

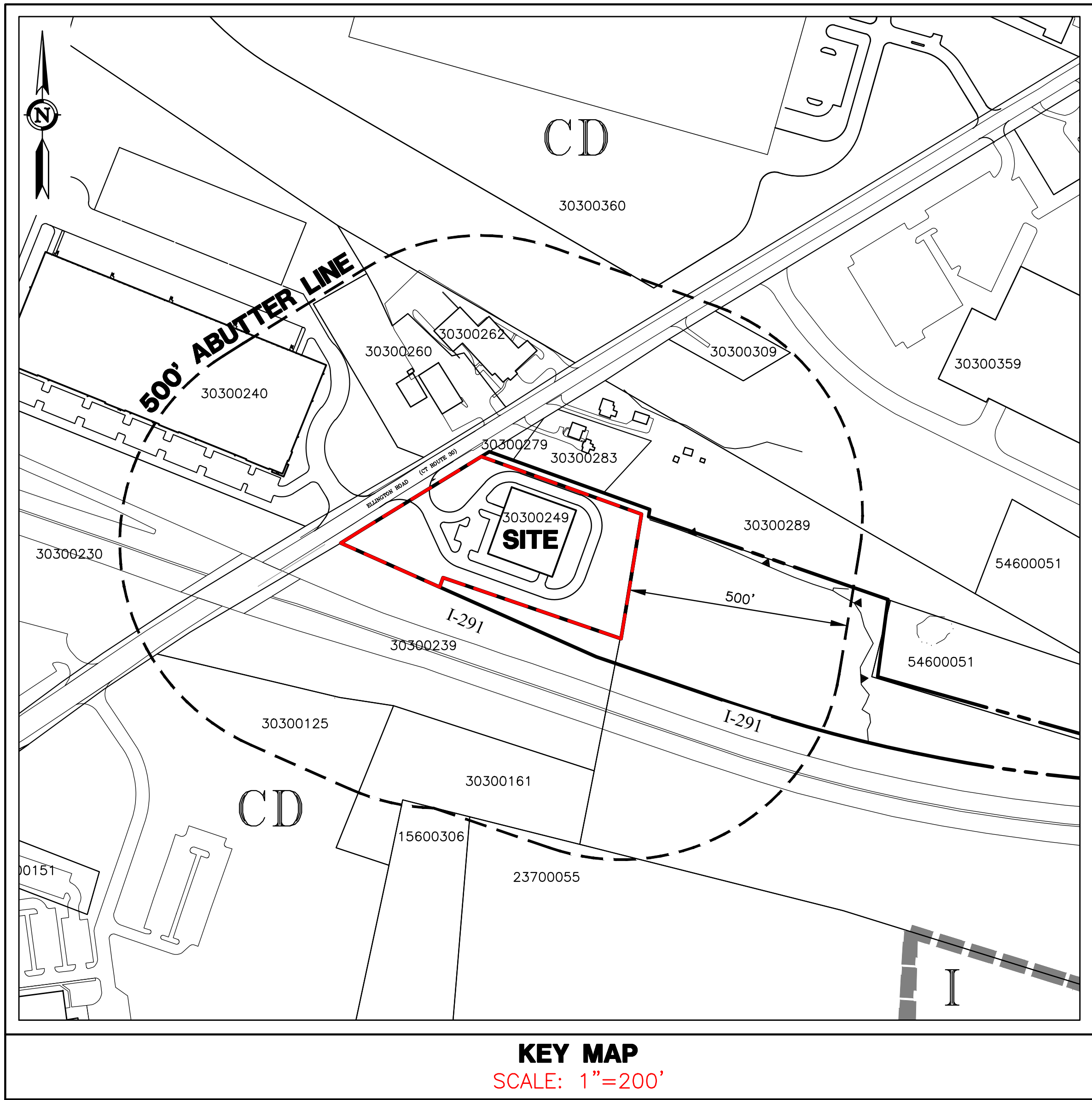
# CLIMATE-CONTROLLED VERTICAL SELF STORAGE FACILITY

## SITE PLAN OF DEVELOPMENT

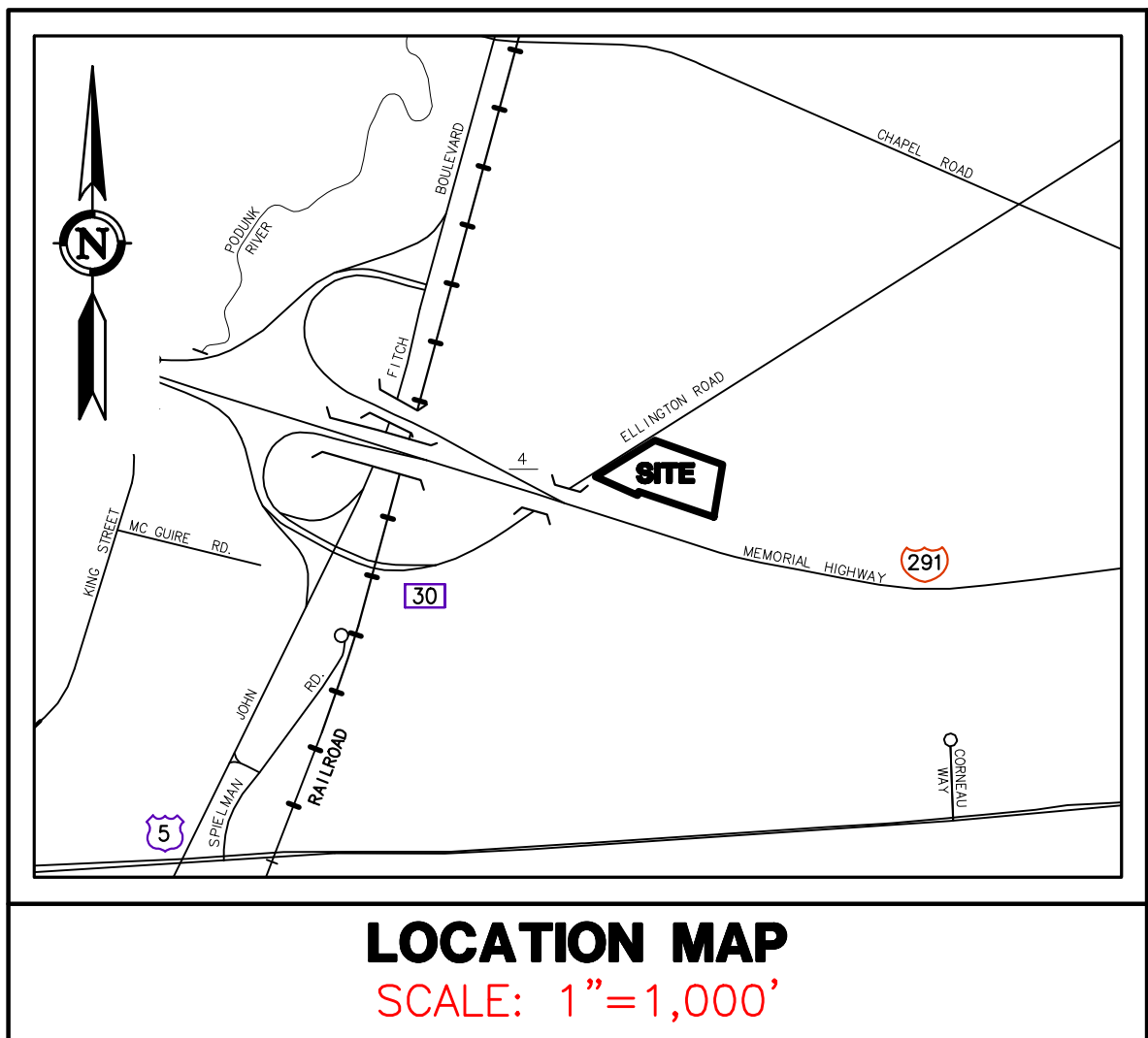
249 ELLINGTON ROAD (ROUTE 30) ~ SOUTH WINDSOR ~ CT

GIS PIN: 30300249

N/F 500' ABUTTERS		
PARCEL ID	STREET ADDRESS	OWNER
15600306	306 BURNHAM STREET	ARG STWINCT001 LLC
23700055	55 CORNEAU WAY	BHD 55 REALTY LLC
30300125	125 ELLINGTON ROAD	ARG STWINCT001 LLC
30300161	161 ELLINGTON ROAD	ARG STWINCT001 LLC
30300230	230 ELLINGTON ROAD	CONN STATE OF
30300239	239 ELLINGTON ROAD	CONN STATE OF
30300240	240 ELLINGTON ROAD	SCANNELL PROPERTIES #419 LLC
30300260	260 ELLINGTON ROAD	CASS ENTERPRISES LLC
30300262	262 ELLINGTON ROAD	SCARBORO PROPERTIES LLC
30300279	279 ELLINGTON ROAD	TOWN OF SOUTH WINDSOR
30300283	283 ELLINGTON ROAD	SJD PROPERTY MANAGEMENT LLC
30300289	289 ELLINGTON ROAD	BALLSIEPER DONALD E JR
30300309	309 ELLINGTON ROAD	CONN LIGHT & POWER COMPANY
30300359	359 ELLINGTON ROAD	SCANNELL PROPERTIES #344 LLC
30300360	360 ELLINGTON ROAD	SCANNELL PROPERTIES #418 LLC (64%)



KEY MAP  
SCALE: 1"=200'



LOCATION MAP  
SCALE: 1"=1,000'

SHEET INDEX		
C-T1	TITLE SHEET	1 of 13
C-SP1	SITE PLAN	2 of 13
C-GD1	GRADING PLAN	3 of 13
C-DR1	DRAINAGE PLAN	4 of 13
C-UT1	UTILITY PLAN	5 of 13
C-ES1	EROSION & SEDIMENTATION PLAN	6 of 13
C-ES2	EROSION & SEDIMENTATION NOTES & DETAILS	7 of 13
C-LS1	LANDSCAPE PLAN	8 of 13
C-LS2	LANDSCAPE NOTES & DETAILS	9 of 13
C-LT1	LIGHTING PLAN	10 of 13
C-D1	NOTES, DETAILS, & LEGEND	11 of 13
C-D2 - C-D3	DETAILS	12-13 of 13
V-1	PROPERTY & TOPOGRAPHIC SURVEY	1 of 1

ZONING TABLE		
ZONE: CD ZONE (I-291 CORRIDOR DEVELOPMENT ZONE)		
ITEM	REQUIRED/ ALLOWED	PROPOSED
LOT AREA	5 AC	3.5 AC*
LOT FRONTAGE	300'	318'
FRONT YARD	50'	95.5'
SIDE YARD	20'	44.2'
REAR YARD	20'	149'
BUILDING HEIGHT	60'/5 STORIES	< 60' / 4 STORIES
LOT COVERAGE	N/A	N/A
IMPERVIOUS COVERAGE	65%	39%
PARKING	29	12**

\* EXISTING NON-CONFORMING

PARKING CALCULATION:  
SELF STORAGE: 1 SPACE PER 25 UNITS OF STORAGE REQUIRED  
(PER ZONING TABLE 6.4.3A)

PROPOSED STORAGE UNITS: 708 UNITS

PROPOSED NUMBER OF SPACES REQUIRED:  
708 UNITS x (1 SPACE/25 UNITS) = 28.32  
29 PARKING SPACES REQUIRED

\*\*12 SPACES PROVIDED. A PARKING WAIVER HAS BEEN REQUESTED.

**PRELIMINARY  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE  
REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE  
TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

### GENERAL NOTES:

\* THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND  
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### ARCHITECT:

Northeast Collaborative Architects  
500 Plaza  
Middletown, CT 06457  
860-344-9332  
http://ncarchitects.com/

**PROPERTY OWNER:**  
249 ELLINGTON ROAD, LLC  
171 PENNYWISE LANE  
GLASTONBURY, CT 06033

**APPLICANT:**  
SCOTT SPINDLER, MANAGER  
HIGHLAND CAPITAL HOLDINGS, LLC  
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ROCHESTER, NH 03866

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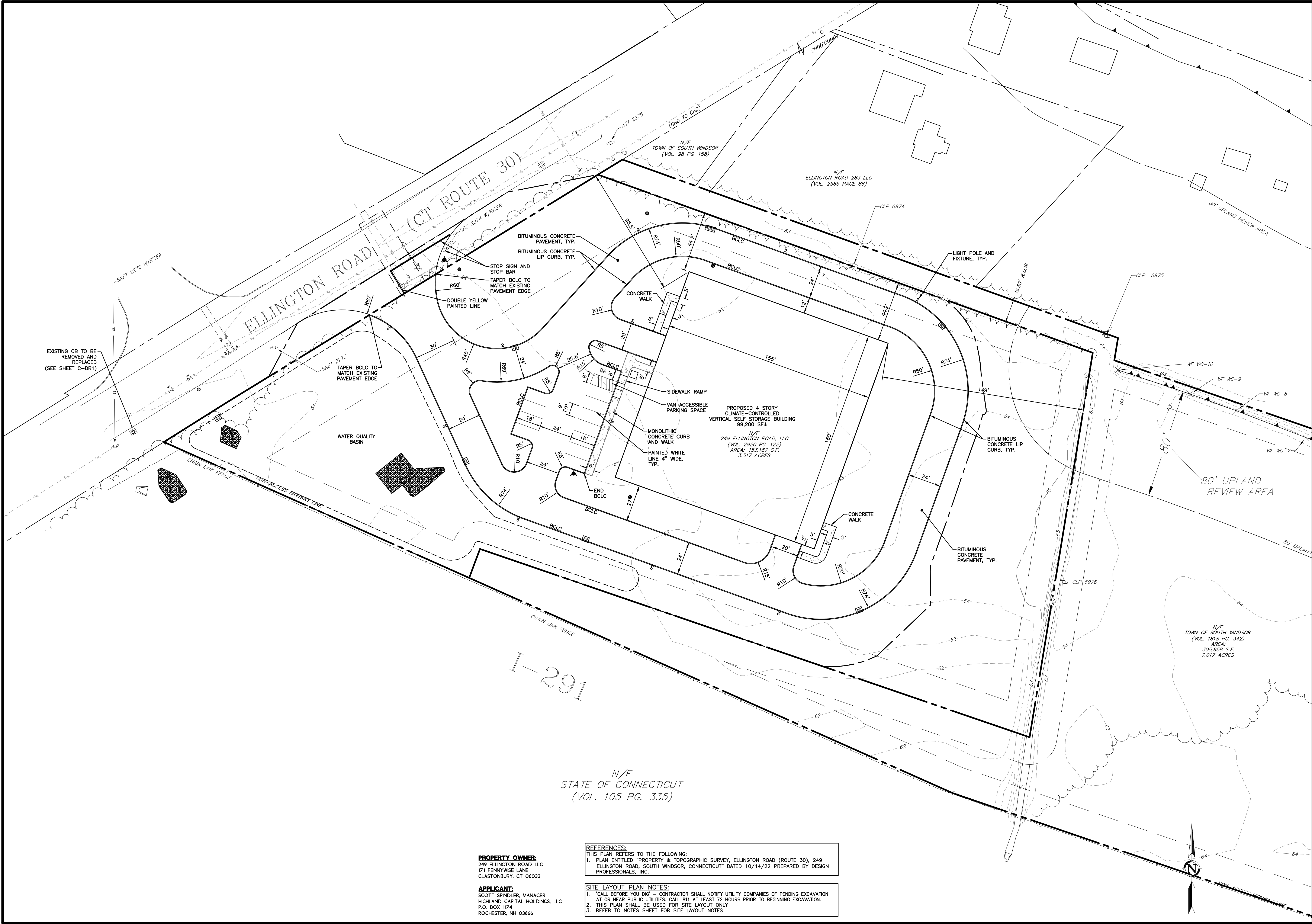
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CLIMATE-CONTROLLED  
VERTICAL SELF  
STORAGE FACILITY  
249 ELLINGTON ROAD  
SOUTH WINDSOR, CONNECTICUT

BY  
NO. DATE REVISIONS

TITLE SHEET  
SHEET  
**C-T1**  
SHEET 1 OF 13





**PROPERTY OWNER:**  
249 ELLINGTON ROAD LLC  
171 PENNYWISE LANE  
GLASTONBURY, CT 06033

**APPLICANT:**  
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**REFERENCES:**

- THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, ELLINGTON ROAD (ROUTE 30), 249 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 10/14/22 PREPARED BY DESIGN PROFESSIONALS, INC.

**SITE LAYOUT PLAN NOTES:**

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES.

SITE PLAN

SCALE: 0 15' 30' 60'

T = 30'

NO.	DATE	REVISIONS	BY

SHEET

C-SP1

SHEET 2 OF 13

CLIMATE-CONTROLLED  
VERTICAL SELF  
STORAGE FACILITY  
249 ELLINGTON ROAD  
SOUTH WINDSOR, CONNECTICUT

PROJECT NO:  
4303H

DATE:  
10/14/22

DESIGN BY:  
CHM/CHJ

DRAWN BY:  
CHM/CHJ

CHECKED BY:  
CHM/CHJ

SCALE:  
AS SHOWN

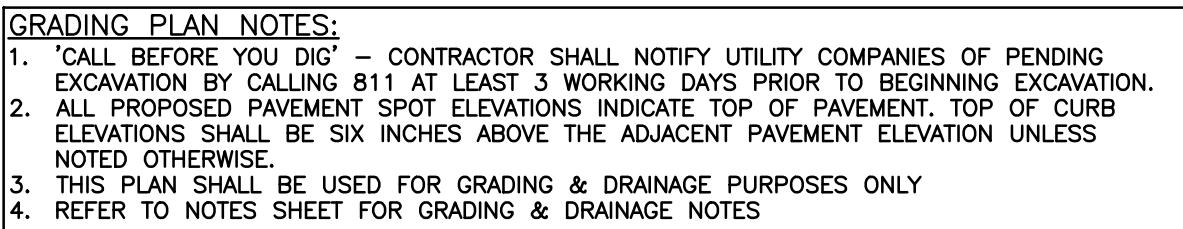
PREPARED FOR:  
Mr. Scott Spindler  
Highland Capital Holdings, LLC  
P.O. Box 1174  
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**APPLICANT:**  
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SHEET

**C-GD1**

SHEET 3 OF 13

**CLIMATE-CONTROLLED  
VERTICAL SELF  
STORAGE FACILITY**  
249 ELLINGTON ROAD  
SOUTH WINDSOR, CONNECTICUT

PROJECT NO: 4303.H	DATE: 10/14/22	<p><b>PREPARED FOR:</b></p> <p>Mr. Scott Spindler          Highland Capital Holdings,          P.O. Box 1174          Rochester, NY 03866</p>
DESIGN BY: GMM/DJH	DRAWN BY: GMM/MPV	
CHECKED BY:	CHECKED BY:	
SFC	SFC	

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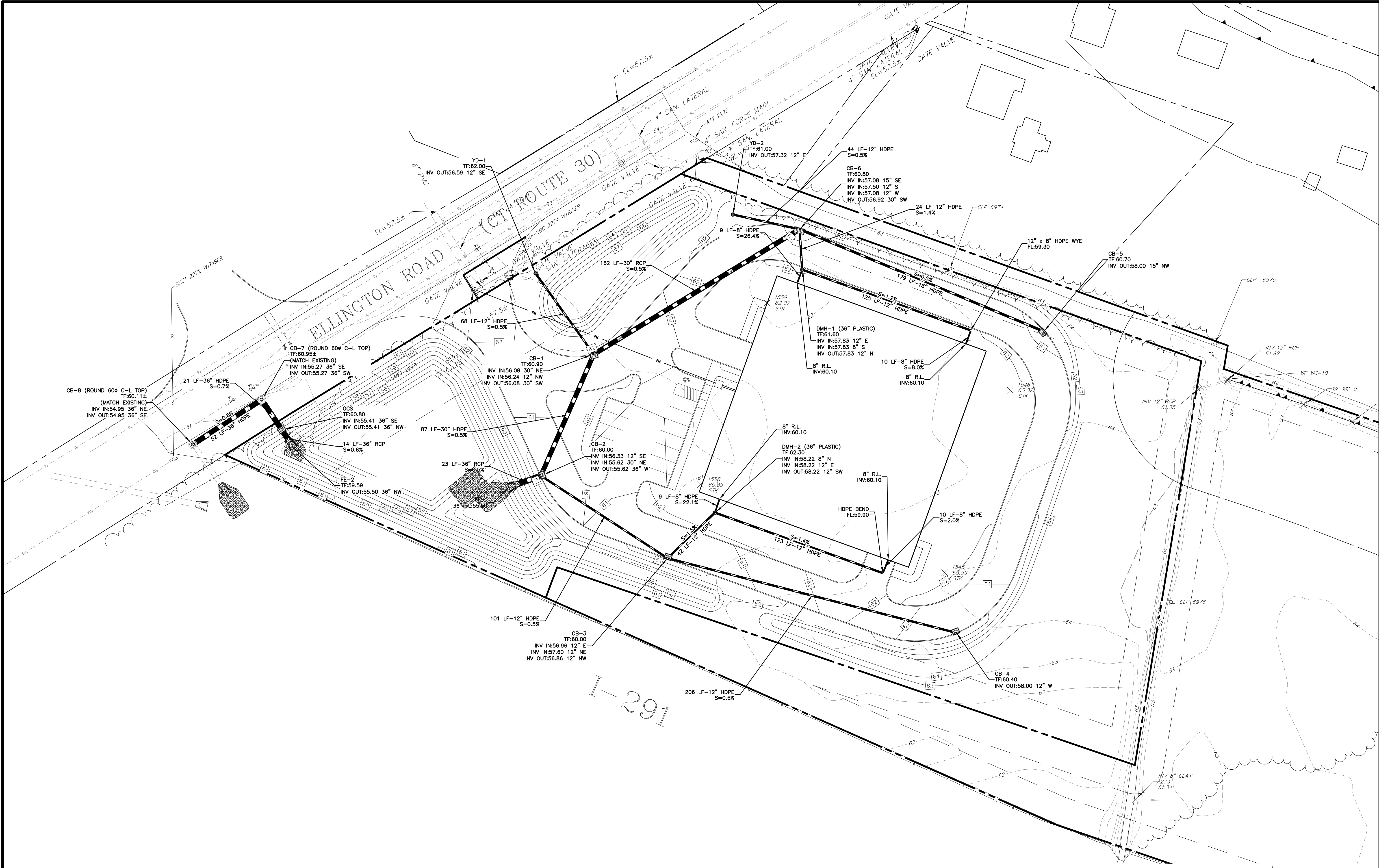
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**PROPERTY OWNER:**  
249 ELLINGTON ROAD LLC  
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**APPLICANT:**  
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**DRAINAGE PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR DRAINAGE PURPOSES ONLY  
3. REFER TO NOTES SHEET

CLIMATE-CONTROLLED  
VERTICAL SELF  
STORAGE FACILITY  
249 ELLINGTON ROAD  
SOUTH WINDSOR, CONNECTICUT

PROJECT NO.  
4303H  
DATE  
10/14/22  
DESIGNED BY  
CMM/CHJ  
CHECKED BY  
CMM/CHJ  
SCALE  
AS SHOWN

BY  
DATE  
REVISIONS

DRAINAGE PLAN

60'  
30'  
15'  
0'  
SCALE: 1" = 30'

