

BARRY EQUIPMENT

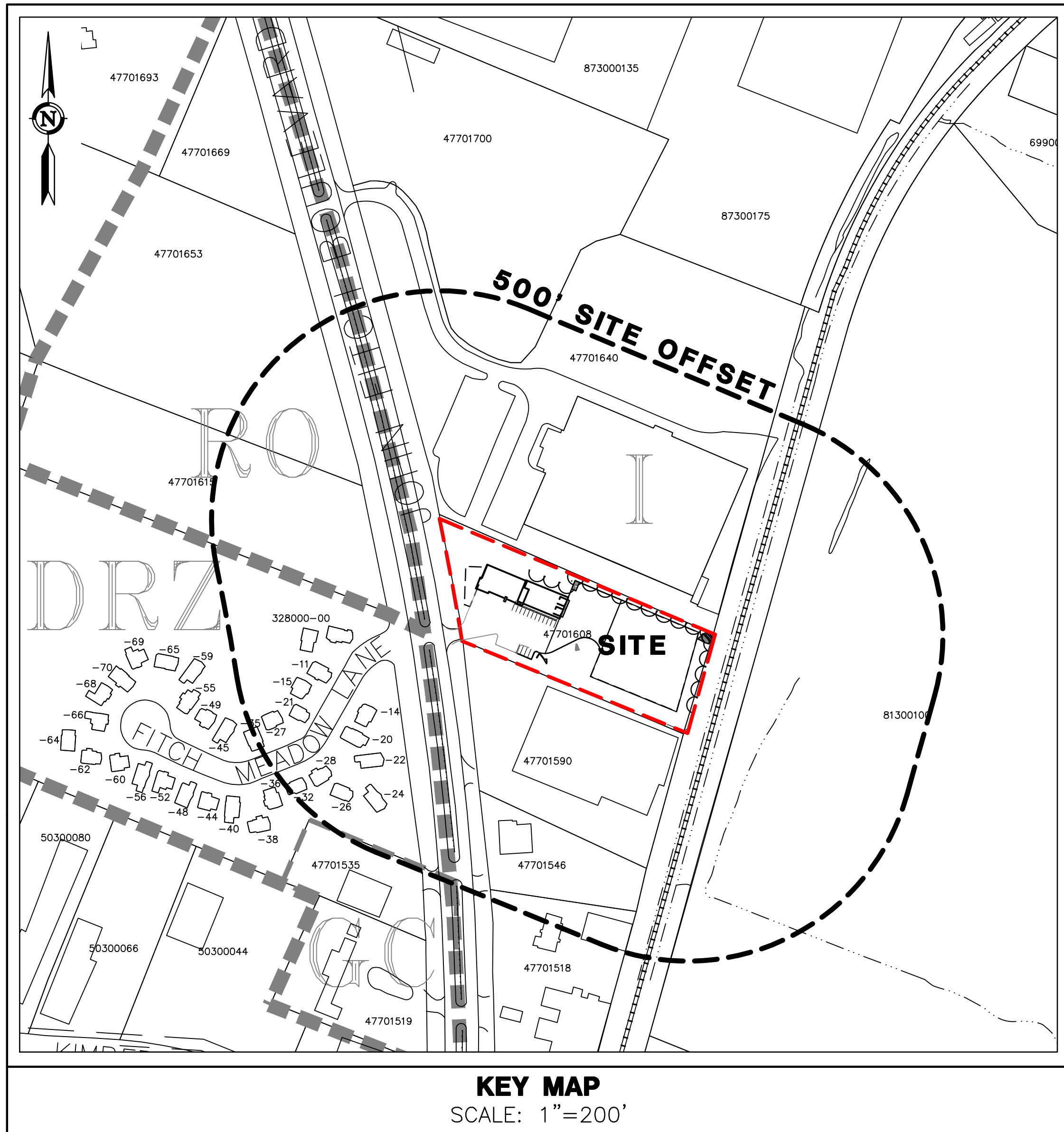
SITE PLAN MODIFICATION & SPECIAL EXCEPTION

