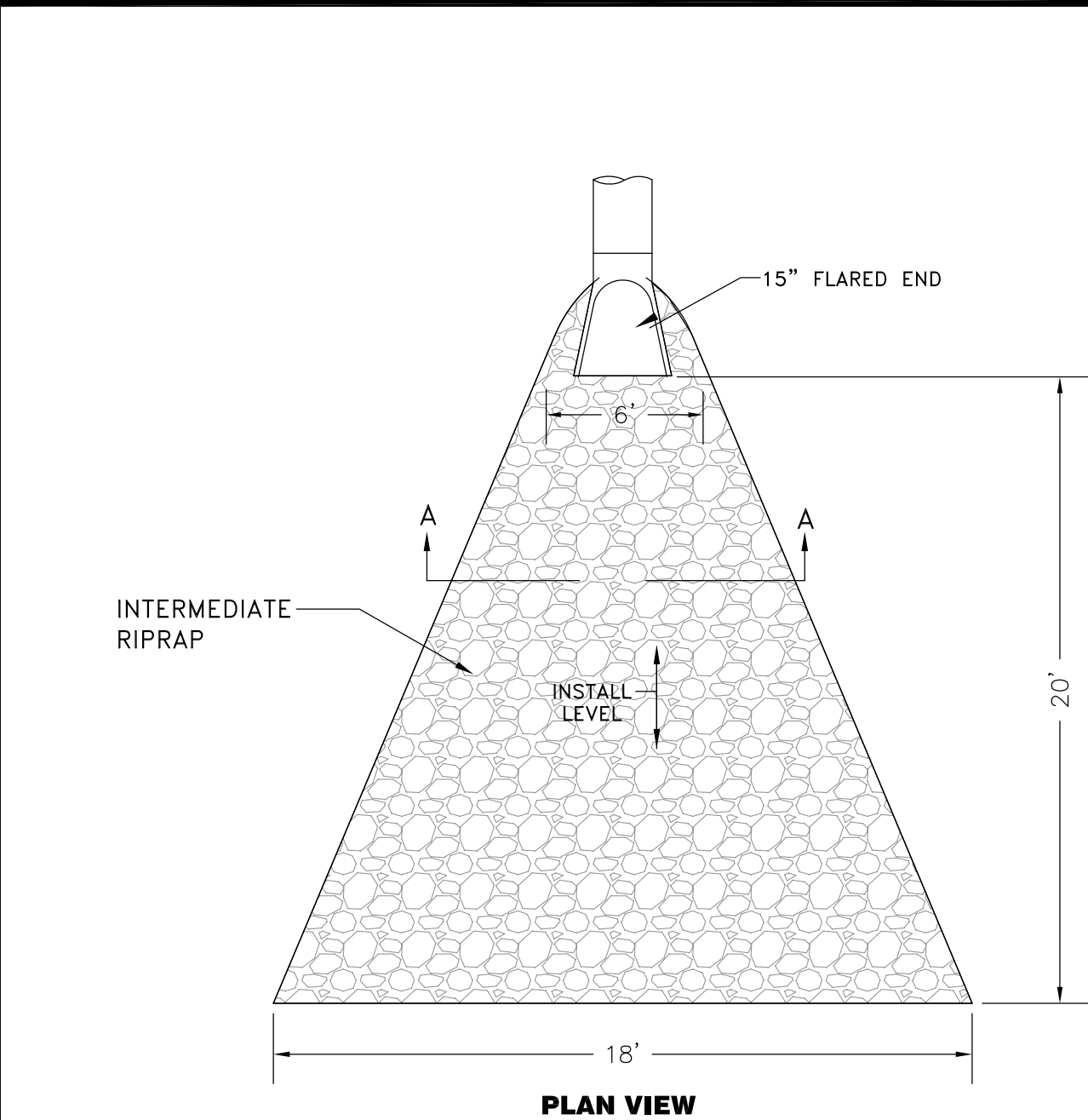


NOTES:
JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT
AS REQUIRED TO CONFORM TO PIPE.
WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.
STRUCTURE SHALL BE PLACED ON EXISTING SUITABLE COMPACTED
MATERIAL OR 12" GRAVEL BASE.

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	CONCRETE CULVERT END	APPROVED PUBLIC WORKS DIRECTOR
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VI-39

CULVERT.DWG

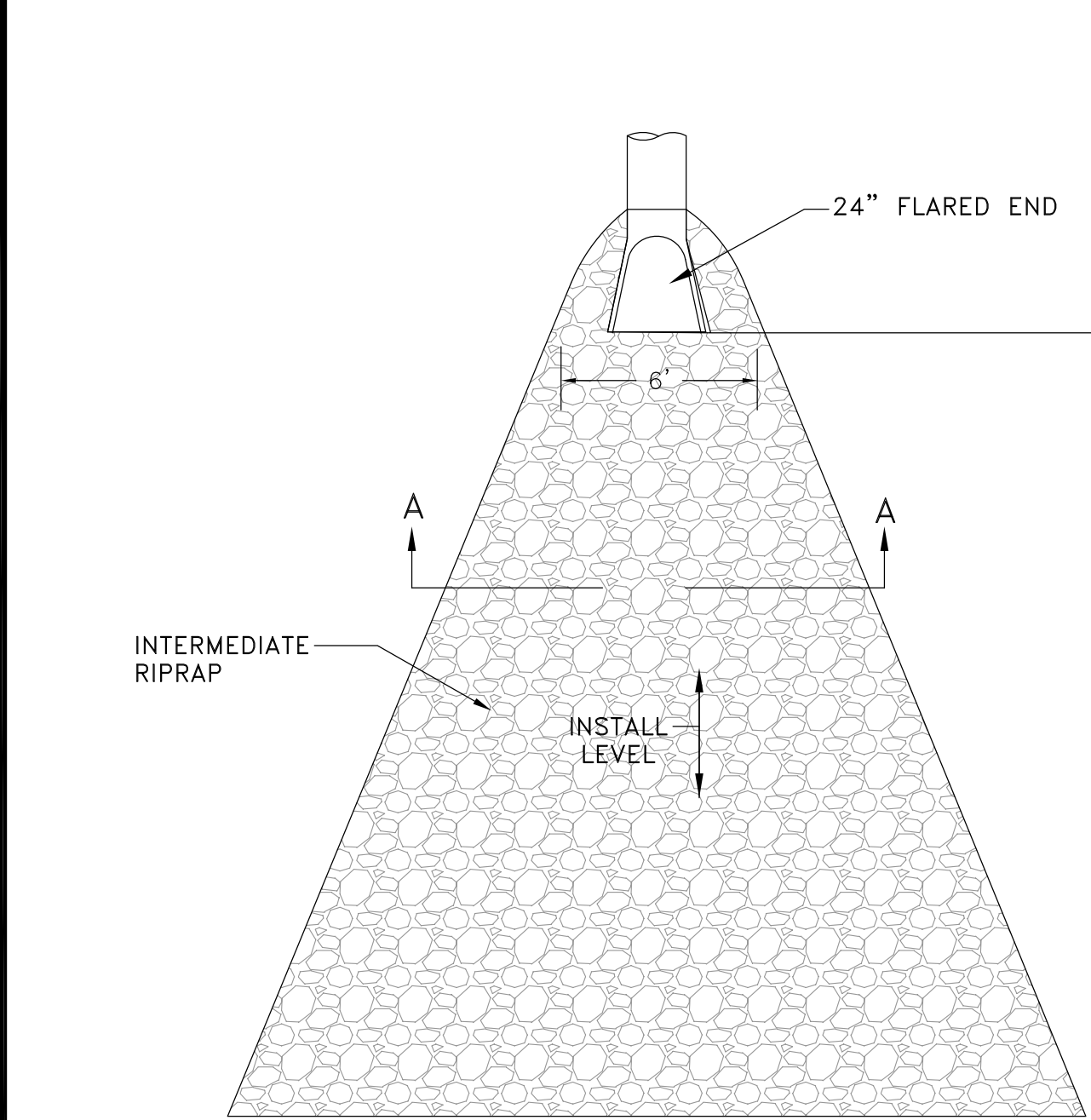


RIPRAP ENERGY DISSIPATER #2
N.T.S.

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	RIPRAP ENERGY DISSIPATER #2	APPROVED PUBLIC WORKS DIRECTOR
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SD-35

RIPRAP.DWG

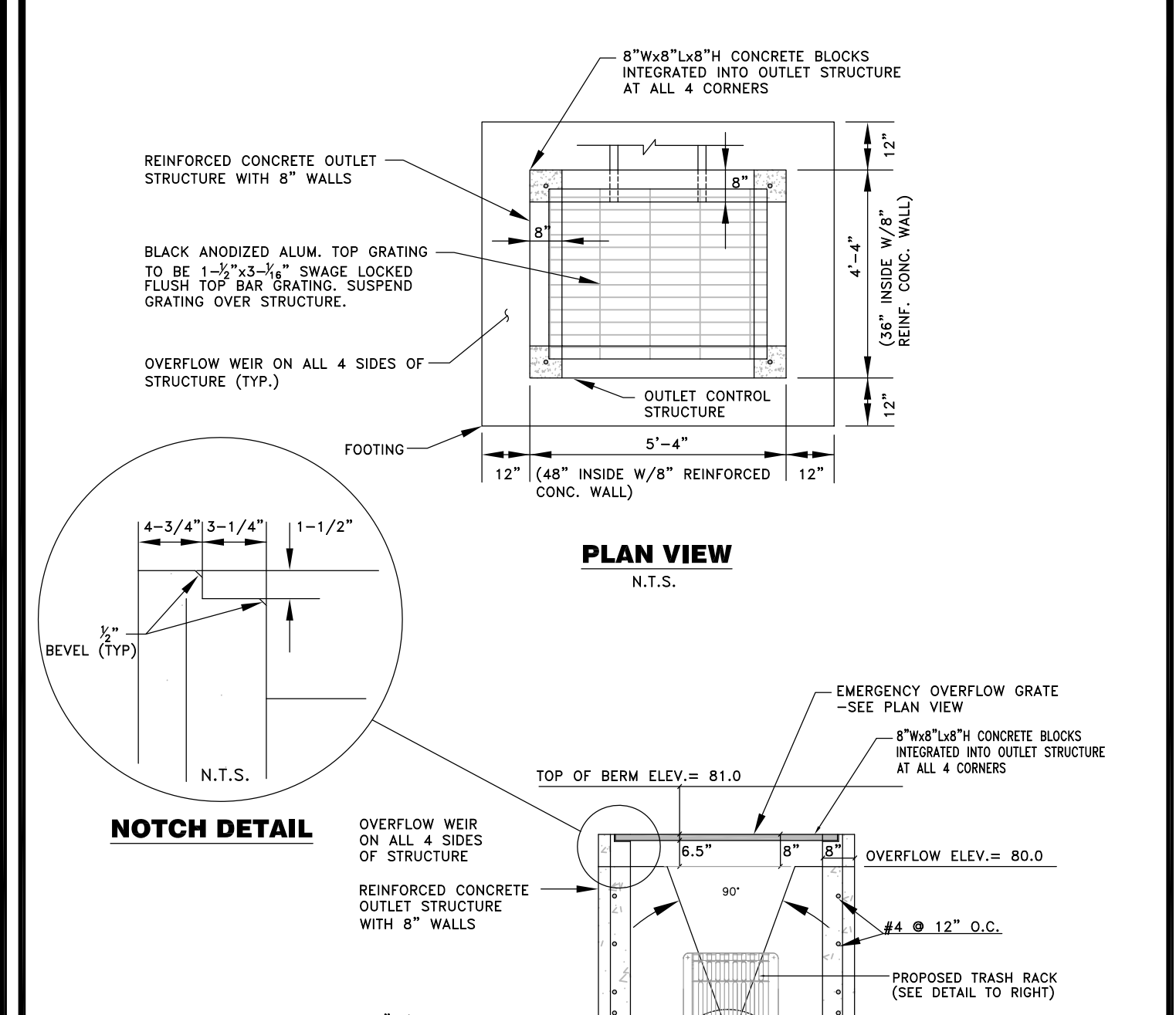


RIPRAP ENERGY DISSIPATER #1
N.T.S.

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	RIPRAP ENERGY DISSIPATER #1	APPROVED PUBLIC WORKS DIRECTOR
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SD-38

RIPRAP.DWG



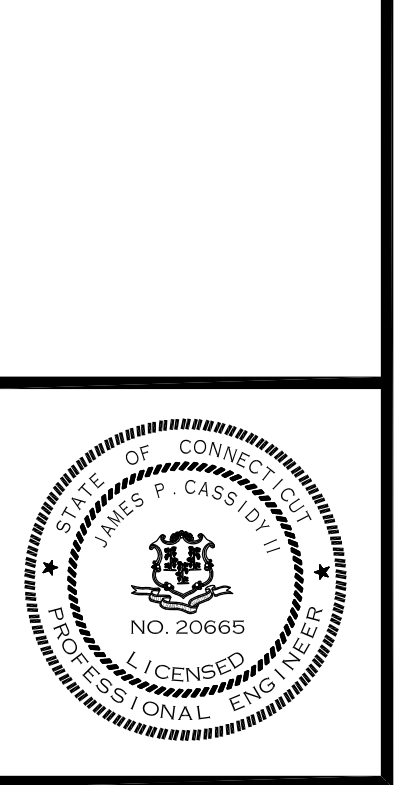
**STORMWATER QUALITY BASIN
OUTLET CONTROL STRUCTURE #2**
N.T.S.