SHEET  
C-DR1  
SHEET 4 OF 13

PREPARED FOR  
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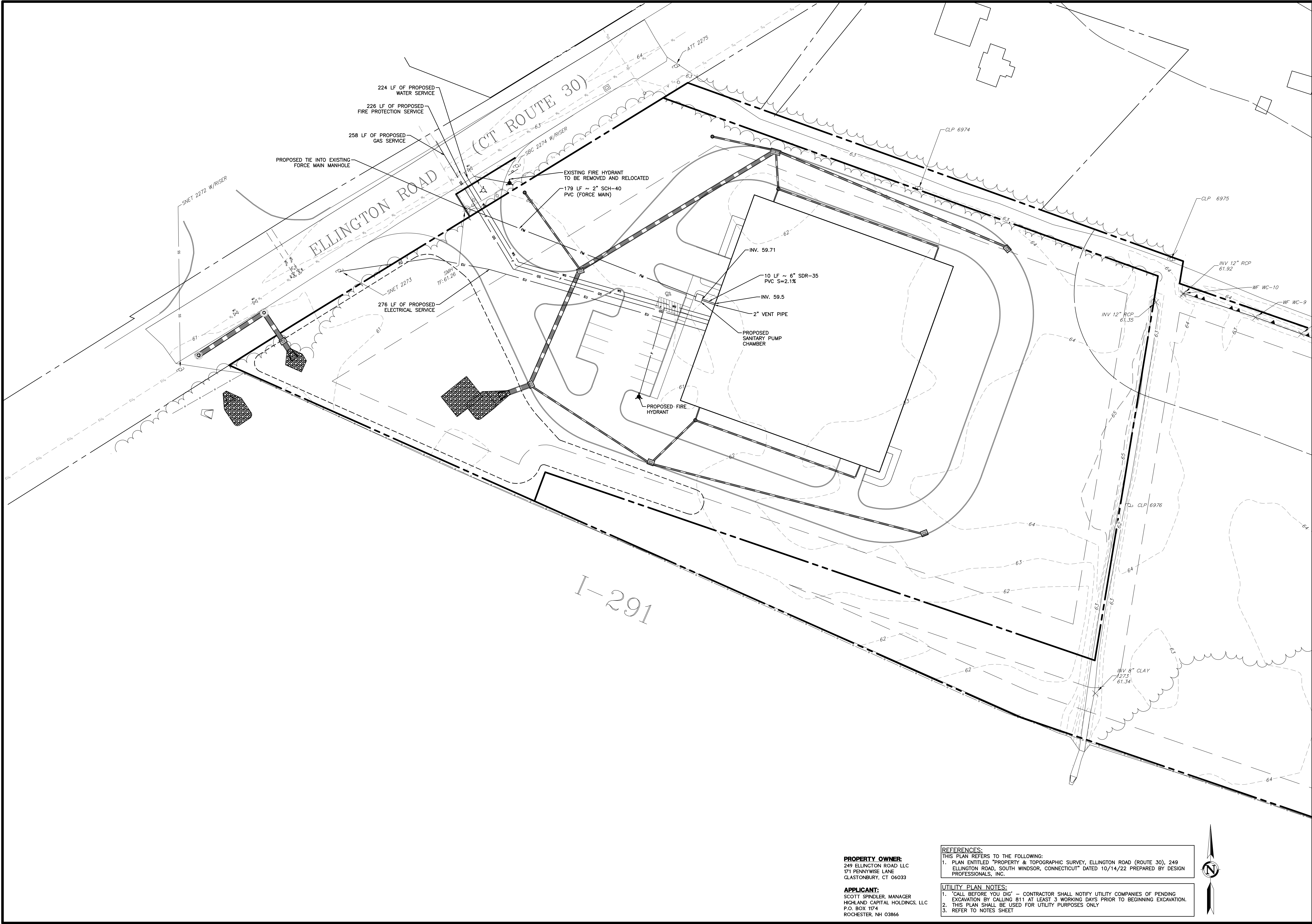
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**UTILITY PLAN NOTES:**  
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2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY  
3. REFER TO NOTES SHEET



**UTILITIES PLAN**



NO.	DATE	REVISIONS	BY

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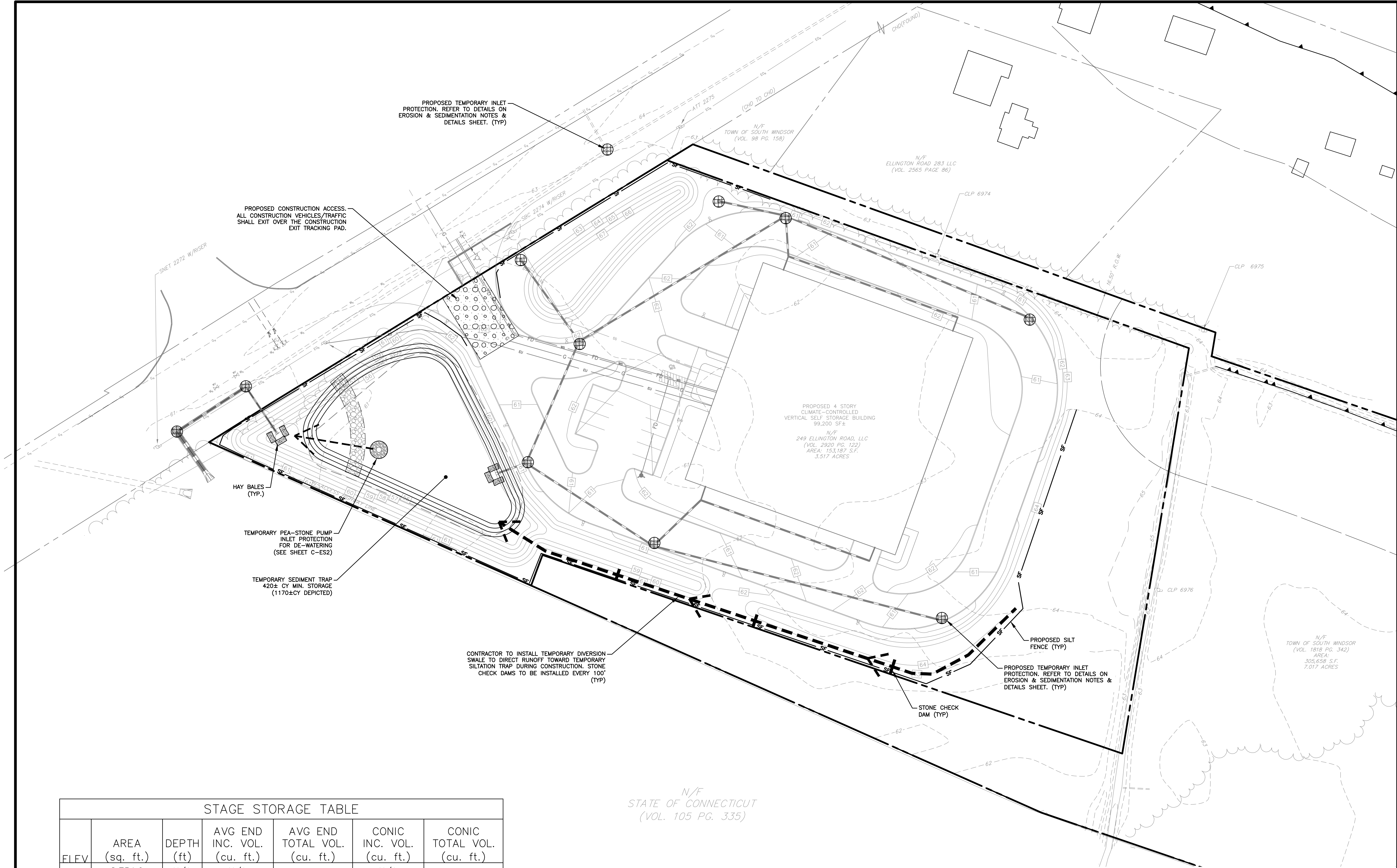
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STAGE STORAGE TABLE						
FLFV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
58.0	8,754.0	N/A	N/A	0	N/A	0
59.0	9,929.0	1	9342	9342	9335	9335
60.0	11,160.0	1	10545	19886	10539	19874
61.0	12,447.0	1	11804	31690	11798	31671

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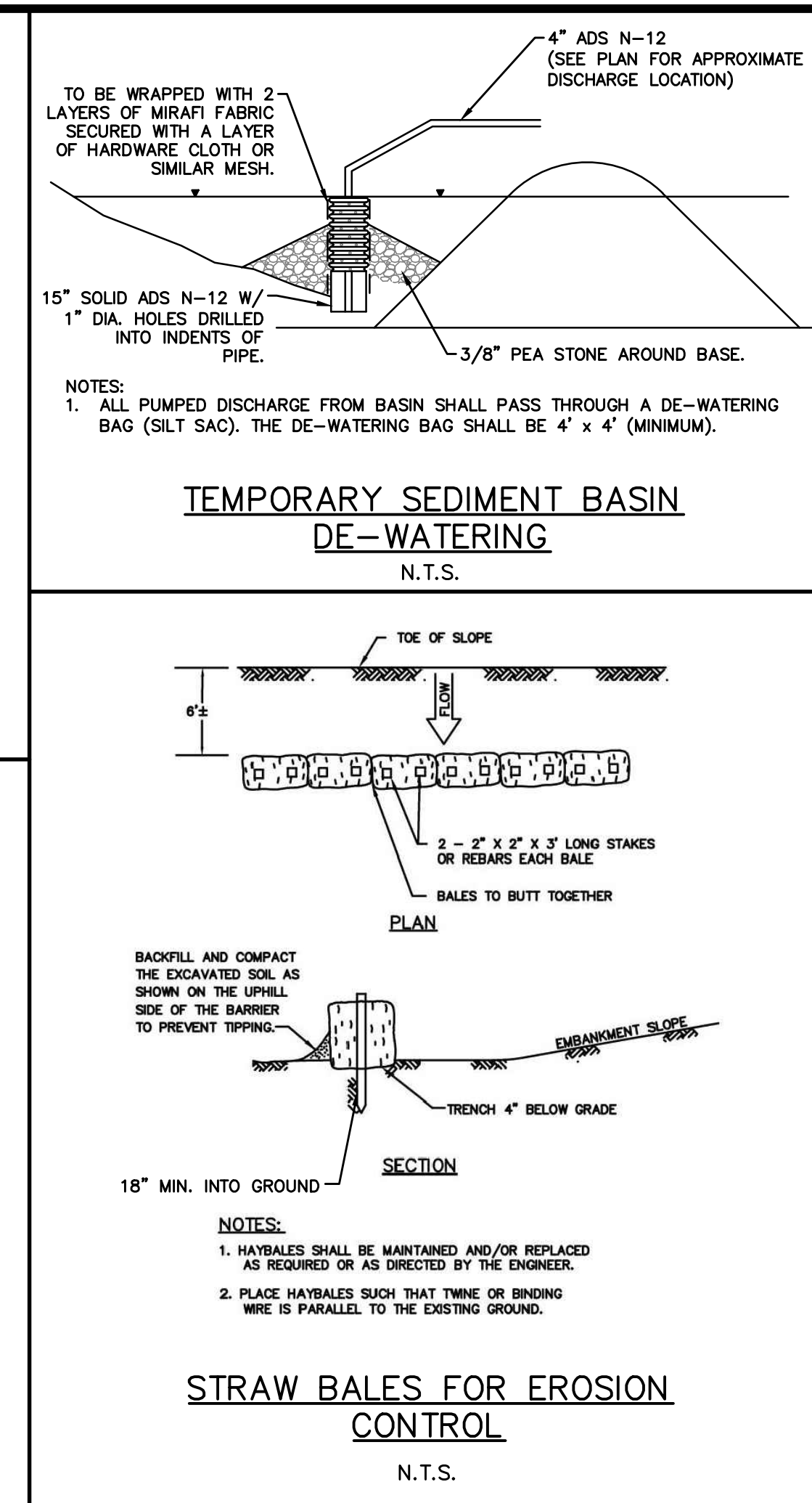
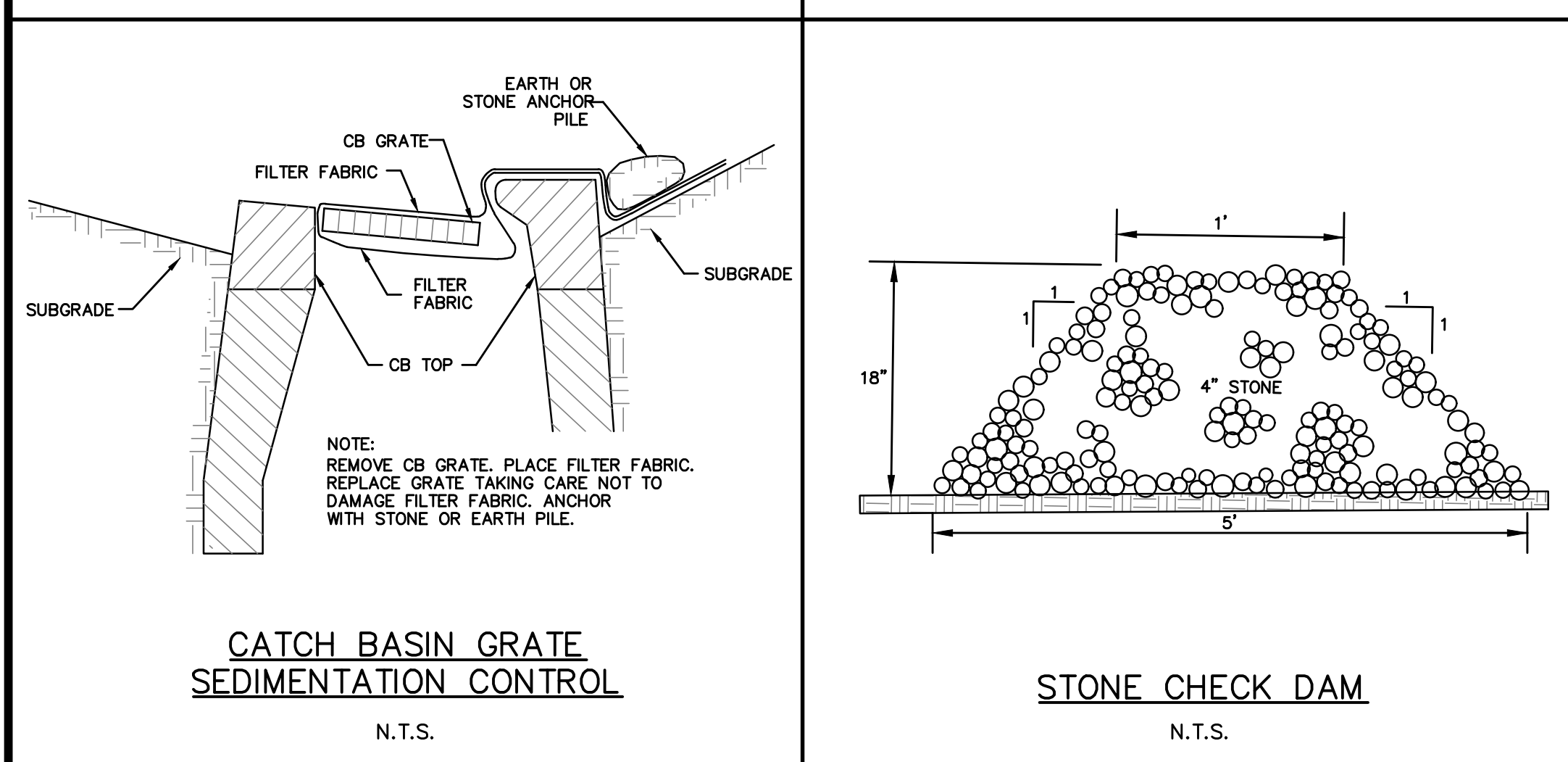
REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1, SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 134 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.

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**EROSION & SEDIMENTATION CONTROL PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.  
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.  
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.







**CONSTRUCTION SEQUENCE:**

1. INSTALL CONSTRUCTION ACCESS AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
3. CONSTRUCT TEMPORARY SEDIMENT BASINS AND/OR TRAPS AS SHOWN ON THE PLANS.
4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE. PER SECTION 5-3 "VEGETATIVE SOIL COVER OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL." (IF DRAINAGE TO IMPAIRED WATER: ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 14 DAYS. SEED WITHIN 3 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.")
6. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
7. ANY Dewatering ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED ALTERN. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
9. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
10. AFTER STABILIZATION OF UPGRADED CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASINS AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR. ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

OUTLET STRUCTURE: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OF RAIN OR MORE) THE OUTLET STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR OBSTRUCTING ITEMS.

SEDIMENT FOREBAYS: SHALL BE INSPECTED BIENNUELY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

WATER QUALITY BASIN: SHALL BE INSPECTED TWICE PER YEAR, ALL WOODY, NON LANDSCAPE GROWTH SHALL BE REMOVED, ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABILIZED SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF THE BASIN OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIED IMMEDIATELY. THE BASIN SHALL BE MONITORED TO ASSURE PROPER DRAINING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DRAIN/EMPTY WITH 72 HOURS AFTER A STORM EVENT, IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIOD, THE BOTTOM OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPLACE WITH 4" OF LOAM AND SEED.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM  
(WEEKLY CONSTRUCTION REPORTS):

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

## EROSION & SEDIMENTATION CONTROL NARRATIVE

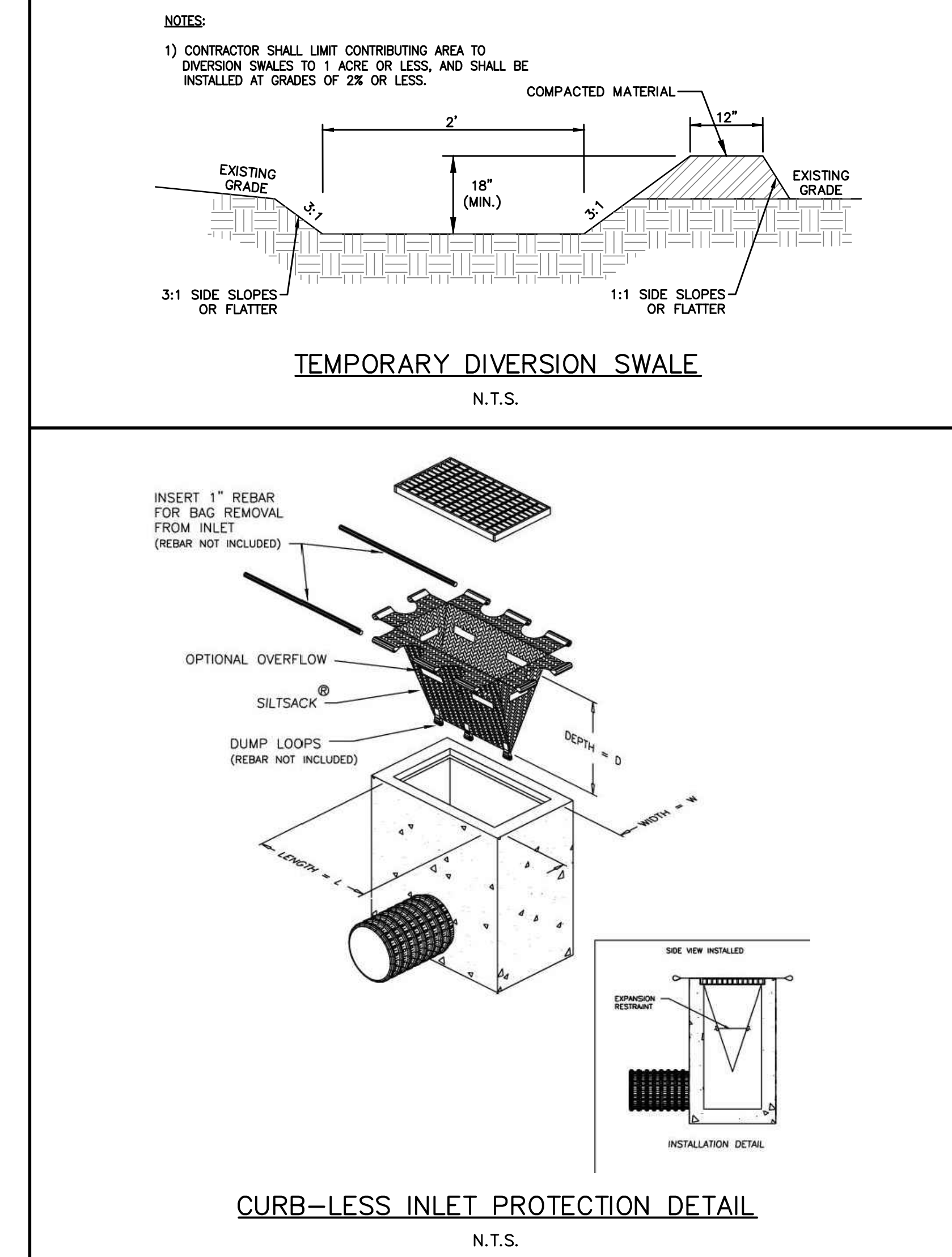
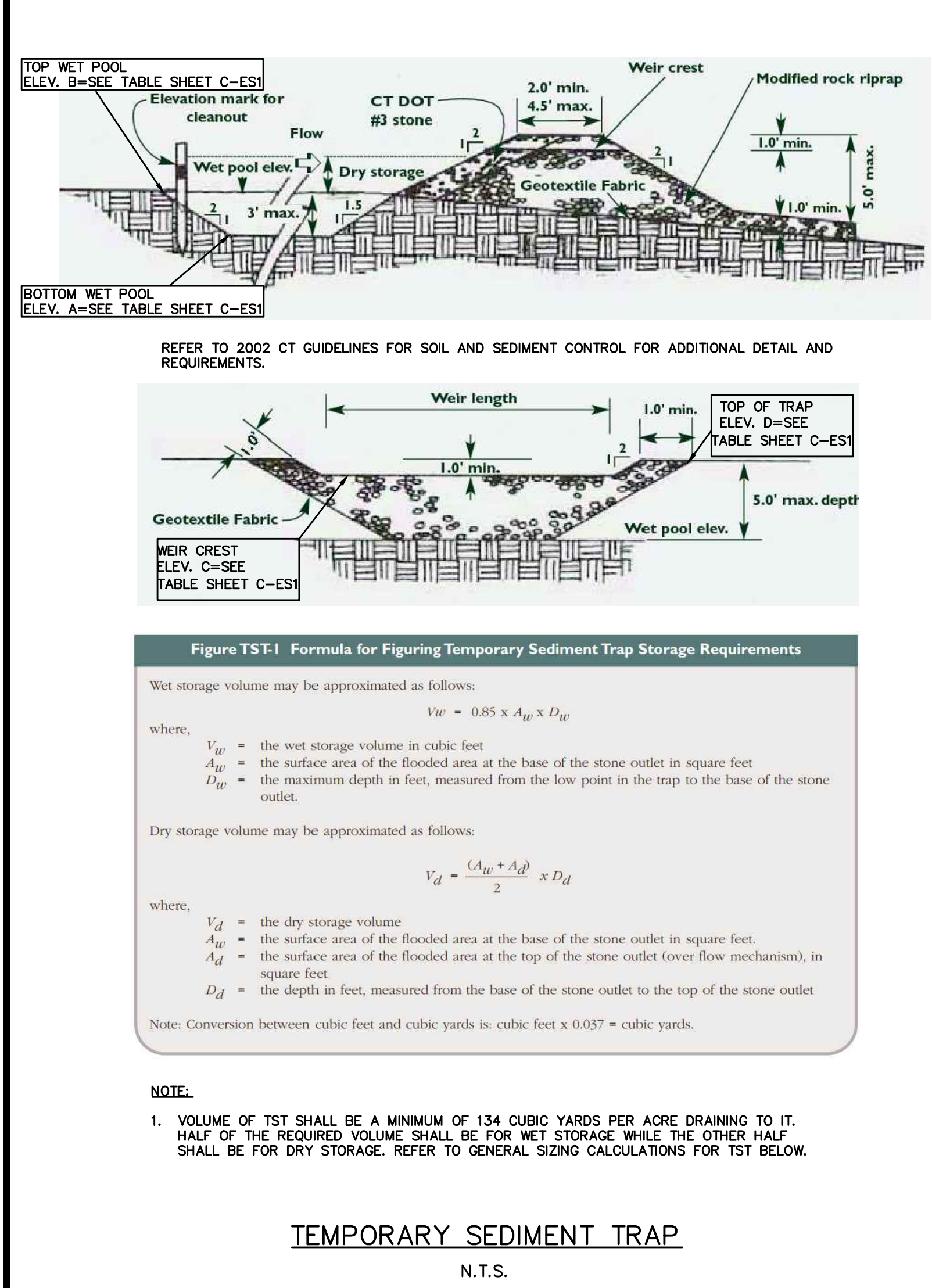
1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEP CLEAN AT ALL TIMES.
5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH:	RATE:
STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL RYEGRASS	1.0# / 1000 S.F.
7. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.