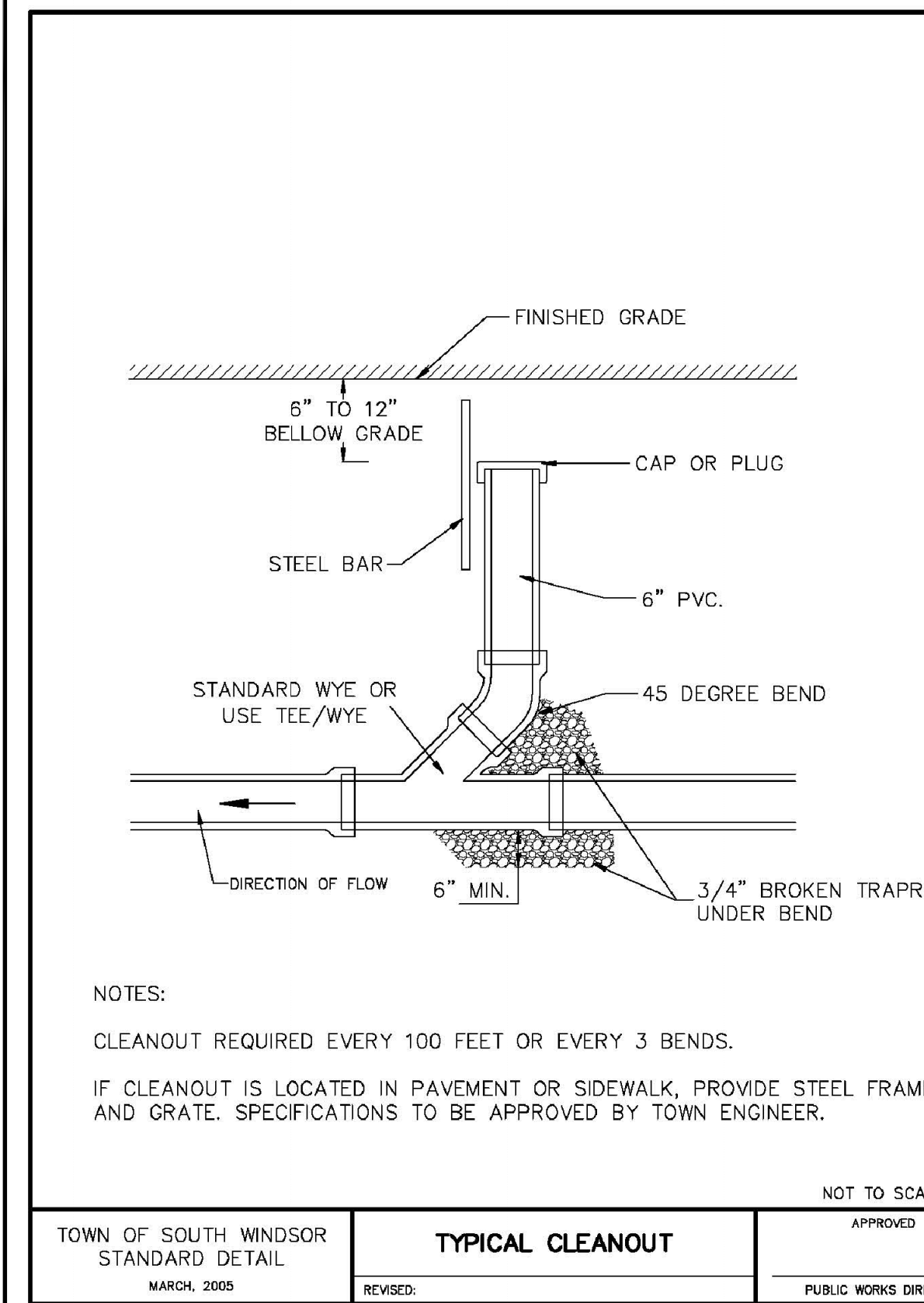
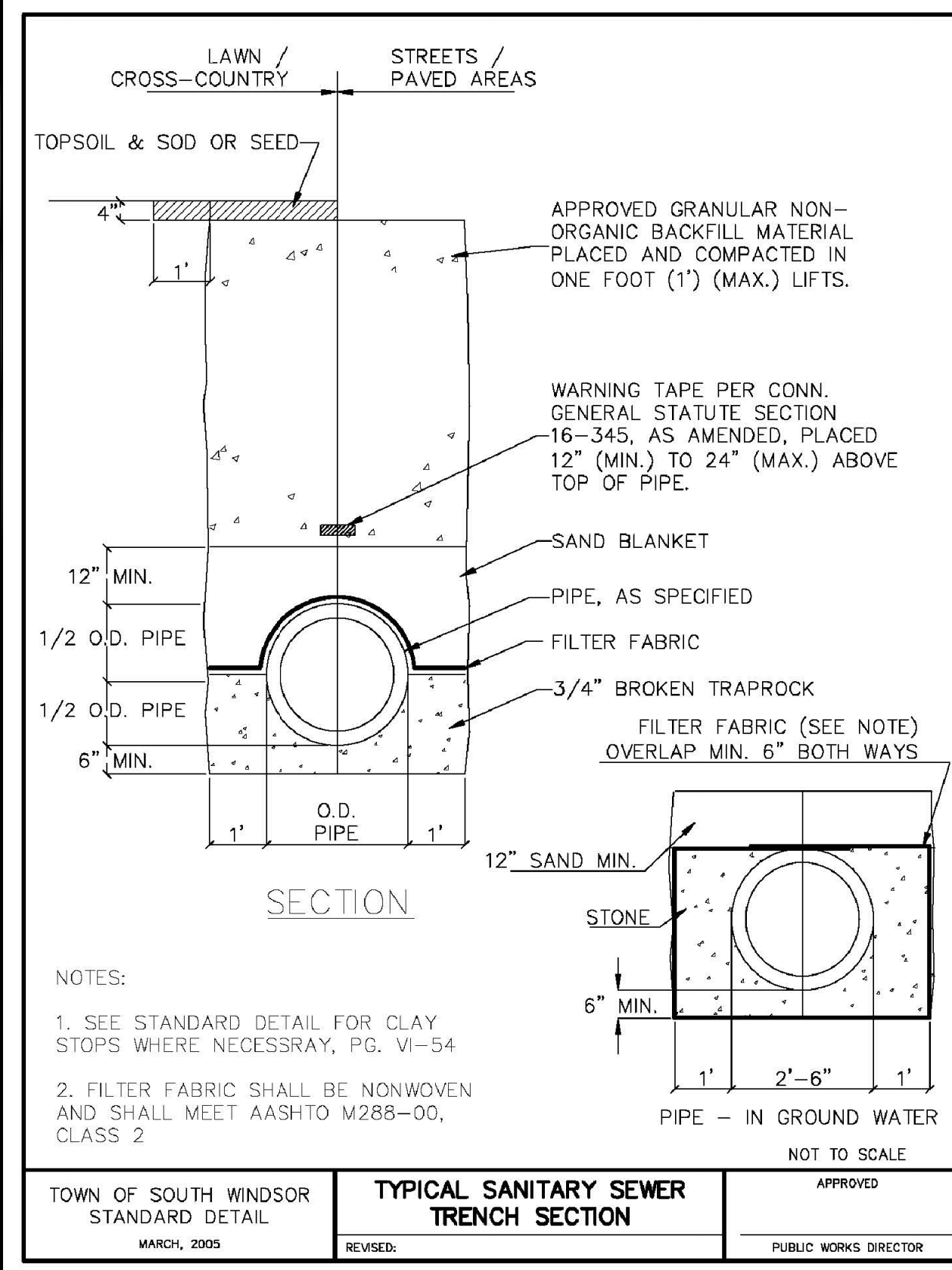
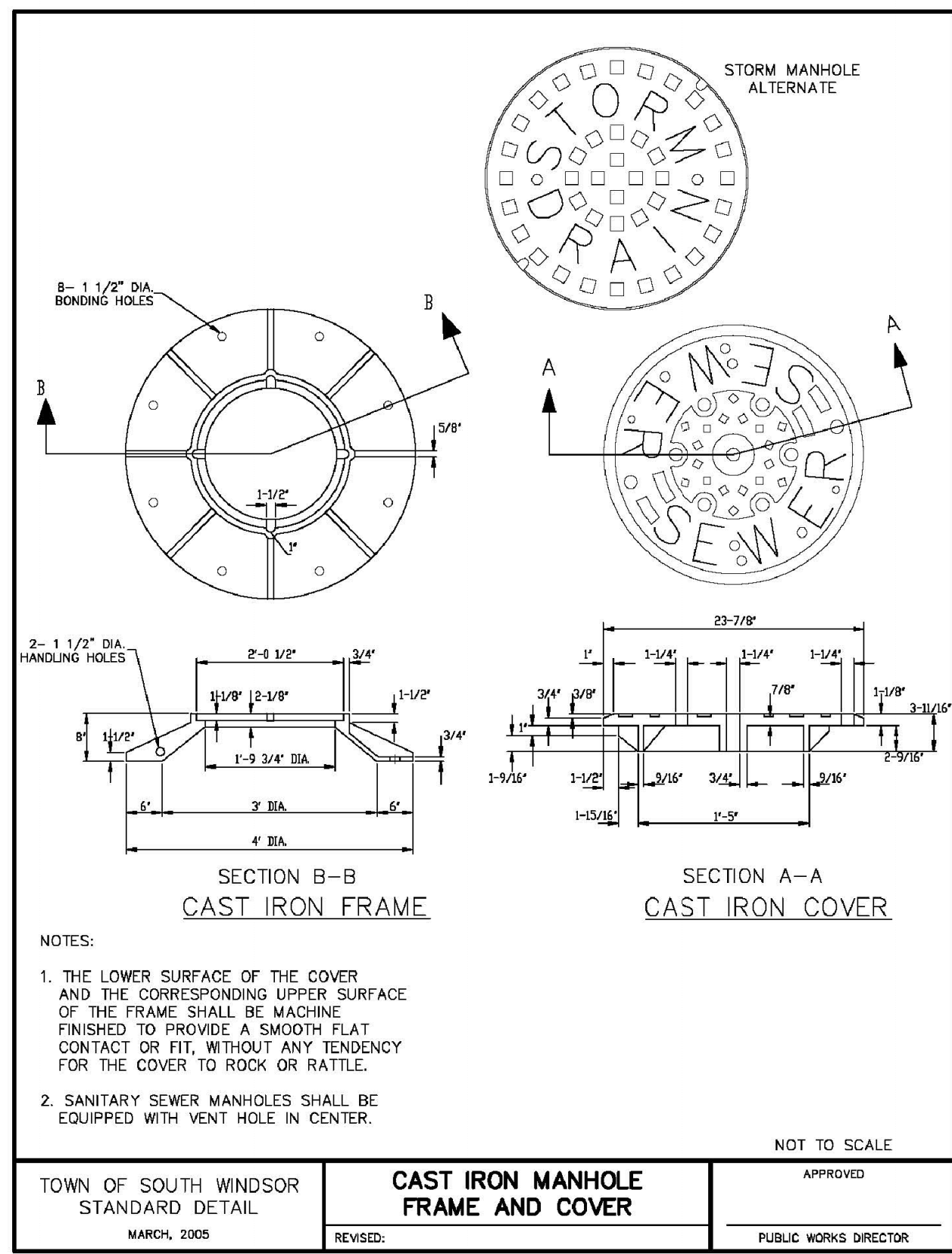
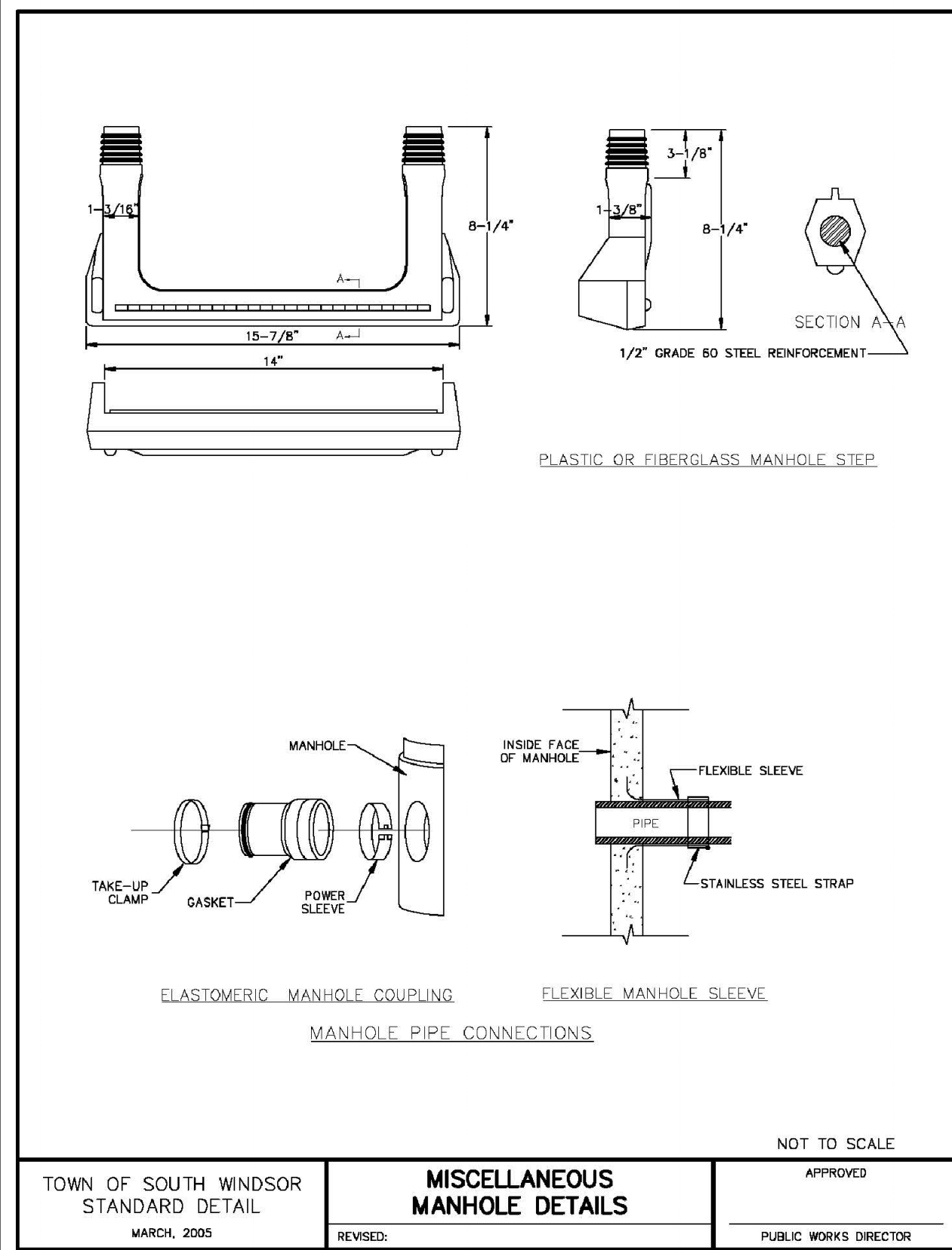
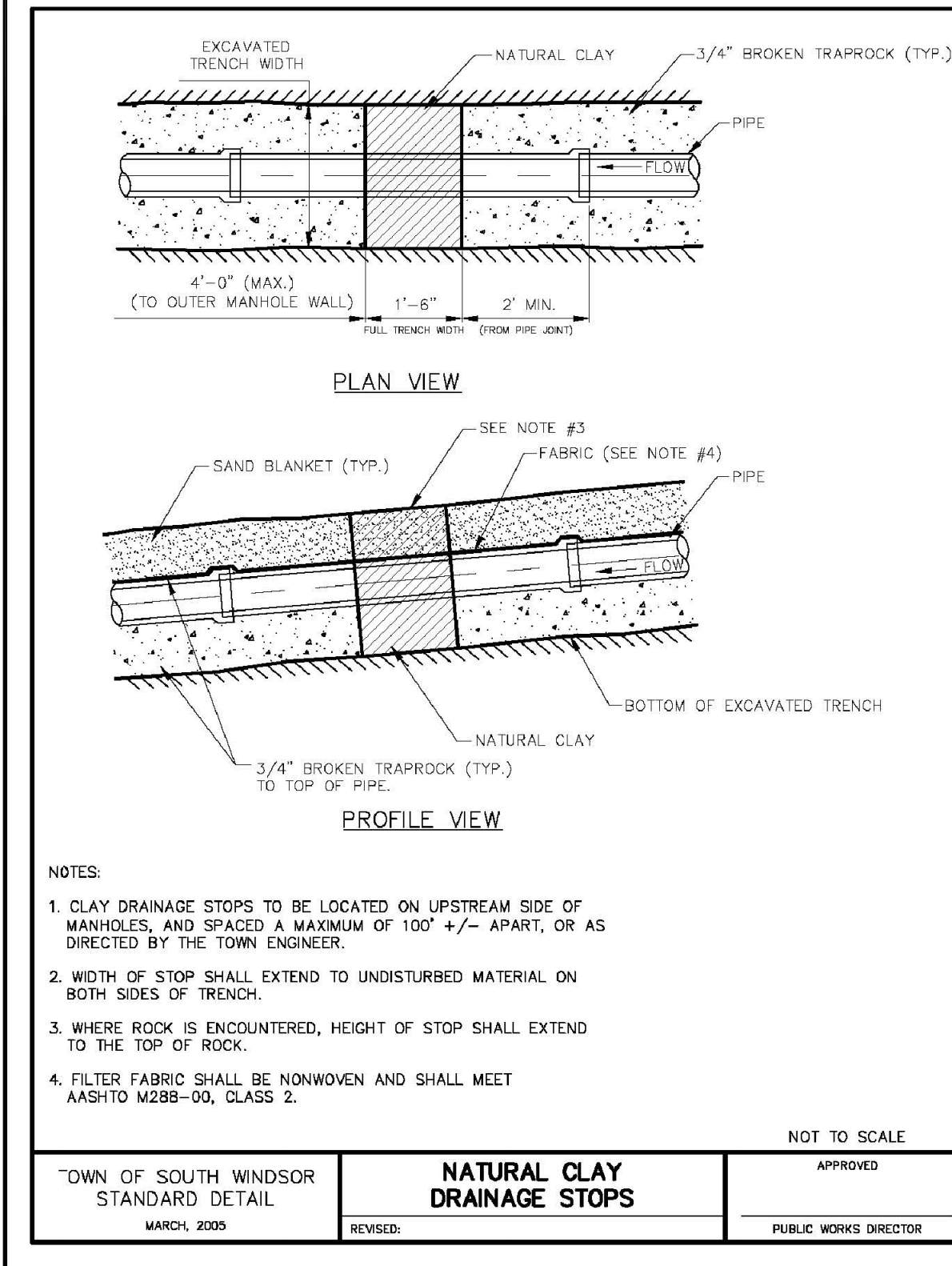
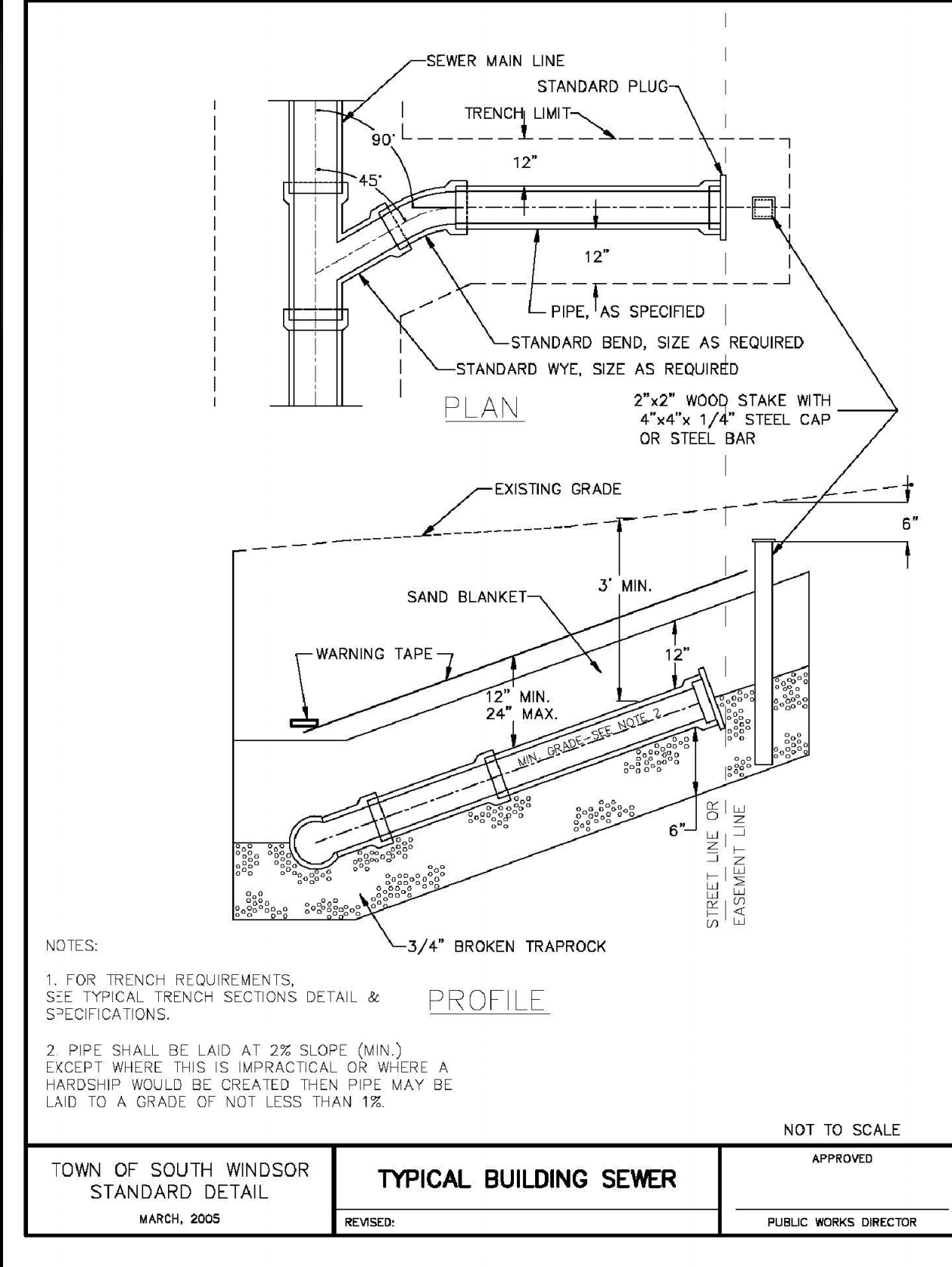
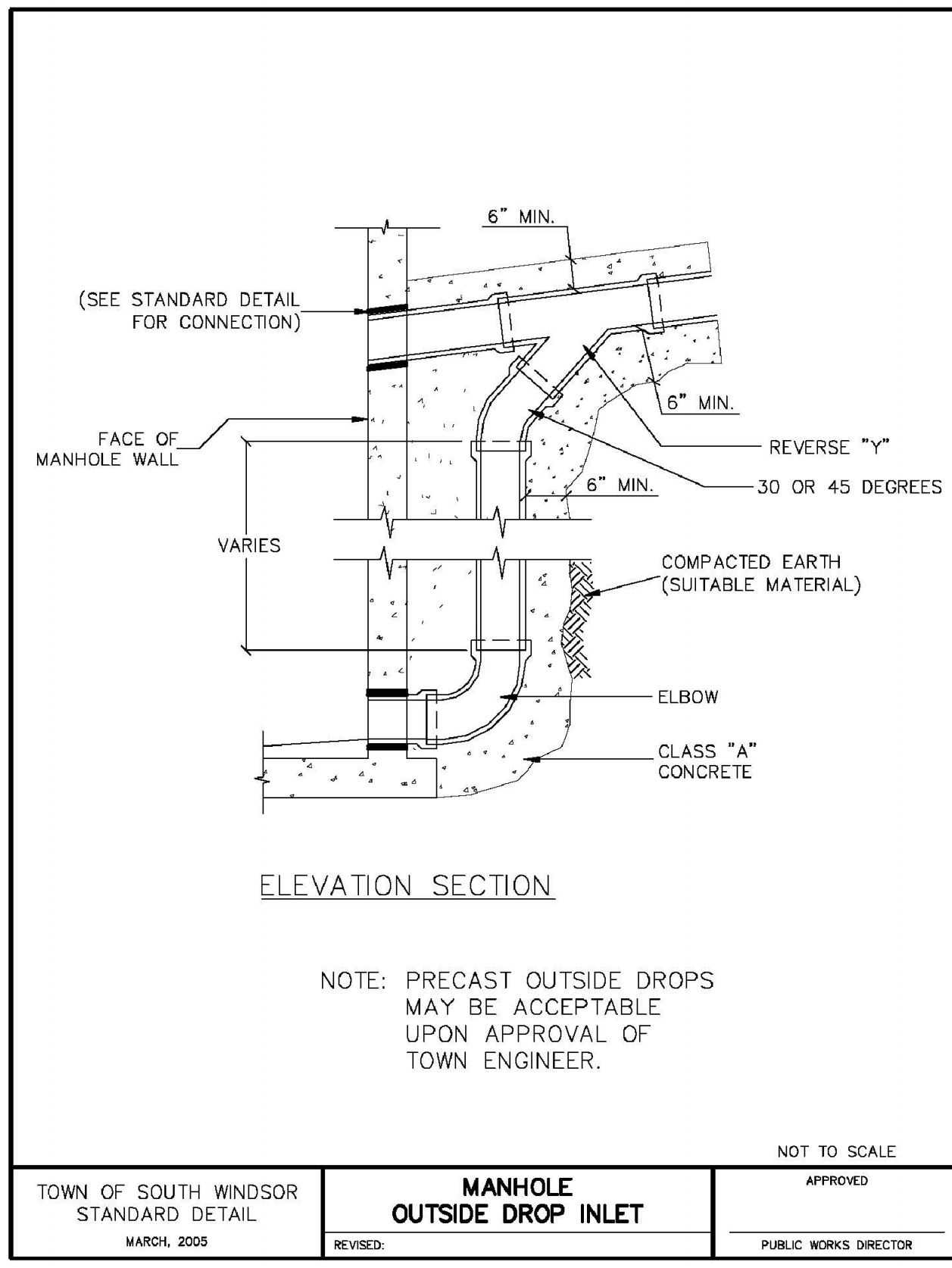
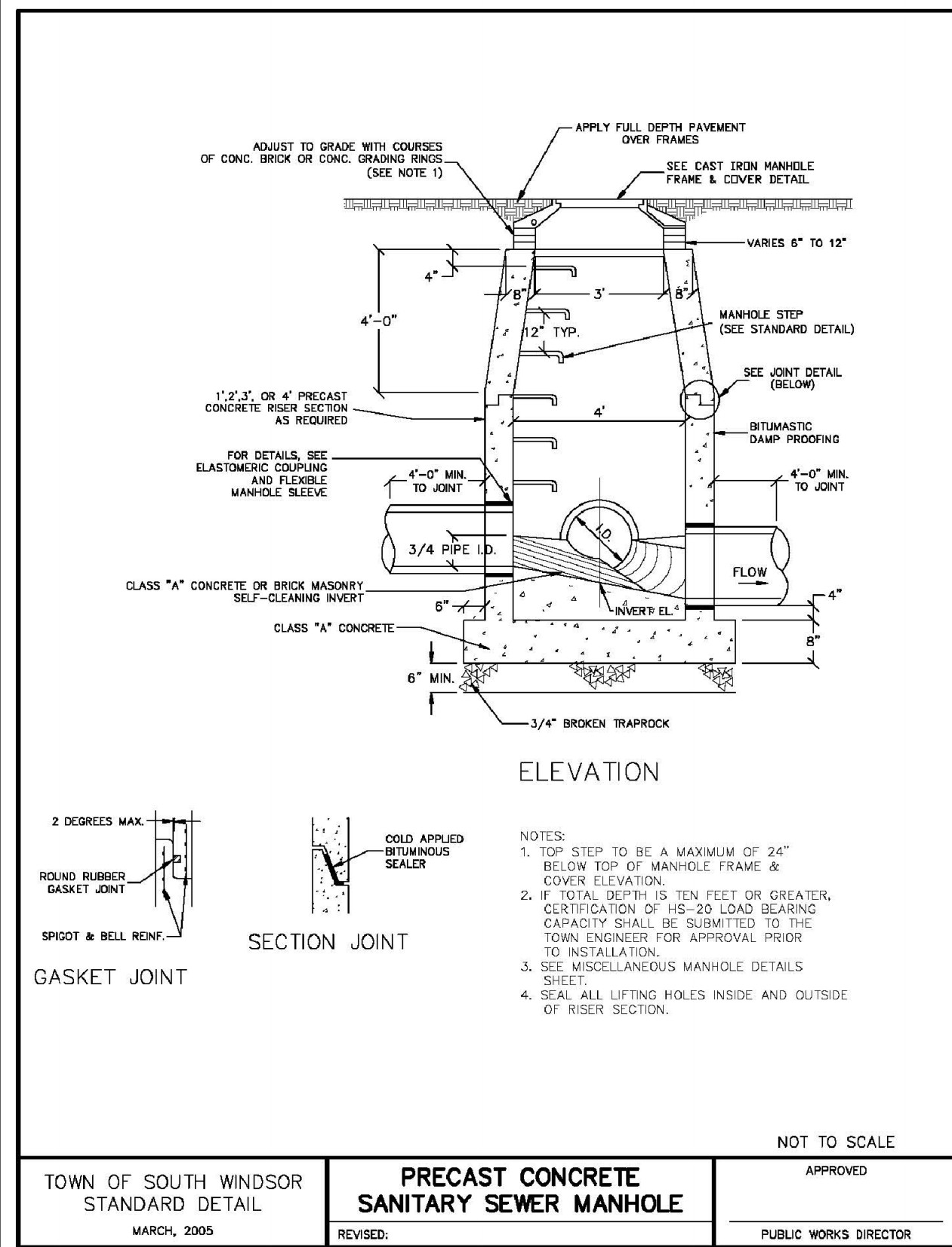
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	STORMWATER QUALITY BASIN OUTLET CONTROL STRUCTURE #2	APPROVED PUBLIC WORKS DIRECTOR
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CHECKED BY: J.P.C.	DATE: MAY 23, 2023	DRAWN BY: J.M.P.	ACAD FILE: 2574-DET
SCALE: 1"=40'	JOB No.: 2574	SHEET: C	of: 23
REVISIONS: REBATED ASSOCIATED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT			

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
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LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT**

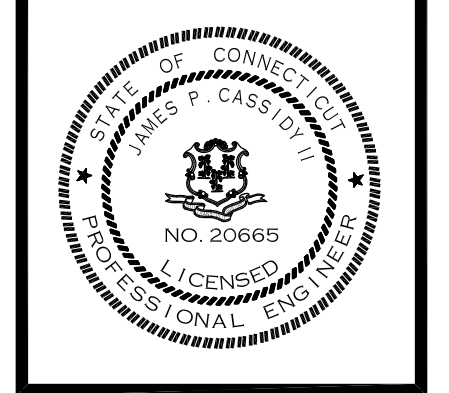


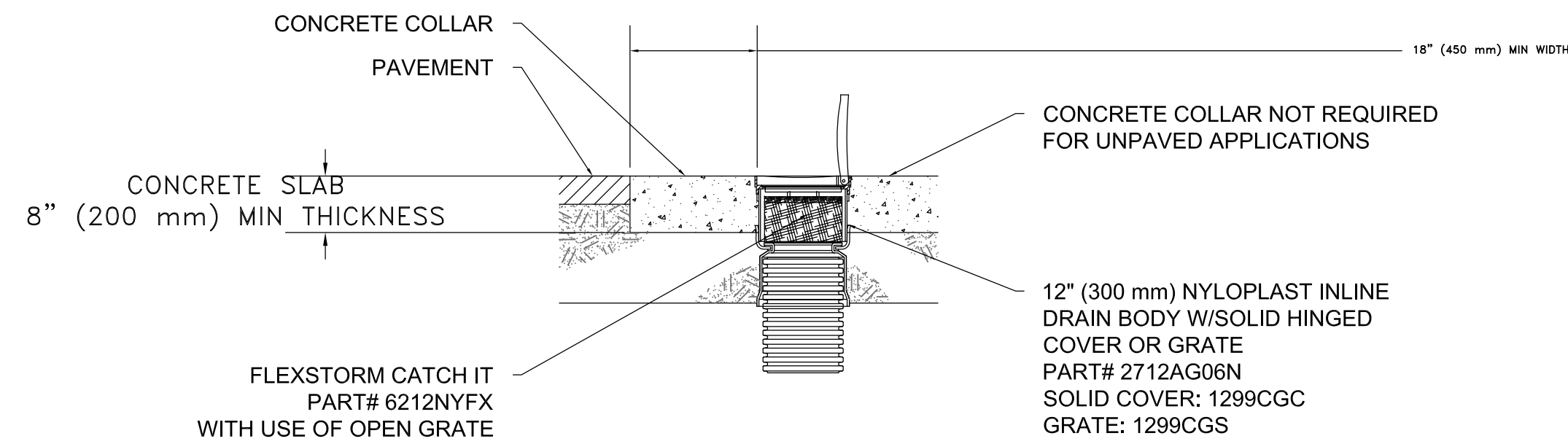


SCALE: 1"=40'
DATE: MAY 23, 2023
JOB No.: 2574
SHEET: C of 24
REVISIONS: ISSUED ASSOCIATED DESIGN
SEPT. 20, 2023 PER TOWN STAFF COMMENT

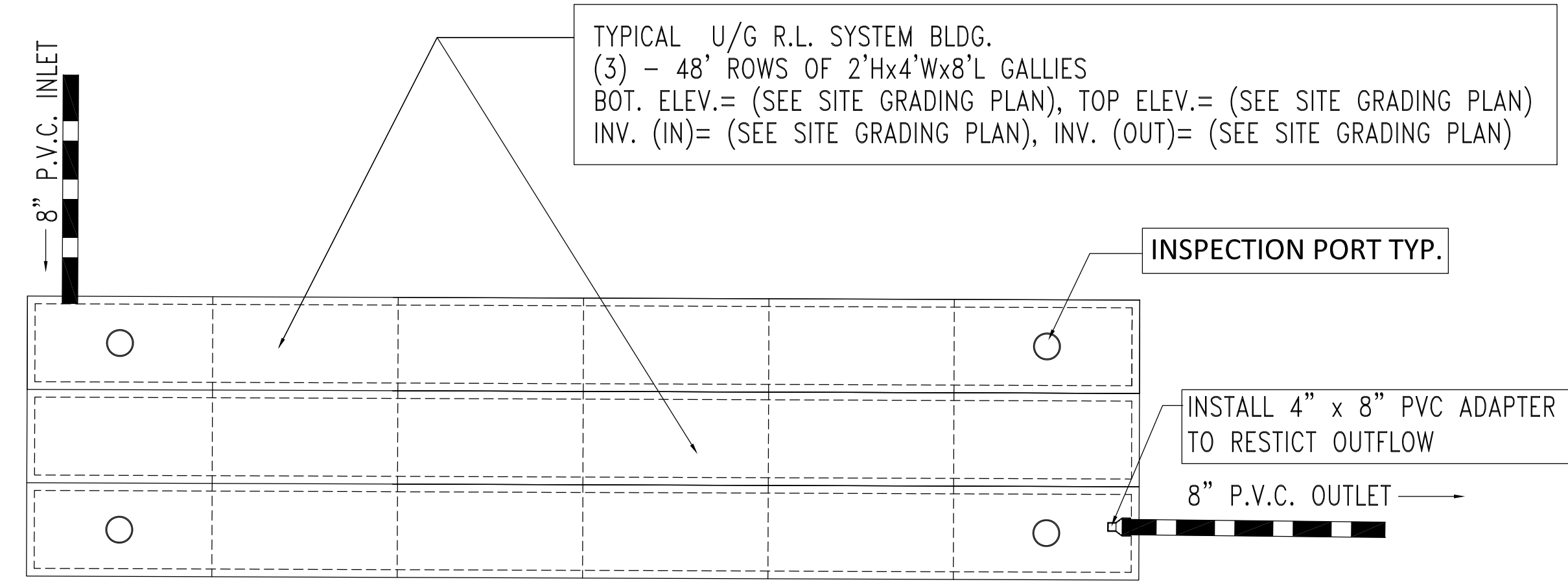
HALLISEY, PEARSON & CASSIDY
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630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DETAILS PREPARED FOR LONGLEAF DEVELOPERS, L.L.C. LOCATED AT THE RESIDENCE AT EVERGREEN WALK UNIT 7C EVERGREEN WALK SOUTH WINDSOR, CONNECTICUT

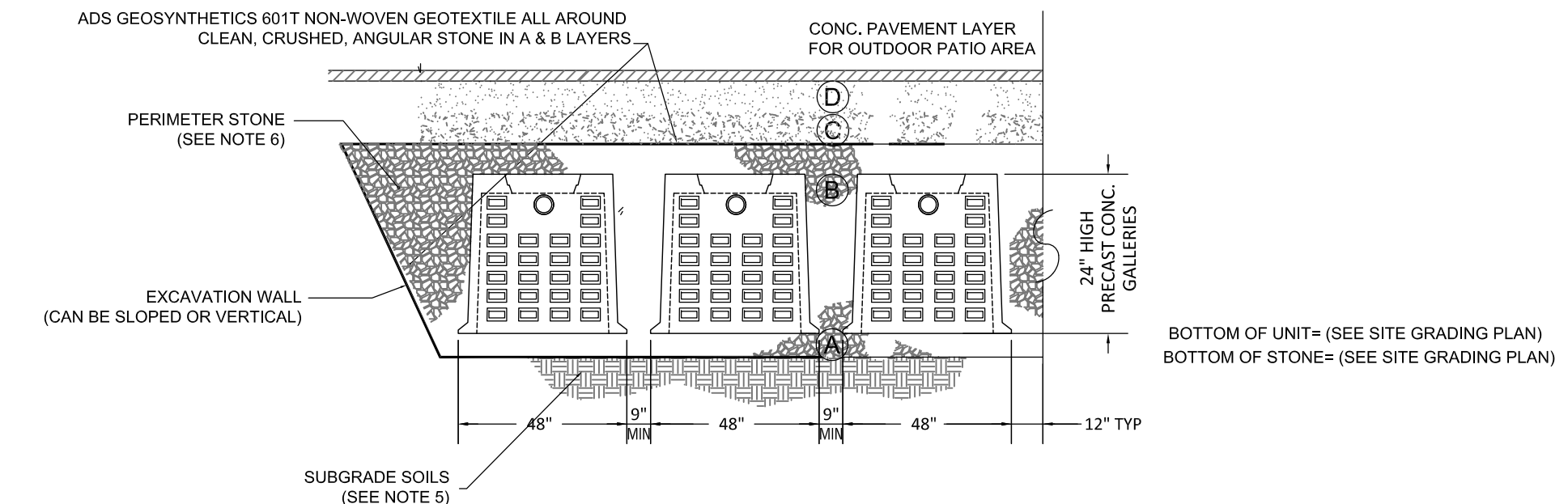




10" INSPECTION PORT DETAIL
NTS



TYPICAL UNDERGROUND DETENTION SYSTEM PLAN VIEW
NOT TO SCALE



NOTES:

1. CONCRETE GALLERIES SHALL CONFORM TO THE LATEST ASTM DESIGNATION C913.
2. REINFORCING STEEL DEFORMED BARS TO CONFORM TO THE LATEST ASTM SPECIFICATION A615.
3. CONCRETE COMPRESSION STRENGTH = 4,000 PSI AT 28 DAYS.
4. "ACCEPTABLE FILL MATERIALS" TABLE BELOW PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTING REQUIREMENTS FOR FOUNDATIONS, EMBEDMENT, AND FILL MATERIALS.
5. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE GALLERY UNITS FOR THIS PROJECT.
6. THE GEO-TECH ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
7. PERIMETER STONE MUST EXTEND HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
8. ONCE LAYER "C" IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER "D" UP TO THE FINISHED GRADE, MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE

UNDERGROUND DETENTION SYSTEM TYPICAL SECTION
NOT TO SCALE

ACCEPTABLE MATERIALS: FOR CONCRETE GALLERIES (H-20 LOADING)

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATION	COMPACTION/DENSITY REQUIREMENTS
D	FINAL FILL: FILL MATERIAL FOR LAYER "D" STARTS FROM THE TOP OF THE "C" LAYER TO THE BOTTOM OF THE FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE "D" LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER "C" STARTS FROM THE TOP OF THE EMBEDMENT STONE ("B" LAYER) TO 24" ABOVE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE "C" LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 3S7, 4, 4E7, 5, 5E, 5F, 6, 67, 68, 7, 7E, 8, 8E, 9, 10	BEGIN COMPACTIONS AFTER 34" OF MATERIAL OVER THE CHAMBERS (GALLERIES) IS REACHED. COMPACT ADDITIONAL LAYER IN 12" MAX. LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS (GALLERIES) FROM FOUNDATION "A" LAYER TO THE "C" LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER (GALLERIES).	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

PLEASE NOTE:

1. THE LISTED AASHTO DESIGNATION ARE FOR GRADATIONS ONLY. THE STONE MUST BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. COMPACTION REQUIREMENTS ARE MET FOR "A" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" MAX. LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT THE MANUFACTURE FOR COMPACTION REQUIREMENTS.

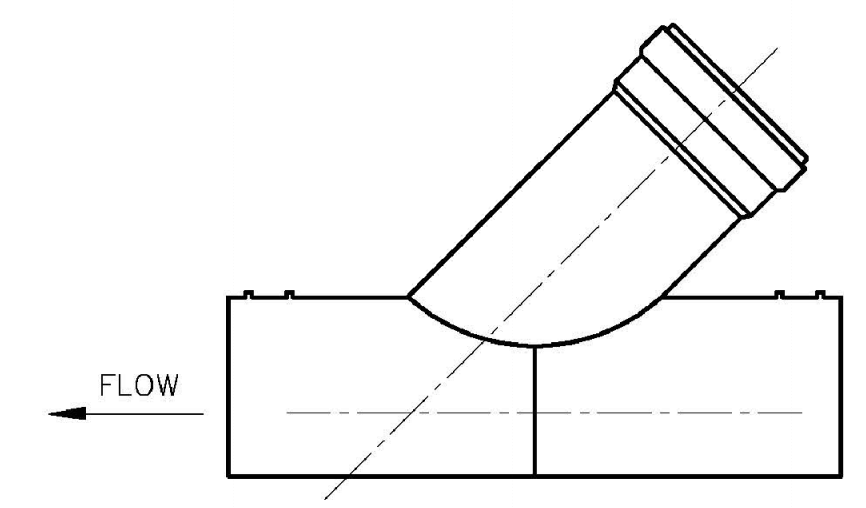
INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE(S). MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY(S). FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

SADDLE WYE CONNECTION
45° PVC SADDLE WYE & GASKET OR APPROVED EQUAL



NOTES:

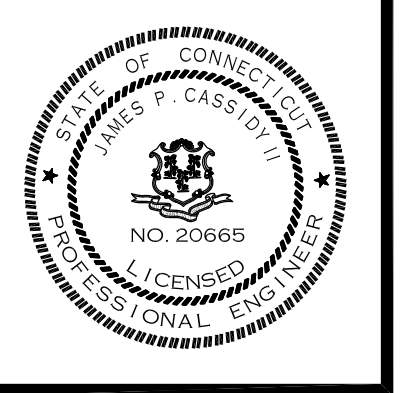
- SADDLE TO BE CONNECTED WITH 2 STAINLESS STEEL STRAPS.
- IF SADDLE IS NOT AVAILABLE OR CANNOT BE USED FOR SEWER MAIN, AN ALTERNATE MAY BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL.

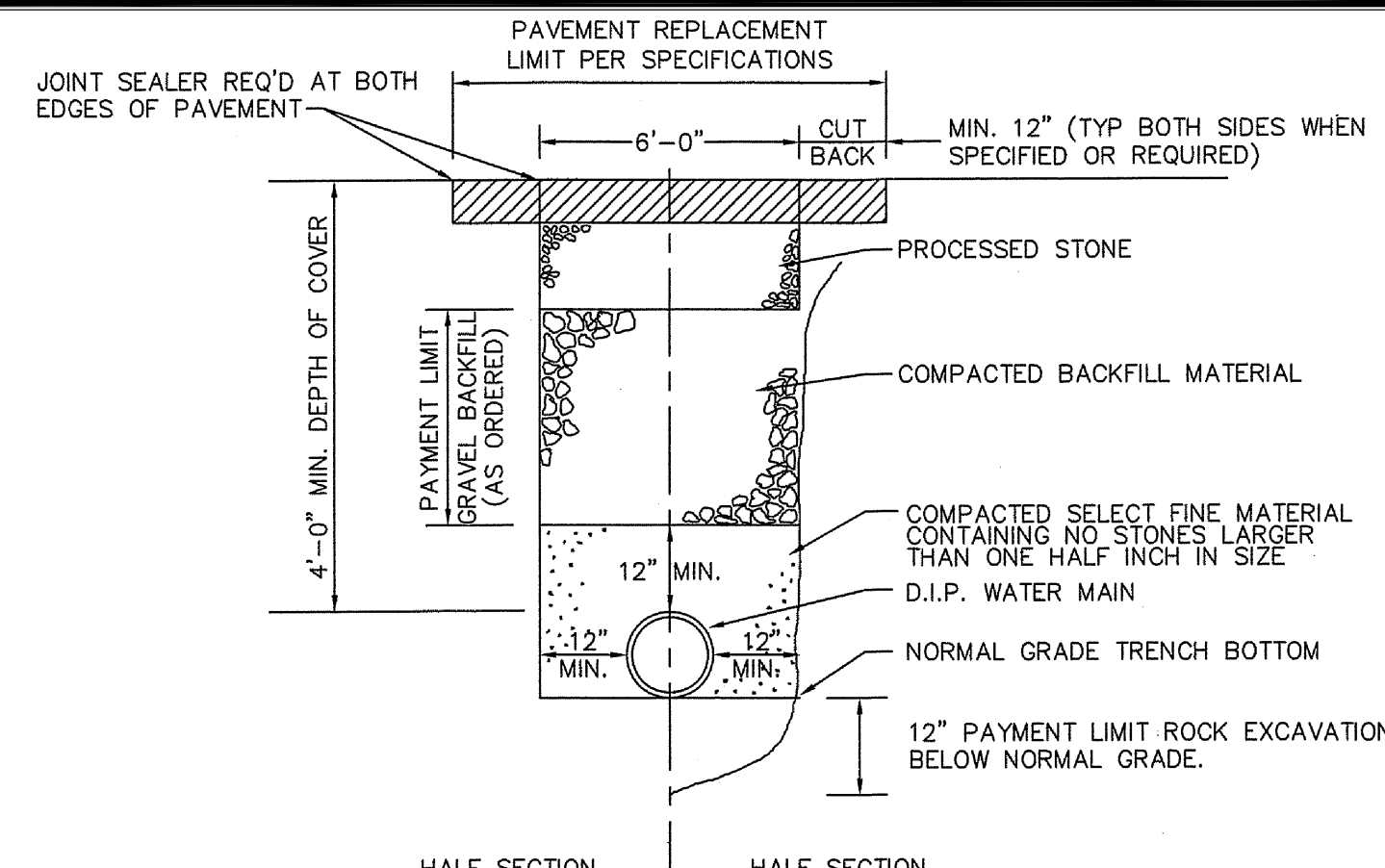
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	SADDLE WYE CONNECTION	NOT TO SCALE
REVISED:	APPROVED	
	PUBLIC WORKS DIRECTOR	

SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-DET
SHEET: C	OF: 25
REVISIONS: REVISION ASSIGNED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DETAILS
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



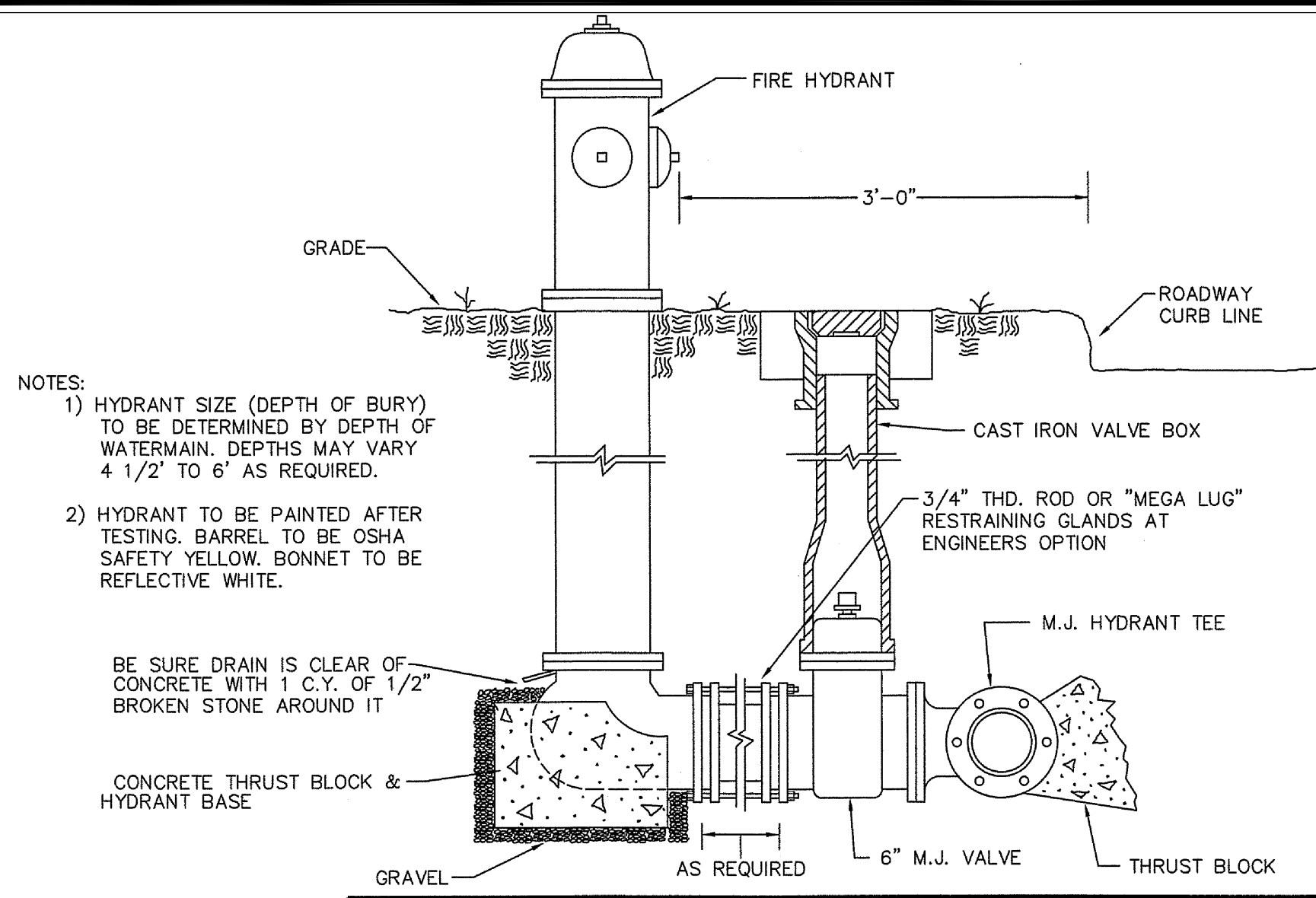


- NOTES:
- 1) WARNING TAPE TO BE INSTALLED A MIN. OF 12" ABOVE PIPE LINE.
 - 2) PIPE TRENCHES FOR MAINS ABOVE 12" DIA. WILL EXCEED 5 FT. TOTAL DEPTH. ADDITIONAL DEPTH TO MAINTAIN COVER WILL BE PAID FOR PER THE SPECIFICATIONS.

Drawn By: LRS
Date: 4/2/03
Approved by: [Signature]
Scale: NTS
Drawing Number: SD-1
BU Number - Sheet 1 of 1

WATERMAIN INSTALLATION DETAIL TYPICAL TRENCH & PAYMENT LIMITS

93 WEST MAIN STREET
CLINTON, CT 06413-1600
www.ctwater.com

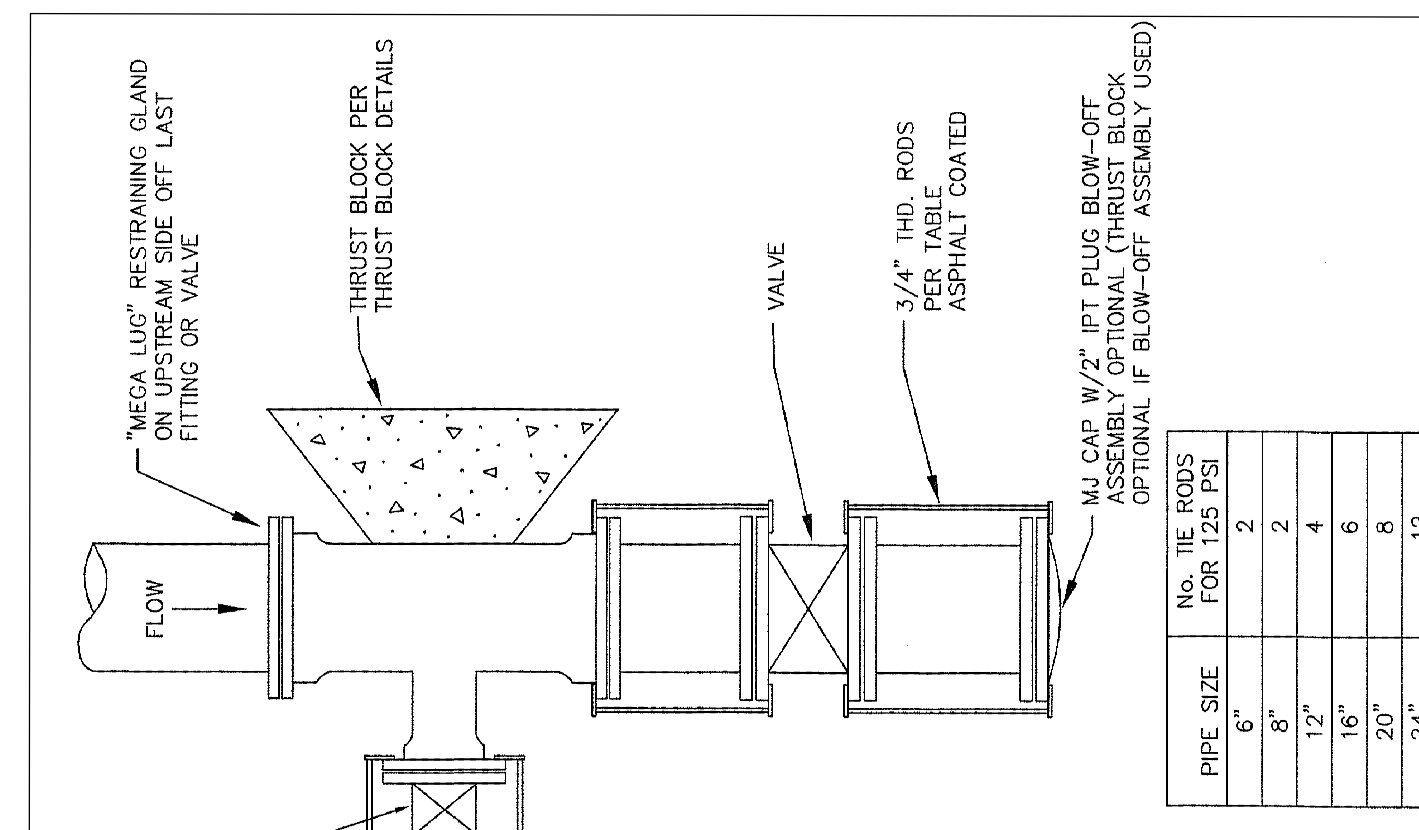


- NOTES:
- 1) HYDRANT SIZE (DEPTH OF BURY) TO BE DETERMINED BY DEPTH OF WATERMAIN. DEPTHS MAY VARY 4 1/2" TO 6" AS REQUIRED.
 - 2) HYDRANT TO BE PAINTED AFTER TESTING. BARREL TO BE OSHA SAFETY YELLOW. BONNET TO BE REFLECTIVE WHITE.

Drawn By: LRS
Date: 4/2/03
Approved by: [Signature]
Scale: NTS
Drawing Number: SD-4
BU Number - Sheet 1 of 1

HYDRANT INSTALLATION DETAIL

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www.ctwater.com

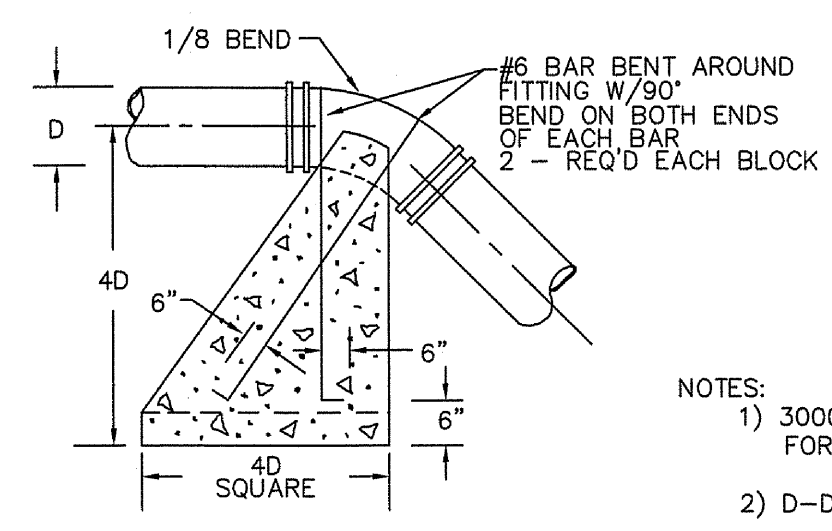
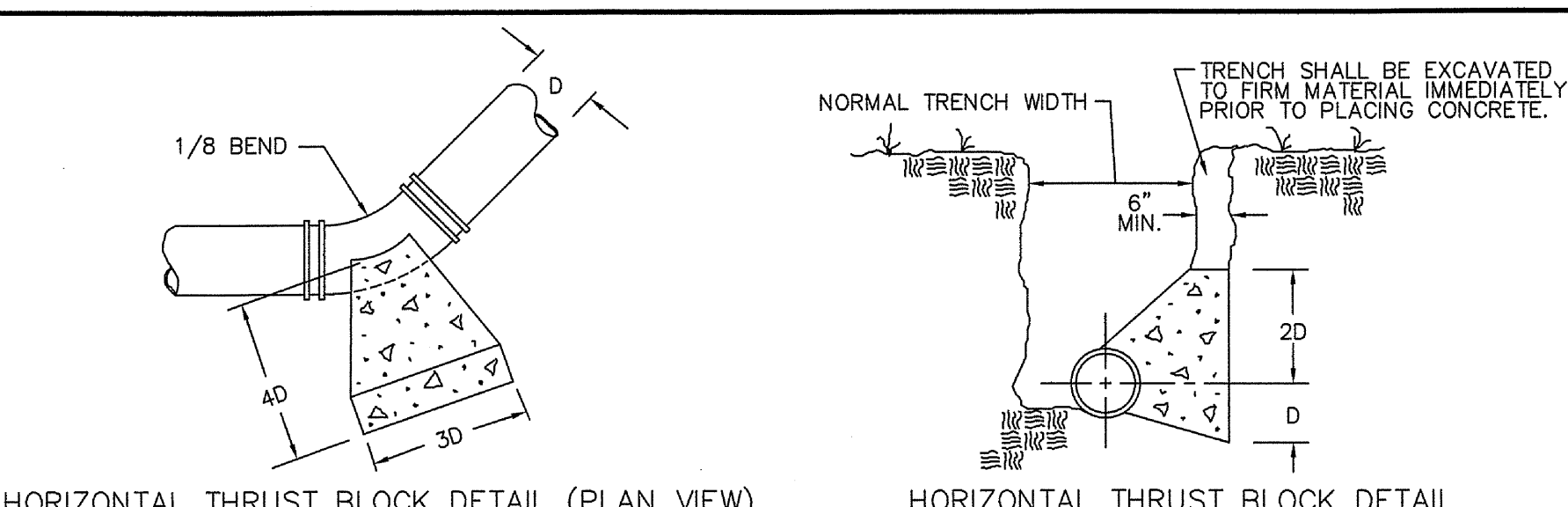


PIPE SIZE	No. THE PRODS FOR 125 PSI
6"	2
8"	2
12"	4
16"	6
20"	8
24"	12

Scale: NTS
Drawing Number: SD-8
BU Number - Sheet 1 of 1

DEAD END AND VALVE RESTRAINED CONNECTIONS DETAILS

93 WEST MAIN STREET

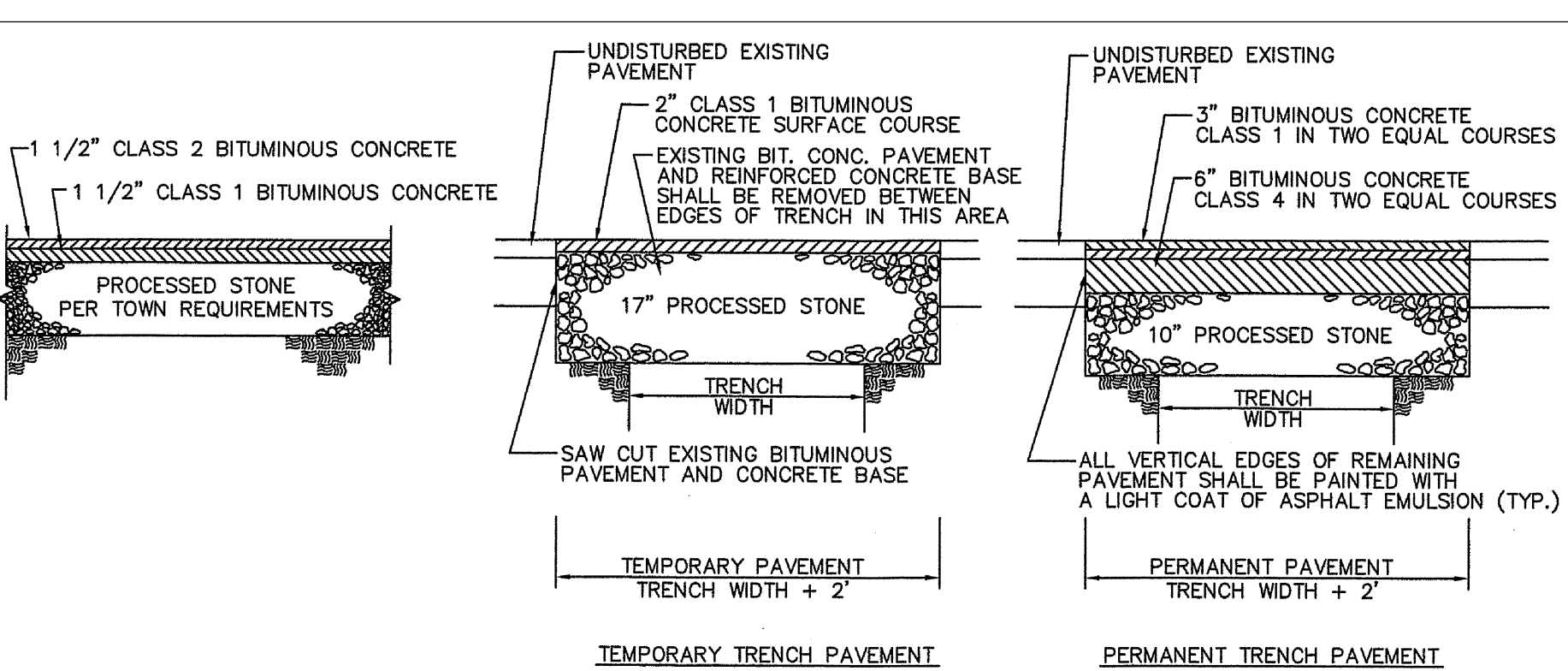


- NOTES:
- 1) 3000 PSI CONCRETE TO BE USED FOR THRUST BLOCKS.
 - 2) D-DIAMETER OF WATER MAIN.

Drawn By: LRS
Date: 4/2/03
Approved by: [Signature]
Scale: NTS
Drawing Number: SD-2
BU Number - X Sheet 1 of 1

THRUST BLOCK DETAILS

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www.ctwater.com

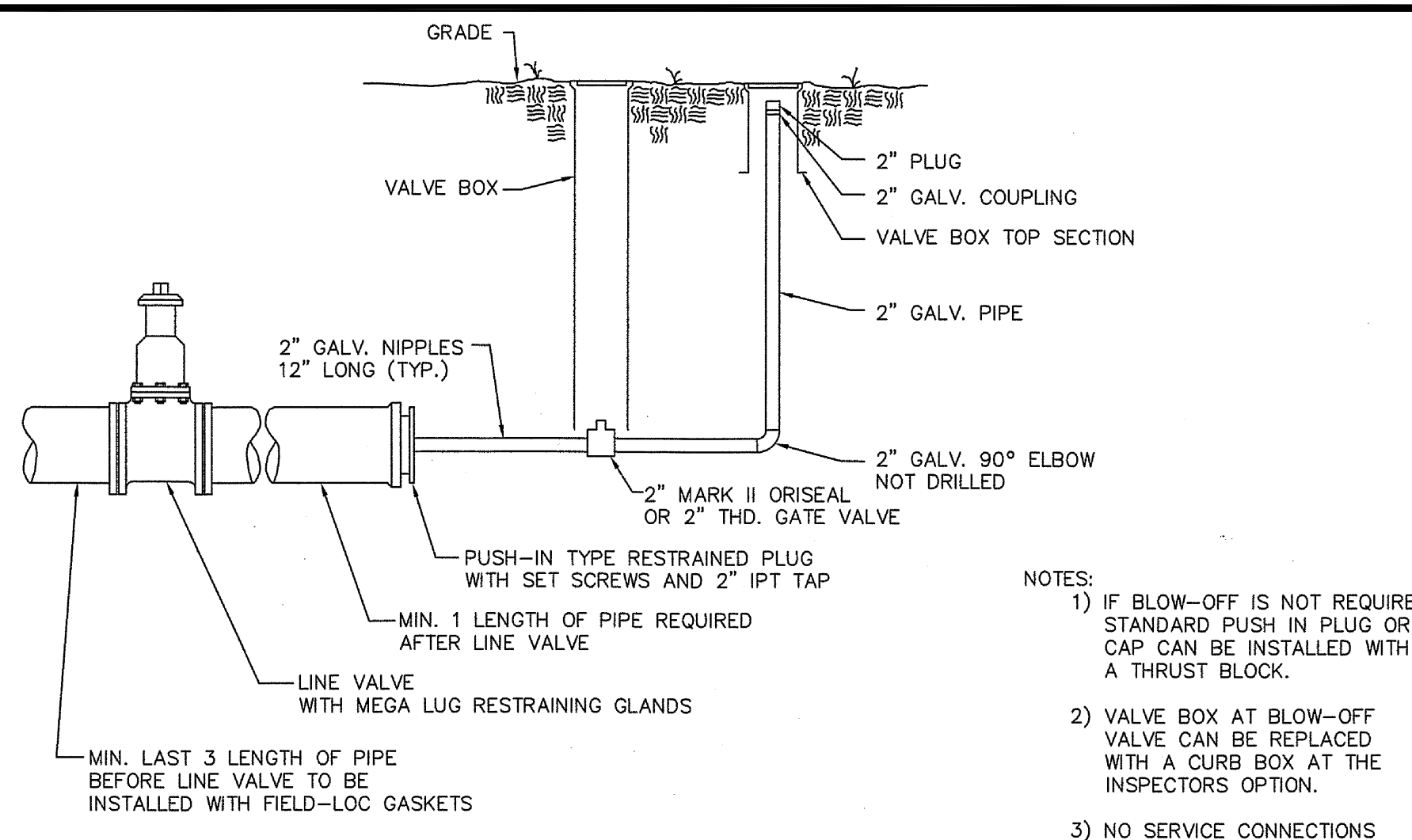


- NOTES:
- 1) DETAIL VARIES DUE TO INDIVIDUAL TOWN SPECIFICATIONS. DIMENSIONS MAY BE ALTERED DUE TO SPECIFIC REQUIREMENTS OF TOWN IN WHICH PROJECT IS LOCATED.
 - 2) PROCESSED STONE TO BE PER D.O.T. SPECIFICATIONS 3.04.03 & M.05.01.
 - 3) BITUMINOUS CONCRETE PAVEMENT TO BE PER D.O.T. SPECIFICATIONS 4.06 & M.04.
 - 4) SPECIFICATION SECTIONS REFER TO D.O.T. STANDARD SPECIFICATION FORM 814.