PROJECT  
CONTACT INFO:  
  
SCOTT SPINDLER  
(978) 590-7841

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171 PENNYWISE LANE  
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**APPLICANT:**  
SCOTT SPINDLER, MANAGER  
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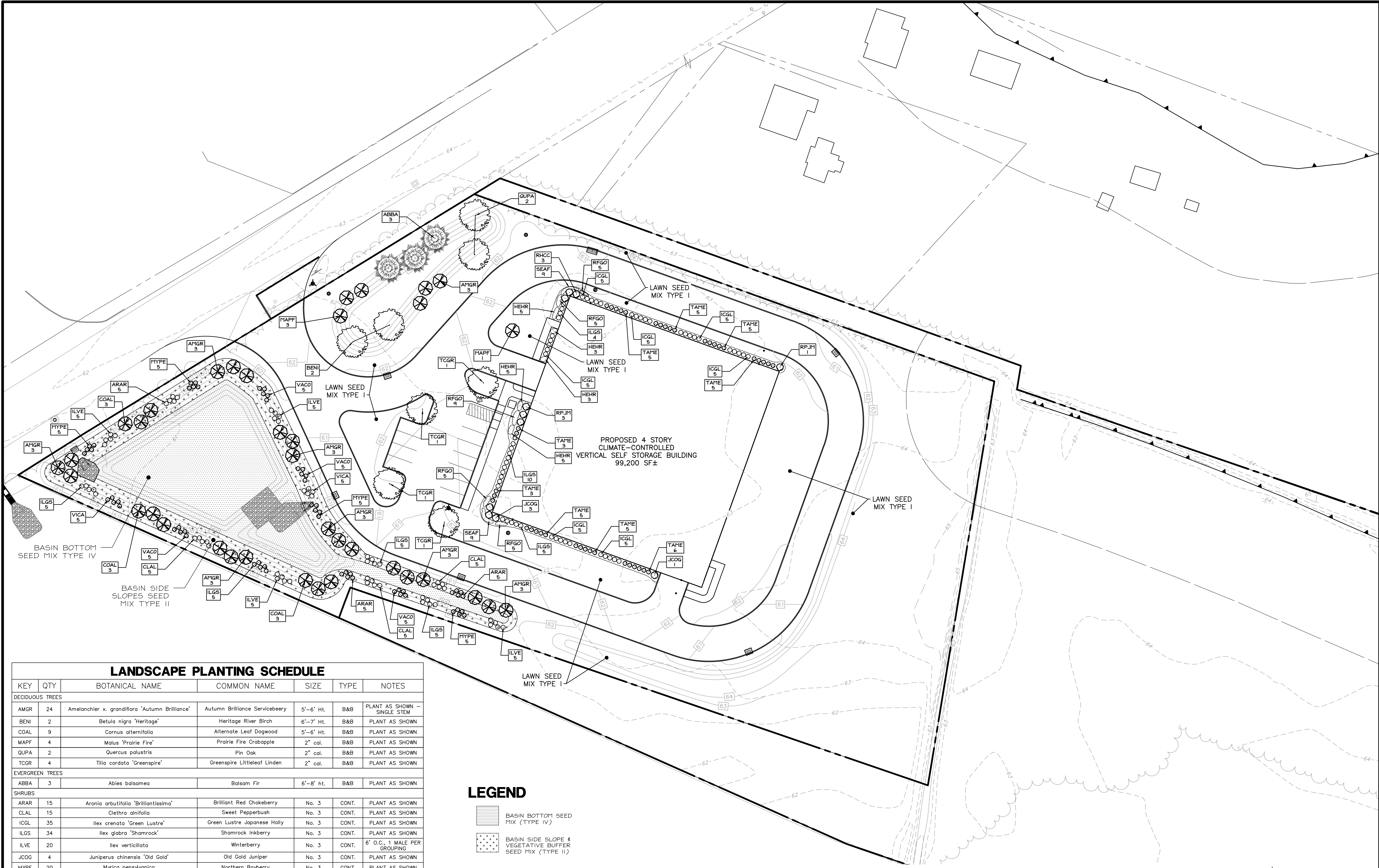


4. AT NO TIME DURING THE CONSTRUCTION EFFORT, SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAUSE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OTHER-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM DRAINAGE IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT TANKS. TANKS SHALL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERTFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

### CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAIL ROADS, USE ROAD CONSTRUCTION STABILIZATION MATERIALS AND/OR MULCH. MULCH IS NEEDED TO MINIMIZE DUST FROM STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS. USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILLES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOILS PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OF HIGH GRADE LATEX, ETC. THE SOLUTIONS SHALL BE NONHAZARDOUS, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.





### LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
AMGR	24	Amelanchier x. grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5'-6' Ht.	B&B	PLANT AS SHOWN - SINGLE STEM
BENI	2	Betula nigra 'Heritage'	Heritage River Birch	6'-7' Ht.	B&B	PLANT AS SHOWN
COAL	9	Cornus alternifolia	Alternate Leaf Dogwood	5'-6' Ht.	B&B	PLANT AS SHOWN
MAPF	4	Malus 'Prairie Fire'	Prairie Fire Crabapple	2" cal.	B&B	PLANT AS SHOWN
QUPA	2	Quercus palustris	Pin Oak	2" cal.	B&B	PLANT AS SHOWN
TCGR	4	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" cal.	B&B	PLANT AS SHOWN
EVERGREEN TREES						
ABBA	3	Abies balsamea	Balsam Fir	6'-8' ht.	B&B	PLANT AS SHOWN
SHRUBS						
ARAR	15	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	No. 3	CONT.	PLANT AS SHOWN
CLAL	15	Clethra alnifolia	Sweet Pepperbush	No. 3	CONT.	PLANT AS SHOWN
ICGL	35	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	No. 3	CONT.	PLANT AS SHOWN
ILGS	34	Ilex glabra 'Shamrock'	Shamrock Inkberry	No. 3	CONT.	PLANT AS SHOWN
ILVE	20	Ilex verticillata	Winterberry	No. 3	CONT.	6" O.C., 1 MALE PER GROUPING
JCOG	4	Juniperus chinensis 'Old Gold'	Old Gold Juniper	No. 3	CONT.	PLANT AS SHOWN
MYPE	20	Myrica pensylvanica	Northern Bayberry	No. 3	CONT.	PLANT AS SHOWN
RHCC	3	Rhododendron catabiense 'Chionoides'	Chionoides Rhododendron	No. 3	CONT.	PLANT AS SHOWN
RPJM	4	Rhododendron 'PJM Compactum'	Compact PJM Rhododendron	No. 3	CONT.	PLANT AS SHOWN
TAME	42	Taxus x media 'Densiformis'	Dense Spreading Yew	No. 3	CONT.	PLANT AS SHOWN
VACO	20	Vaccinium corymbosum	High Bush Blueberry	No. 3	CONT.	PLANT AS SHOWN
VICA	10	Viburnum cassinoides	Witherod Viburnum	No. 3	CONT.	PLANT AS SHOWN
PERENNIALS						
HEHR	26	Heemerocallis 'Happy Returns'	Happy Returns Daylily	No. 1	CONT.	18" O.C.
RFGO	29	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-eyed Susan	No. 1	CONT.	2' O.C.
SEAF	18	Sedum spectabile 'Autumn Fire'	Autumn Fire Stonecrop	No. 1	CONT.	2' O.C.

### LEGEND

- BASIN BOTTOM SEED MIX (TYPE IV)
- BASIN SIDE SLOPE & VEGETATIVE BUFFER SEED MIX (TYPE II)

### LANDSCAPING NOTES:

- PER ZONING REGULATION TABLE 6.4.6A PARKING AREAS WITH FEWER THAN 30 PARKING SPACES REQUIRE 5% OF THE INTERIOR PARKING AREA TO BE LANDSCAPED AND ONE TREE FOR EACH 10 PARKING SPACES. ALSO, PENINSULA PLANTING AREAS MUST CONTAIN AT LEAST ONE TREE TO COUNT TOWARD INTERIOR LANDSCAPE REQUIREMENT.
- 2 TREES ARE REQUIRED PER THE 12 PARKING SPACES PROPOSED AND 1 TREE PER LANDSCAPE PENINSULA AREA. 4 TREES ARE PROVIDED, ONE TREE IN EACH OF THE PARKING PENINSULA AREAS. 5% OF THE PARKING AREAS IS AN AREA OF 306 SF. 1,420 SF OF LANDSCAPED ISLANDS ARE PROVIDED.

**PROPERTY OWNER:**  
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P.O. BOX 1174  
ROCHESTER, NH 03866

#### REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
- PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, ELLINGTON ROAD (ROUTE 30), 249 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 10/14/22 PREPARED BY DESIGN PROFESSIONALS, INC.

#### LANDSCAPE PLAN NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.
- REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES



LANDSCAPE NOTES:

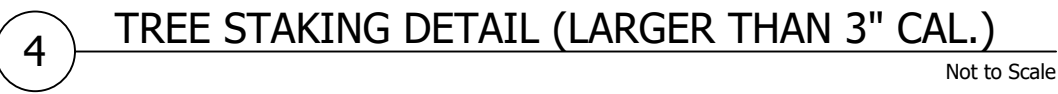
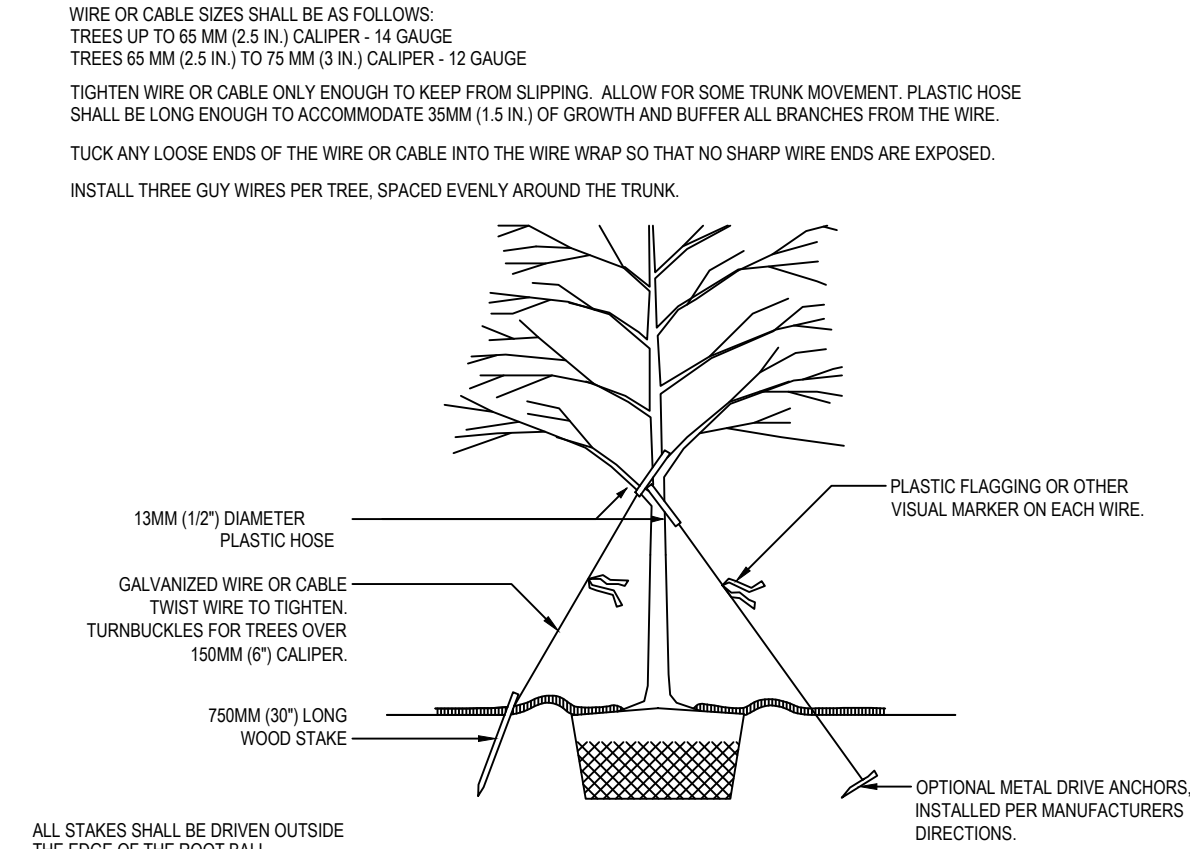
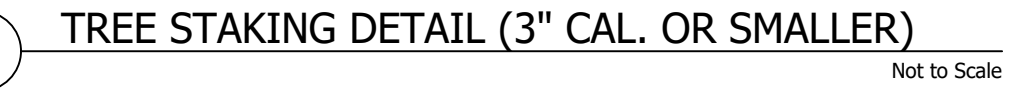
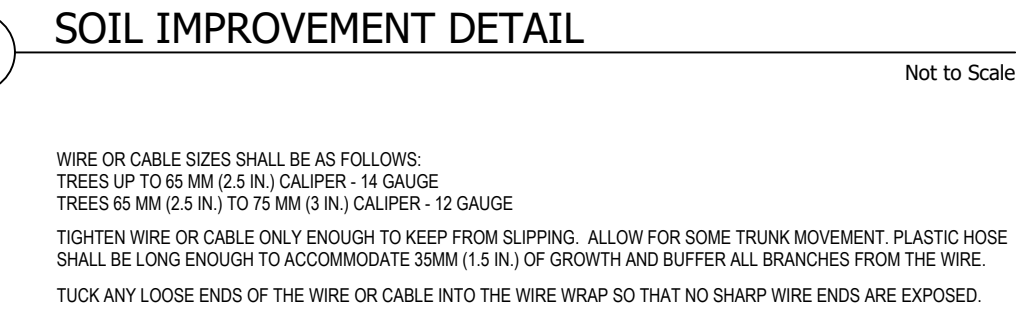
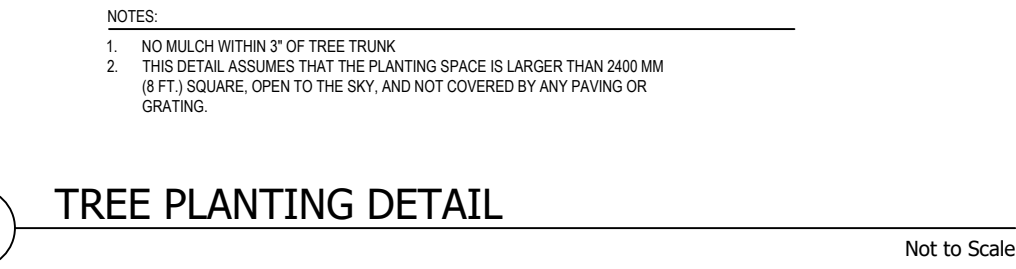
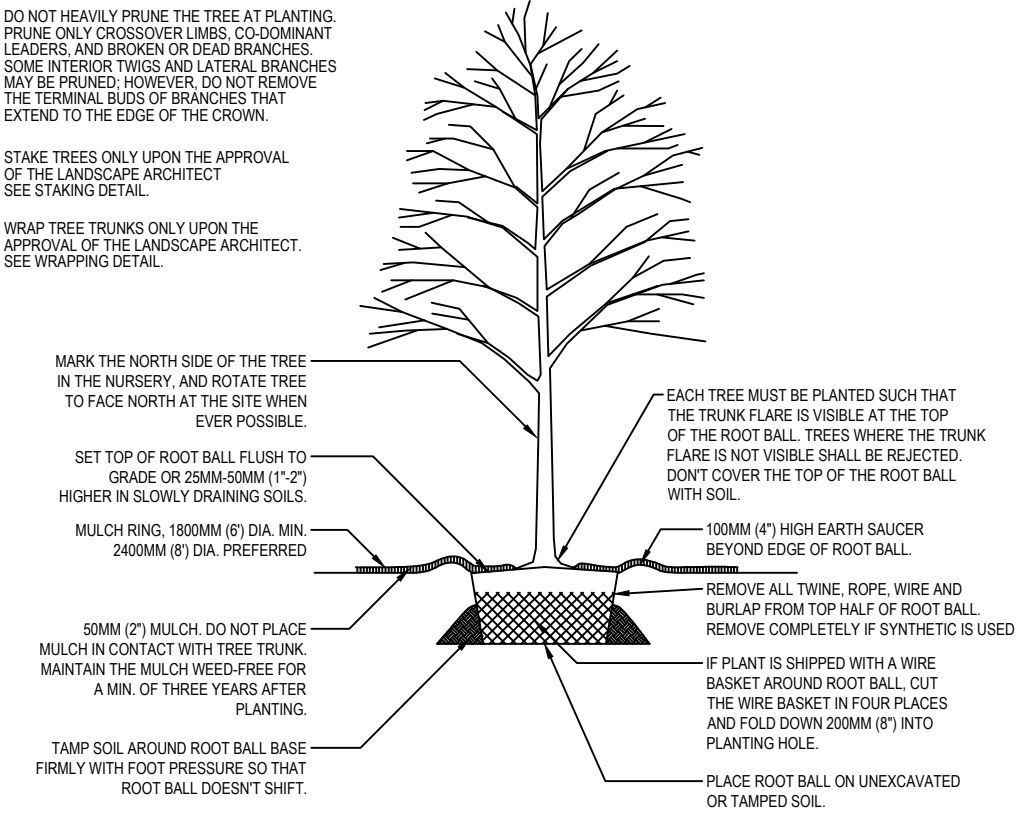
- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIGHT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK." PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIRMS, SOUND, PROVEN, PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE FULLY DEVELOPED FOLIAGE WITHOUT Voids OR OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT. PROVIDE BALL SIZES CORRELATING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK." CRACKED OR PUSHDROOPED BALLS ARE NOT ACCEPTABLE.
- BARE-ROOT PLANTS: DIG BARE-ROOT PLANTS WITH A UNIFORM, THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- B.S.B. CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- B.S.B. CONTAINER STOCK SHALL NOT BE POT BOUND.
- B.S.B. CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE TO MAINTAIN FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNUSUAL CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED IN WRITING BY THE OWNER.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
  - BARK MULCH/COMPOST 10%-12%
  - COARSE SAND 40%-45%
  - C. TOPSOIL 45%-50%
- BEFORE TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIME SHALL BE PELLETED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MAXIMUM OF 60% OXIDE (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FERTILITY INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED HATCH QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER, STORE IN MANNER TO PREVENT HEATING AND DETERIORATION.
- DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
- DATILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COPY WITH REGULATIONS TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDORS CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS, MOVING AND STORAGE OF PLANT MATERIALS. CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGALLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
- INSPECTION CERTIFICATES REQUIRED BY LAH SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING HOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH HOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID ALKALI, ORGANIC SLAKTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
  - REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
  - MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
  - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
  - ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
  - MULCH TO BE APPLIED AS FOLLOWS:
    - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
    - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
    - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
    - MULCH SHALL BE 6 MONTHS OLD, WELL-SORTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST.
  - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS.
  - MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
  - MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
  - RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
  - CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
  - WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
  - REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTEE SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
  - LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
  - LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4865 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
  - LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
  - CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
  - ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  - LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT, THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
  - TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
  - THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
  - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
  - CHEENING RED FESCUE 30% OF MIXTURE
  - PERENNIAL RYEGRASS 20% OF MIXTURE
  - APPLICATION RATE: 4.50 LBS. PER 1,000 S.F.
- SEEDING MIXTURE TYPE II (BASIN SLOPES):
  - RETENTION BASIN WILDLIFE MIX - ERNIX-127
  - BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
  - APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- SEEDING MIXTURE TYPE IV (BASIN BOTTOMS):
  - FACB WETLAND MEADOW MIX - ERNIX-122
  - BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
  - APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- BASIN SIDE SLOPES SHALL HAVE A MINIMUM OF 4" OF TRACKED TOPSOIL UNLESS OTHERWISE NOTED.
- SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO DISCHARGING RUNOFF FROM THE STORAGE WATER SYSTEM.
- SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE IV) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING. ADD AN ADDITIONAL 16% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUAL TO CONNED 2000 AND APPLIED AT THE RATE OF 1,400 LBS. PER ACRE.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

TREE PLANTING NOTES:

- ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY THE TRUNK OF THE TREE.
- ALL ROPE OR THINE SHALL BE COMPLETELY REMOVED ONCE THE TREE HAS BEEN PLACED IN THE PLANTING AREA, BURLAP SHALL BE ROLLED DOWN AND CUT OR TUCKED UNDER THE ROOT BALL.
- ANY WIRE BASKETS SHALL BE CUT AND THE UPPER 2/3 REMOVED AFTER THE TREE IS PLACED IN THE PLANTING AREA.
- ALL TREES SHALL BE FRESHLY DUG WITHIN 30 DAYS OF DELIVERY TO THE PLANTING SITE.
- ALL THINE, ROPE OR ANY OTHER OBJECTS AROUND THE ROOT BALL SHALL BE REMOVED.
- A PLANTING AREA OF TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE TWO INCHES LESS THAN THE OVERALL HEIGHT OF THE ROOT BALL AS MEASURED FROM THE ROOT FLAIR ON THE TRUNK TO THE BOTTOM OF THE ROOT BALL.
- ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED SITE.
- WHEN BACK FILLING TREES, GROWING MEDIUM SHALL BE WORKED IN TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO COMPACT GROWING MEDIUM EXCESSIVELY.
- THE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES ABOVE FINAL GRADE.
- WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE.
- ALL TREE TRUNKS SHALL BE FREE FROM ANY INJURY OR DAMAGE.
- ALL TREES SHALL HAVE A SINGLE CENTRAL DOMINANT LEADER.
- TREES SHALL NOT BE STAKED OR GUYED UNLESS DICTATED BY THE TREE WARDEN.
- THE DEPTH OF ALL HULCH SHALL NOT EXCEED MORE THAN TWO INCHES.
- ALL TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED.
- NO PRUNING SHALL BE PERFORMED UNLESS DIRECTED BY THE TREE WARDEN.
- NO FERTILIZERS OR WATER POLYMERS SHALL BE APPLIED AT PLANTING.