Drawn By: LRS
Date: 3/9/05
Approved by: [Signature]
Scale: NTS
Drawing Number: SD-9
BU Number - Sheet 1 of 1

PAVEMENT DETAILS STATE AND TOWN ROADS

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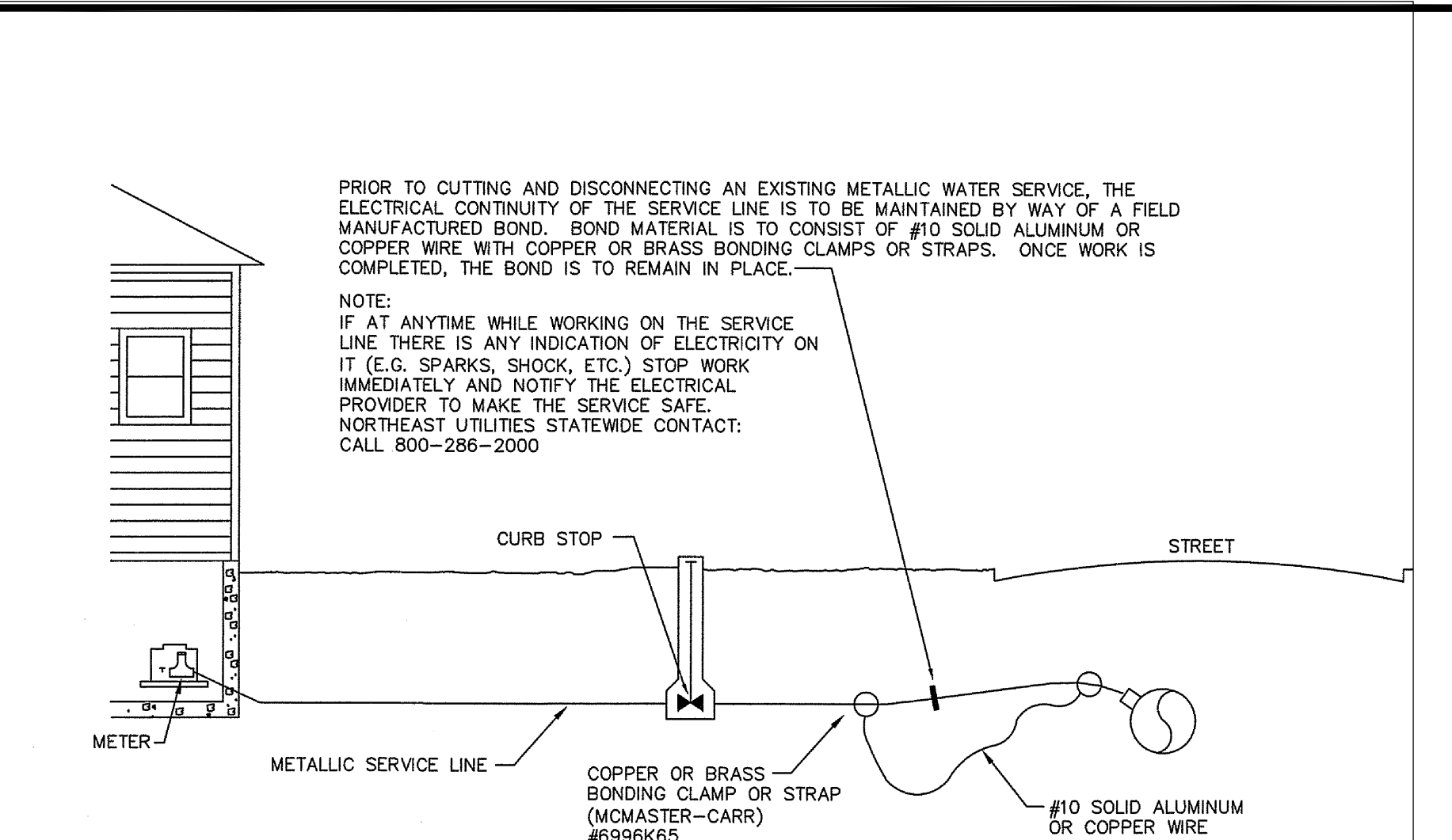


- NOTES:
- 1) IF BLOW-OFF IS NOT REQUIRE STANDARD PUSH IN PLUG OR CAP CAN BE INSTALLED WITH A THRUST BLOCK.
 - 2) VALVE BOX AT BLOW-OFF VALVE CAN BE REPLACED WITH A CURB BOX AT THE INSPECTORS OPTION.
 - 3) NO SERVICE CONNECTIONS BETWEEN LINE VALVE AND BLOW-OFF ASSEMBLY.

Drawn By: LRS
Date: 4/2/03
Approved by: [Signature]
Scale: NTS
Drawing Number: SD-5
BU Number - Sheet 1 of 1

4" - 12" WATER MAIN DEAD END BLOW-OFF DETAIL

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CLINTON, CT 06413-1600
www.ctwater.com



PRIOR TO CUTTING AND DISCONNECTING AN EXISTING METALLIC WATER SERVICE, THE ELECTRICAL CONTINUITY OF THE SERVICE LINE IS TO BE MAINTAINED BY WAY OF A FIELD MANUFACTURED BOND. BOND MATERIAL IS TO CONSIST OF #10 SOLID ALUMINUM OR COPPER WIRE WITH COPPER OR BRASS BONDING CLAMPS OR STRAPS. ONCE WORK IS COMPLETED, THE BOND IS TO REMAIN IN PLACE.

NOTE:
IF AT ANYTIME WHILE WORKING ON THE SERVICE LINE THERE IS ANY INDICATION OF ELECTRICITY ON IT (E.G. SPARKS, SHOCK, ETC.) STOP WORK IMMEDIATELY AND NOTIFY THE ELECTRICAL PROVIDER TO MAKE THE SERVICE SAFE.
NORTHEAST UTILITIES STATEWIDE CONTACT: CALL 800-286-2000

Drawn By: CAL
Date: 11/7/07
Approved by: [Signature]
Scale: NTS
Drawing Number: SD-23
BU Number - Sheet 1 of 1

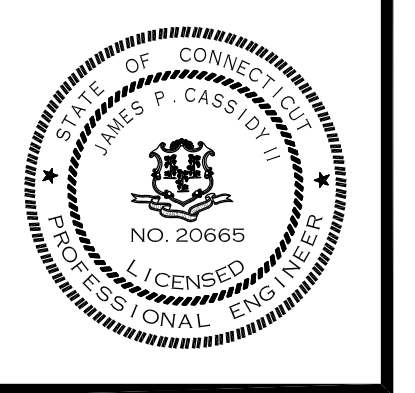
WATER SERVICE ELECTRICAL BONDING PROCEDURE

93 WEST MAIN STREET
CLINTON, CT 06413-1600
www.ctwater.com

SCALE: 1"=40'
DATE: MAY 23, 2023
JOB No.: 2574
SHEET: C of 26
REVISIONS: REVISION APPROVED DESIGN SEPT. 20, 2023 PER TOWN STAFF COMMENT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DETAILS PREPARED FOR LONGLEAF DEVELOPERS, L.L.C. LOCATED AT THE RESIDENCE AT EVERGREEN WALK UNIT 7C EVERGREEN WALK SOUTH WINDSOR, CONNECTICUT



320 SERIES: 32A LEVEL 2

MODEL #	DESCRIPTION
JB3-0-321	Single Connector Charger
JB3-0-322	Dual Connector Charger

CERTIFICATIONS
TUV Rheinland UL 2231-1, UL 2231-2, UL 2594 Energy Star - Dual port only

AC OUTPUT PER CONNECTOR
7.7 kW @ 240VAC 5.8 kW @ 208VAC

OPERATING TEMPERATURE
-20° C to +50° C -4° F to +122° F

COMMUNICATIONS
Cellular, Ethernet

PROTOCOL
OCPP 1.6J

DIMENSIONS
71.25" Total Height with Pedestal 36.5" Total Height w/out Pedestal 16" Width Without Connectors 12" Depth

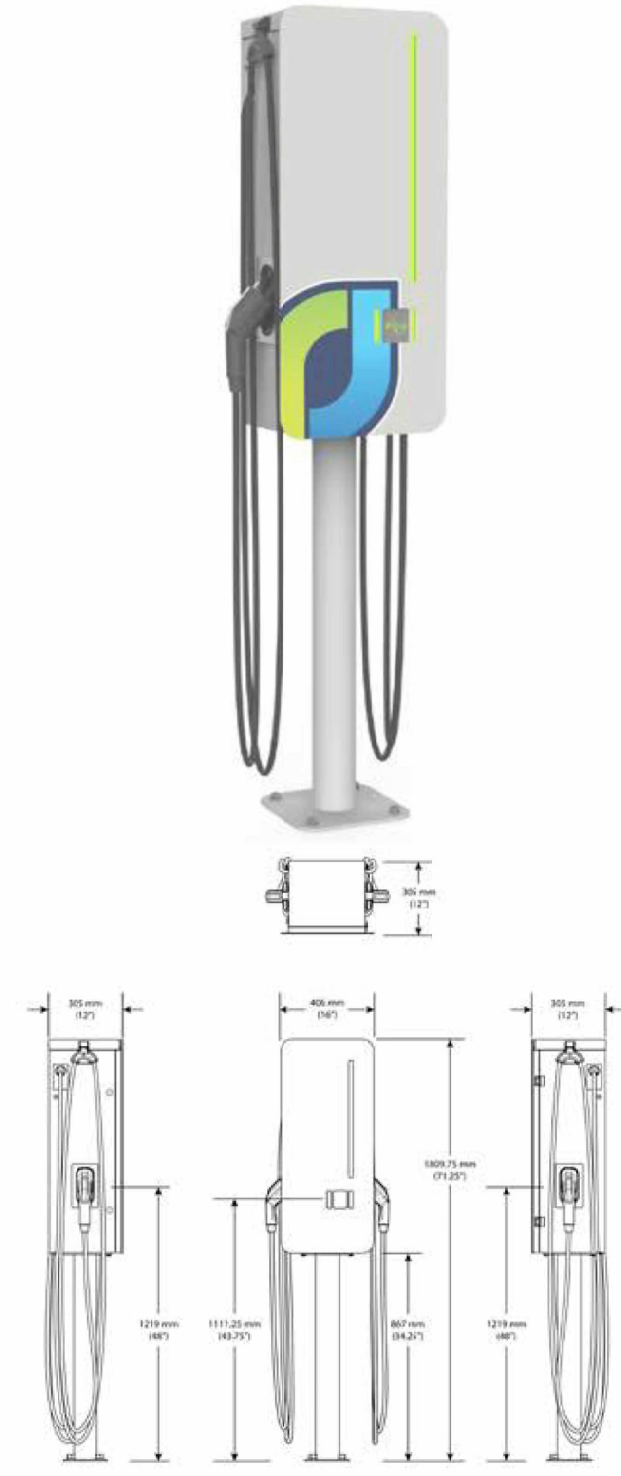
CORD LENGTH
18 feet

CONNECTORS
SAE J1772 Type 1

ENCLOSURE
Type 3R Aluminum

OPTIONS
Wall Bracket Pedestal Mount Branded Door Graphics

USER INTERFACE
LED Indicators RFID Card Reader



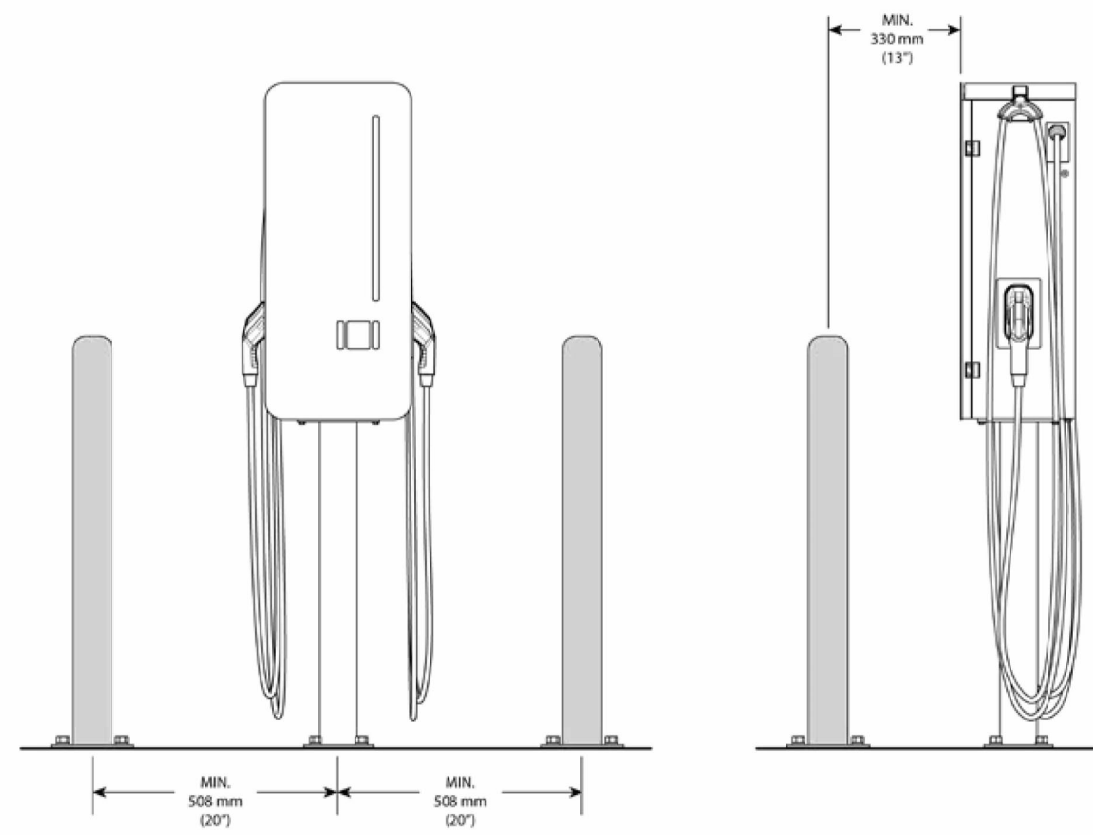
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SITE SELECTION (continued)

Things to Consider when Selecting Locations for JuiceBar Gen 3 Charging Stations

- Placement of traffic protection including bollards and/or wheel stops is recommended to protect the EVSE.

Bollards

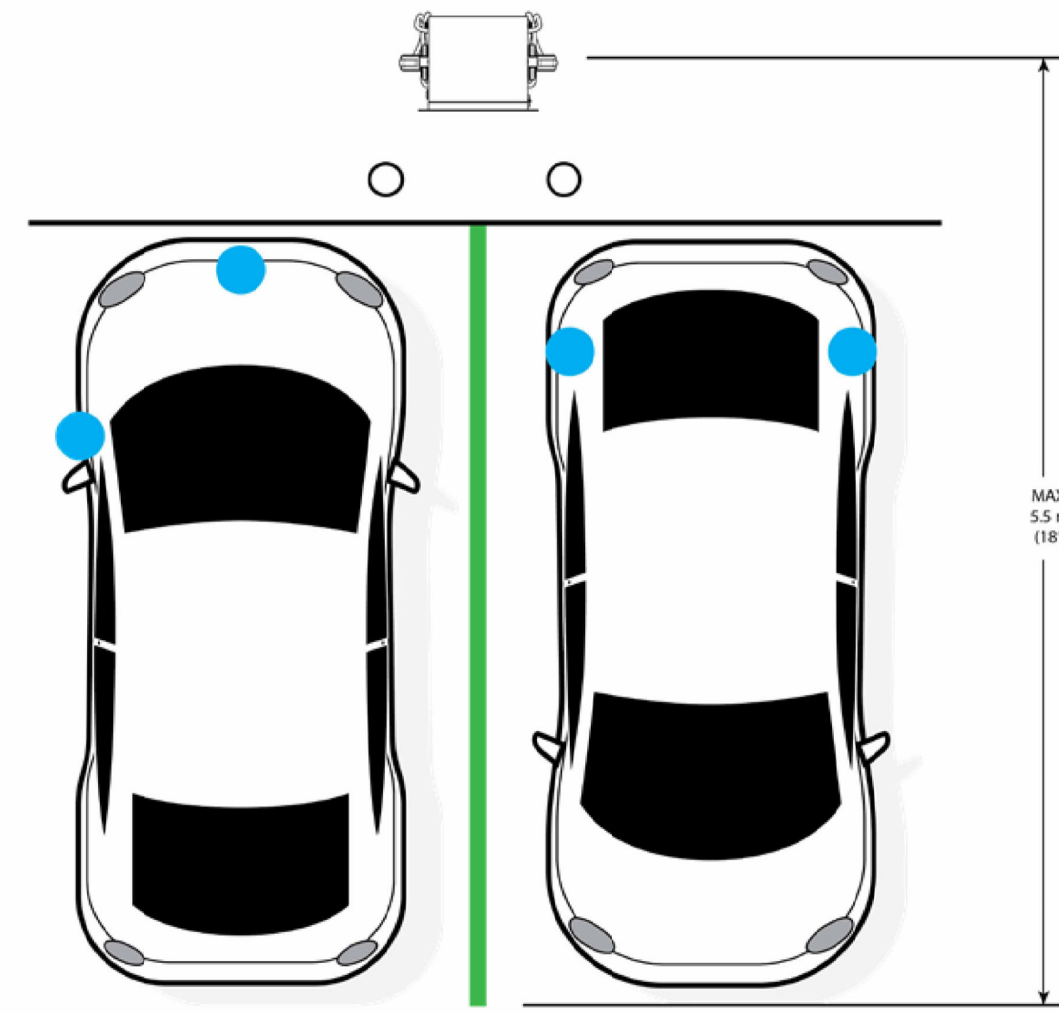


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SITE SELECTION (continued)

Things to Consider when Selecting Locations for JuiceBar Gen 3 Charging Stations

- Place the EVSE in a way that will enable access to the port locations on electric vehicles. JuiceBar's chargers can be equipped with cords of various lengths up to 18' and may include cord management systems.
- Longer and wider parking spaces are preferred to enable optimal cord handling and placement during use.



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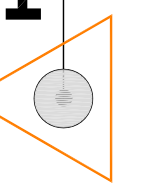


EV PARKING SYMBOL
N.T.S.

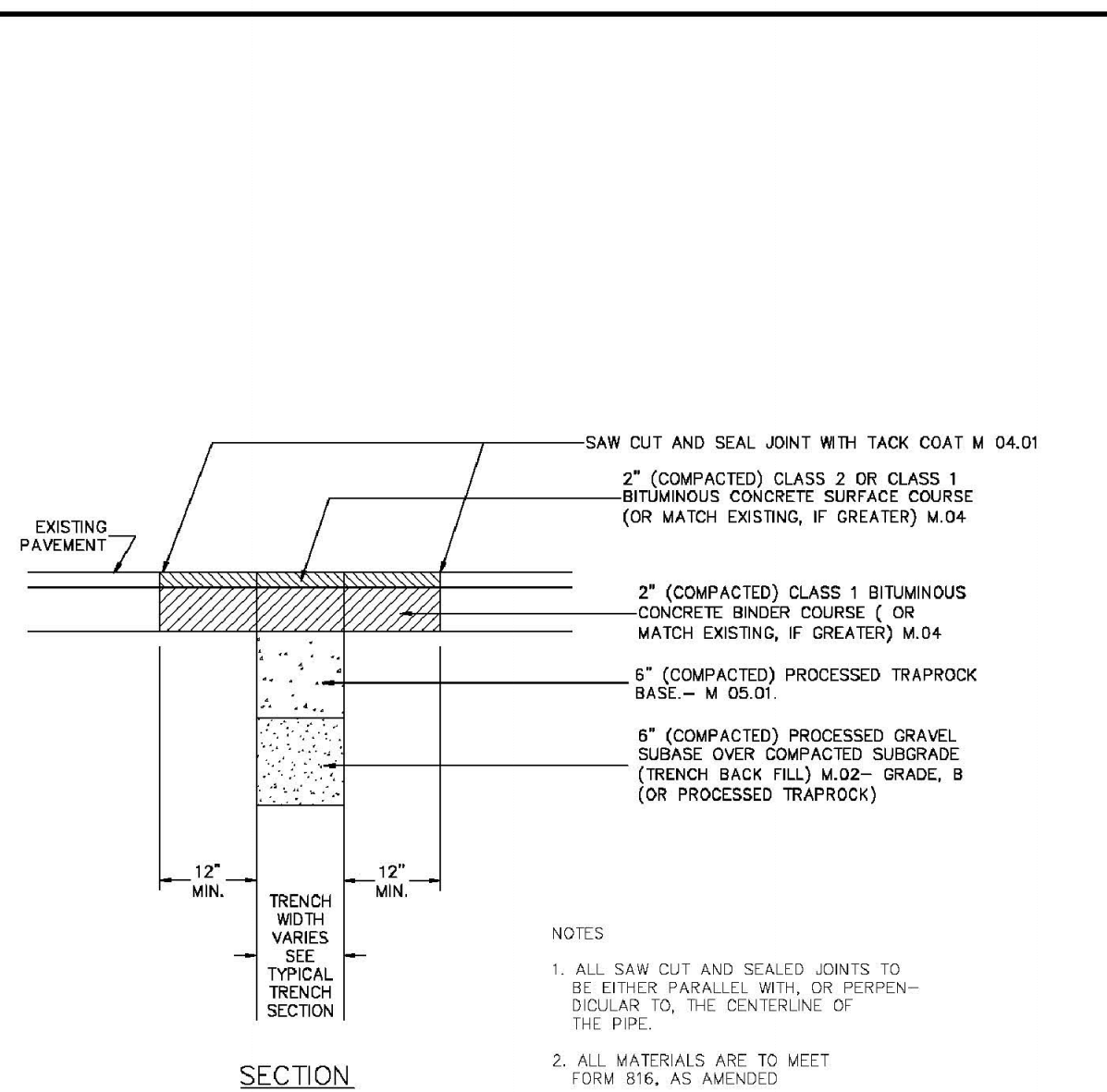
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SHEET: C	OF: 27
REVISIONS: REVISIONS: REVISIONS: REVISIONS: REVISIONS: SEPT. 20, 2023 PER TOWN STAFF COMMENT	

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CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709



SITE DETAILS
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

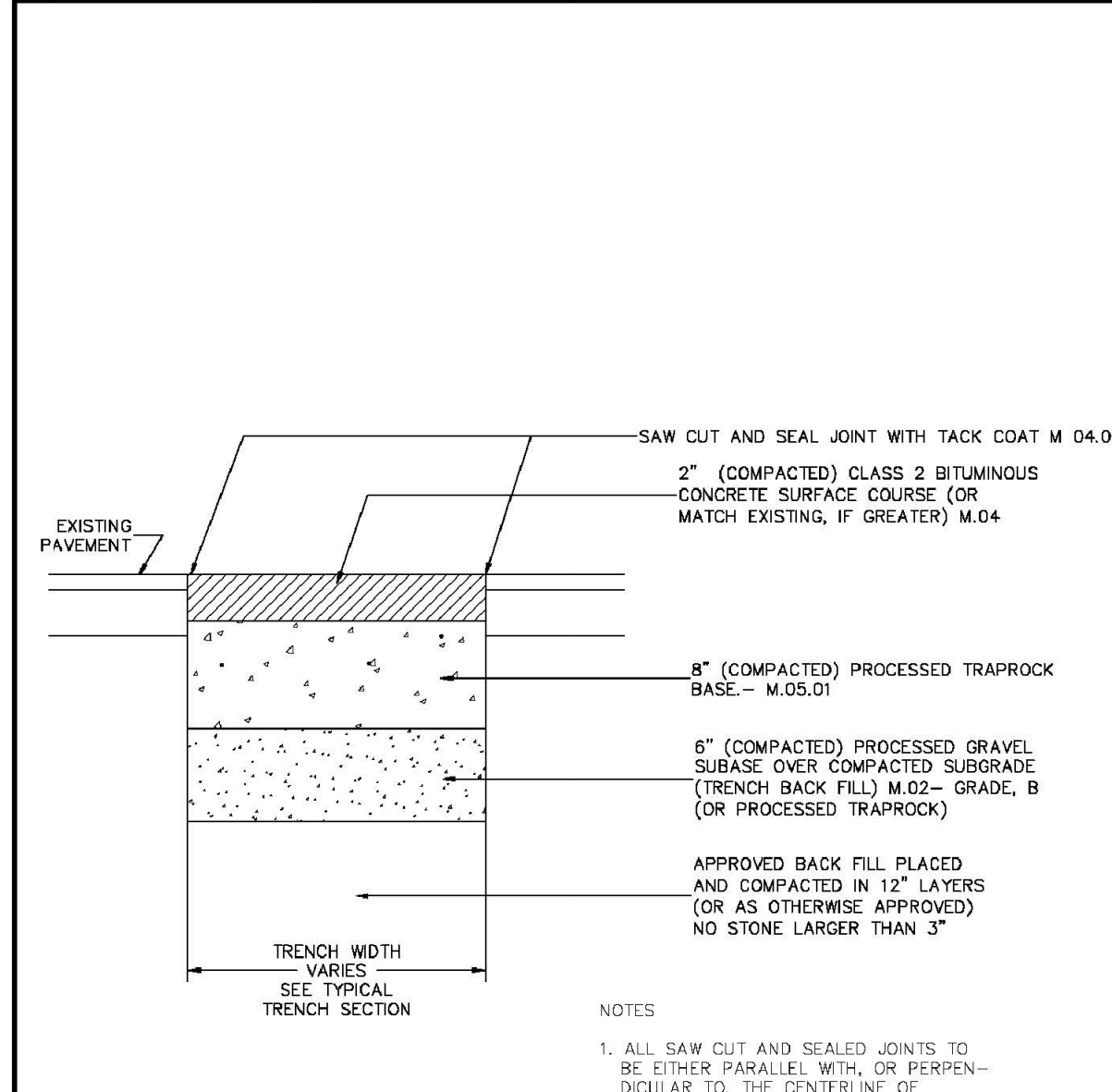


NOTES
1. ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH, OR PERPENDICULAR TO, THE CENTERLINE OF THE PIPE.
2. ALL MATERIALS ARE TO MEET FORM 616, AS AMENDED