PROPERTY OWNER:  
249 ELLINGTON ROAD LLC  
171 PENNWISE LANE  
CLASTONBURY, CT 06033

APPLICANT:  
SCOTT SPINDLER, MANAGER  
HIGHLAND CAPITAL HOLDINGS, LLC  
P.O. BOX 1174  
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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS  
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR  
Mr. Scott Spindler  
Highland Capital Holdings, LLC  
P.O. Box 1174  
Rochester, NY 03866

PROJECT NO.  
4303H  
DATE  
10/14/22  
DRAWN BY  
CAM/CHJ  
CHECKED BY  
GJENARINI  
SCALE  
AS SHOWN  
SHEET NO.  
9 OF 13

CLIMATE-CONTROLLED  
VERTICAL SELF  
STORAGE FACILITY  
249 ELLINGTON ROAD  
SOUTH WINDSOR, CONNECTICUT

REVISIONS  
NO. DATE BY

LANDSCAPE  
DETAILS & NOTES  
C-LS2  
SHEET 9 OF 13



Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Efficiency	Distribution
	A	8	Lithonia Lighting	DSX1 LED P1 40K T4M MVOLT	DSX1 LED P1 40K T4M MVOLT	LED	1	DSX1_LED_P1_40K_T4M_MV_OLT.ies	6816	0.92	100%	TYPE IV, SHORT, BUG RATING: B1 – U0 – G2
	B	3	Lithonia Lighting	DSX1 LED P1 40K T2M MVOLT HS	DSX1 LED P1 40K T2M MVOLT with houseside shield	LED	1	DSX1_LED_P1_40K_T2M_MV_OLT_HS.ies	5693	0.92	100%	TYPE III, MEDIUM, BUG RATING: B1 – U0 – G2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1		0.4 fc	1.7 fc	0.0 fc	N/A	N/A

SITE LIGHTING NOTES:

- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
- MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
- LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
- ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
- LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
- INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**PROPERTY OWNER:**  
249 ELLINGTON ROAD LLC  
171 PENNYWISE LANE  
CLASTONBURY, CT 06033


**APPLICANT:**  
SCOTT SPINDLER, MANAGER  
HIGHLAND CAPITAL HOLDINGS, LLC  
P.O. BOX 1174  
ROCHESTER, NH 03866

REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
- PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, ELLINGTON ROAD (ROUTE 30), 249 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 10/14/22 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LIGHTING PLAN NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY.



### D-Series Size 1 LED Area Luminaire

**Specifications**

EPA: 1.3 ft  
Length: 30" (813mm)  
Width: 13" (330mm)  
Height: 7-1/2" (191mm)  
Weight (empty): 27 lbs (12kg)

**Capable Luminaire**

This item is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brand® specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a **shaded background**. DTL+ equipped luminaires meet the A+ specification for luminaire to photocell interoperability.
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit [www.acuitybrands.com/a-plus](https://www.acuitybrands.com/a-plus).

1. See ordering tree for details.  
2. An A+ Certified Solution for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#) [Link to DTL DLU](#)

Ordering Information		EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA D8X8D									
Series	LEDs	Color temperature	Mounting	Finish	Driver	Mounting	Shipped	Shipped	Shipped	Shipped	Shipped
DSX1 LED	Forward optics P1 P5 P7 P2 P5 P6 P3 P6 P9 Retrofitted optics P10 P12 P11 P12	30K 4000K 40K 4000K 50K 5000K AMBEC Amber phosphor converted	T15 Type 1 short T25 Type 1 short T3M Type 1 medium T5M Type 1 medium T7M Type 1 medium T9M Type 1 medium T12M Type 1 medium T15M Type 1 medium T18M Type 1 medium T21M Type 1 medium T24M Type 1 medium T27M Type 1 medium T30M Type 1 medium T33M Type 1 medium T36M Type 1 medium T39M Type 1 medium T42M Type 1 medium T45M Type 1 medium T48M Type 1 medium T51M Type 1 medium T54M Type 1 medium T57M Type 1 medium T60M Type 1 medium T63M Type 1 medium T66M Type 1 medium T69M Type 1 medium T72M Type 1 medium T75M Type 1 medium T78M Type 1 medium T81M Type 1 medium T84M Type 1 medium T87M Type 1 medium T90M Type 1 medium T93M Type 1 medium T96M Type 1 medium T99M Type 1 medium T102M Type 1 medium T105M Type 1 medium T108M Type 1 medium T111M Type 1 medium T114M Type 1 medium T117M Type 1 medium T120M Type 1 medium T123M Type 1 medium T126M Type 1 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1. At least two (2) business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies. From parcel testimony, and from other sources. These locations may be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
19. The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. General information regarding utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29. All materials and work shall conform to the state Department of Transportation standard specifications (latest edition, and any amendments or revisions thereto), unless otherwise specified in these plans.
30. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
31. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
32. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
33. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
34. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
- Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt joint limits.
- RCP Class V pipe shall be used in paved areas with less than 1 ft. of cover or in locations noted on the plans.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt joint joints.
- Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
35. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
36. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
37. Sewers crossing streams and/or within 10 feet of the stream, embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or other such separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.


































3. Contractor's prior water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
39. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
40. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
41. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
42. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the facade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
43. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
44. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
45. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
46. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
47. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
48. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
49. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

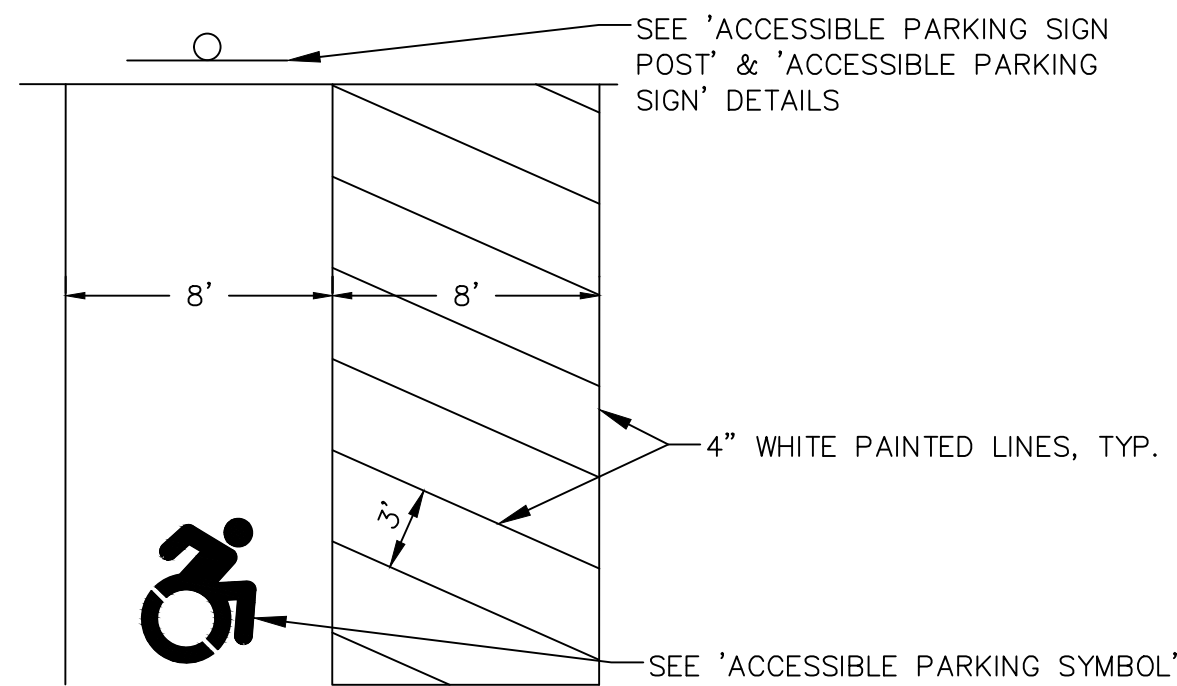
The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

**PROPERTY OWNER:**  
249 ELLINGTON ROAD LLC  
171 PENNYWISE LANE  
GLASTONBURY, CT 06033

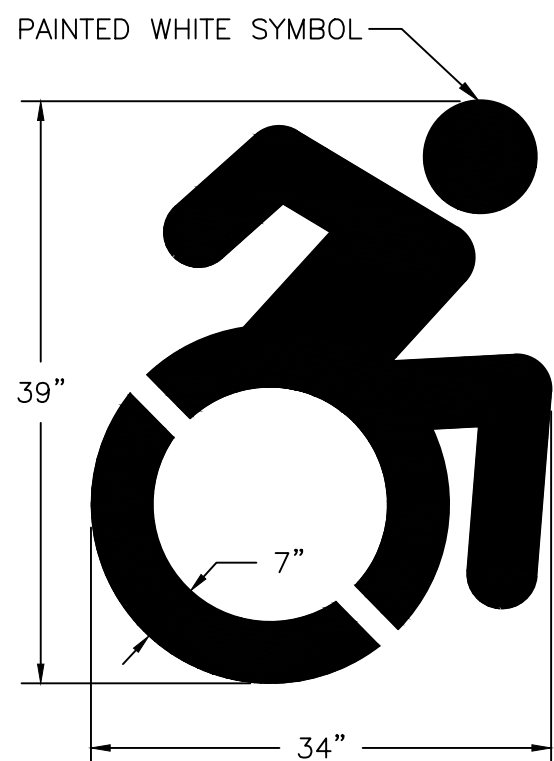
**APPLICANT:**  
SCOTT SPINDLER, MANAGER

EXISTING			DESCRIPTION	PROPOSED
BORINGS				
			BORING / TEST PIT LOCATION	
COMMUNICATION				
— — — — C <sub>x</sub> — — — — C <sub>x</sub> — —			UNDERGROUND COMMUNICATION LINES	— — — — C — — — —
DOMESTIC WATER				
— — — — W <sub>x</sub> — — — — W <sub>x</sub> — —			WATER MAIN	— — — — W — — — —
— — — — WS <sub>x</sub> — — — —			WATER SERVICE	— — — — WS — — — —
— — — — F <sub>x</sub> — — — — F <sub>x</sub> — —			FIRE SERVICE LINE	— — — — F — — — —
— — — — NPW <sub>x</sub> — — — —			NON-POTABLE WATER LINE	— — — — NPW — — — —
 			WATER VALVE / FIXTURES	  
			FIRE HYDRANT	
LIQUID FUEL				
— — — — LF <sub>x</sub> — — — —			MAIN LIQUID FUEL LINE	— — — — LF — — — —
— — — — LFS <sub>x</sub> — — — —			LIQUID FUEL SERVICE LINE	— — — — LFS — — — —
— — — — LF <sub>0</sub> — — — —			LIQUID FUEL LINE, ABANDONED	
IRRIGATION				
— — — — I <sub>x</sub> — — — — I <sub>x</sub> — —			IRRIGATION LINES	— — — — I — — — —
LIGHTING				
 / 			POLE / GROUND MOUNTED LIGHT	 / 
NATURAL GAS				
— — — — G <sub>x</sub> — — — — G <sub>x</sub> — —			GAS MAIN	— — — — G — — — —
— — — — GS <sub>x</sub> — — — —			GAS SERVICE LINE	— — — — GS — — — —
POWER				
— — — — EO <sub>x</sub> — — — —			ELECTRICAL LINES, OVERHEAD	— — — — EO — — — —
— — — — EU <sub>x</sub> — — — —			ELECTRICAL LINES, UNDERGROUND	— — — — EU — — — —
			UTILITY POLE	
PROPERTY				
— — — — — — — — — —			PROPERTY LINE	— — — — — — — — — —
— — — — — — — — — —			EASEMENT LINE	— — — — — — — — — —
			IRON PIPE	
			IRON ROD	
			MONUMENT	
ROADS				
— — — — R — — — — R — — — —			GUARD RAIL	 
EROSION CONTROL				
— — — — — — — — — —			SILT FENCE	— — — — SF — — — —
SITE FEATURES				
— — — — — — — — — —			4" DOUBLE SOLID YELLOW LINE	— — — — DSYL — — — —
— — — — — — — — — —			4" SINGLE SOLID WHITE LINE	— — — — SSWL — — — —
— — — — — — — — — —			BIT. CONC. LIP CURB	— — — — BCLC — — — —
— — — — — — — — — —			PRECAST CONCRETE CURB	— — — — PCC — — — —
SANITARY SEWER				
— — — — S <sub>x</sub> — — — — S <sub>x</sub> — —			SANITARY SEWER MAIN	— — — — S — — — —
— — — — SS <sub>x</sub> — — — — SS <sub>x</sub> — —			SANITARY SEWER SERVICE LINE	— — — — SS — — — —
			SANITARY SEWER MANHOLE	
STORM SEWER				
— — — — — — — — — —			STORM DRAIN PIPE	— — — — — — — — — —
— — — — RL <sub>x</sub> — — — — RL <sub>x</sub> — —			ROOF LEADER	— — — — RL — — — —
— — — — — — — — — —			UNDERDRAIN	— — — — — — — — — —
			STORM DRAIN MANHOLE	
			CURB INLET	
			CATCH BASIN	
			YARD DRAIN	
TOPOGRAPHY				
— — — — -95' — — — —			CONTOUR	— — — — [95] — — — —
— — — — X67.95 — — — —			SPOT ELEVATION	 [95]
OTHER				
— — — — — — — — — —			RAMP	— — — — R — — — —
— — — — — — — — — —			LANDSCAPE AREA	— — — — LSA — — — —

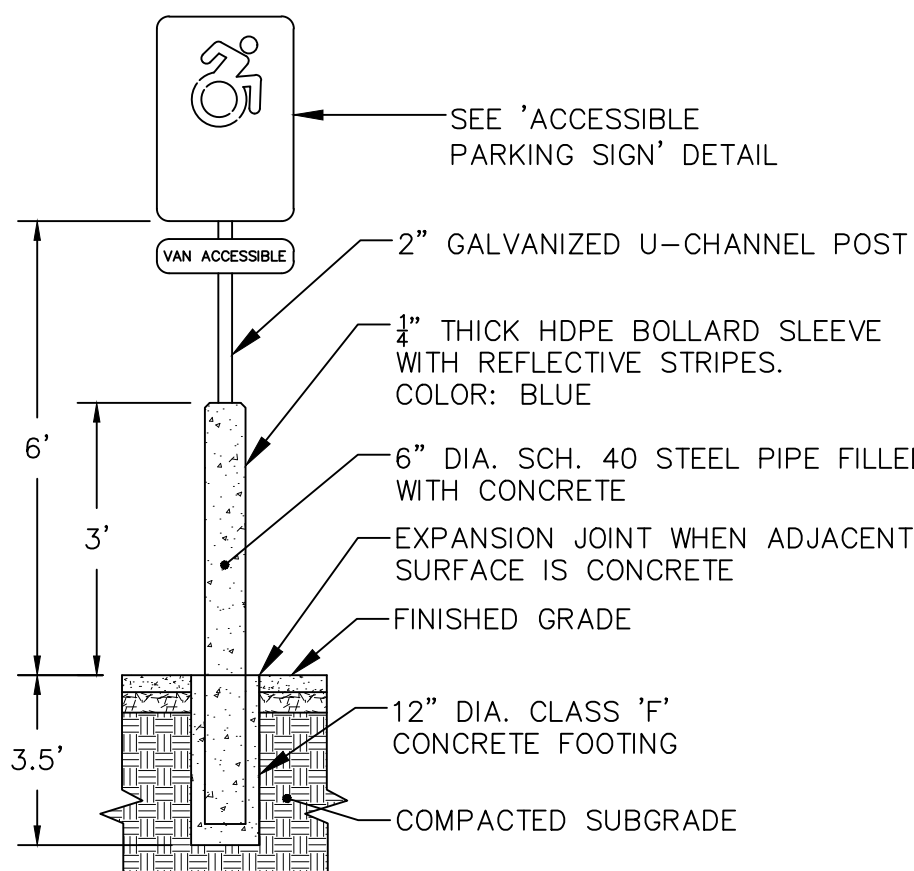


1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

Not to Scale

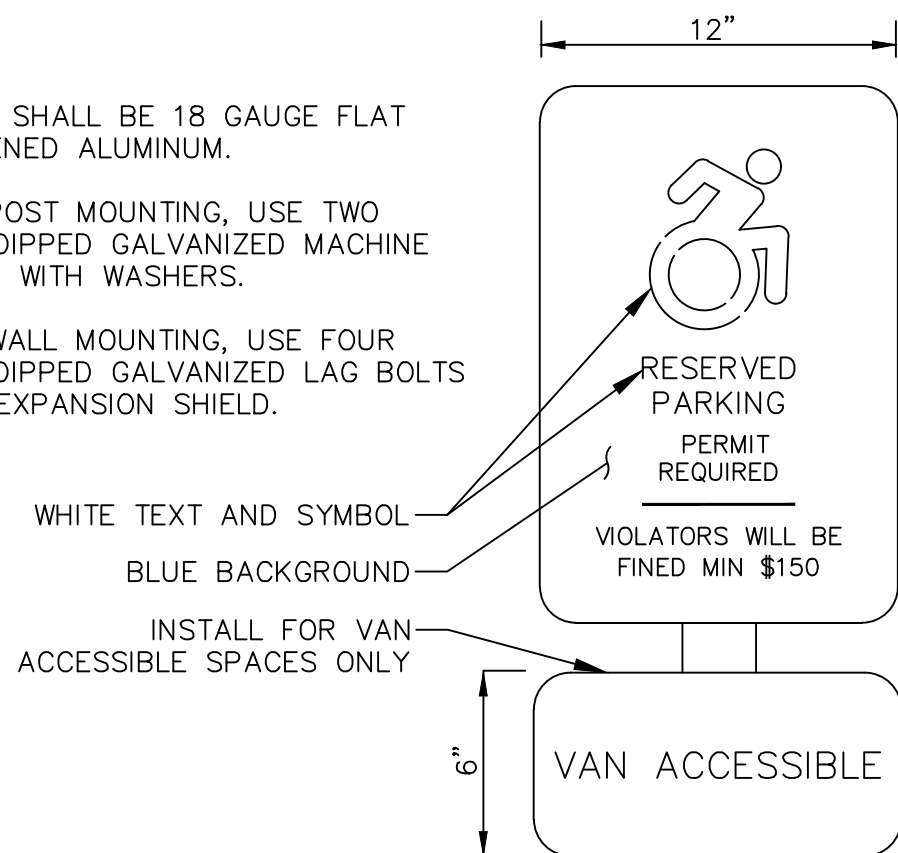


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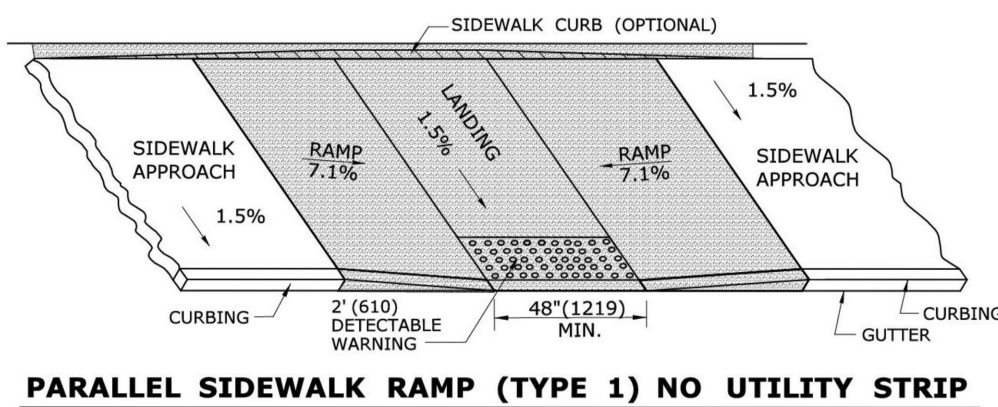


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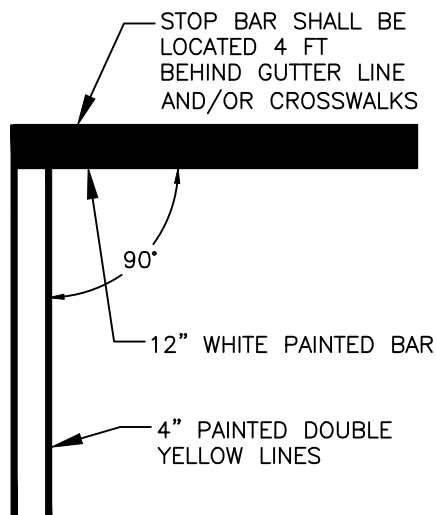
1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.
3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



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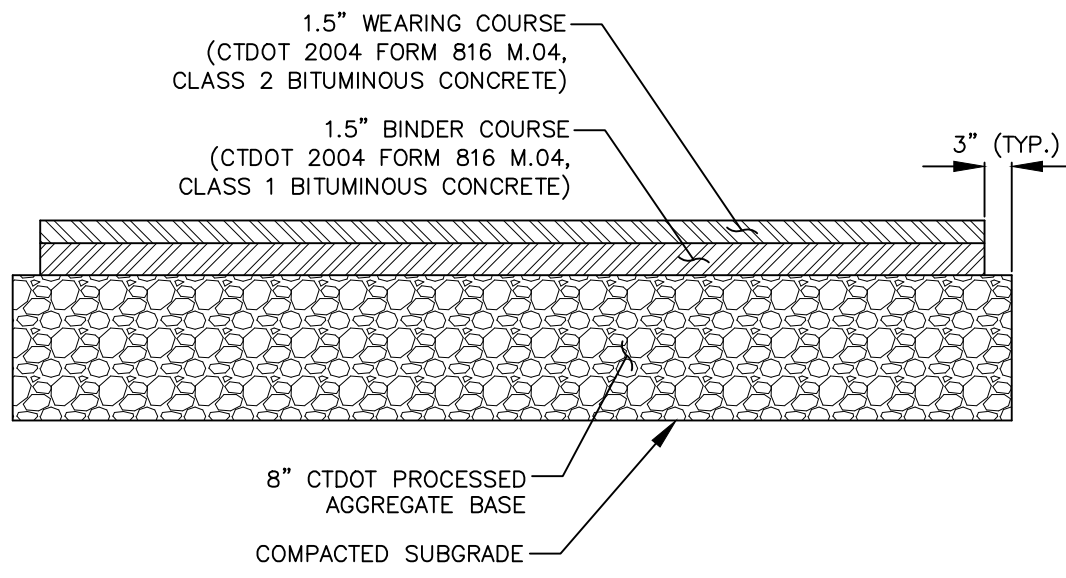


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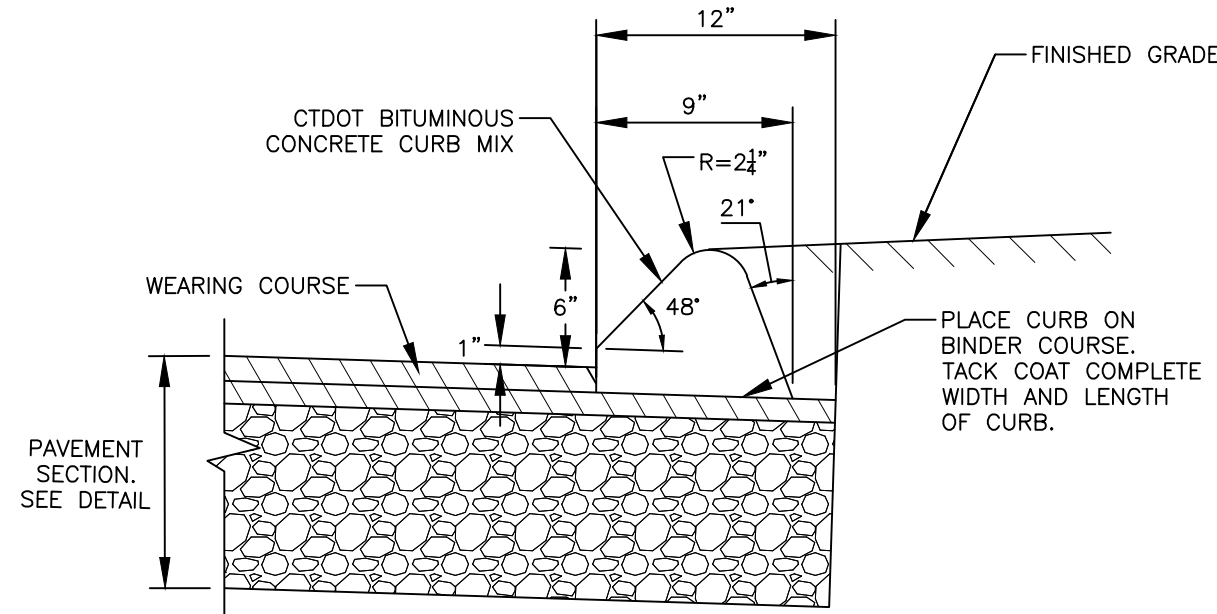




- NOTES:
1. PAVEMENT, BASE MATERIALS, AND THICKNESSES PER GEOTECHNICAL REPORT ENTITLED " " PREPARED BY GEL, DATED " ".
  2. HEAVY DUTY PAVEMENT AREA NOTED ON SITE PLAN. ALL OTHER PAVEMENT AREAS TO BE STANDARD DUTY.
  3. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

## 1 BITUMINOUS CONCRETE PAVEMENT SECTION - STANDARD DUTY

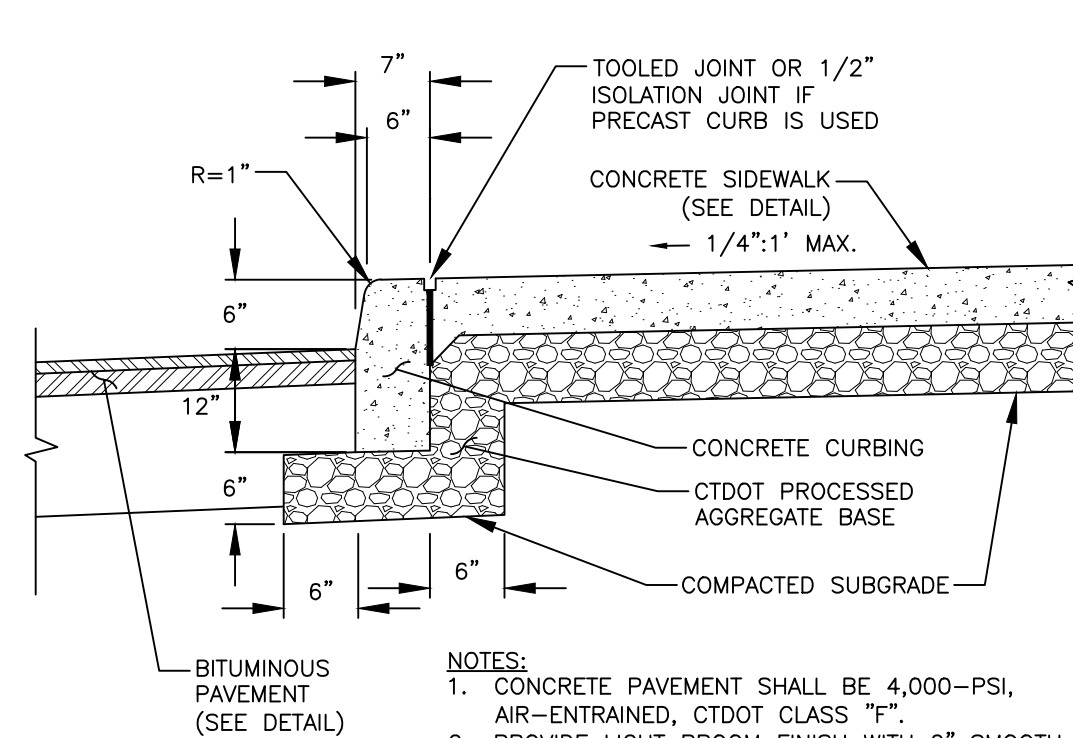
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- NOTE:
- BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CTDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

## 2 BITUMINOUS CONCRETE LIP CURB

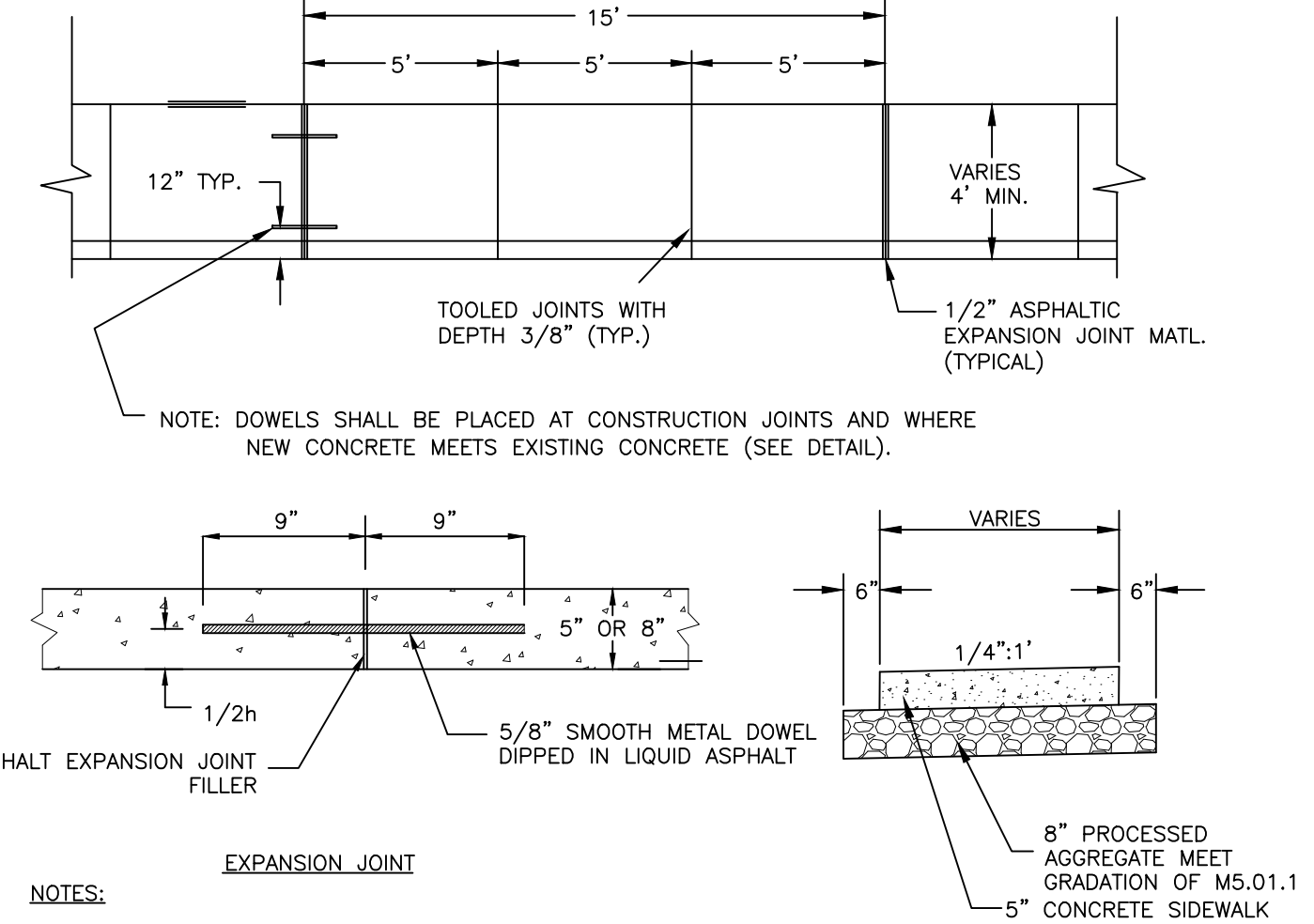
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- NOTES:
1. CONCRETE PAVEMENT SHALL BE 4,000-PSI, AIR-ENTRAINED, CTDOT CLASS "F".
  2. PROVIDE LIGHT BROOM FINISH WITH 2" SMOOTH SURFACE ON EACH SIDE OF ALL JOINTS.

## 3 MONOLITHIC CONCRETE CURB & WALK

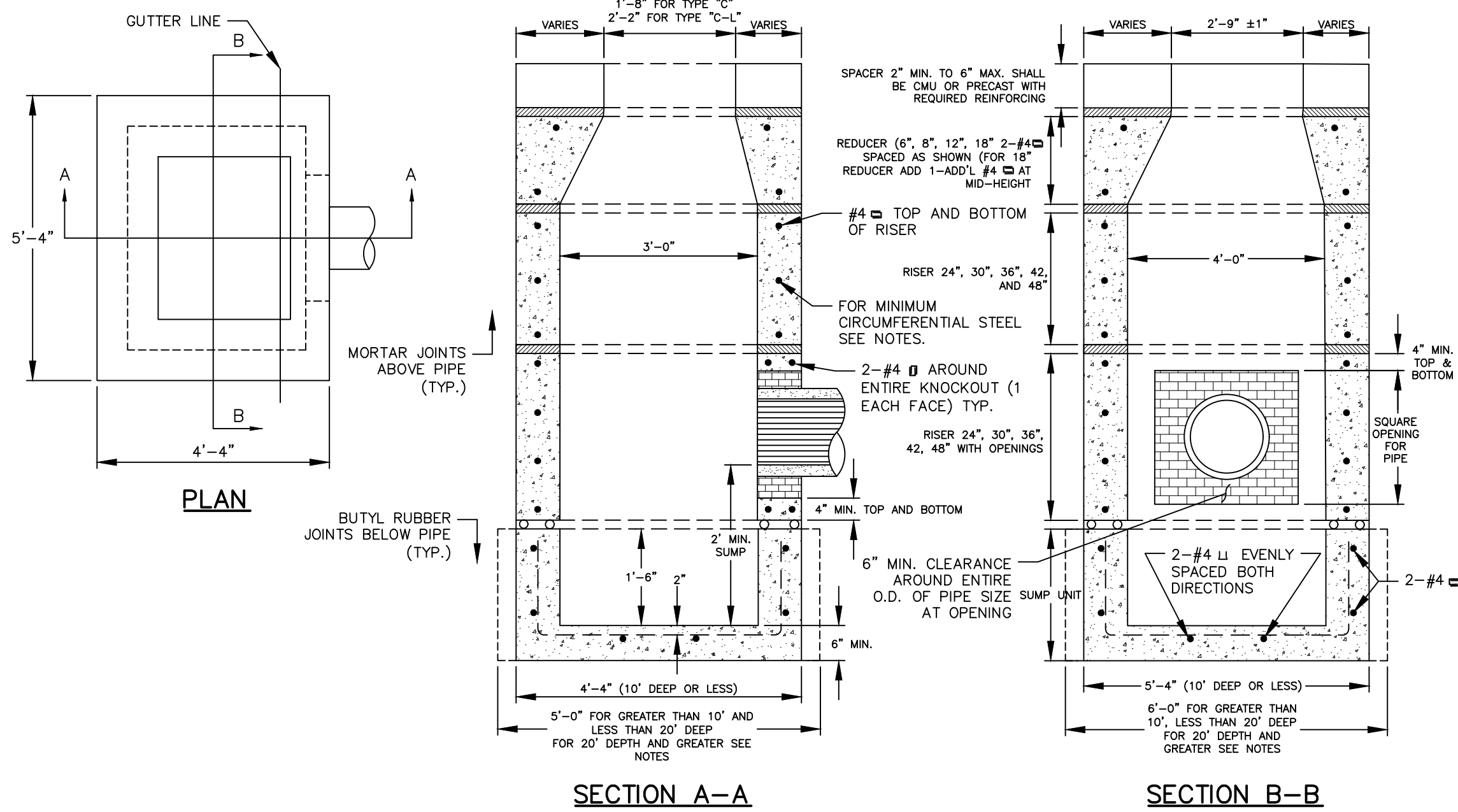
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- NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS "F". MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
  2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
  3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
  4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH.

## CONCRETE SIDEWALK

N.T.S.

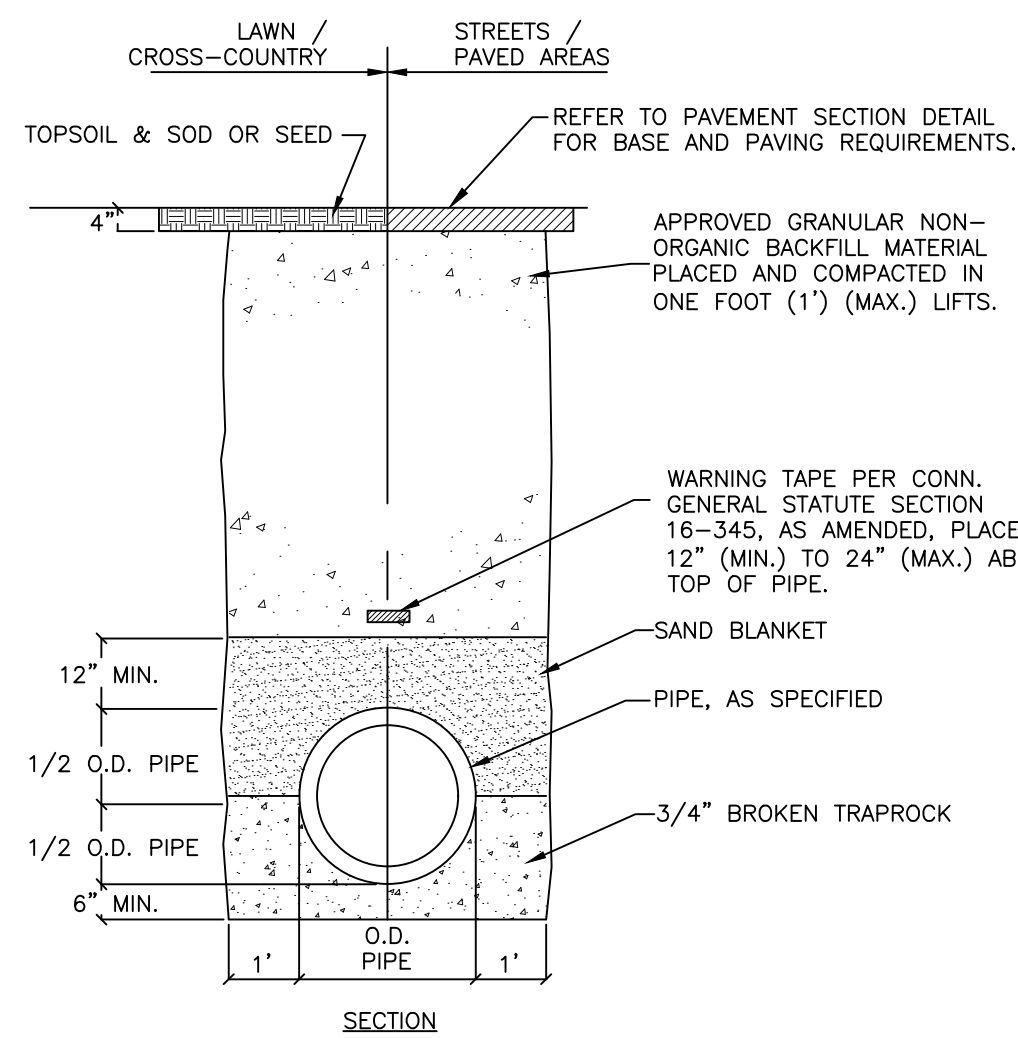


SECTION A-A

SECTION B-B

## 4 PRECAST CONCRETE TYPE "C" AND "C-L" CATCH BASIN

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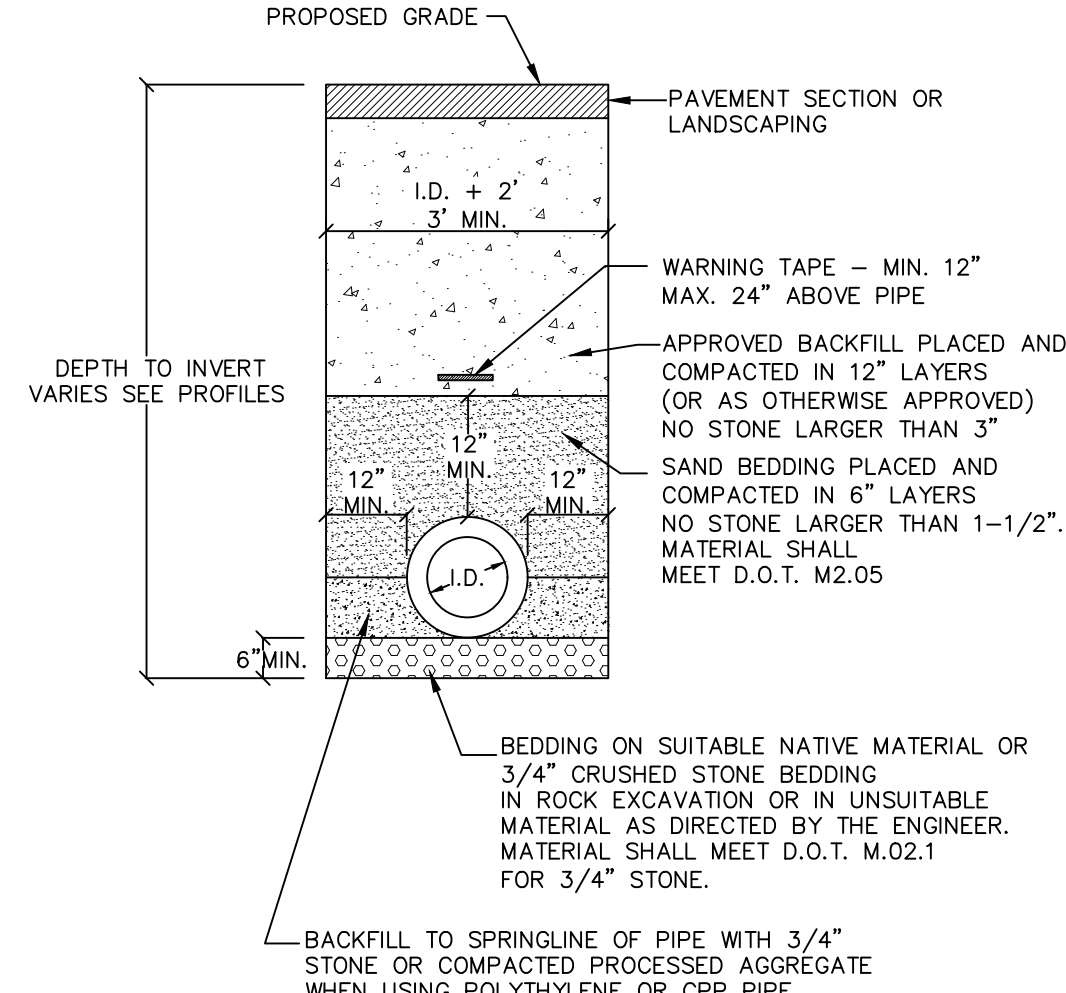


SANITARY SEWER TRENCH SECTION

N.T.S.

## 5 SANITARY SEWER TRENCH

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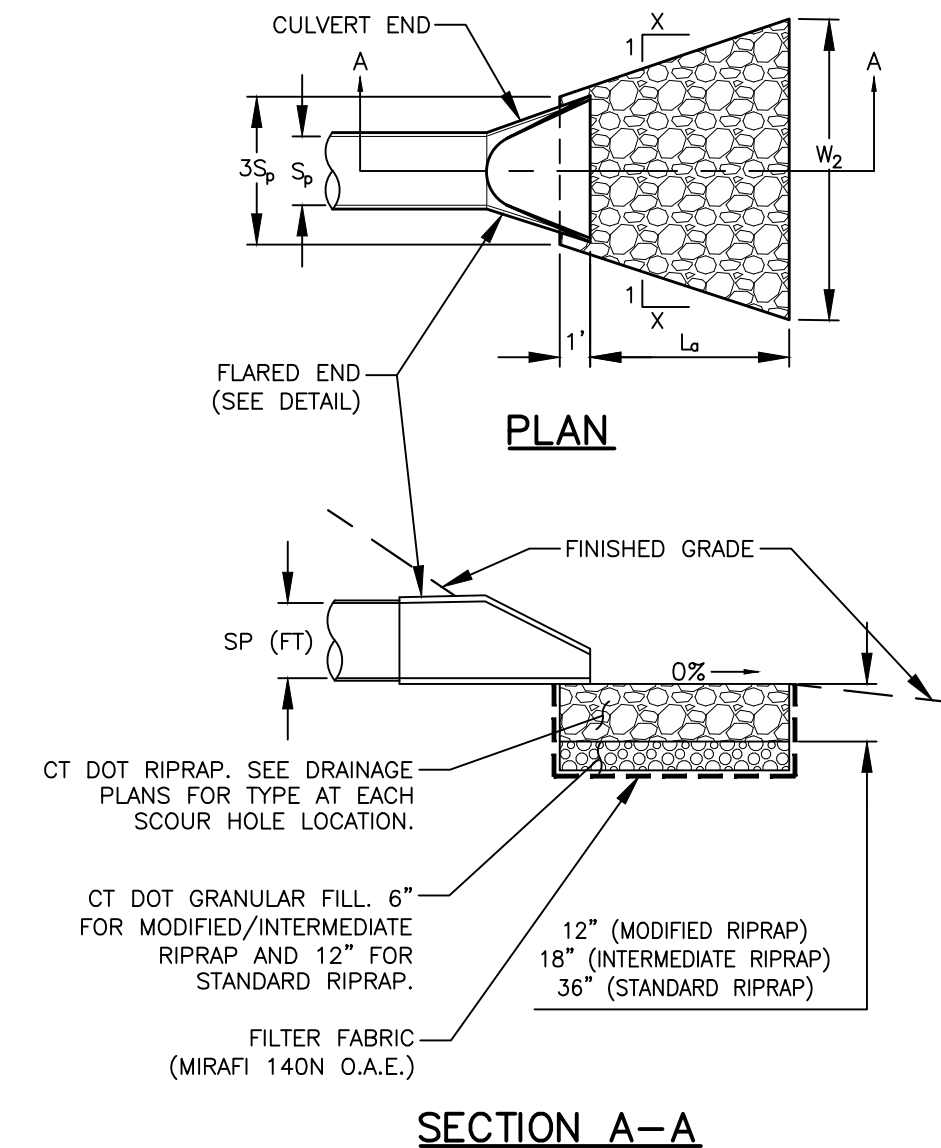


STORM SEWER TRENCH SECTION

N.T.S.