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	PERMANENT PAVEMENT PATCHING DETAIL	NOT TO SCALE
REVISOR:	APPROVED:	PUBLIC WORKS DIRECTOR

SD-42

PERMPATCH.DWG

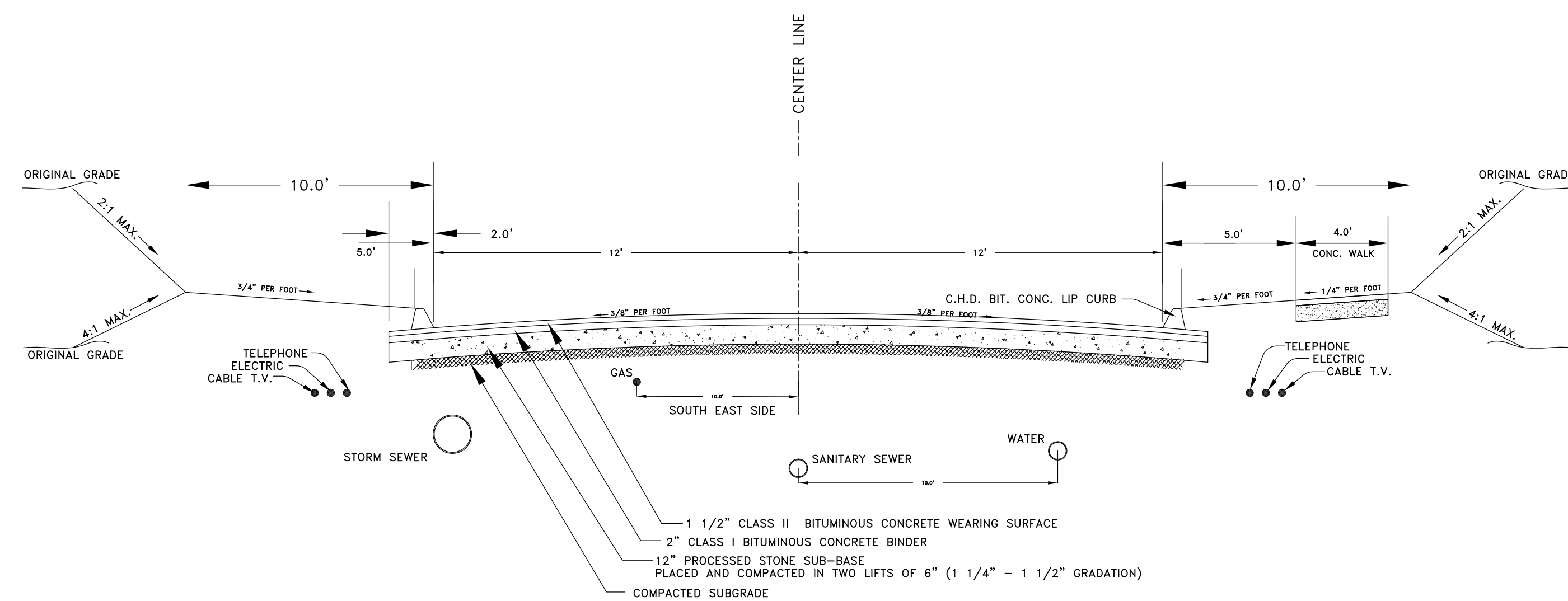


NOTES
1. ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH, OR PERPENDICULAR TO, THE CENTERLINE OF THE PIPE.
2. ALL MATERIALS ARE TO MEET FORM 616, AS AMENDED
3. IF THERE IS EVIDENCE OF SETTLEMENT OR UNDERMINING AT EDGE OF TRENCH, THE CONTRACTOR SHALL CUT BACK BASE AND SUBBASE AS NEEDED AND REPLACE AND RECOMPACT BASE AND SUBBASE PRIOR TO PAVING

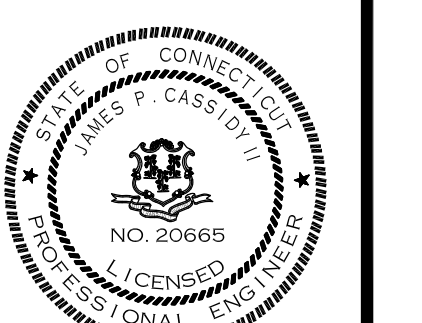
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TEMPORARY PAVEMENT PATCHING DETAIL	NOT TO SCALE
REVISOR:	APPROVED:	PUBLIC WORKS DIRECTOR

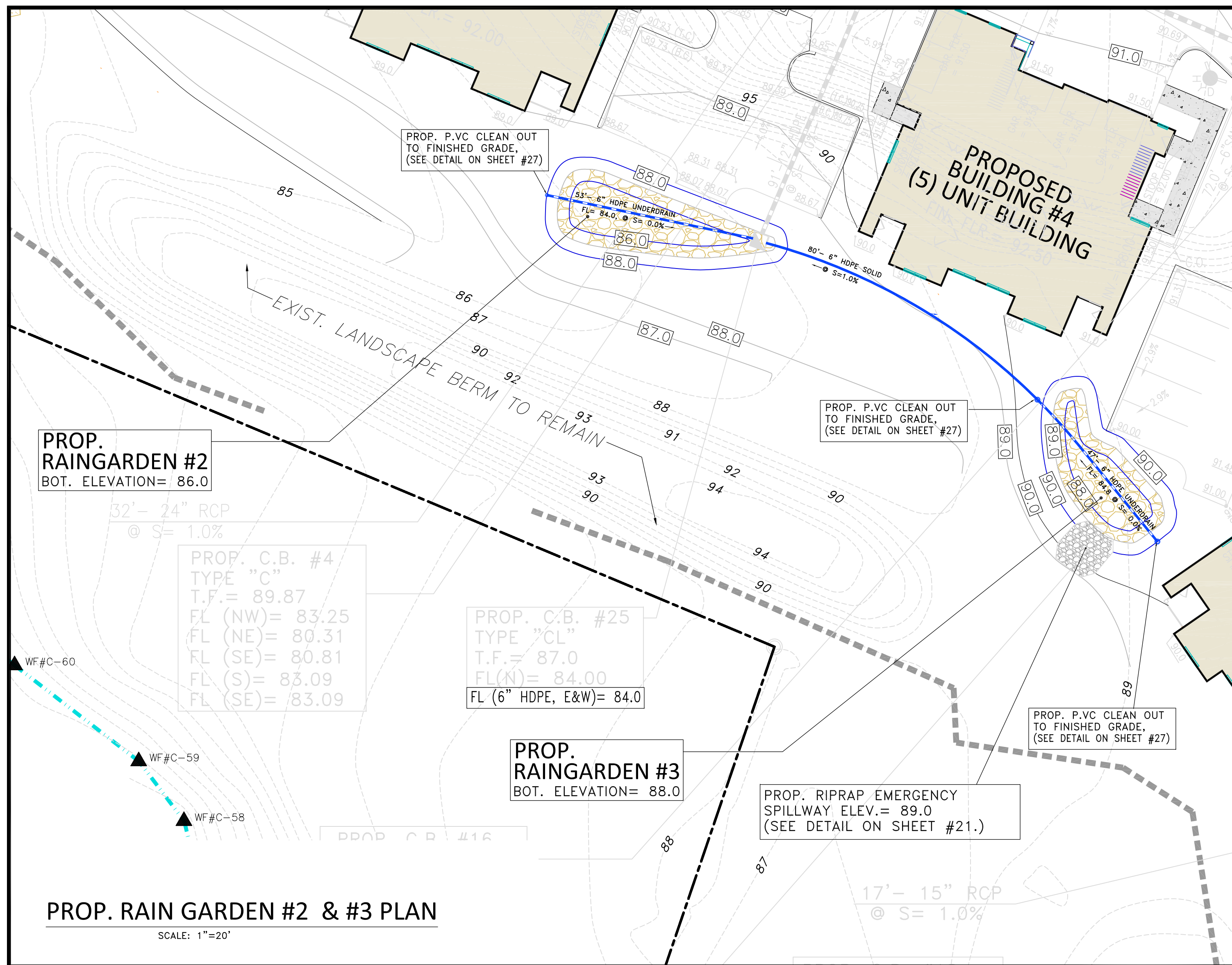
Sd-43

TEMPPATCH.DWG



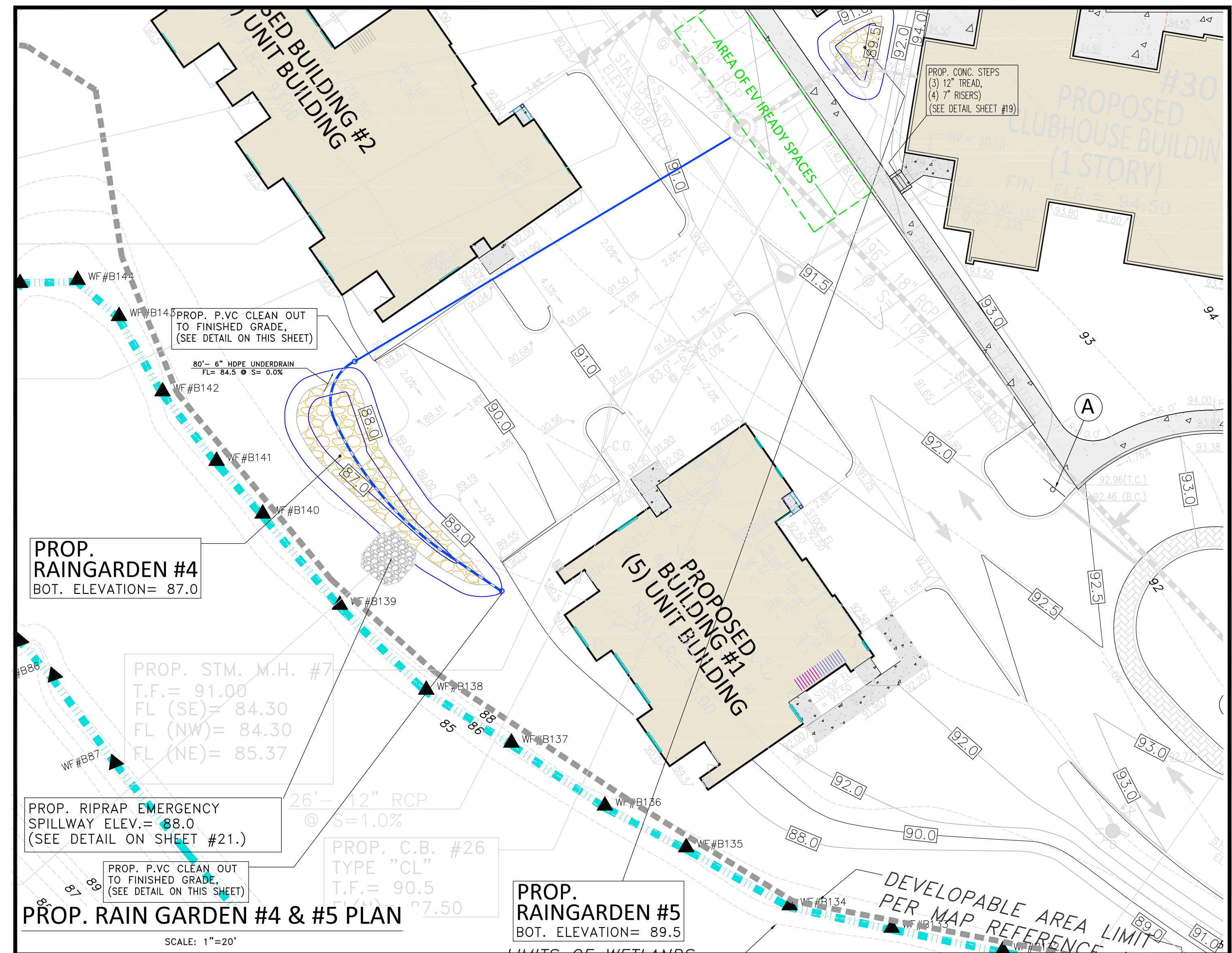
TYPICAL ROADWAY SECTION
N.T.S.





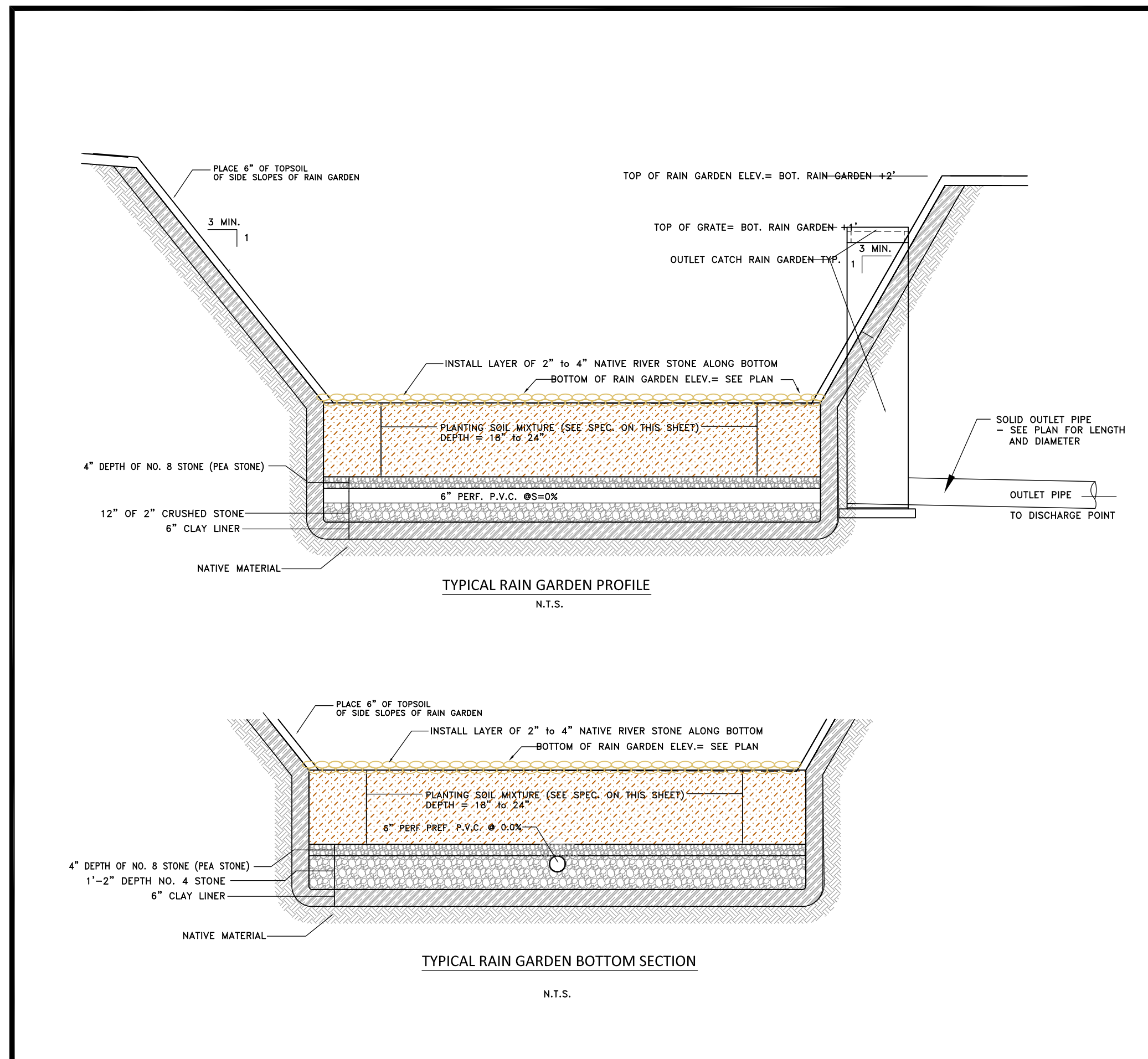
PROP. RAIN GARDEN #2 & #3 PLAN

SCALE: 1"=20'



PROP. RAIN GARDEN #4 & #5 PLAN

SCALE: 1"=20'



PLANTING SOIL SPECIFICATION:

THE PLANTING SOIL LAYER SHALL CONSIST OF 50% CLEAN SAND (ASTM C-33 WITH GRAIN SIZE OF 0.02 TO 0.04 INCHES), 25% TOPSOIL (SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE), AND 25% LEAF COMPOST (FULLY COMPOSTED). PLANTING SOIL SUBSTRATE SHOULD BE PLACED IN 12" LIFTS. SOIL COMPACTING MUST BE AVOIDED DURING CONSTRUCTION.

RAIN GARDEN CONSTRUCTION SPECIFICATIONS:

- RAIN GARDEN SHALL BE LOCATED, SO THAT THE BOTTOM OF THE RAIN GARDEN IS AT LEAST FOUR FEET ABOVE THE SEASONAL HIGH WATER TABLE (BASED ON PRONOUNCED MOTTLING). TEST PITS (>8 FT DEEP) SHOWED NO SIGNS OF SEASONAL GROUNDWATER AT PROPOSED RAIN GARDEN SITE.
- OVER EXCAVATE RAIN GARDEN TO ALLOW FOR A 24" DEEP PLANTING SOIL MIX, 4" PEA STONE & 12" OF 2" STONE.
- EXCAVATE FROM THE PERIMETER TO MINIMIZE COMPACTION.
- MIX THE PLANTING MEDIUM PER SPECIFICATIONS BEFOREHAND, AND PLACE IN TWO 12" LIFTS. OVERFILL TO ALLOW FOR SETTLING

RAIN GARDEN PLANTING NOTES:

- PLANT THE BOTTOM OF THE RAIN GARDEN WITH 2" PLUGS FROM "RAIN GARDEN PLANT LIST" ON THIS SHEET. THE EXACT LOCATION OF THE PLANTINGS WILL BE DETERMINED BY MATT DAVISON (WETLANDS SCIENTIST) AT THE TIME OF PLANTING.
- USE UPLAND MIX ON MID AND UPPER SLOPES OF RAIN GARDEN AND ON OTHER DISTURBED AREAS ADJACENT TO RAIN GARDEN. SEED MIX SPECIFICATION IS AS LISTED BELOW:
Seed Mix #3
New England Erosion Control/Restoration Mix for Dry Sites (80% of area to be seeded)
Apply to the upper slope of sediment fore bay and all other basin slopes.
Application rate: 35 lbs/acre (add 15% by weight annual rye grass for quick germination)
- WATER AND WEED AS NEEDED DURING ESTABLISHMENT.
- THE STORMWATER QUALITY RAIN GARDEN WILL BE MONITORED FOR A 3 YEAR PERIOD BY RICHARD SNARSKI, SOIL SCIENTIST OR OTHER QUALIFIED SOIL SCIENTIST. THE MONITORING REPORT WILL ADDRESS THE SUCCESS OF THE PLANTING. THE MONITORING REPORT WILL MAKE RECOMMENDATIONS ON ANY REMEDIAL MEASURES NEEDED IF ANY. PHOTOGRAPHS OF THE STORMWATER QUALITY RAIN GARDEN WILL BE INCLUDED IN THE REPORT. MONITORING WILL BE SENT TO THE INLAND WETLANDS AND WATER COURSES COMMISSION.

FIRST YEAR MONITORING

- RAIN GARDEN SHALL BE INSPECTED BY A WETLANDS PROFESSIONAL, ON THE DAY FOLLOWING A RAIN EVENT OVER 0.5 INCHES, DURING THE GROWING SEASON, IN THE YEAR FOLLOWING INSTALLATION. A BRIEF AFFIDAVIT THAT THE RAIN GARDEN HAS BEEN INSPECTED AND APPEARS TO COMPLY WITH SPECIFICATIONS SHALL BE PROVIDED TO THE WETLANDS ENFORCEMENT OFFICER WITHIN ONE MONTH OF INSPECTION. ONLY IF PROBLEMS ARE NOTED, SHALL A DETAILED REPORT BE PROVIDED TO THE TOWN'S INLAND WETLANDS AND WATERCOURSES COMMISSION. WETLANDS PROFESSIONAL SHALL TEACH IDENTIFICATION TO LANDSCAPER DURING INITIAL JOINT MONITORING

LONG TERM MAINTENANCE NOTES

- ANNUALLY MOW BOTTOM OF FOREBAY, ACCESS ROADWAY, AND ANY OTHER AREAS, AS NEEDED TO CONTROL INVASIVE COLONIZERS OR MAINTAIN SOME MEADOW PATCHES. A GOOD TIME TO MOW IS LATE WINTER, UNDER FROZEN CONDITIONS. THIS LETS MEADOW VEGETATION PROVIDE FLOWERS FALL/WINTER SHELTER & SEEDS.
- WOODY SHRUB SPECIES (NOT TREES) OTHER THAN INVASIVES MAY BE ALLOWED TO COLONIZE. MOW OR HAND PULL ANY INVASIVE SHRUB OR VINE SEEDLINGS IN EARLY SUMMER. DO NOT USE HERBICIDES, FUNGICIDES, OR INSECTICIDES.

RAIN GARDEN PLANT LIST

Herbaceous		
<i>Asclepias tuberosa</i>	Butterfly Milkweed	2' Min
<i>Echinacea purpurea</i>	Purple Coneflower	2' Min
<i>Lilium superbum</i>	Turks Cap Lily	2' Min
<i>Lobelia siphilitica</i>	Great Blue Lobelia	2' Min
<i>Rudbeckia laciniata</i>	Green-headed Coneflower	2' Min
<i>Vernonia noveboracensis</i>	New York Ironweed	2' Min
Shrubs		
<i>Aronia arbutifolia</i>	Red Chokeberry	3-4'
<i>Clethra alnifolia</i>	Sweet Pepperbush	3-4'
<i>Cornus sericea</i>	Red Osier Dogwood	3-4'
<i>Ilex verticillata</i>	Winterberry	3-4'
<i>Sambucus canadensis</i>	Elderberry	3-4'
<i>Viburnum dentatum</i>	Arrowwood	3-4'

Note: This plant list is intended to provide a selection of native species suitable for use in a rain garden. The quantity of, and specific layout of plants for each rain garden should be determined by a landscape contractor in the field. Herbaceous plantings and small shrubs should be grouped by species. Medium to large-sized shrubs such as winterberry, arrowwood and elderberry can be located individually.

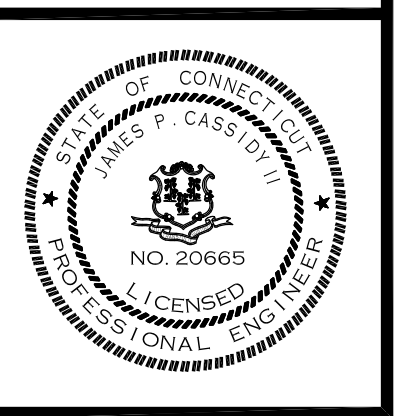
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DATE: MAY 23, 2023
JOB No.: 2574
SHEET: C of 28
CHECKED BY: J.P.C.
DRAWN BY: J.M.P.
ACAD FILE: 2574-RAIN
REVISIONS: UNDATED ESTIMATED DESIGN
SEPT. 20, 2023 PER TOWN STAFF COMMENT

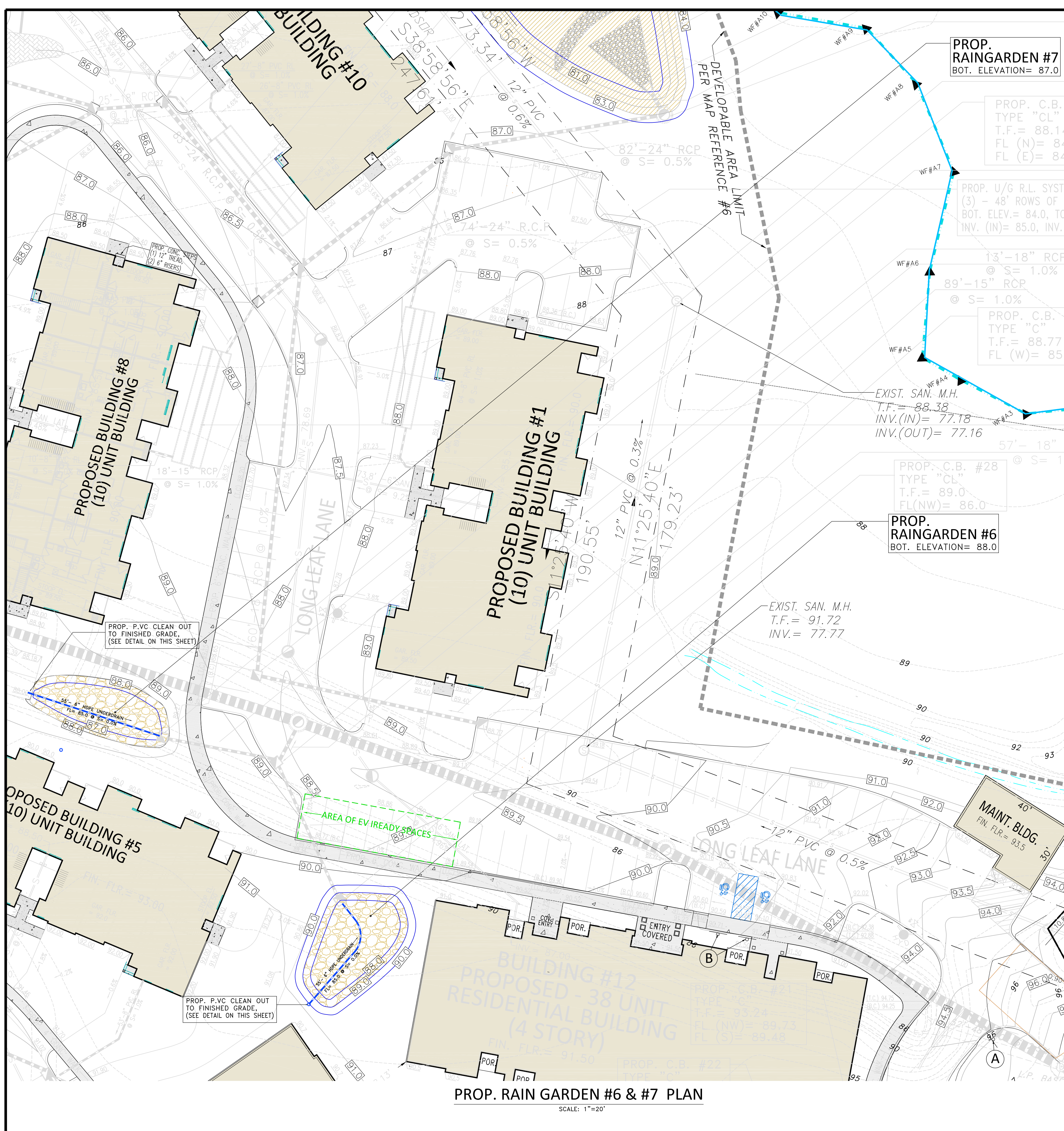
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812. FAX: (860)-721-7709

RAIN GARDEN #2, 3, 4 & 5 DETAIL SHEET
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.

LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





PROP. RAIN GARDEN #6 & #7 PLAN
SCALE: 1"=20'

PLANTING SOIL SPECIFICATION:
THE PLANTING SOIL LAYER SHALL CONSIST OF 50% CLEAN SAND (ASTM C-33 WITH GRAIN SIZE OF 0.02 TO 0.04 INCHES), 25% TOPSOIL (SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE), AND 25% LEAF COMPOST (FULLY COMPOSTED). PLANTING SOIL SUBSTRATE SHOULD BE PLACED IN 12" LIFTS. SOIL COMPACTING MUST BE AVOIDED DURING CONSTRUCTION.

RAIN GARDEN CONSTRUCTION SPECIFICATIONS:

- RAIN GARDEN SHALL BE LOCATED, SO THAT THE BOTTOM OF THE RAIN GARDEN IS AT LEAST FOUR FEET ABOVE THE SEASONAL HIGH WATER TABLE (BASED ON PRONOUNCED MOTTLING). TEST PITS (>8 FT DEEP) SHOWED NO SIGNS OF SEASONAL GROUNDWATER AT PROPOSED RAIN GARDEN SITE.
- OVER EXCAVATE RAIN GARDEN TO ALLOW FOR A 24" DEEP PLANTING SOIL MIX, 4" PEA STONE & 12" OF 2" STONE.
- EXCAVATE FROM THE PERIMETER TO MINIMIZE COMPACTION.
- MIX THE PLANTING MEDIUM PER SPECIFICATIONS BEFOREHAND, AND PLACE IN IN TWO 12" LIFTS. OVERFILL TO ALLOW FOR SETTLING.

RAIN GARDEN PLANTING NOTES:

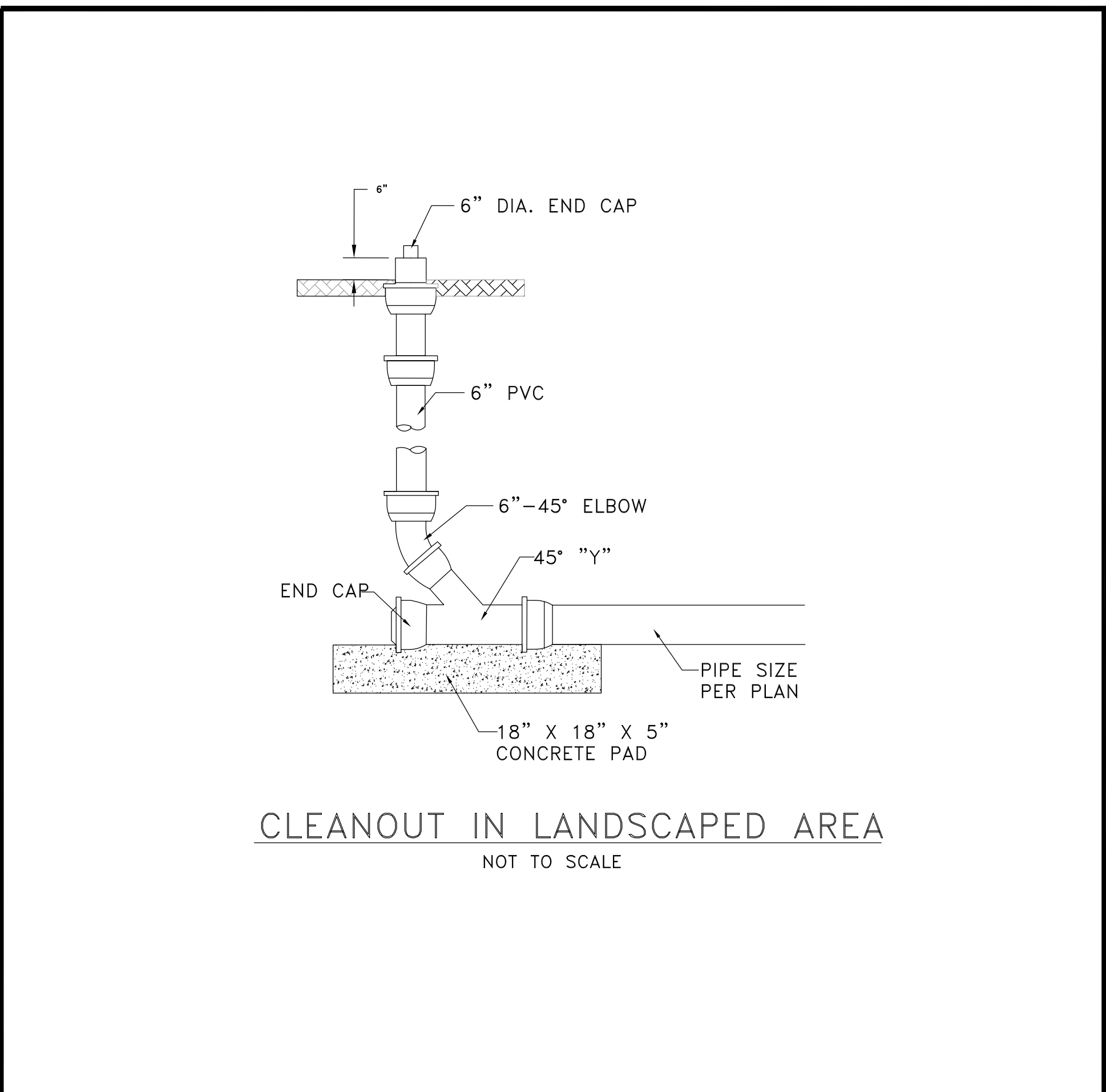
- PLANT THE BOTTOM OF THE RAIN GARDEN WITH 2" PLUGS FROM "RAIN GARDEN PLANT LIST" ON SHEET #27. THE EXACT LOCATION OF THE PLANTINGS WILL BE DETERMINED BY MATT DAVISON (WETLANDS SCIENTIST) AT THE TIME OF PLANTING.
- USE UPLAND MIX ON MID AND UPPER SLOPES OF RAIN GARDEN AND ON OTHER DISTURBED AREAS ADJACENT TO RAIN GARDEN. SEED MIX SPECIFICATION IS AS LISTED BELOW:
Seed Mix #3
New England Erosion Control/Restoration Mix for Dry Sites (80% of area to be seeded)
Apply to the upper slope of sediment fore bay and all other basin slopes.
Application rate: 35 lbs/acre (add 15% by weight annual rye grass for quick germination)
- WATER AND WEED AS NEEDED DURING ESTABLISHMENT.
- THE STORMWATER QUALITY RAIN GARDEN WILL BE MONITORED FOR A 3 YEAR PERIOD BY RICHARD SNARSKI, SOIL SCIENTIST OR OTHER QUALIFIED SOIL SCIENTIST. THE MONITORING REPORT WILL ADDRESS THE SUCCESS OF THE PLANTING. THE MONITORING REPORT WILL MAKE RECOMMENDATIONS ON ANY REMEDIAL MEASURES NEEDED IF ANY. PHOTOGRAPHS OF THE STORMWATER QUALITY RAIN GARDEN WILL BE INCLUDED IN THE REPORT. MONITORING WILL BE SENT TO THE INLAND WETLANDS AND WATER COURSES COMMISSION.

FIRST YEAR MONITORING

- RAIN GARDEN SHALL BE INSPECTED BY A WETLANDS PROFESSIONAL, ON THE DAY FOLLOWING A RAIN EVENT OVER 0.5 INCHES. DURING THE GROWING SEASON, IN THE YEAR FOLLOWING INSTALLATION. A BRIEF AFFIDAVIT THAT THE RAIN GARDEN HAS BEEN INSPECTED AND APPEARS TO COMPLY WITH SPECIFICATIONS SHALL BE PROVIDED TO THE WETLANDS ENFORCEMENT OFFICER WITHIN ONE MONTH OF INSPECTION. ONLY IF PROBLEMS ARE NOTED, SHALL A DETAILED REPORT BE PROVIDED TO THE TOWN'S INLAND WETLANDS AND WATERCOURSES COMMISSION. WETLANDS PROFESSIONAL SHALL TEACH IDENTIFICATION TO LANDSCAPER DURING INITIAL JOINT MONITORING.

LONG TERM MAINTENANCE NOTES

- ANNUALLY MOW BOTTOM OF FOREBAY, ACCESS ROADWAY, AND ANY OTHER AREAS, AS NEEDED TO CONTROL INVASIVE COLONIZERS OR MAINTAIN SOME MEADOW PATCHES. A GOOD TIME TO MOW IS LATE WINTER, UNDER FROZEN CONDITIONS. THIS LETS MEADOW VEGETATION PROVIDE FLOWERS FALL/WINTER SHELTER & SEEDS.
- WOODY SHRUB SPECIES (NOT TREES) OTHER THAN INVASIVES MAY BE ALLOWED TO COLONIZE. MOW OR HAND PULL ANY INVASIVE SHRUB OR VINE SEEDLINGS IN EARLY SUMMER. DO NOT USE HERBICIDES, FUNGICIDES, OR INSECTICIDES.

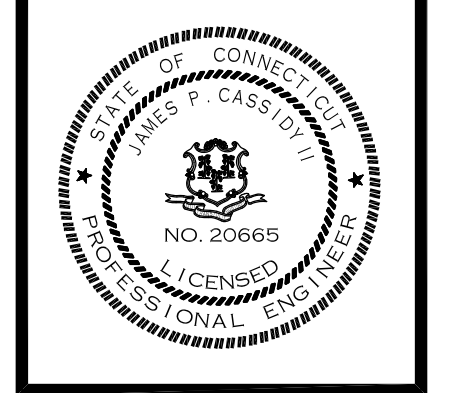


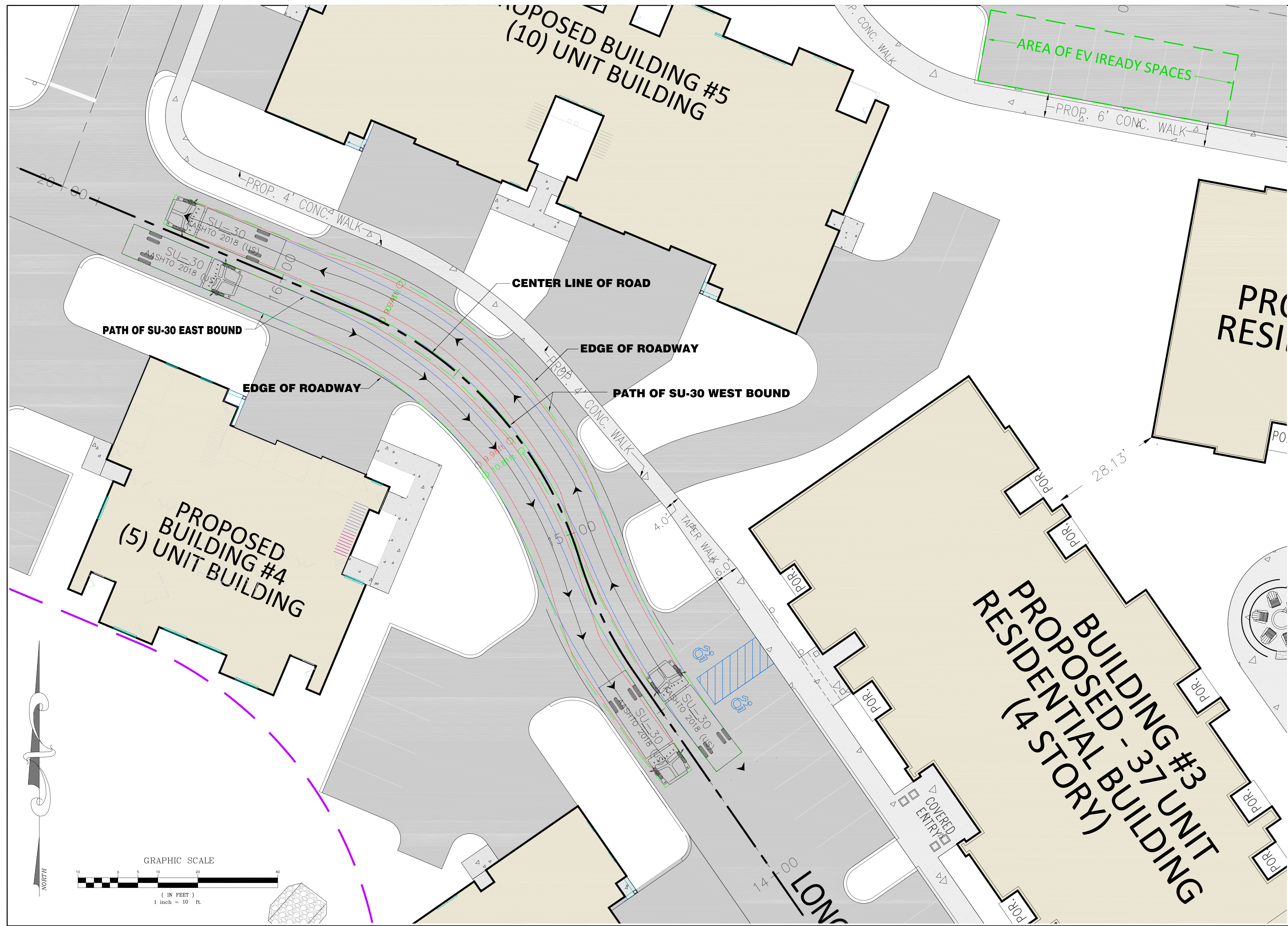
CLEANOUT IN LANDSCAPED AREA
NOT TO SCALE

SCALE: 1"=20'	CHECKED BY: J.P.C.
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-RAIN
SHEET: C	OF: 29
REVISIONS: 1. REVISIONS APPROXIMATE REGION SEPT. 20, 2023 PER TOWN STAFF COMMENT	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
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RAIN GARDEN # 6 & #7 DETAIL SHEET
PREPARED FOR
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THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
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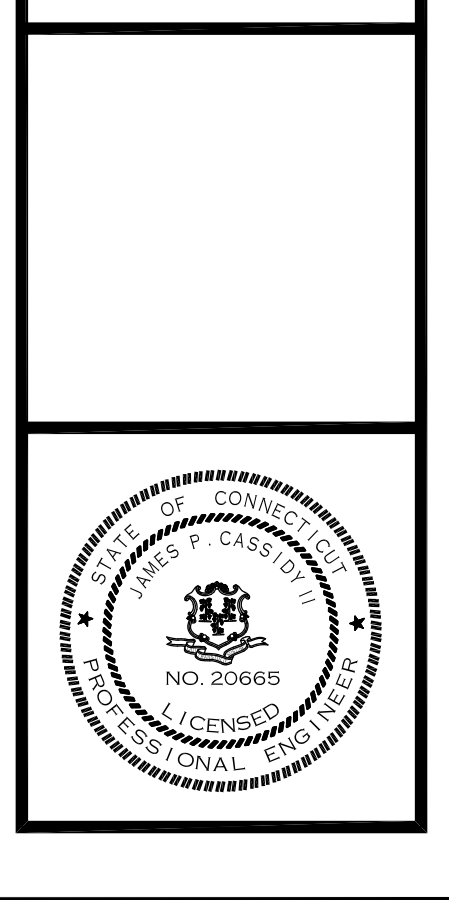




SCALE: 1"=40'	CHECKED BY: J.P.C.
DATE: SEPT 20, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-21-23
SHEET: TM - 1	
REVISIONS:	

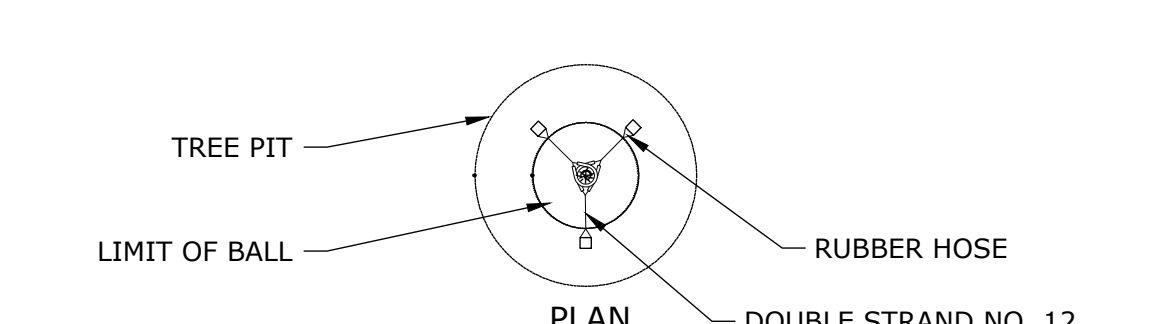
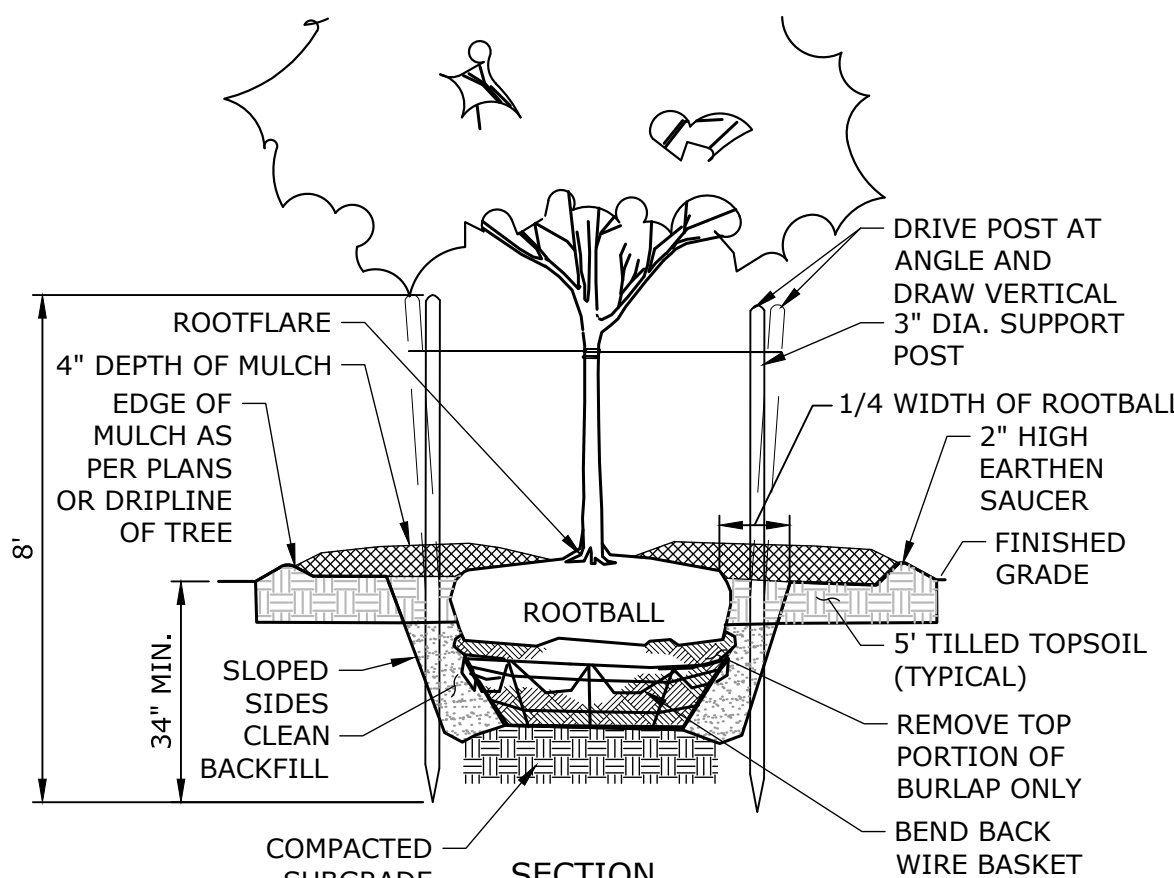
HALLISEY, PEARSON & CASSIDY
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 630 MAIN STREET, UNIT #1A
 CROWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709

TURNING MANEUVER PLAN FOR SU-30
AREA OF REVERSE CURVE BETWEEN STATION 15+00 TO 17+00
 PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 LOCATED AT
 THE RESIDENCE AT EVERGREEN WALK
 UNIT 7C EVERGREEN WALK
 SOUTH WINDSOR, CONNECTICUT



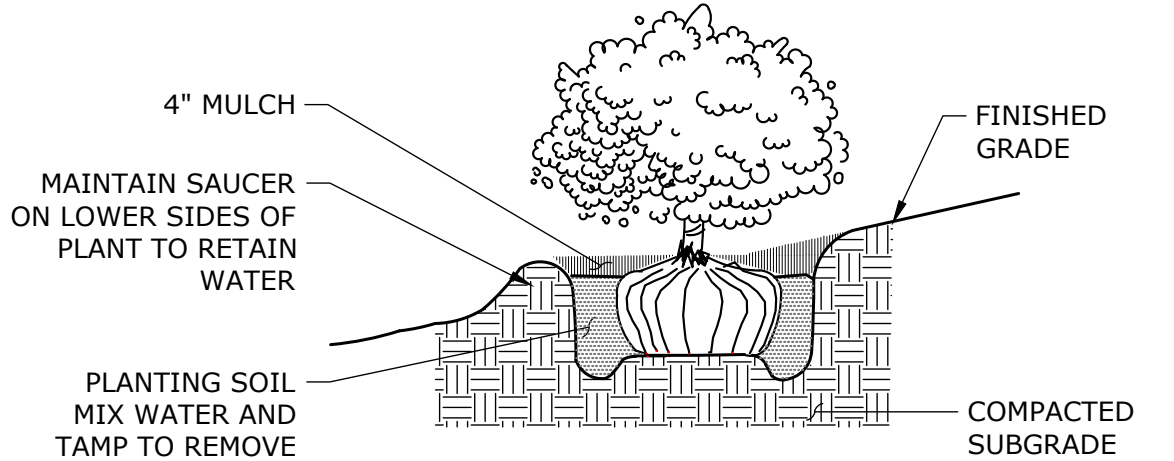
PLANTING NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. SEED ALL DISTURBED AREAS TO LAWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL, AS SPECIFIED, FOR ALL LAWN AREAS. SUBGRADE BENEATH PROPOSED LAWN AREAS SHOULD BE LOOSENEED OR SCARIFIED TO A MIN. DEPTH OF 6".
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED BARK MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS. NO DYED MULCH.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GLYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTLING PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.



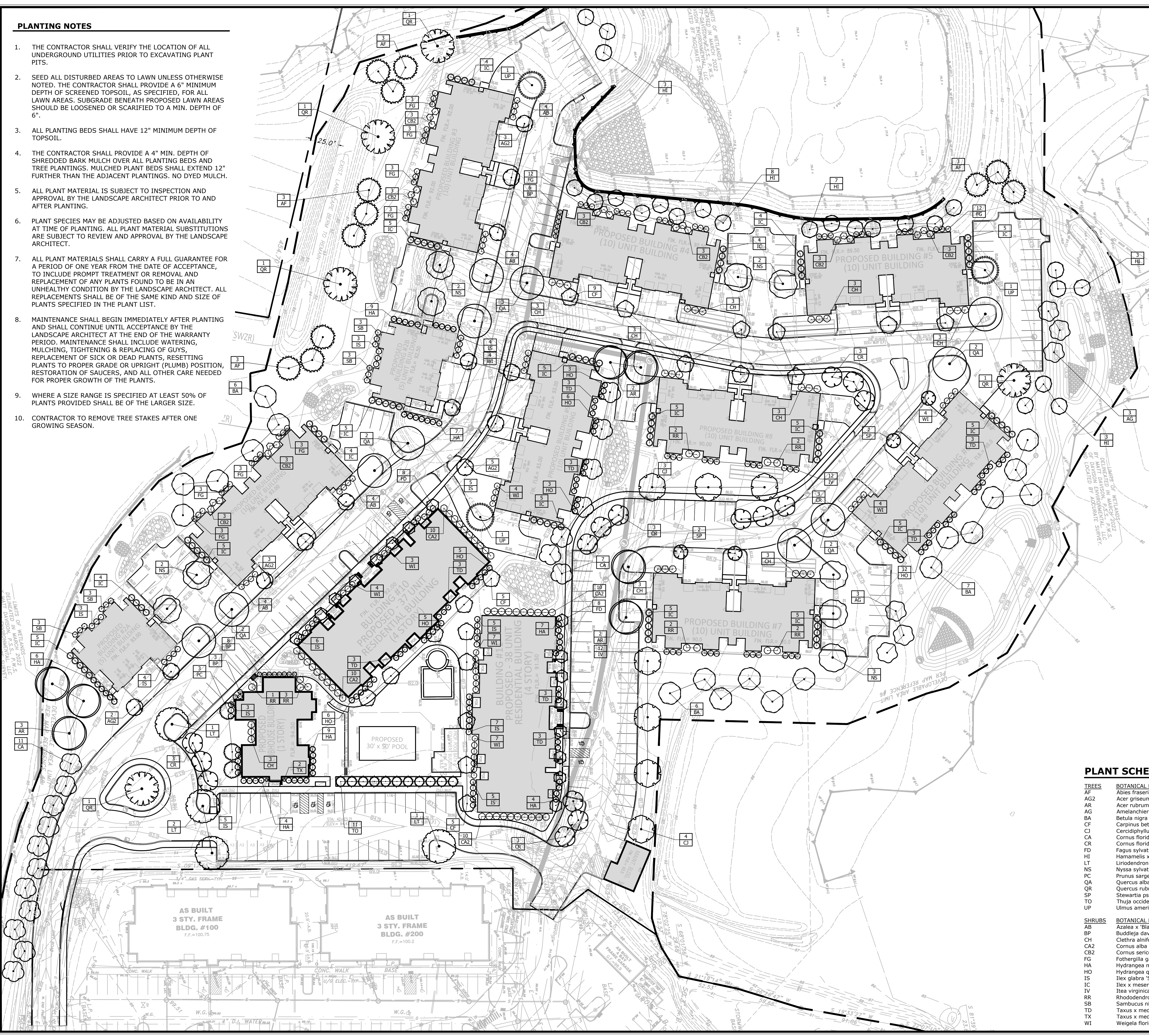
NOTE:
1. SUPPORT STAKES SHALL BE REMOVED BY THE CONTRACTOR ONE YEAR AFTER INSTALLATION.

TREE PLANTING
NOT TO SCALE



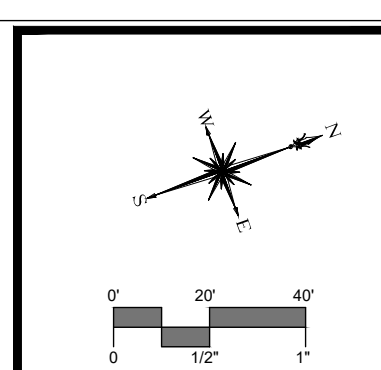
NOTES:
1. UNLESS OTHERWISE DIRECTED SHREDDED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.