## 6 STORM SEWER TRENCH

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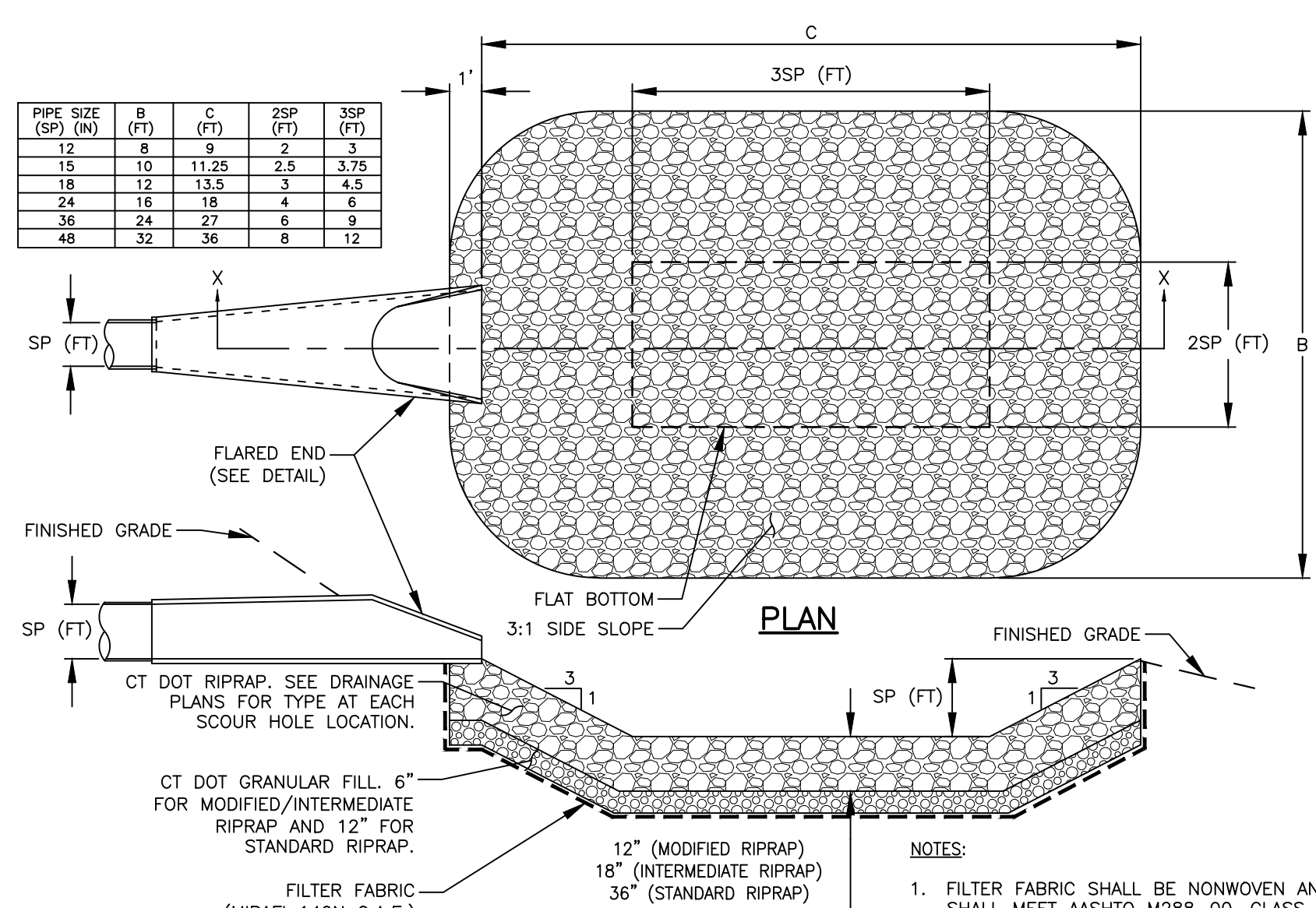


SECTION A-A

- NOTES:
1. FILTER FABRIC SHALL BE NONWOVEN AND SHALL MEET AASHTO M288-00, CLASS 2
  2. X = 3 FOR TYPE A RIPRAP APRON
  3. W<sub>2</sub> = 3S<sub>2</sub> + 0.7 L<sub>2</sub> FOR TYPE A RIPRAP APRON

## 7 TYPE A & B RIPRAP APRON

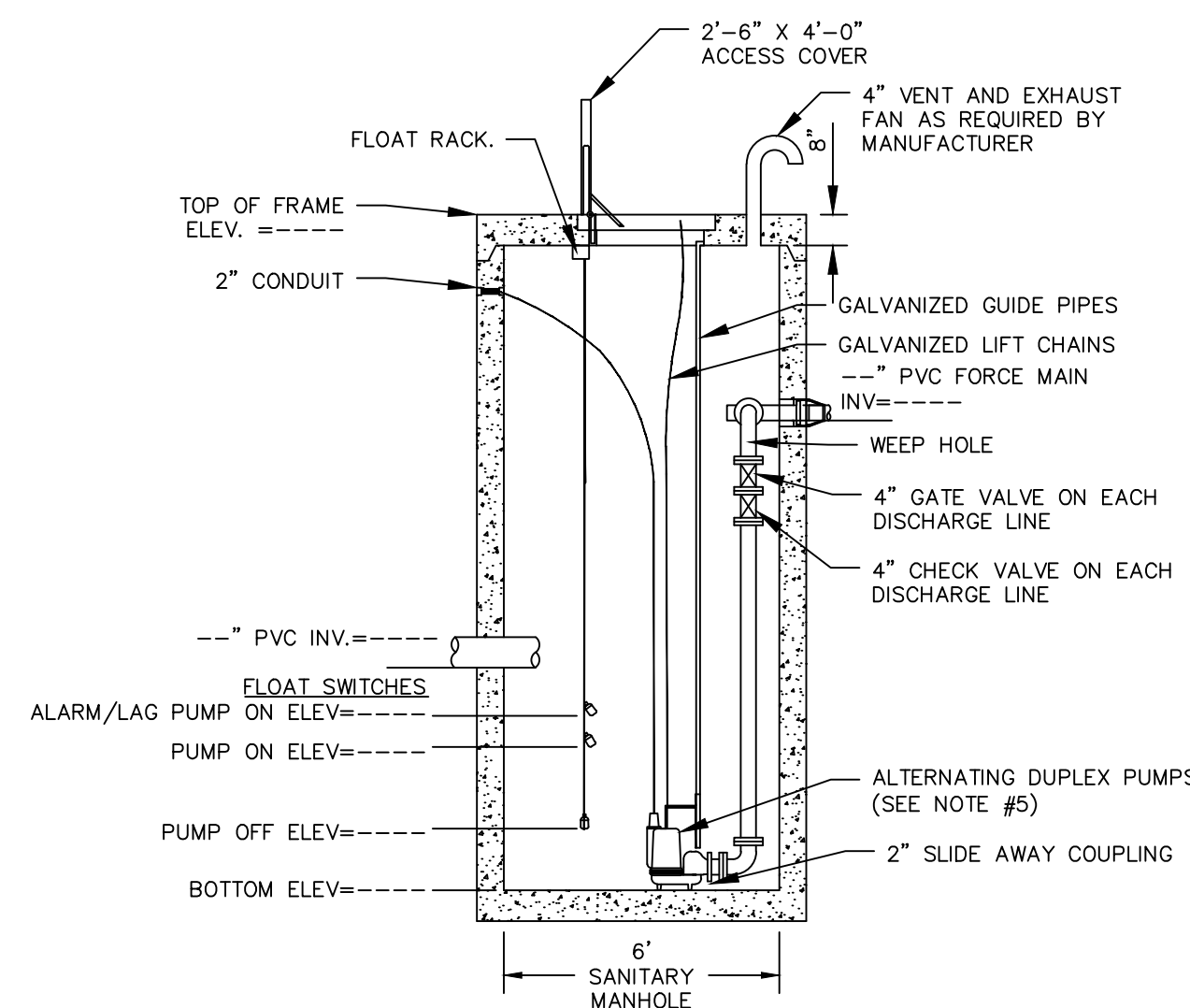
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SECTION X-X

## 8 PREFORMED SCOUR HOLE

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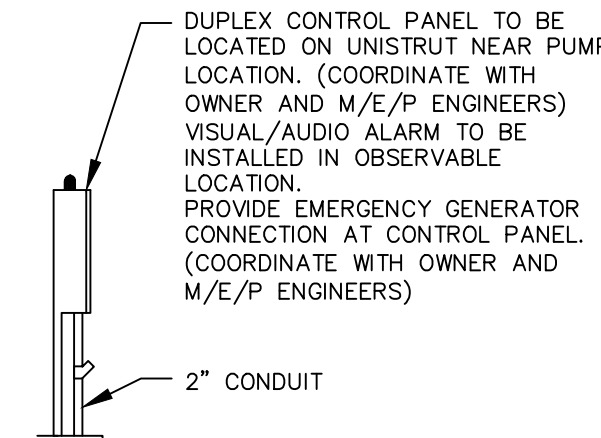
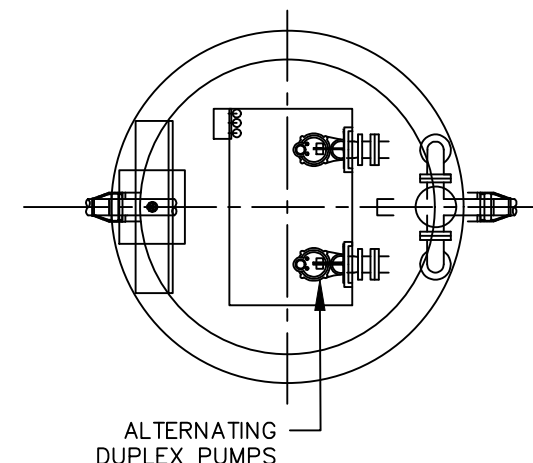


## 9 DUPLEX SANITARY PUMP DETAIL

- PUMP STATION TO BE DESIGNED BASED ON THE FOLLOWING:
1. DESIGN FLOW: ---- GALLONS PER DAY
  2. INVERT INTO PUMP STATION = ----
  3. ---- LF PIPE RUN OF ---- FORCE MAIN TO SANITARY MANHOLE.
  4. PUMPS SHALL BE STANCOR AVENGER SERIES SV-500 OR APPROVED EQUIVALENT. CONTACT ERIC NOVODROSKI OF DELTA PUMP GROUP FOR MORE INFORMATION (401) 944-8380.

DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. PROPOSED PUMP STATION TO HAVE ALTERNATING DUPLEX PUMPS, PAD MOUNTED GENERATOR AND ALARM SYSTEM. THE ALARM SYSTEM IS TO BE MONITORED BY THE PROJECT MAINTENANCE CONTRACTOR. MAINTENANCE AND INSPECTION OF ALL SYSTEM COMPONENTS SHALL BE PER MANUFACTURER'S WRITTEN REQUIREMENTS AND/OR RECOMMENDATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER AND MANUFACTURER TO DETERMINE FINAL TYPE & SIZE OF PUMP CHAMBER, PUMPS, WET WELL, FORCE MAIN, AND OTHER COMPONENTS PRIOR TO CONSTRUCTION. GENERATOR/CONNECTION TO BE COORDINATED WITH M/E/P ENGINEERS.

- NOTES:
1. CONCRETE SHALL BE CTDOT CLASS "F".
  2. STRUCTURE AND COVER SHALL BE DESIGNED FOR HS-20 LOADING.
  3. STRUCTURE SHALL BE WATER TIGHT AND HAVE BALLAST PROTECTION IF LOCATED IN GROUNDWATER.
  4. STEEL REINFORCEMENT SHALL CONFORM TO LATEST ASTM A185.
  5. BUTYL RESIN JOINT SHALL CONFORM TO LATEST ASTM C990 SPECIFICATION.
  6. PUMP OFF ELEV. TO BE COORDINATED WITH PUMP & WET WELL MANUFACTURER TO ASSURE ADEQUATE PRIMING IS PROVIDED.
  7. ALTERNATING DUPLEX PUMPS SHALL BE PROVIDED.
  8. FLOAT SWITCHES TO BE PRESSURE TRANSDUCERS, MECHANICAL FLOAT SWITCHES, OR OTHER ACCEPTABLE CONTROLS PER THE CT PUBLIC HEALTH CODE STANDARDS.
  9. MINIMUM EMERGENCY STORAGE VOLUME NOT REQUIRED WITH IMPLEMENTATION OF DUPLICATE ALTERNATING PUMPS PER SECTION 6.C OF THE CT PUBLIC HEALTH CODE TECHNICAL STANDARDS.
  10. POWER FOR THE DUPLEX SANITARY PUMP SHALL BE 3-PHASE 208V.



- NOTES:
- ADS HDPE FLARED ENDS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL USE THIS PRODUCT AS SPECIFIED OR APPROVED EQUAL.

## 10 HDPE FLARED END

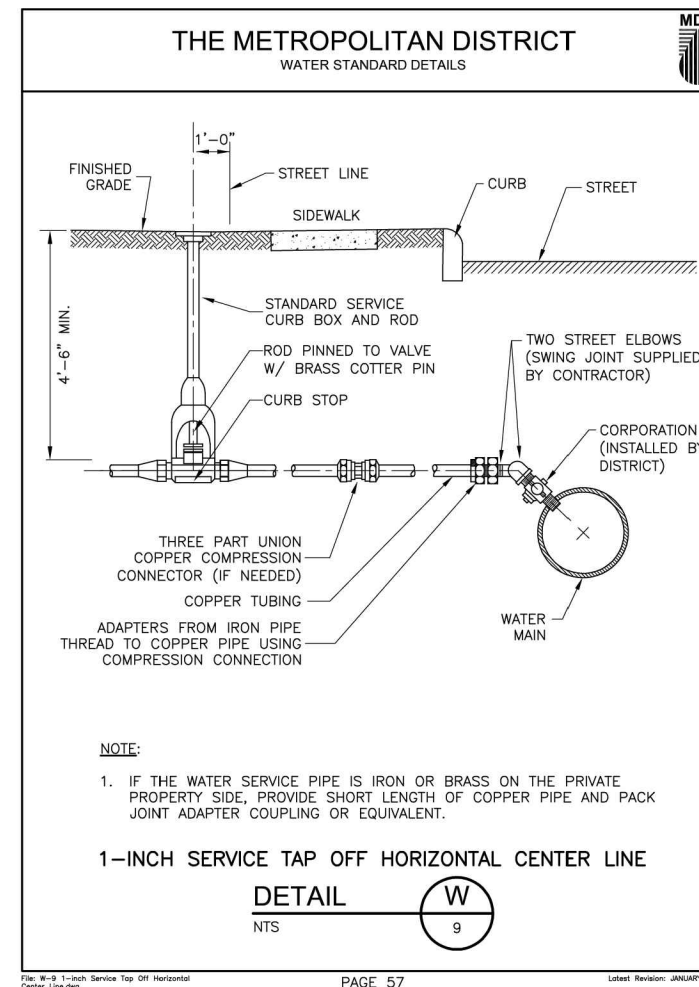
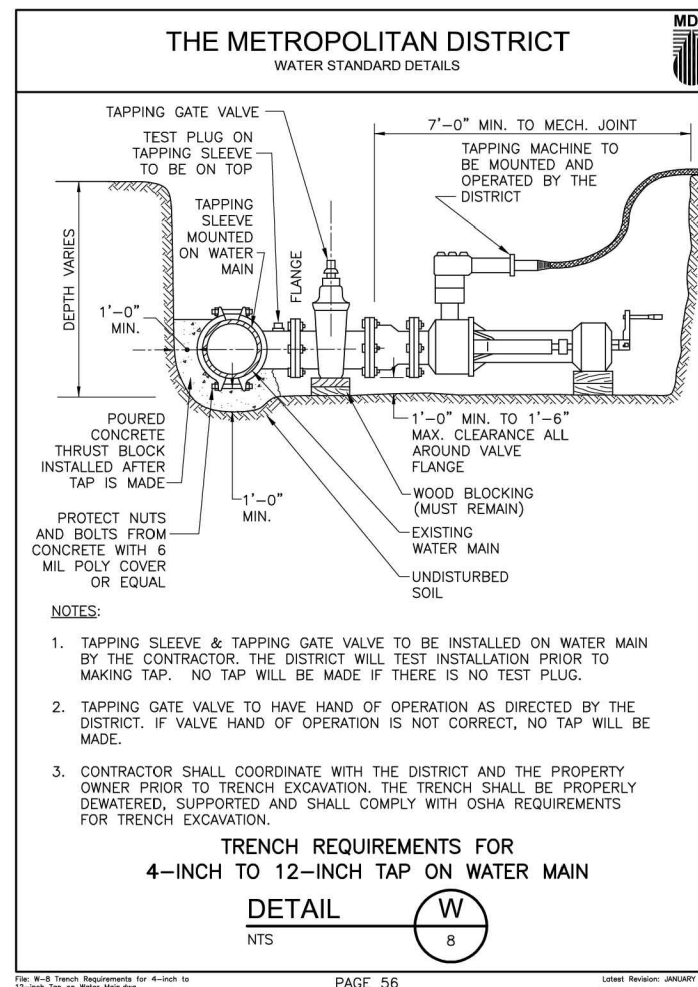
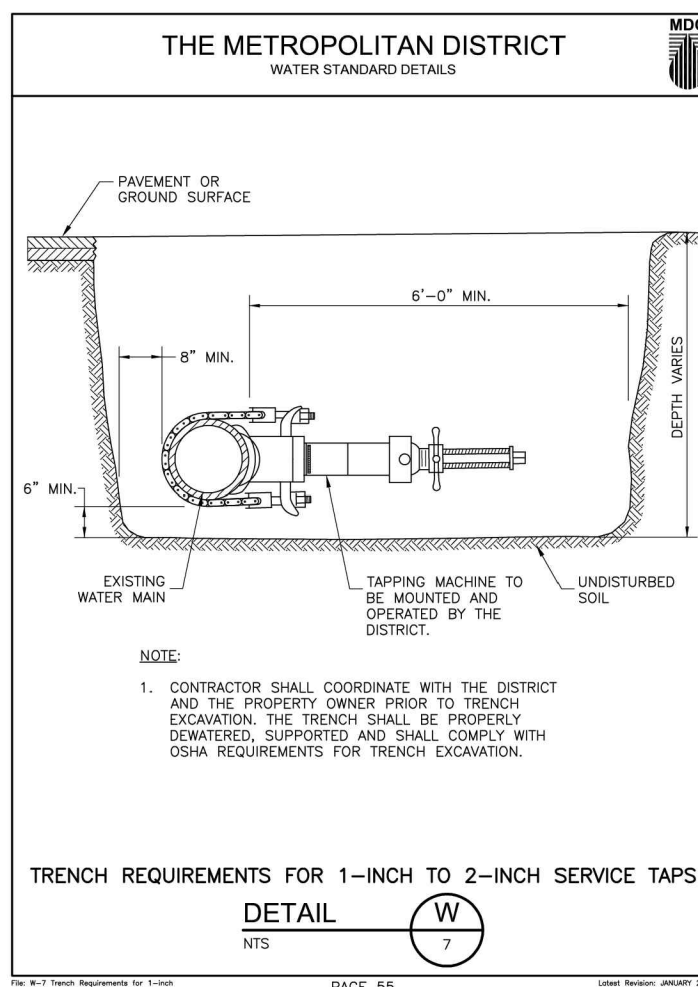
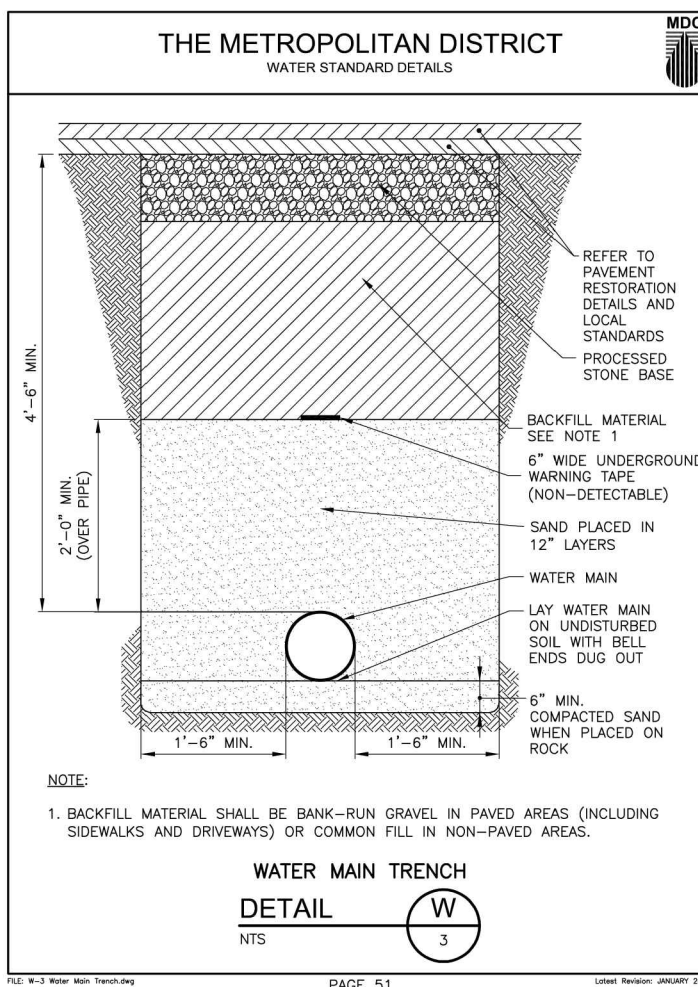
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PROPERTY OWNER:  
249 ELLINGTON ROAD LLC  
171 PENNYWISE LANE  
GLASTONBURY, CT 06033

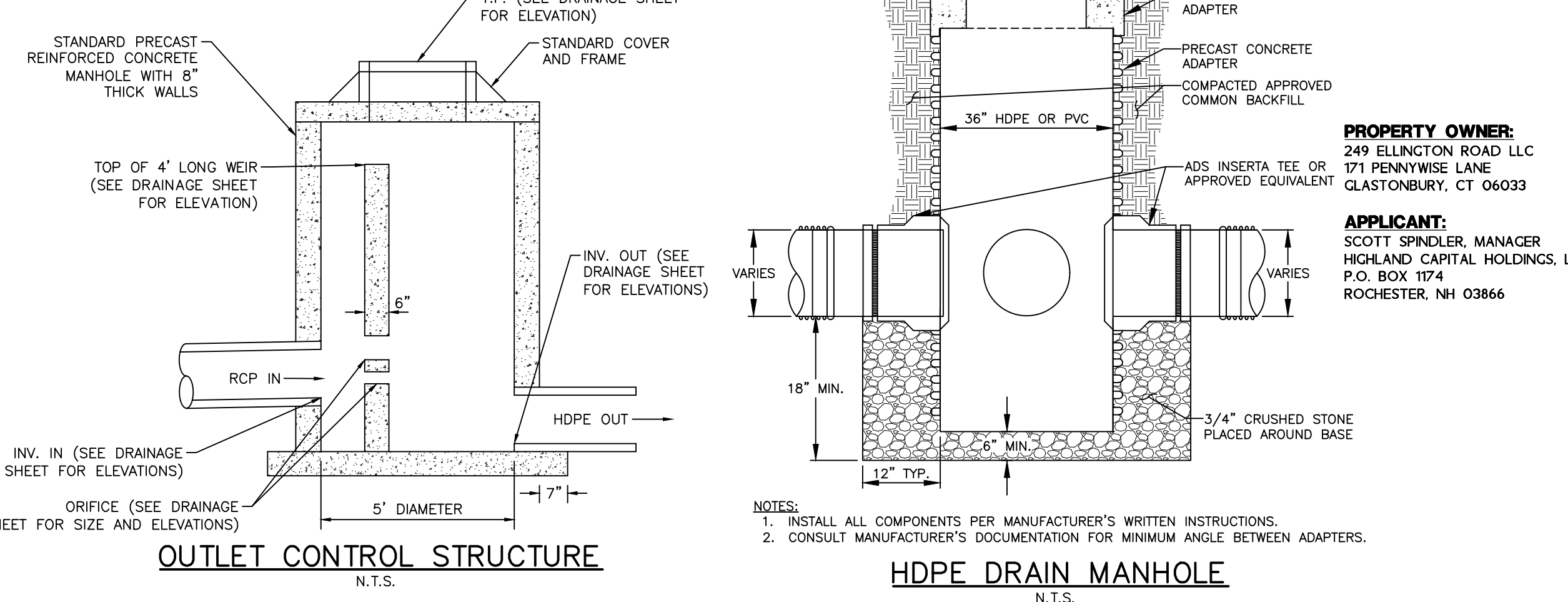
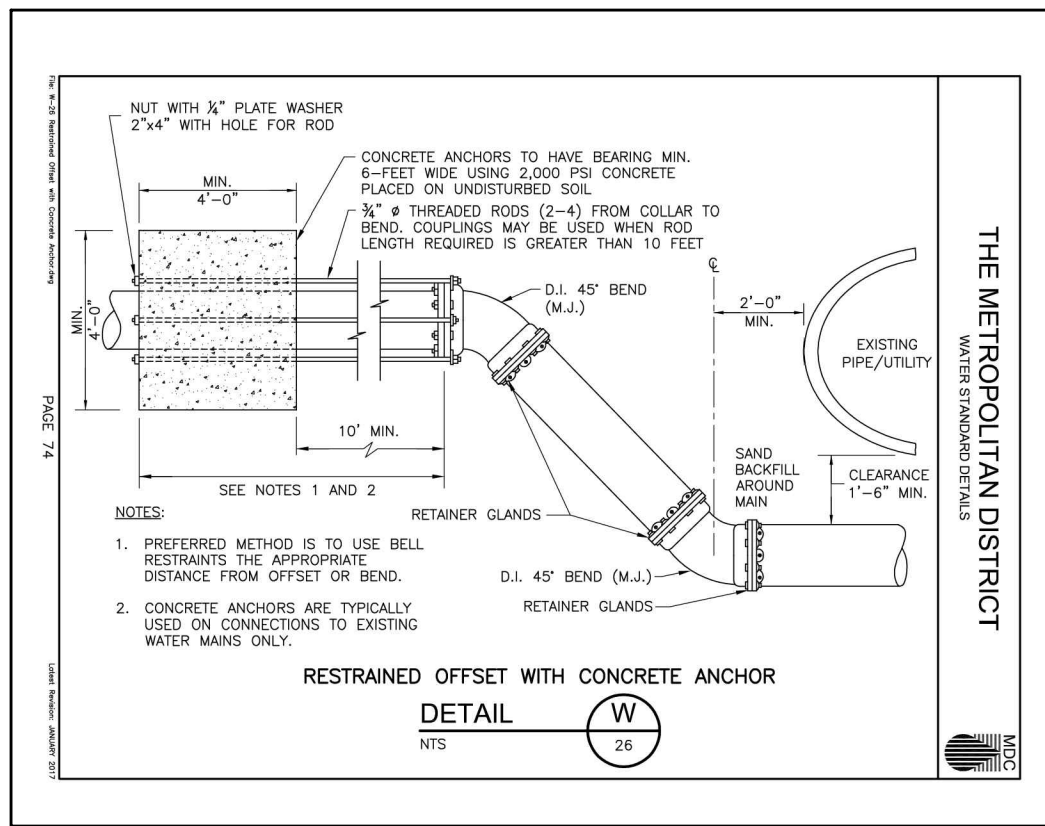
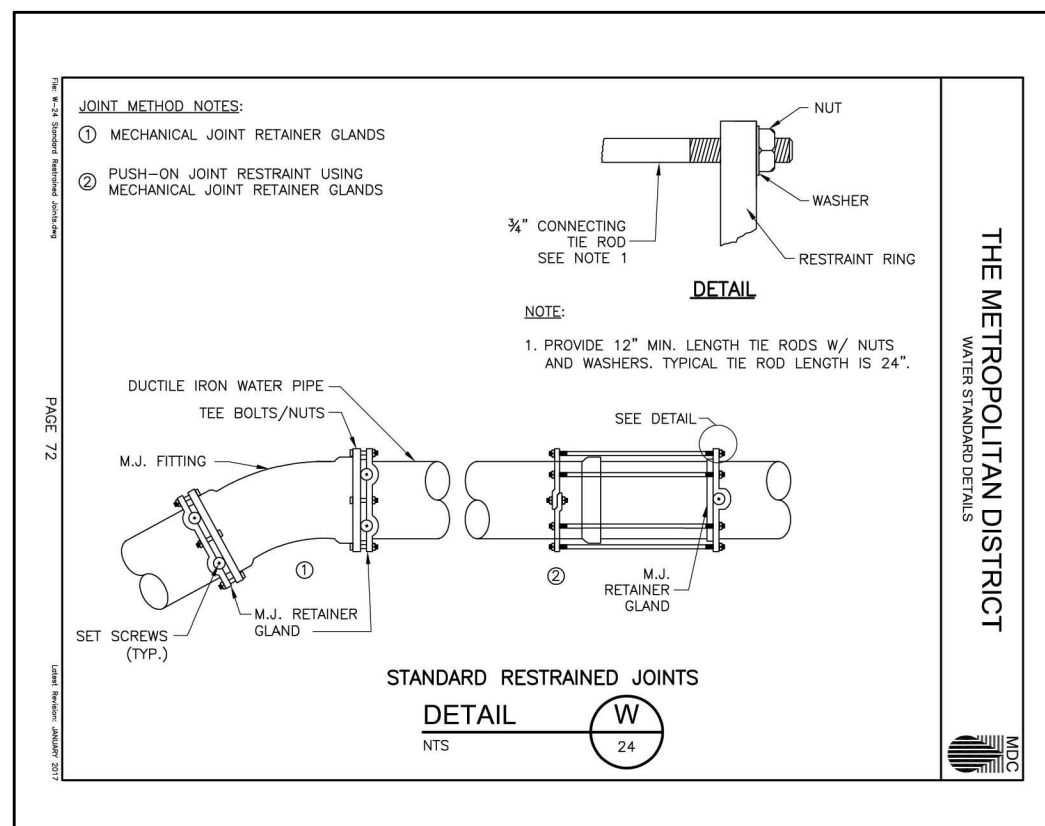
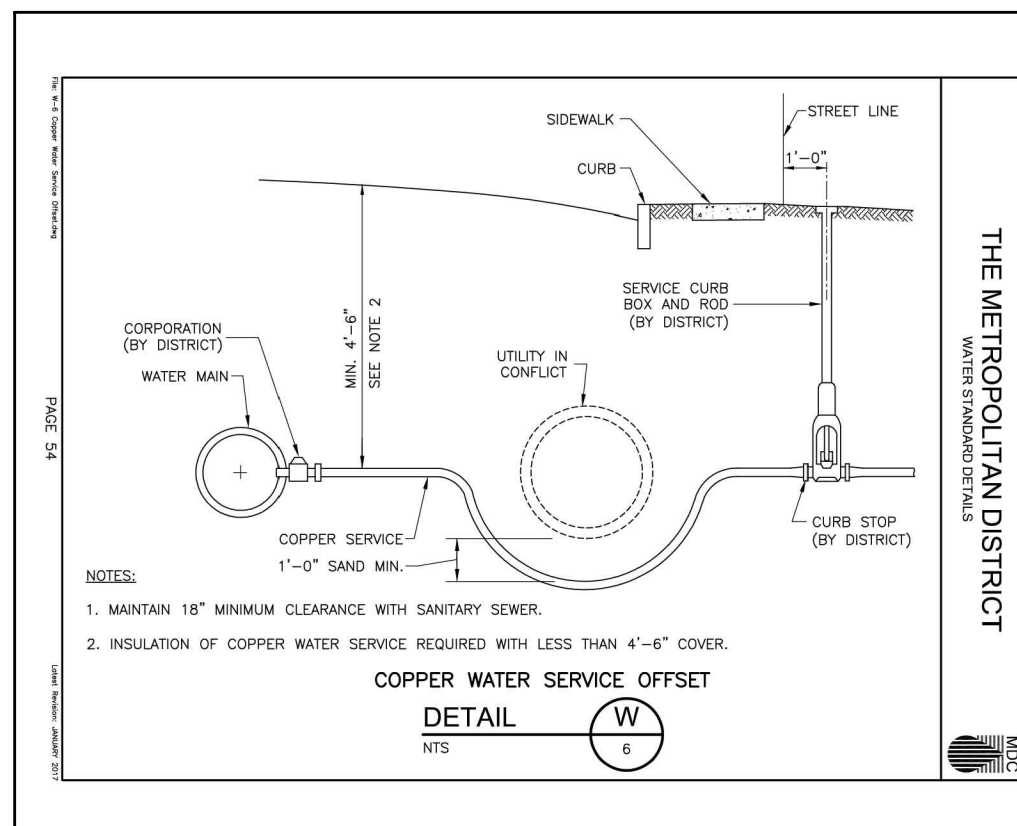
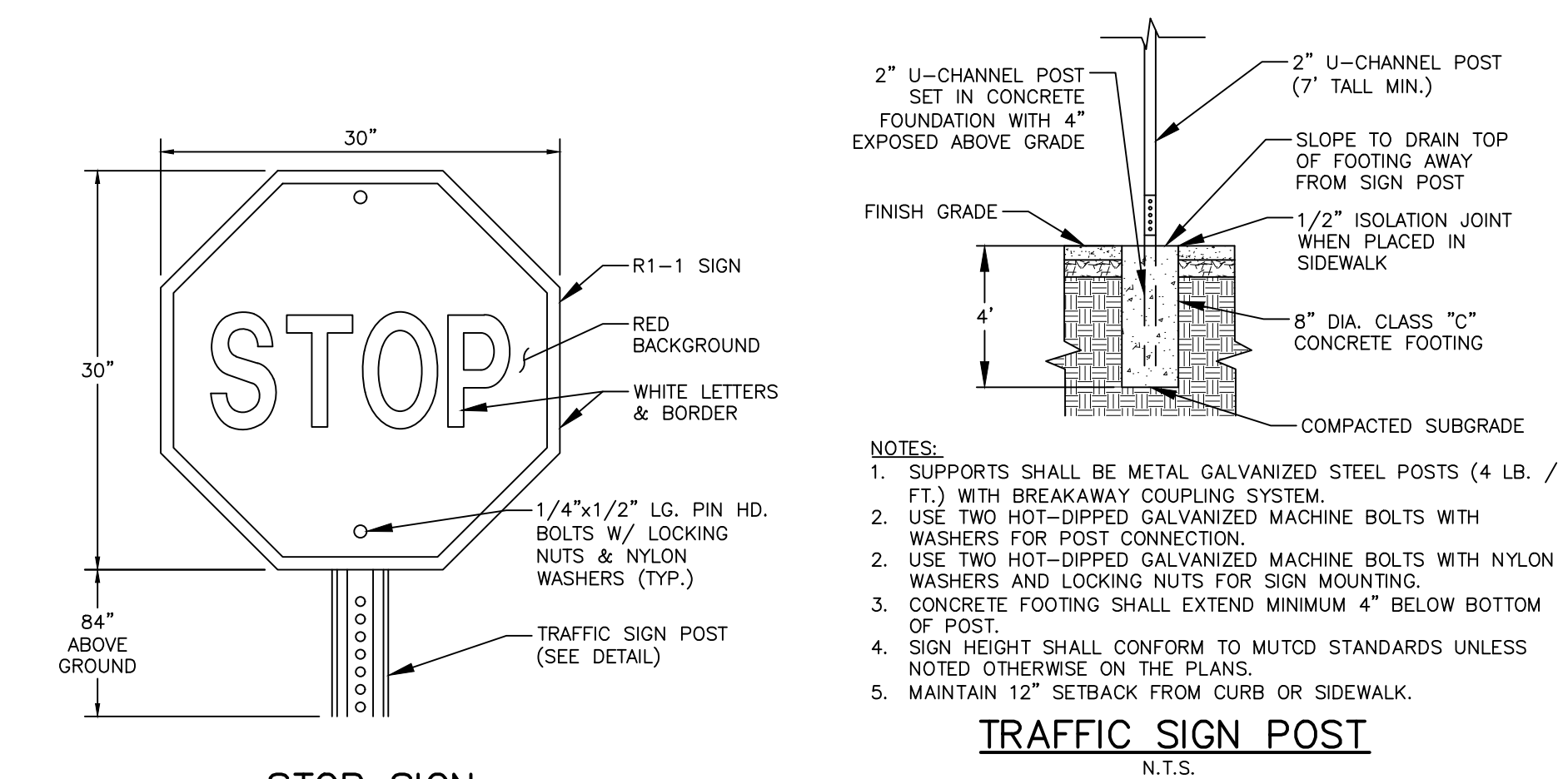
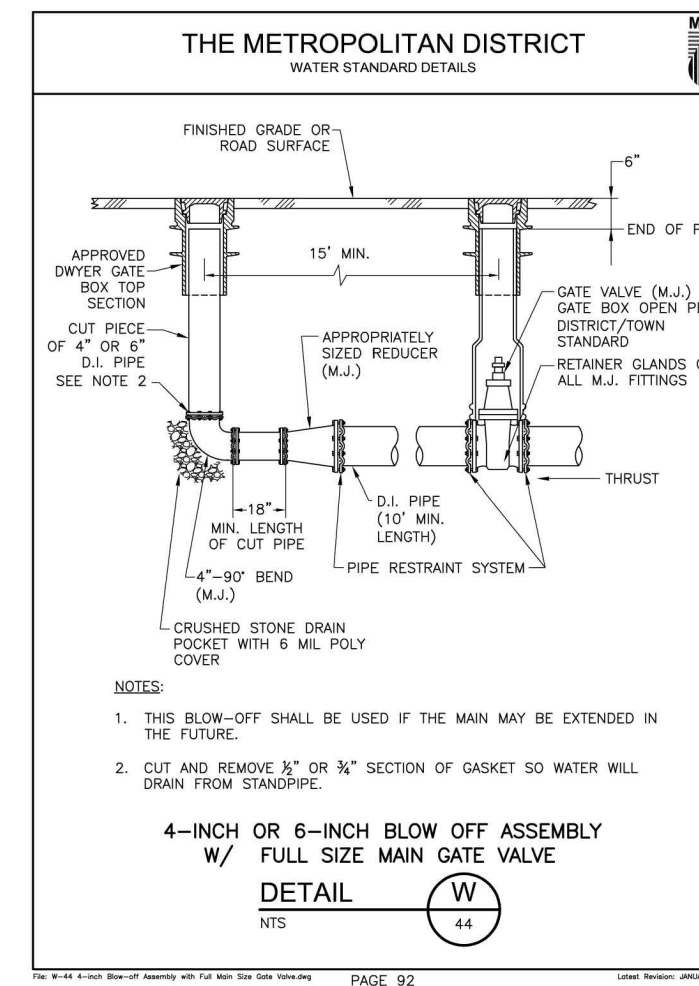
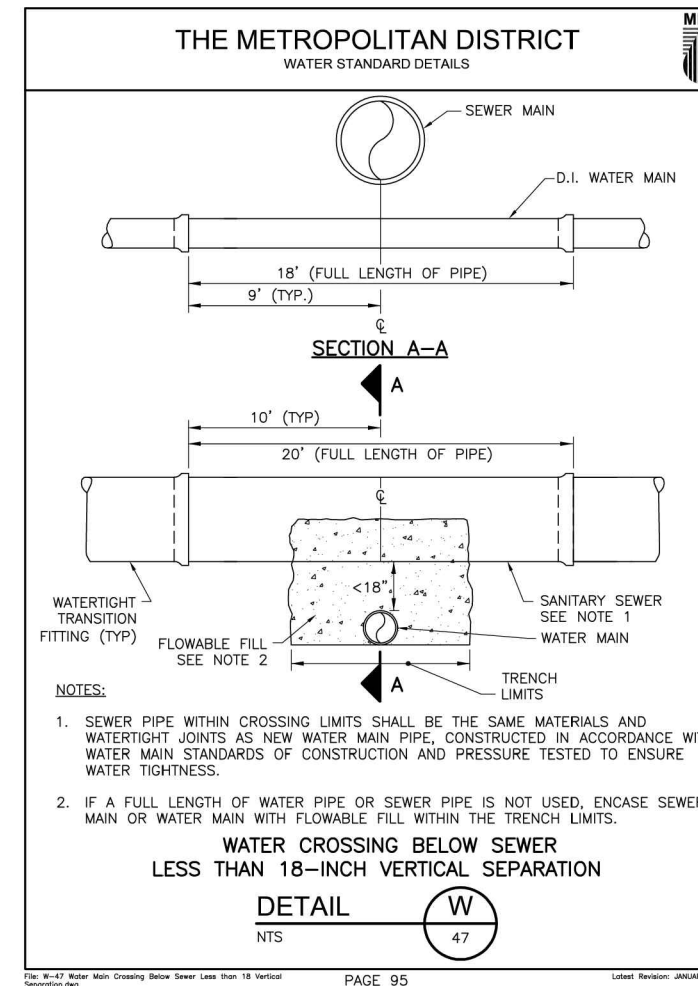
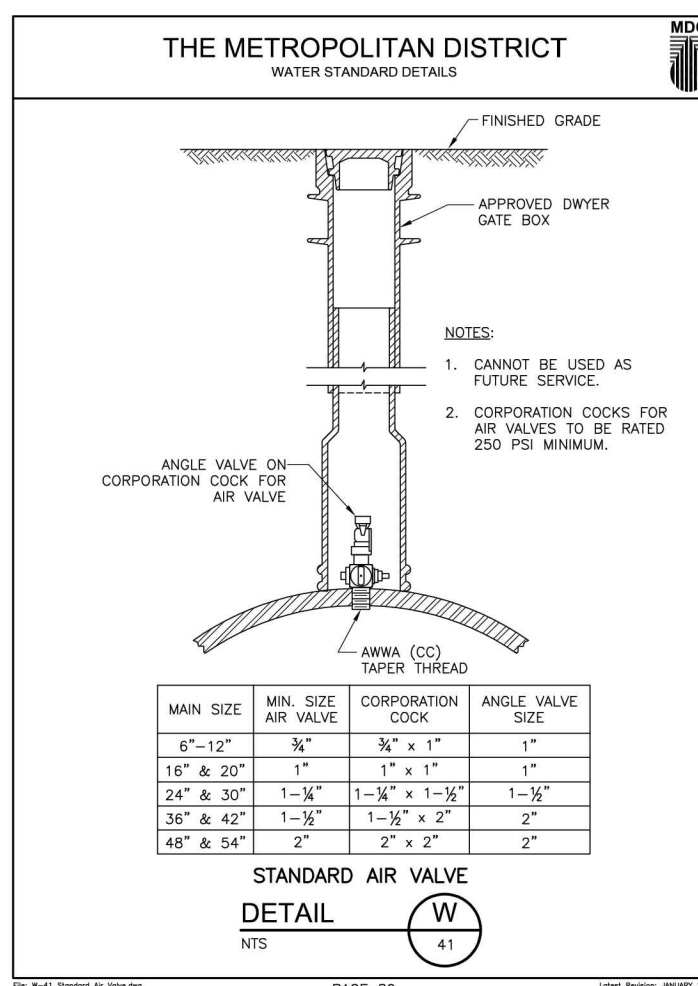
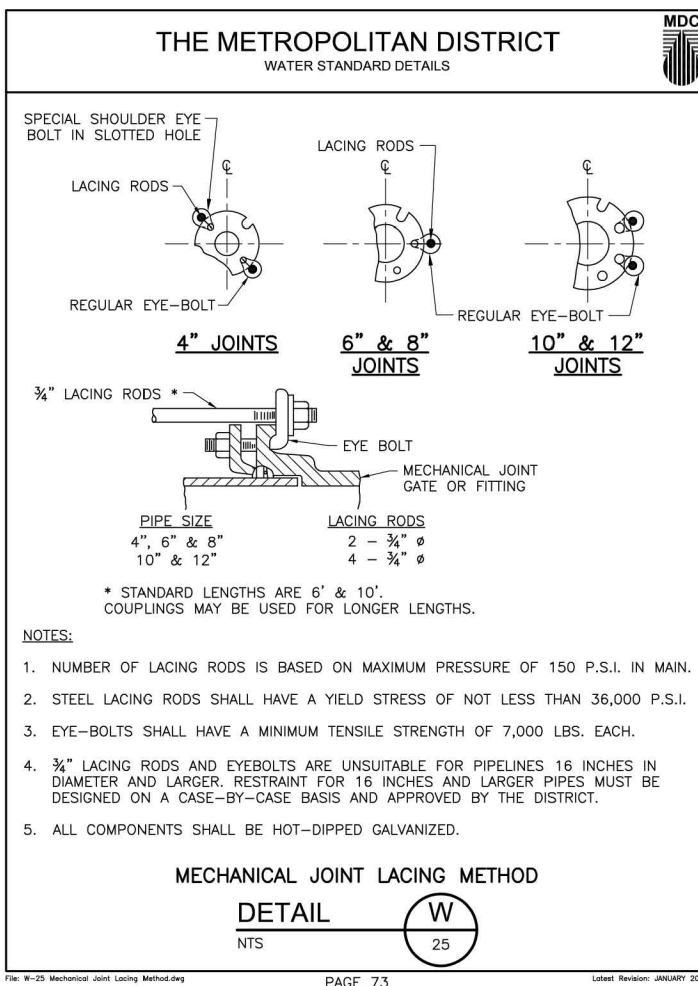
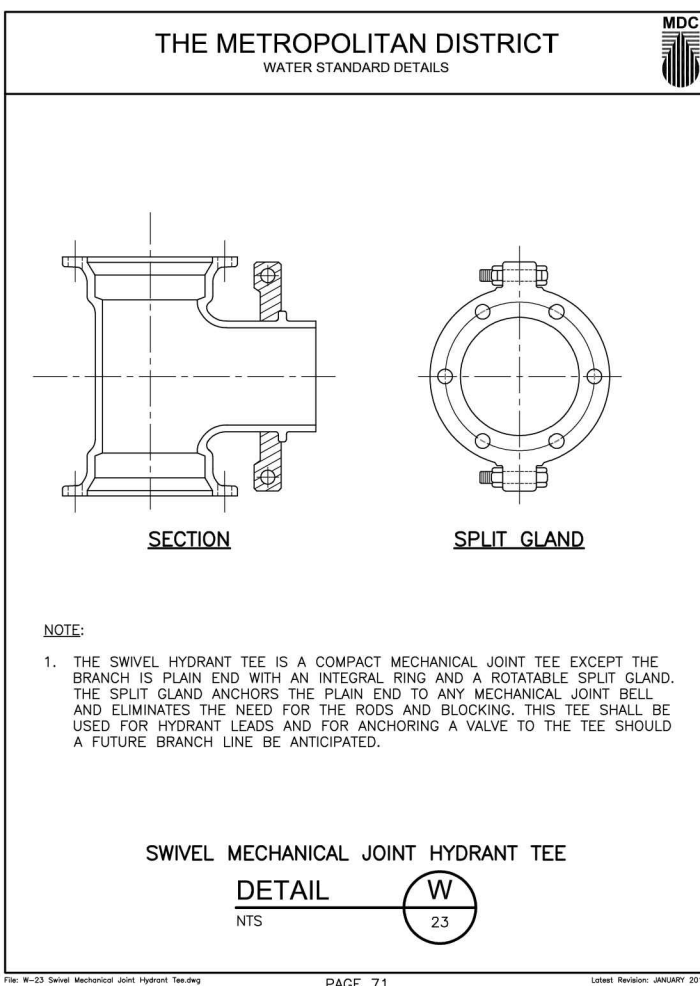
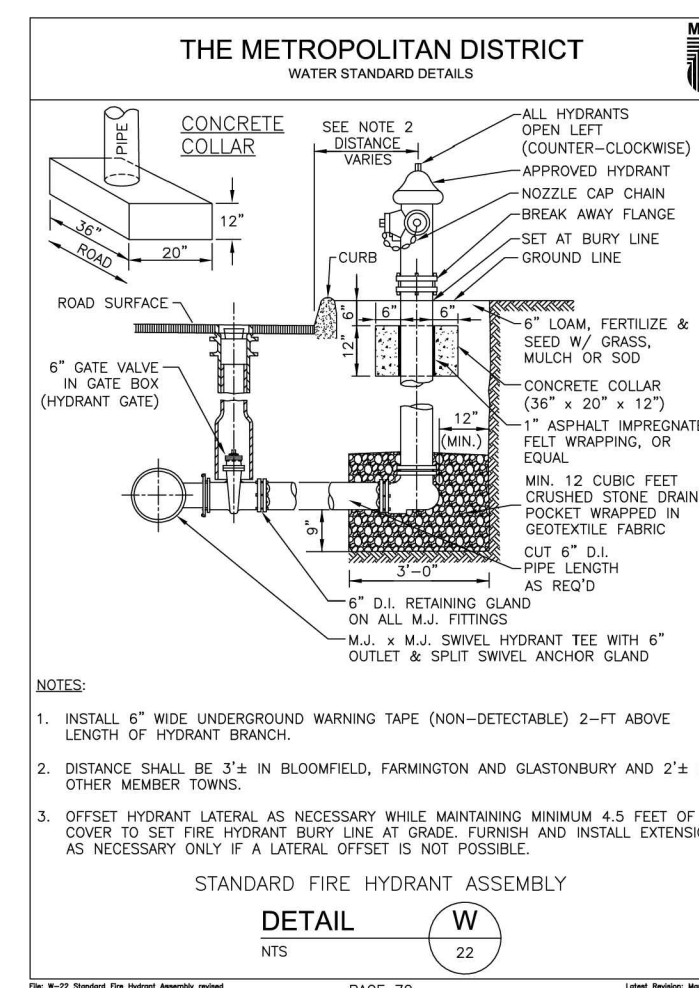
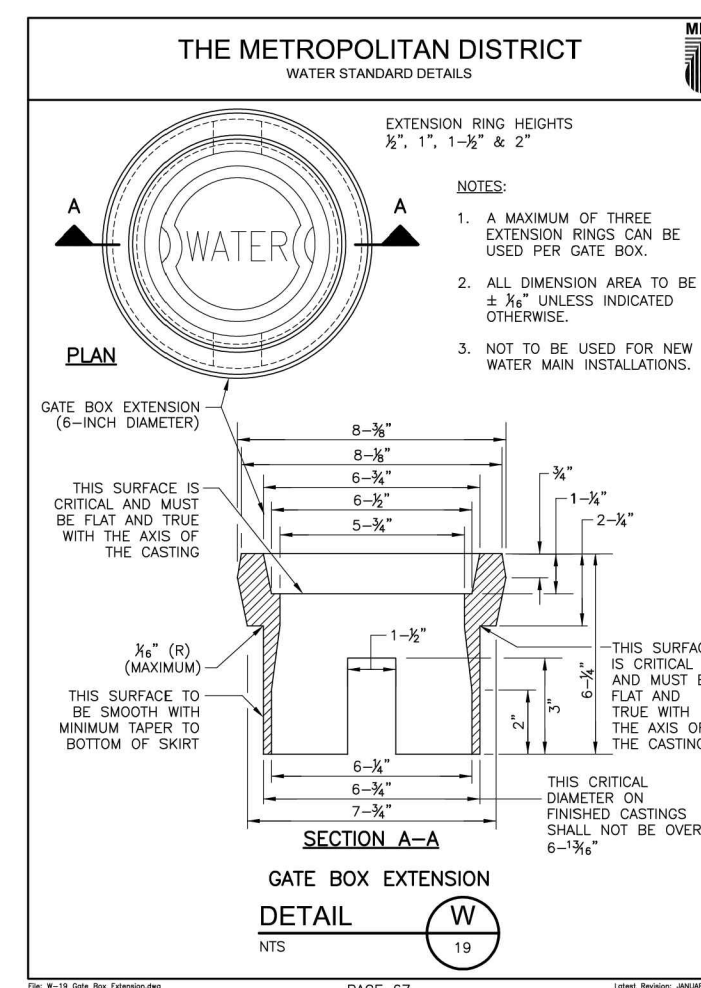
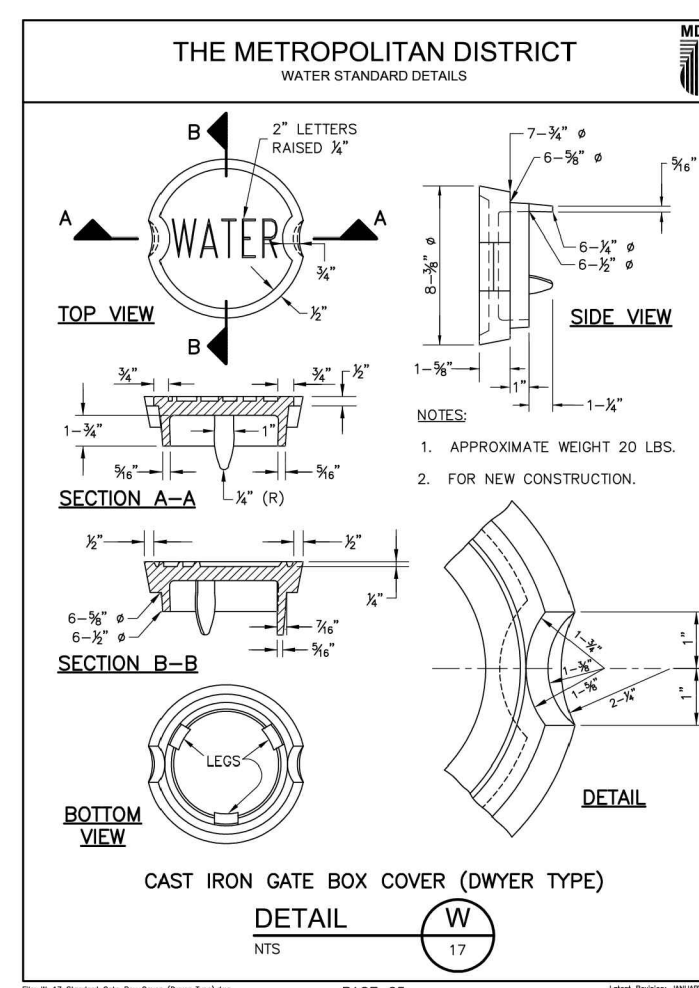
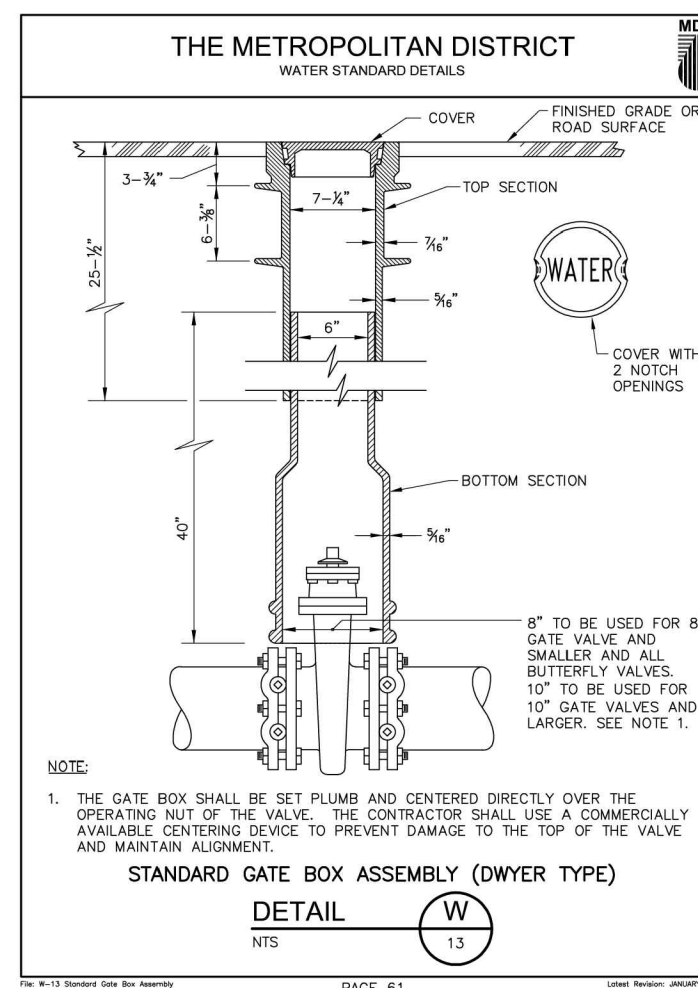
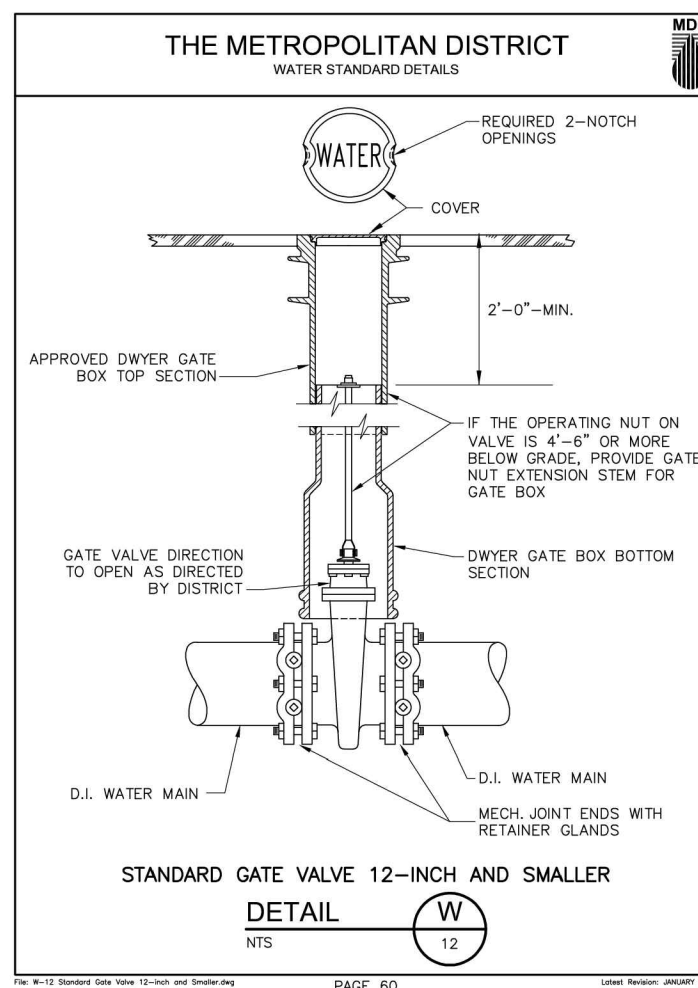
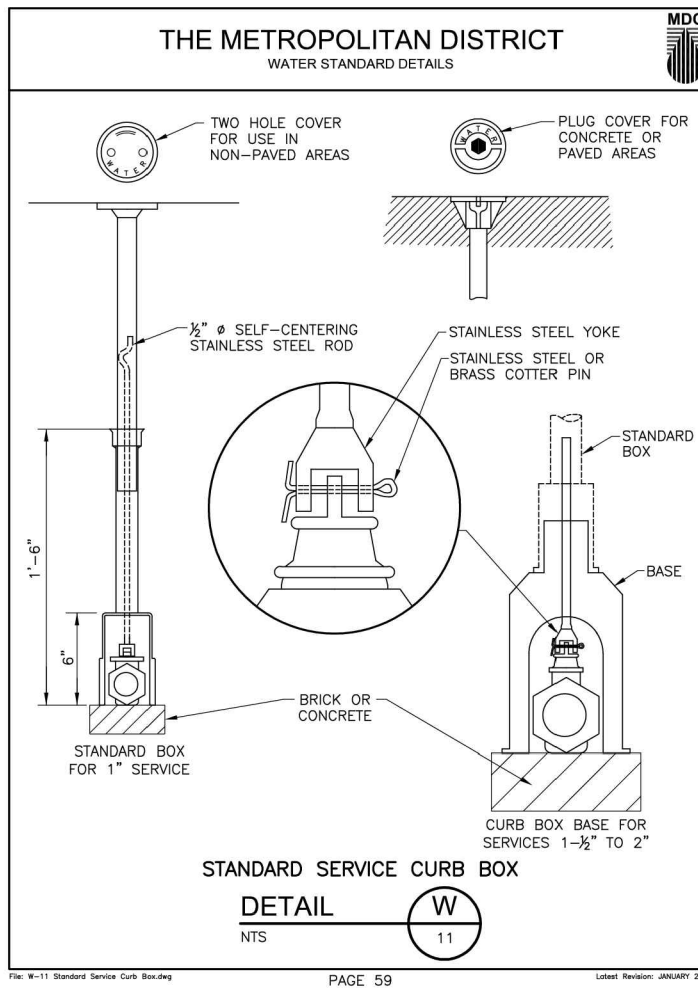
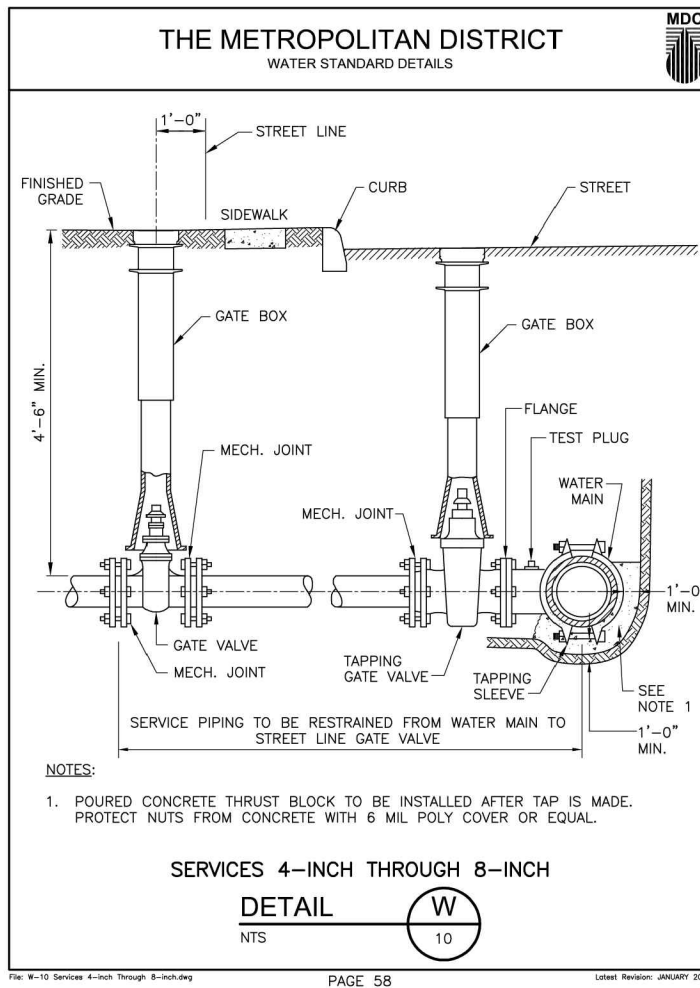
APPLICANT:  
SCOTT SPINDLER, MANAGER  
HIGHLAND CAPITAL HOLDINGS, LLC  
P.O. BOX 1174  
ROCHESTER, NH 03866