SHRUB PLANTING
NOT TO SCALE



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AF	Abies fraseri	Fraser Fir	6' / 7' HT.	12
AG2	Acer griseum	Paperbark Maple	2"-2.5" Cal.	13
AR	Acer rubrum	Red Maple	2.5"-3.0" Cal.	7
AG	Amelanchier canadensis 'Glenform'	Rainbow Pillar® Canadian Serviceberry	2"-2.5" Cal.	6
BA	Betula nigra 'Heritage'	Heritage River Birch Multi-Stem	2"-2.5" Cal.	19
CF	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2"-2.5" Cal.	19
CJ	Cercidiphyllum japonicum	Katsura Tree	2.5"-3.0" Cal.	7
CH	Cornus florida 'Appalachian Spring'	Appalachian Spring Dogwood	2"-2.5" Cal.	18
CR	Cornus florida 'Rubra'	Red Flowering Dogwood	2.5"-3.0" Cal.	15
FD	Fagus sylvatica 'Dawycyk'	Dawycyk Green European Beech	2"-2.5" Cal.	16
HI	Hamamelis x intermedia 'Arnold Promise'	Arnold Promise Witch Hazel	1.5"-2.0" Cal.	24
LT	Liriodendron tulipifera	Tulip Poplar	2.5"-3.0" Cal.	4
NS	Nyssa sylvatica	Tupelo	2.5"-3.0" Cal.	9
PC	Prunus sargentii 'Columnaris'	Columnar Sargent Cherry	2"-2.5" Cal.	3
QA	Quercus alba	White Oak	2.5"-3.0" Cal.	11
QR	Quercus rubra	Red Oak	2.5"-3.0" Cal.	5
SP	Stewartia pseudocamellia	Japanese Stewartia	2"-2.5" Cal.	4
TO	Thuja occidentalis	American Arborvitae	6' / 7' HT.	11
WI	Ulmus americana 'Princeton'	Princeton American Elm	2.5"-3.0" Cal.	3
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AB	Azalea x 'Blaauw's Pink'	Blaauw's Pink Azalea	#3	16
BP	Buddleja davidii 'Pink Delight'	Pink Delight Butterfly Bush	#3	17
CH	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	#3	27
CA2	Cornus alba 'Argenteo-marginata'	Variiegated Tatarian Dogwood	#3	40
CB2	Cornus sericea 'Bailey'	Bailey's Red Twig Dogwood	#3	24
FG	Fothergilla gardenii	Dwarf Fothergilla	#3	48
HA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrangea	#3	46
HO	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	#3	40
IS	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	#3	50
IC	Ilex x meserveae 'China Girl'	China Girl® Holly	#3	85
IV	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetgum	#3	24
RR	Rhododendron maximum 'Roseum'	Pink Rosebay Rhododendron	#3	12
SB	Sambucus nigra 'Black Lace'	Black Lace Elderberry	#3	12
TD	Taxus x media 'Densiflormis'	Dense Anglo-Japanese Yew	#3	24
TX	Taxus x media 'Hills Upright'	Hills Upright Anglo-Japanese Yew	5' / 6" HT.	2
WI	Weigela florida Wine & Roses	Wine & Roses Weigela	#3	37



SLR
185 CHURCH STREET, 7TH FLOOR
CT 06110
203.344.7887
SLRCONSULTING.COM

DESCRIPTION	DATE	BY

SITE LANDSCAPE PLAN
RESIDENCE AT EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

SAS SAS JW
DESIGNED DRAWN CHECKED

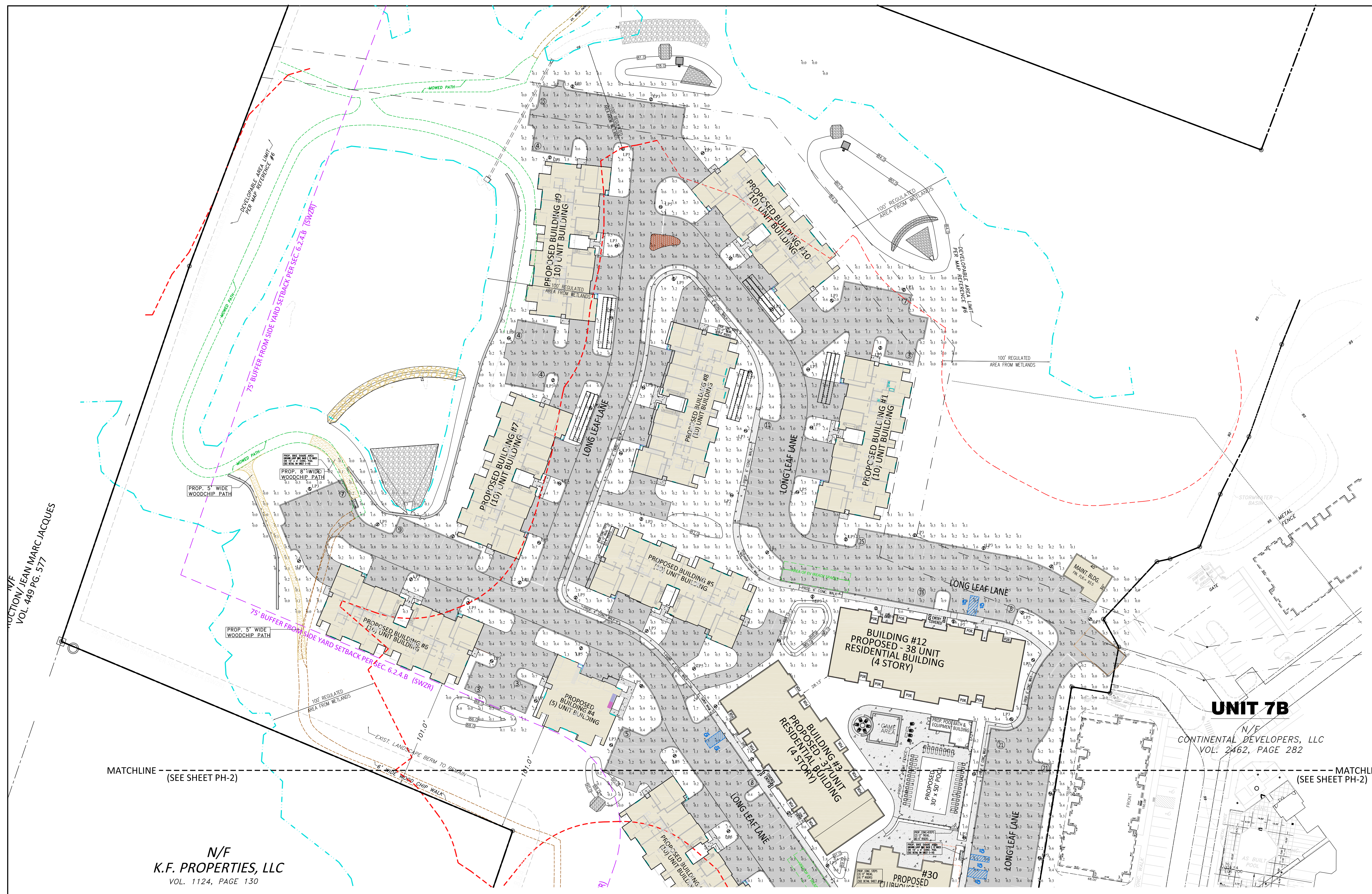
SCALE: 1"=40'

DATE: JULY 27, 2023

PROJECT NO: 14925.00016

DRAWING NO: 1 OF 1

LS-1



SECTION/JEAN MARC JACQUES
VOL. 449 PG. 577

N/F
K.F. PROPERTIES, LLC
VOL. 1124, PAGE 130

UNIT 7B

N/E
CONTINENTAL DEVELOPERS, LLC
VOL. 2462, PAGE 282

MATCHLINE (SEE SHEET PH-2)

MATCHLINE (SEE SHEET PH-2)

Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
⊖	55	LP3	Single	3301	33	0.950	B1-U0-G1	11	NLS Lighting DMR-1-T3-32L-35-30K7-UNV-PT2-BLK-PC - RSSP-10-4R-11G-9BC-T2R-BLK-3430-RBC 10FT POLE
⊖	26	LP5	Single	3338	33	0.950	B1-U0-G1	11	NLS Lighting DMR-1-T5-32L-35-30K7-UNV-PT2-BLK-PC - RSSP-10-4R-11G-9BC-T2R-BLK-3430-RBC 10FT POLE

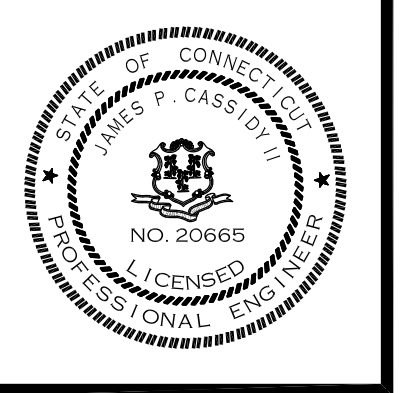
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SITE	Illuminance	Fc	0.85	7.0	0.0	N.A.	N.A.

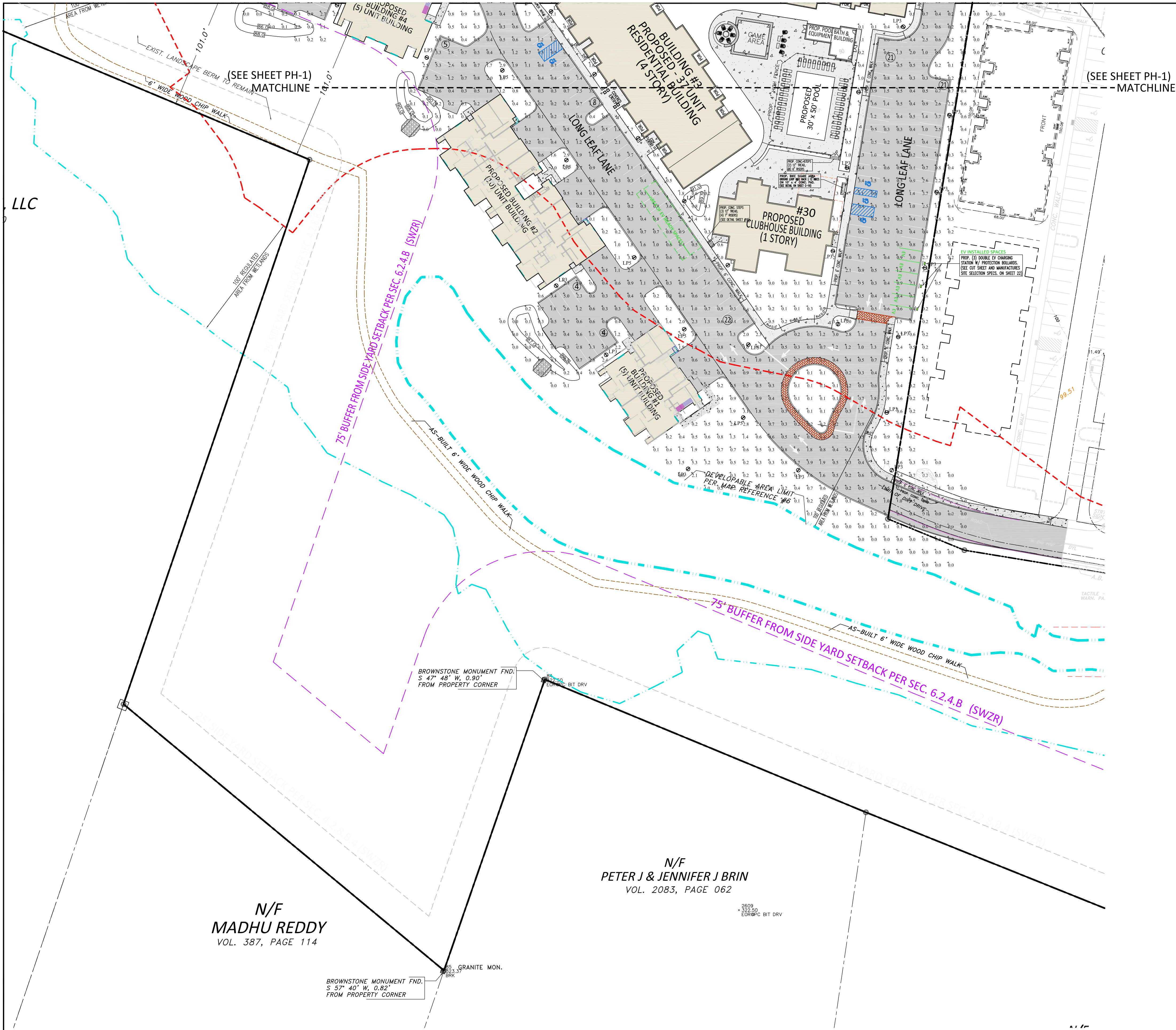
Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067
website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

SCALE: 1"=40'
DATE: MAY 23, 2023
JOB No.: 2574
CHECKED BY: J.P.C.
DRAWN BY: J.M.P.
ACAD FILE: 2574-DT
SHEET: **PH** of **1**
REVISIONS: URBAN ESTIMATED DESIGN
SEPT. 20, 2023 PER TOWN COMMENTS

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE LIGHTING PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





NLS LIGHTING

The Del Mar is the perfect luminaire designed to replace existing post top fixtures saving seventy five percent energy while meeting IES minimum foot candle levels while improving light distribution and uniformity.

The Del Mar luminaire features LEDs recessed deep into the luminaire eliminating any direct glare. The fixture is Full Cutoff Dark Sky. The Del Mar also features a clear tempered safety glass lens with silicone gasket which improves fixture reliability.

Del Mar is available from 18 to 104 watts and its scale is perfect to replace any wattage between 70-400 watt HID. The Del Mar throws light four to five mounting heights in all directions which is a major improvement to existing optical technology. The Del Mar features the Star Power Reflector system, a diffused 95 percent reflective low glare optical material.

Del Mar is available in Kelvin temperatures of 2700K, 3000K, 3500K, 4000K and 5000K in Types 3, and 5 light distributions.

DEL MAR

ARCHITECTURAL LIGHTING

STAR POWER™ OPTICAL SYSTEM

The Star Power™ reflector is an excellent system which provides great value and performance.

SCALE: 1"=40'

DATE: MAY 23, 2023

JOB No.: 2574

CHECKED BY: J.P.C.

DRAWN BY: J.M.P.

ACAD FILE: 2574-DET

SHEET: **PH OF 2**

REVISIONS: 1. 08/15/23 ASSIGNED DESIGN
2. 09/20/23 PER TOWN COMMENTS

LED WATTAGE CHART

	16L	32L	48L	64L
350 millamps	15w	30w	45w	60w
500 millamps	20w	40w	60w	80w
700 millamps	28w	56w	84w	112w

Project Name: _____ Type: _____

Cat#	Light Dist.	# of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options
DEL MAR 1 (DMR-1)	Type 3 (T3)	16 (16L)	350 (35)	2700K 70 CRI (27K7) ●	120-277 (UNV)	Post Top Over 2.5' OD (PT3)	Bronze Textured (BRZ)	Marine Grade Finish (MGF)
	Type 4 (T4)	32 (32L)	530 (53)	2700K 80 CRI (27K8) ●●	347-480 (HV)	Post Top Over 3' OD (PT3)	White Textured (WHT)	Button Photocell (PC)
	Type 5 (T5)	48 (48L)	700 (7)	3000K 70 CRI (30K7) ●		Post Top Over 3.5' OD (PT3.5)	Smooth White (SWT)	FSP-211 with Motion Sensor (FSP-40) ● and Below (FSP-20) ● or 20' Heights (FSP-40) ● 21'-40' Heights
			64 (64L) ●	3000K 80 CRI (30K8) ●●			Silver (SVR)	House Side Shield (HSS)
				3500K 80 CRI (35K8) ●			Black Textured (BLK)	
			4000K 70 CRI (40K7)			Smooth Black (SBL)		
			4000K 80 CRI (40K8) ●●			Graphic Textured (GPH)		
			5000K 70 CRI (50K7)			Grey Textured (GRY)		
			5000K 80 CRI (50K8) ●			Green (GRN)		
						Custom (CS)		

Notes:
 ● 800mA Max
 ● All Max
 ● Consult Factory for Lead Time. Consult Factory for 90 CRI Requests.
 ● Universal Voltage 120/277
 ● 5000K or lower must be selected to meet International Dark Sky Association certification.

REV: 03.23.23

N/F
MADHU REDDY
VOL. 387, PAGE 114

N/F
PETER J & JENNIFER J BRIN
VOL. 2083, PAGE 062

Filename: Evergreen Walk Apartments - Site Lighting - South Windsor.AGI

Luminaire Schedule	Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
	⊕	55	LP3	Single	3301	33	0.950	B1-U0-G1	11	NLS Lighting DMR-1-T3-32L-35-30K7-UNV-PT2-BLK-PC - RSSP-10-4R-11G-9BC-T2R-BLK-3430-RBC 10FT POLE
	⊖	26	LP5	Single	3338	33	0.950	B1-U0-G1	11	NLS Lighting DMR-1-T5-32L-35-30K7-UNV-PT2-BLK-PC - RSSP-10-4R-11G-9BC-T2R-BLK-3430-RBC 10FT POLE

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	Illuminance	Fc	0.85	7.0	0.0	N.A.	N.A.	

Greg Loda
 Lighting Affiliates
 1208 Cromwell Ave
 Rocky Hill, CT 06067
 website: www.lightingaffiliates.com
 Voice Number : (860) 721-1171 x 219
 Email Address : gloda@lightingaffiliates.com

SITE LIGHTING PLAN
 PREPARED FOR
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 LOCATED AT
 THE RESIDENCE AT EVERGREEN WALK
 UNIT 7C EVERGREEN WALK
 SOUTH WINDSOR, CONNECTICUT



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 CIVIL ENGINEERS & LAND SURVEYORS
 630 MAIN STREET, UNIT #1A
 CROMWELL, CONNECTICUT 06416
 PHONE: (860)-529-6812, FAX: (860)-721-7709



Building Type A - Front Elevation
Scale: 1/8"=1'-0"

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Building Type A - Typical Side Elevation
Scale: 1/8"=1'-0"

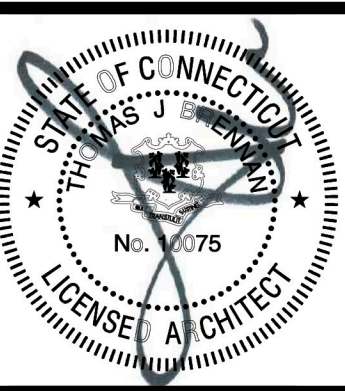


Building Type A - Rear Elevation
Scale: 1/8"=1'-0"

ISSUE FOR SUBMISSION: 04-14-2023

Managed By: BDL
 Drawn By:
 Checked By:
 Redlined By:
 Date:
 Issue For Permit:
 Issue For Review: 04-14-23
 Issue For Construction:
 Revisions:

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NEW MULTI-FAMILY APARTMENT PROJECT FOR
EVERGREEN AT SOUTH WINDSOR
 Somerville, Connecticut

Thomas J. Brennan ARCHITECTS
 3803 Parkwood Blvd
 Suite 700
 Frisco, Texas 75034
 972-867-3948
 Fax
 972-378-9416

APARTMENTS

Sheet No.
 A0
 Of _____ Sheets
 Project No.
 20347



Building Type A - Front Elevation
Scale: 1/8"=1'-0"

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Building Type A - Typical Side Elevation
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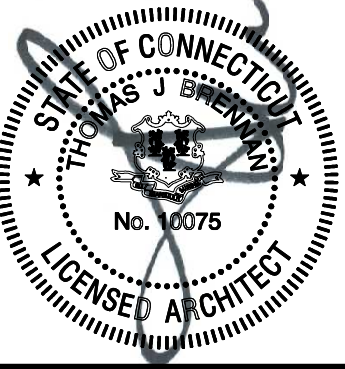


Building Type A - Rear Elevation
Scale: 1/8"=1'-0"

ISSUE FOR SUBMISSION: 04-14-2023

Managed By: BDL
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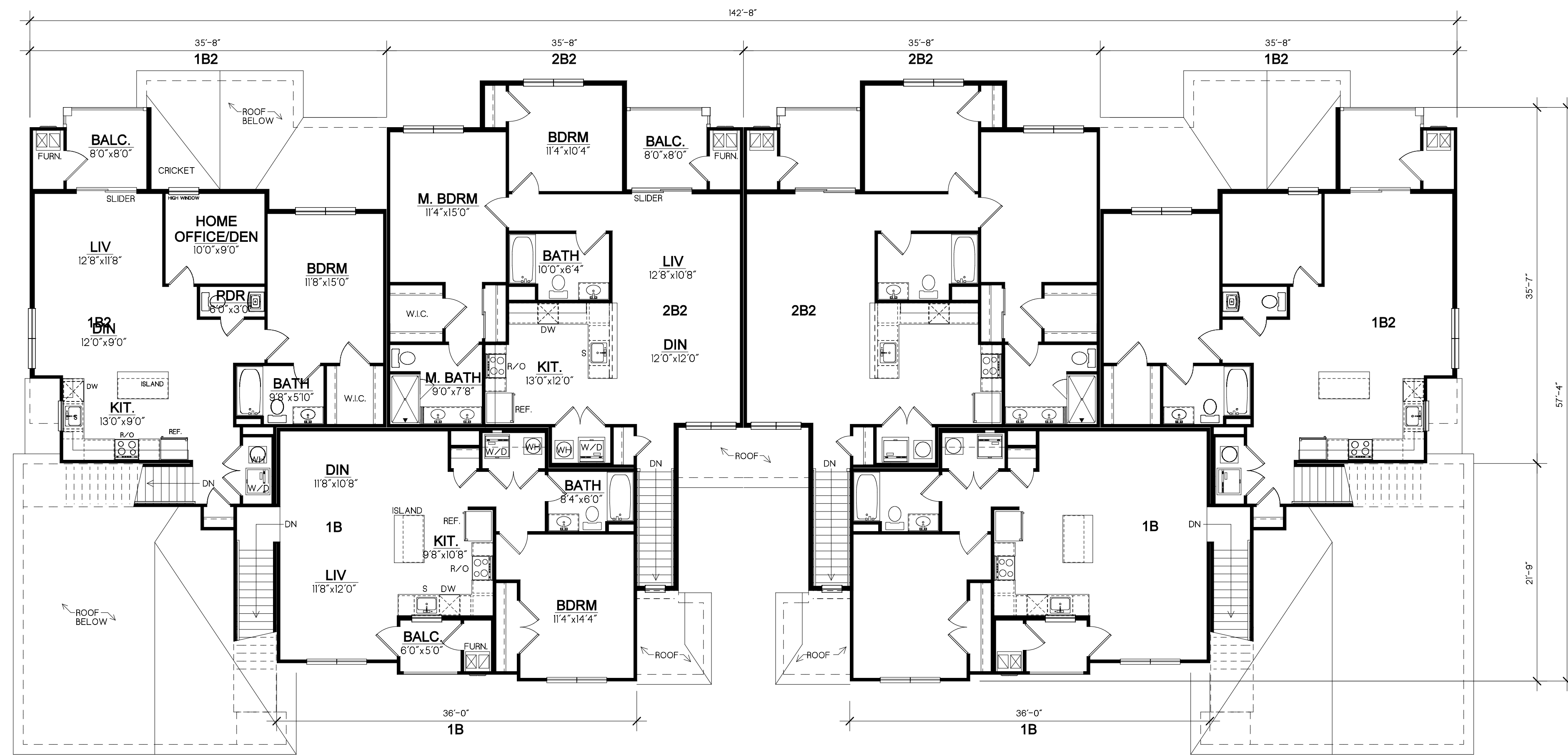


NEW MULTI-FAMILY APARTMENT PROJECT FOR
EVERGREEN AT SOUTH WINDSOR
 Somerville
 Connecticut

Thomas J. Brennan ARCHITECTS
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A1
 Of _____ Sheets
 Project No.
 20347



Building Type A - 2nd Floor Plan
Scale: 1/8"=1'-0"

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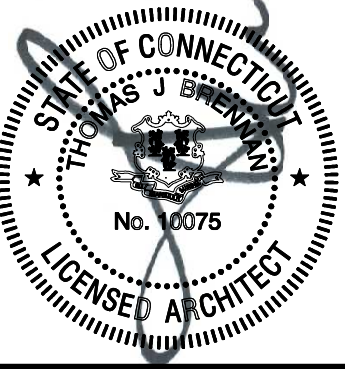


Building Type A - 1st Floor Plan
Scale: 1/8"=1'-0"

<i>Building Type A Program</i>		
Apartment	Area	Units
Unit 1B	886 sq.ft.	2
Unit 1B2	1,007 sq.ft.	2
Unit 2B	1,131 sq.ft.	2
Unit 2B2	1,228 sq.ft.	2
Unit 2B3	1,126 sq.ft.	2
Total Units		10
Total Garages		10

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Building Type B - Front Elevation
Scale: 1/8"=1'-0"

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Building Type B - Typical Side Elevation
Scale: 1/8"=1'-0"



Building Type B - Rear Elevation
Scale: 1/8"=1'-0"