JANUARY 2017

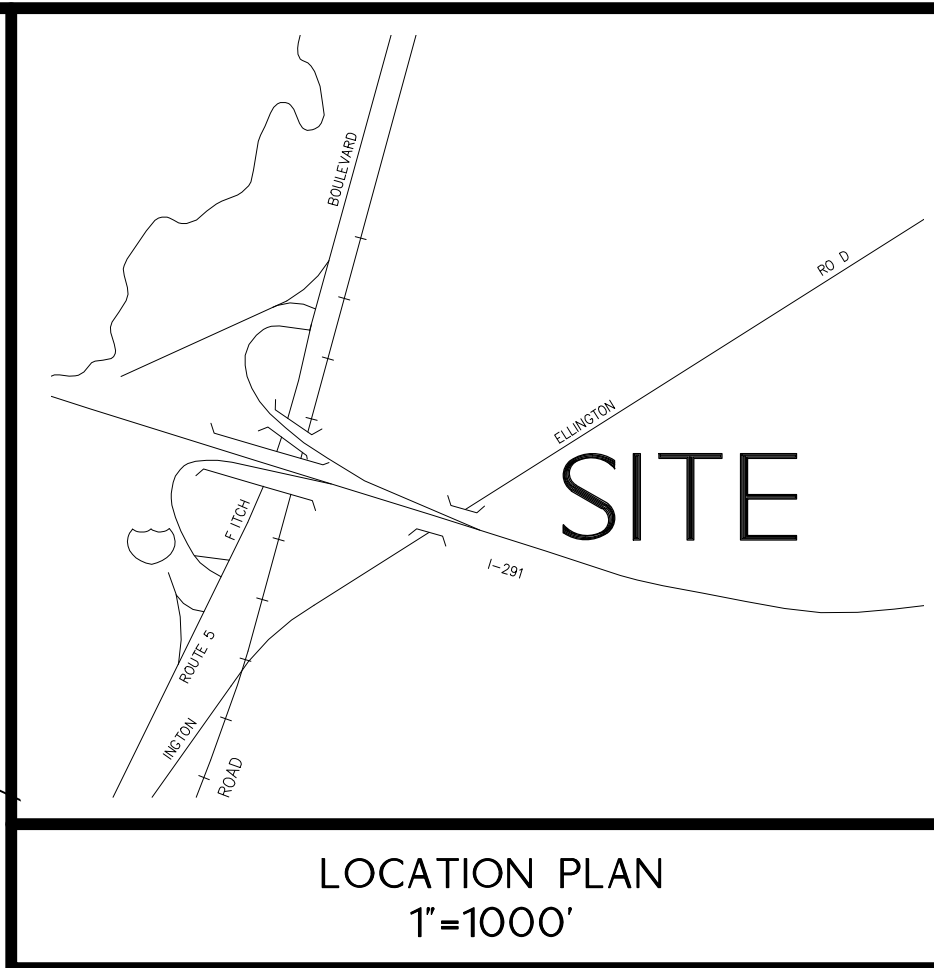


- ## WATER SERVICE NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH METROPOLITAN DISTRICT STANDARDS AND SPECIFICATIONS.
  2. "CALL BEFORE YOU DIG" - THE CONTRACTOR IS HEREBY REMINDED THAT TITLE 16, CHAPTER 293 OF THE CONNECTICUT GENERAL STATUTES REQUIRES NOTIFICATION OF THE UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. THE CONTRACTOR SHALL CALL 1-800-922-4459 AT LEAST 48 HOURS PRIOR TO BEGINNING THE EXCAVATION.
  3. EXTREME CARE MUST BE EXERCISED BY THE CONTRACTOR TO PROTECT EXISTING SANITARY SEWERS, SANITARY SEWER LATERALS, STORM DRAINS AS WELL AS OTHER UTILITIES DURING CONSTRUCTION.
  4. ELEVATIONS ARE BASED ON NAVD 88 DATUM.
  5. TEST PRESSURE SHALL BE 150 PSI, AS CONFIRMED BY THE METROPOLITAN DISTRICT INSPECTOR ON SITE.
  6. GATE OPERATIONS FOR THIS PROJECT SHALL BE "OPEN LEFT".
  7. HYDRANT LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE TOWN FIRE MARSHAL.
  8. ALL FITTINGS, UNLESS OTHERWISE SPECIFIED, SHALL BE MECHANICAL JOINT AND SHALL BE INSTALLED WITH RESTRAINT IN EACH DIRECTION.
  9. WHERE RESTRAINT IS INDICATED, APPROVED RETAINER GLANDS OR RODDING MAY BE UTILIZED.
  10. WHERE "PULLING" OR DEFLECTING PIPE IS INDICATED, SUCH DEFLECTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF "THE DIPRA HANDBOOK." IN NO CASE SHOULD THE DEFLECTION BE GREATER THAN FIVE DEGREES (3 DEGREES IF RESTRAINED).
  11. ALL GATE VALVES, AIR VALVES AND BLOWOFFS SHALL BE INSTALLED COMPLETE WITH DISTRICT APPROVED GATE BOXES AND APPURTENANCES UNLESS OTHERWISE NOTED.
  12. GATE NUT EXTENSION STEMS REQUIRED WHERE GATE VALVE NUTS ARE PLACED AT A DEPTH GREATER THAN 4.5 FEET BELOW FINAL GRADE.
  13. TRENCH BACKFILL UNDER ROADWAYS AND WALKWAYS SHALL BE BANK RUN GRAVEL, SAND, OR ACCEPTABLE NATIVE SOIL SATISFACTORY TO THE TOWN, CITY, AND/OR STATE AUTHORITY HAVING JURISDICTION.
  14. TEMPORARY AND PERMANENT PAVING RESTORATION SHALL BE MADE IN ACCORDANCE WITH DISTRICT AND/OR TOWN AND/OR STATE SPECIFICATIONS.
  15. CONTRACTOR SHALL CALL MCD SYSTEMS REPAIR (860-278-7850 EXT. 3627) AFTER JOB CONFERENCE WITH DISTRICT TO SCHEDULE ANY REQUIRED TAPS OF MCD WATER MAINS.



ALL DETAILS RELATED TO THE WATER DISTRIBUTION SYSTEM WERE TAKEN DIRECTLY FROM THE MDC WATER SERVICE STANDARD DETAILS MANUAL. FOR CLARIFICATION OF DETAILS OR ADDITIONAL DETAILS SEE THE COMPLETE MANUAL WHICH IS AVAILABLE AT THE MDC AND WHICH BY THIS NOTE IS MADE PART OF THESE PLANS.





	GUARD RAIL
	SIGN
SITE FEATURES	
	CHAIN LINK FENCE
	RAIL FENCE
	STONE WALL
	TREE
	TREE LINE
SANITARY SEWER	
	SANITARY SEWER MAIN
	SANITARY SEWER MANHOLE
STORM SEWER	
	STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY	
	CONTOUR
	SPOT ELEVATION
WETLANDS	
	WETLANDS LINE

- MAP REFERENCES:
1. PROPERTY OF MORGAN J. BRADLEY SOUTH WINDSOR, CONN. SCALE 1"=40'. APRIL, 1963 BY GEO. W. BROOKS.
  2. COMPLETION PLAN TOWN OF SOUTH WINDSOR MAP SHOWING LAND RELEASED TO MORGAN J. BRADLEY, JR. BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION CT. ROUTE 30 – ELLINGTON ROAD SCALE 1"=40' DEC. 1999 JAMES F. BYRNES JR., P.E.
  3. RIGHT OF WAY SURVEY RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR VIETNAM VETERANS MEMORIAL HIGHWAY FROM JOHN FITCH BOULEVARD EASTERLY TO THE MANCHESTER TOWN LINE SHEET 1 OF 4 SCALE 1"=80' DATE 4-00 PREPARED BY STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.
  4. CONNECTICUT DEPARTMENT OF TRANSPORTATION PLAN FOR REALIGNMENT OF CT. ROUTE 30 AT U.S. RT. 5, IN THE TOWN(S) OF SOUTH WINDSOR FROM STA. 4+990.785 TO STA. 4+643.911 RT. 5.
  5. CONNECTICUT DEPARTMENT OF TRANSPORTATION PLAN FOR INTERSTATE STATE ROUTE 291 IN THE TOWNS OF WINDSOR – SOUTH WINDSOR, FROM STA. 45+93.806 TO STA. 163+58, DATE 1990 REVISED TO DEC. 27 1991.
- SURVEY NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.
- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEDUCT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
  - THIS IS A RESURVEY BASED ON MAPS REFERENCED HEREON.
  - HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS, VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS, TOPOGRAPHICAL ACCURACY MEETS CLASS T- STANDARDS.
- TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.