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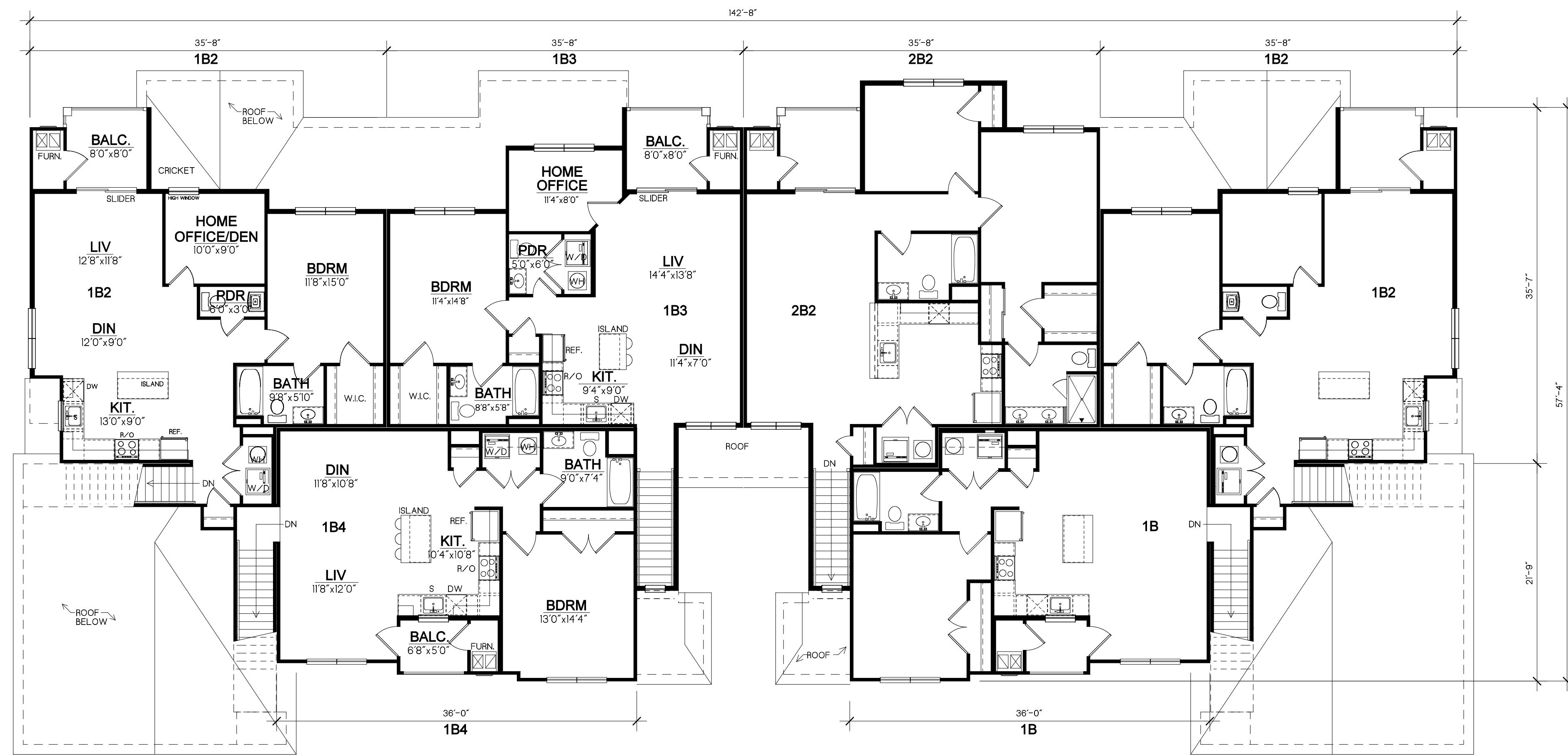
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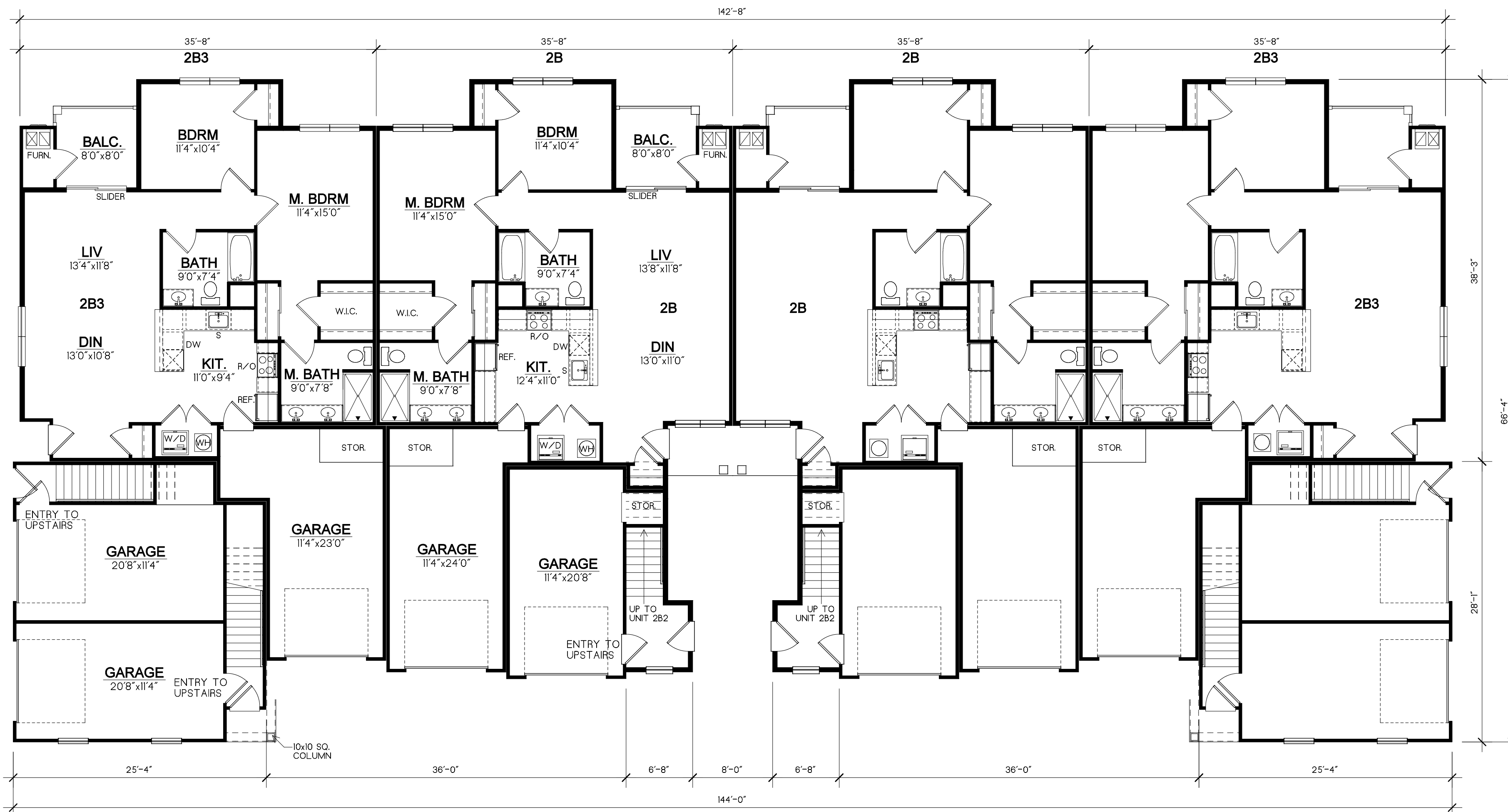
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Building Type B - 2nd Floor Plan
Scale: 1/8"=1'-0"

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Building Type B - 1st Floor Plan
Scale: 1/8"=1'-0"

<i>Building Type B Program</i>		
<i>Apartment</i>	<i>Area</i>	<i>Units</i>
<i>Unit 1B</i>	<i>886 sq.ft.</i>	<i>1</i>
<i>Unit 1B2</i>	<i>1,007 sq.ft.</i>	<i>2</i>
<i>Unit 1B3</i>	<i>1,003 sq.ft.</i>	<i>1</i>
<i>Unit 1B4</i>	<i>918 sq.ft.</i>	<i>1</i>
<i>Unit 2B</i>	<i>1,131 sq.ft.</i>	<i>2</i>
<i>Unit 2B2</i>	<i>1,228 sq.ft.</i>	<i>1</i>
<i>Unit 2B3</i>	<i>1,126 sq.ft.</i>	<i>2</i>
<i>Total Units</i>		<i>10</i>
<i>Total Garages</i>		<i>10</i>

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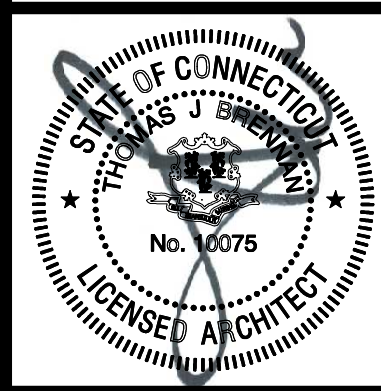
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Building Type C - Front Elevation
 Scale: 1/8"=1'-0"

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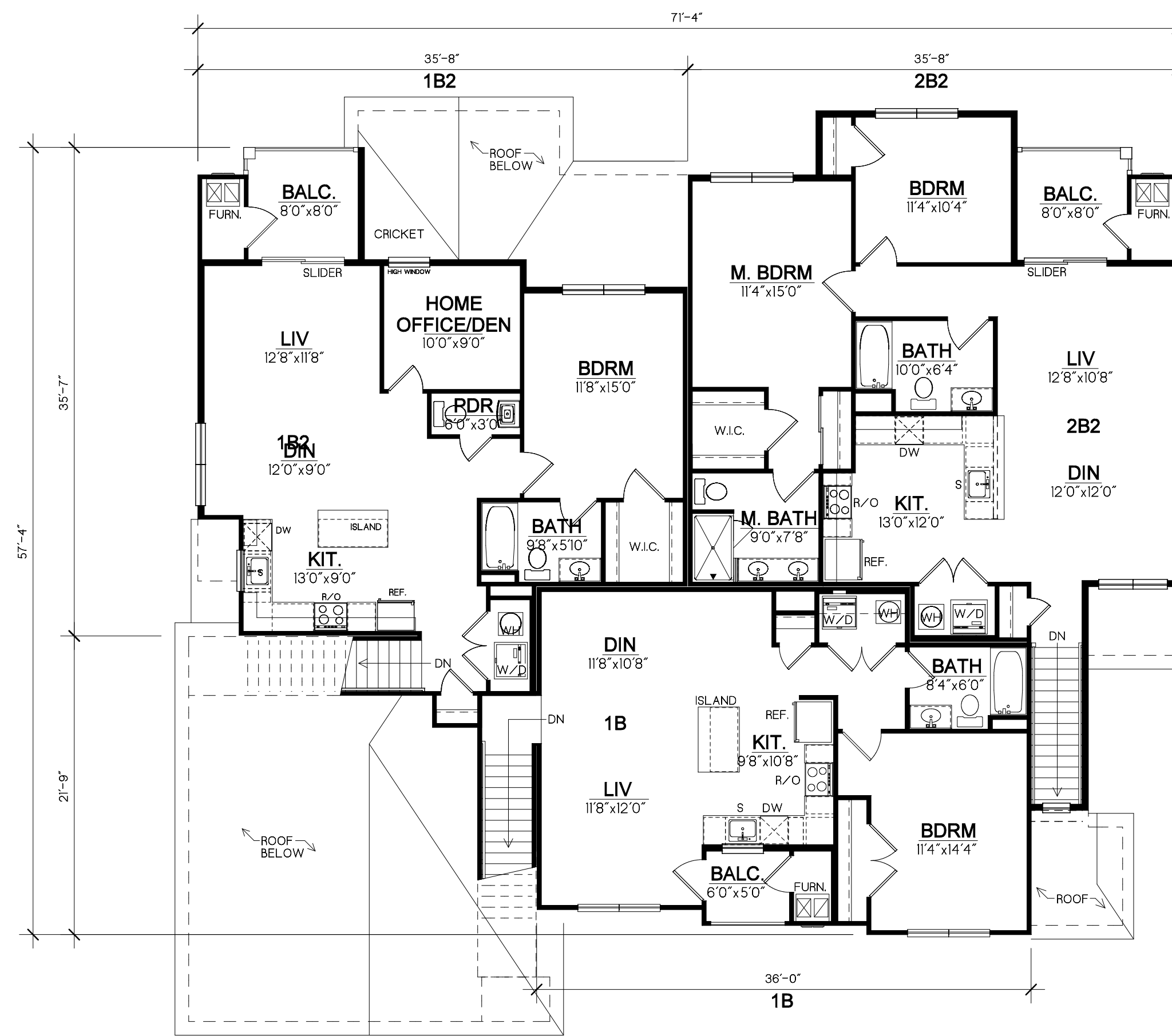


Building Type C - Left Side Elevation
 Scale: 1/8"=1'-0"



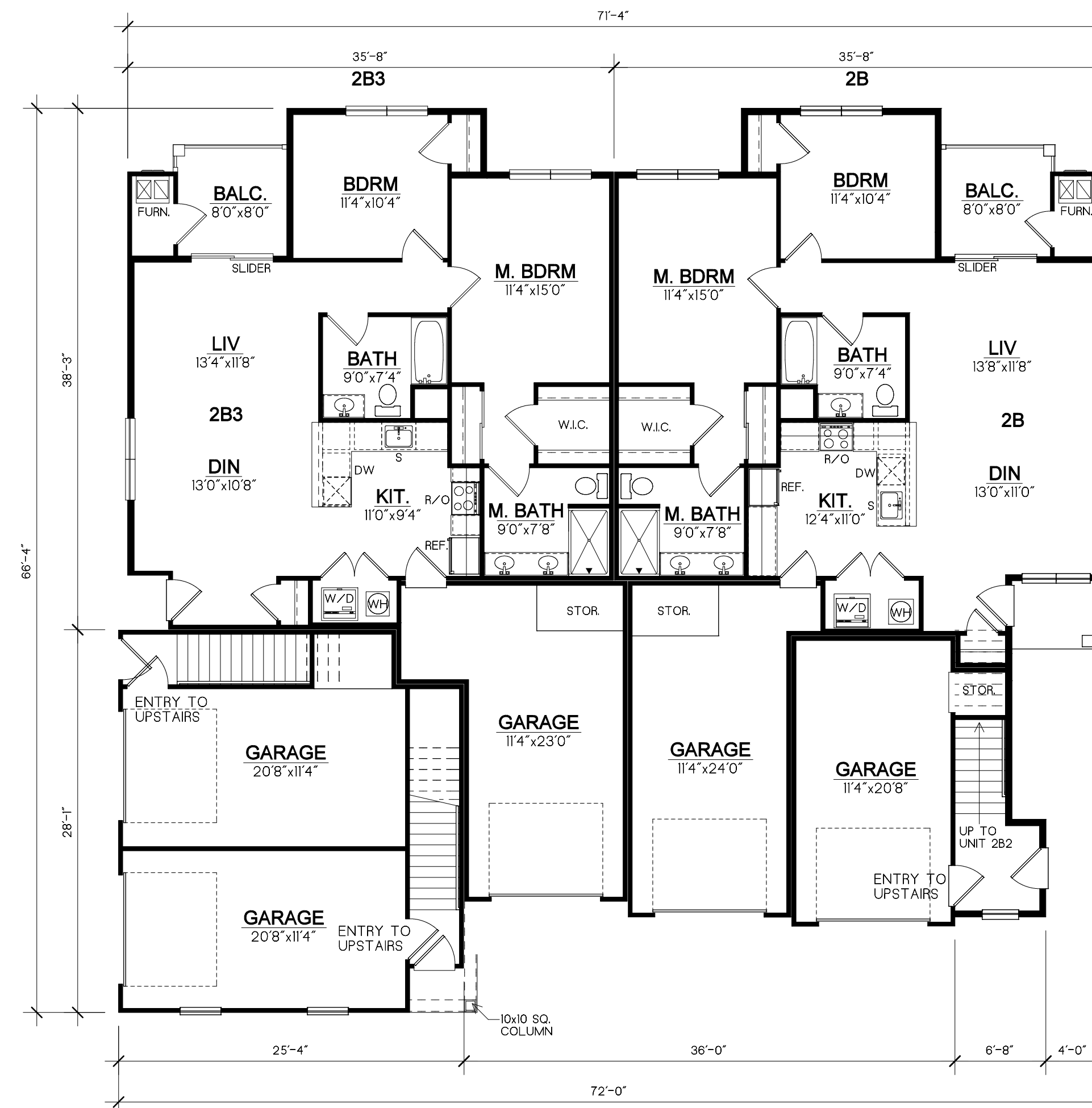
Building Type C - Rear Elevation
 Scale: 1/8"=1'-0"

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Building Type C - 2nd Floor Plan
Scale: 1/8"=1'-0"

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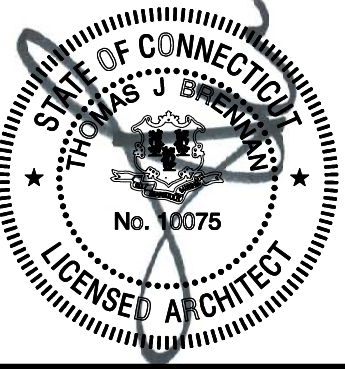


Building Type C - 1st Floor Plan
Scale: 1/8"=1'-0"

<i>Building Type A Program</i>		
Apartment	Area	Units
Unit 1B	886 sq.ft.	1
Unit 1B2	1,007 sq.ft.	1
Unit 2B	1,131 sq.ft.	1
Unit 2B2	1,228 sq.ft.	1
Unit 2B3	1,126 sq.ft.	1
Total Units		5
Total Garages		5

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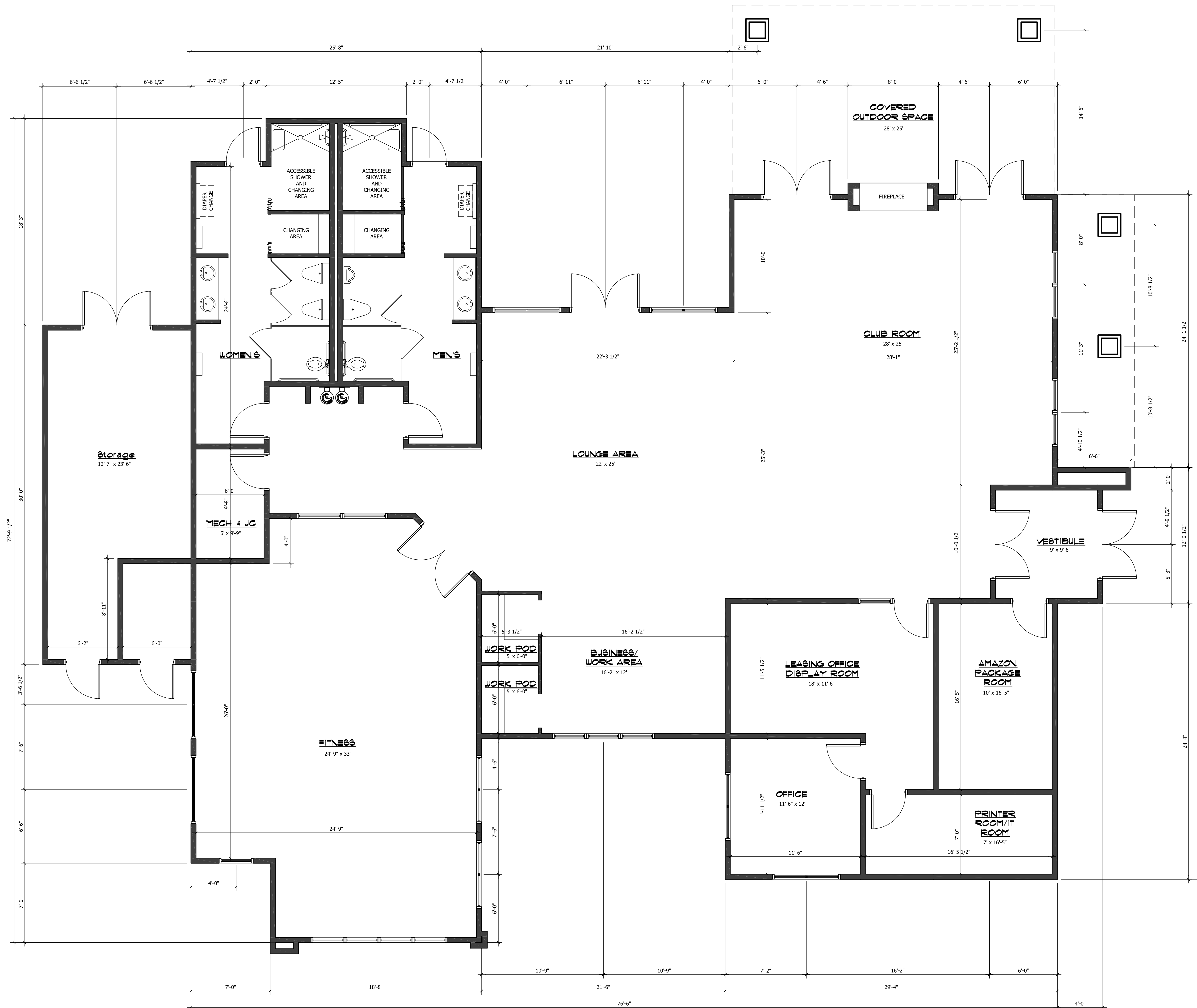
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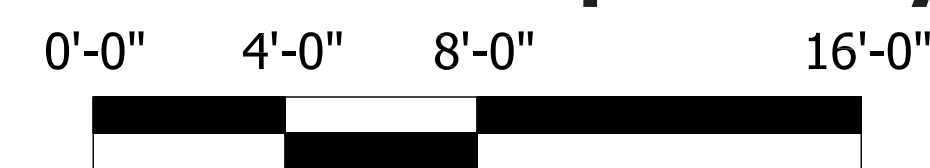
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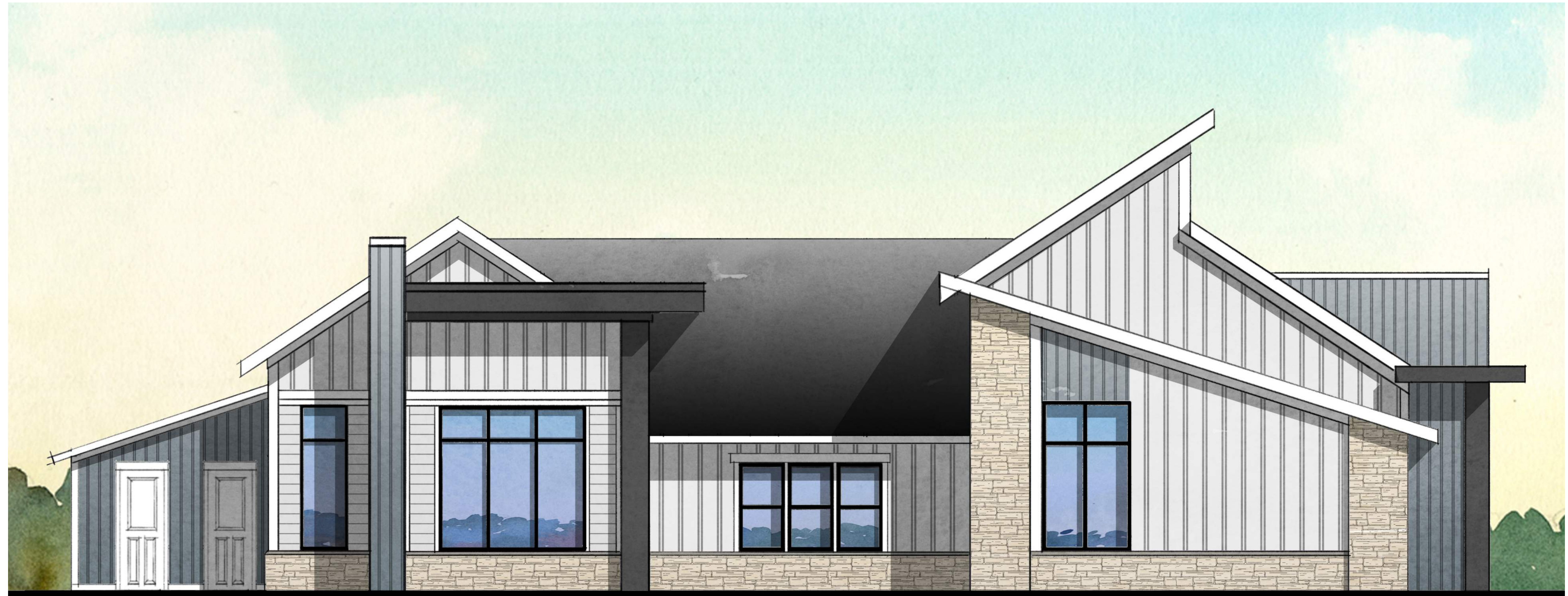
Clubhouse Conceptual Layout



A **A-21**

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Parking Elevation



Entry Elevation

Materials	
A.	Cellular PVC Panels (White)
B.	Cementitious Siding or Equal (Vertical, Color TBD)
C.	Cementitious Siding or Equal (Board and Batten, Color TBD)
D.	Manufactured Stone (Color TBD)
E.	Cementitious Panels or Equal (Color TBD)
F.	Asphalt Shingles

A-22

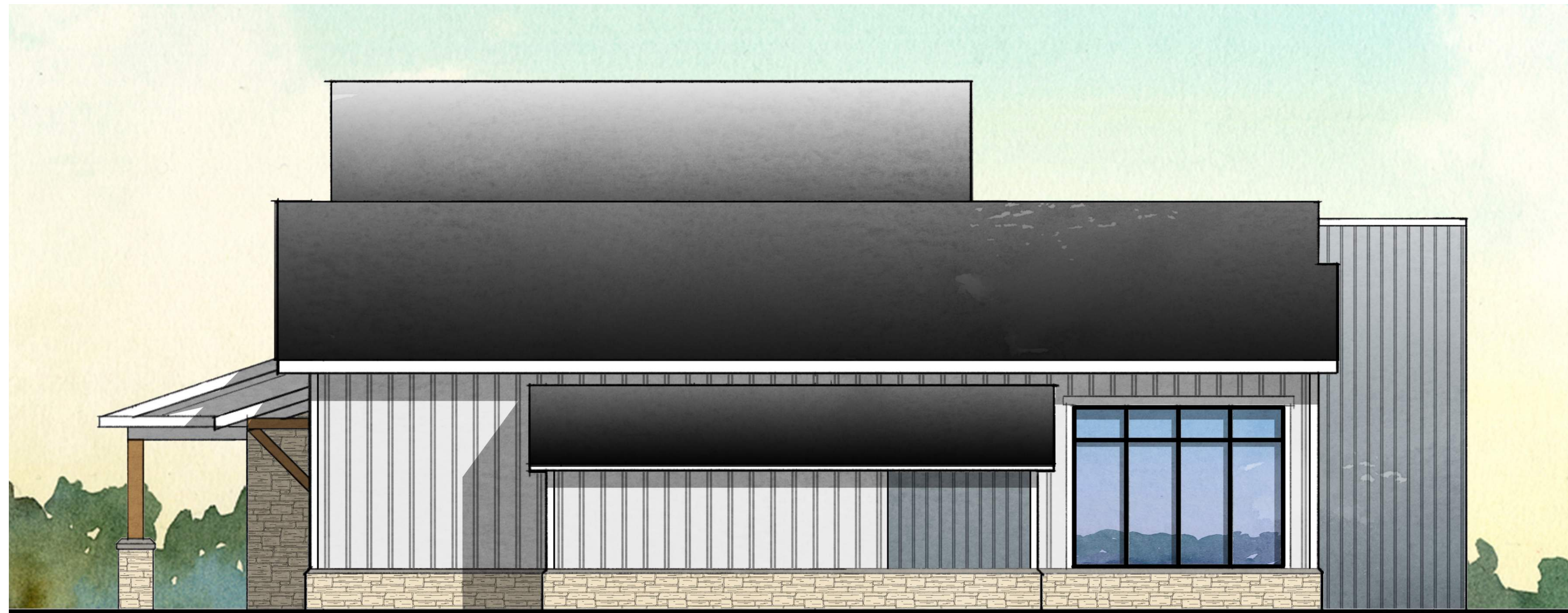


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Pool Side Elevation



Left Side Elevation

- | Materials | |
|-----------|--|
| A. | Cellular PVC Panels (White) |
| B. | Cementitious Siding or Equal (Vertical, Color TBD) |
| C. | Cementitious Siding or Equal (Board and Batten, Color TBD) |
| D. | Manufactured Stone (Color TBD) |
| E. | Cementitious Panels or Equal (Color TBD) |
| F. | Asphalt Shingles |

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#"54'-9" to M.P. of ROOF



Enlarged Elevation

- Materials**
- A. Cellular PVC Panels (White)
 - B. Certainteed Vinyl Siding or Equal (Horizontal, Pacific Blue)
 - C. Certainteed Vinyl Siding or Equal (Cedar Impression, Granite Gray)
 - D. Manufactured Stone (Cobblefield Gray)
 - E. Metal Roof
 - F. Asphalt Shingles

Building 10 Elevation (Building 11 Similar)



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Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

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Building 10 Elevations (Building 11 Similar)



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