1608 JOHN FITCH BOULEVARD ~ SOUTH WINDSOR ~ CT

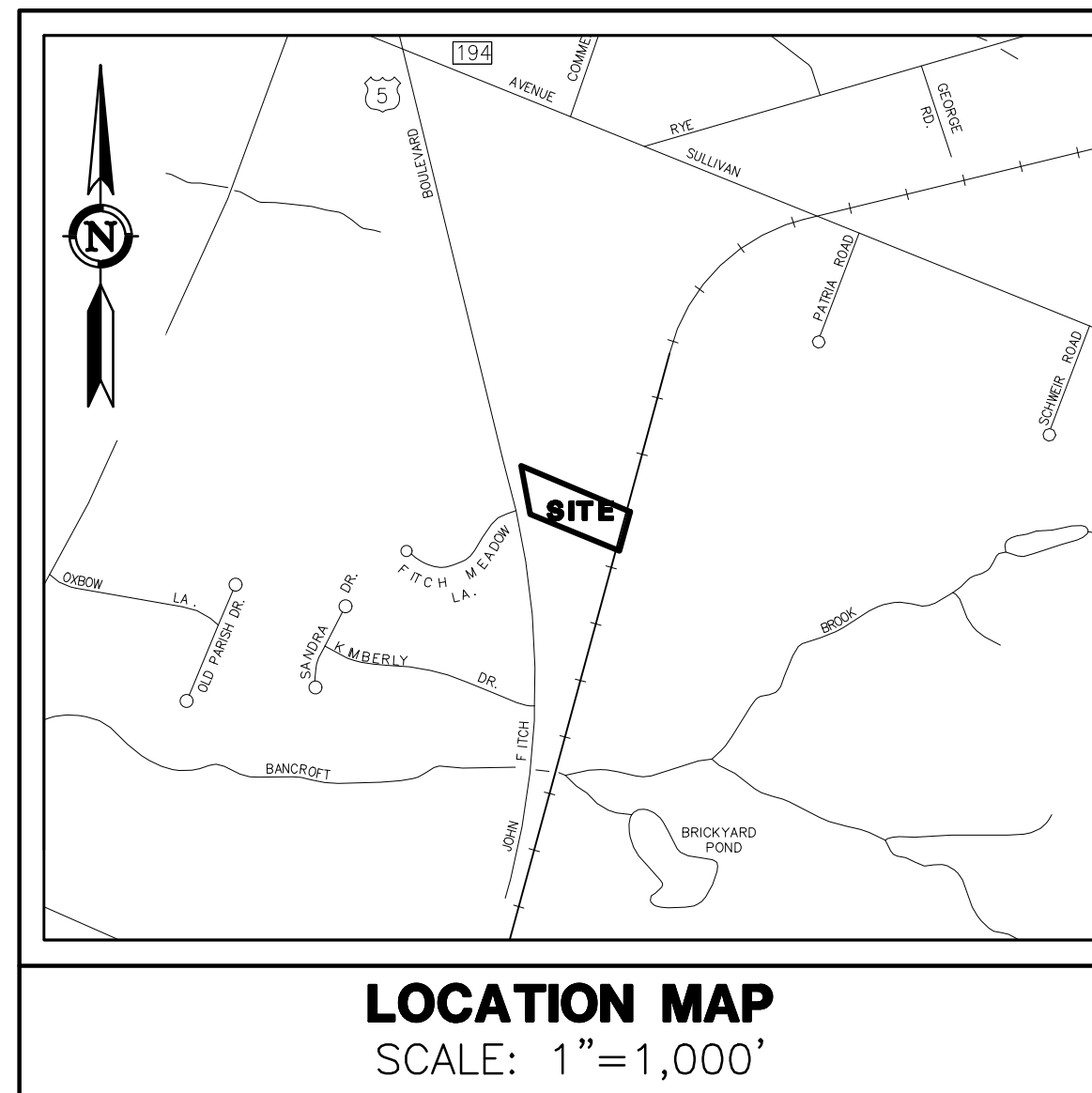
GIS No. 47701608

N/F 500' ABUTTERS

| STREET ADDRESS | OWNER | PARCEL ID |
|--------------------------|---------------------------------------|-----------|
| 1535 JOHN FITCH BLVD | BERKSHIRE REAL ESTATE OF CT LLC | 47701535 |
| 1653 JOHN FITCH BLVD | CLAPP LORRAINE B ESTATE OF | 47701653 |
| 1700 JOHN FITCH BLVD | 1700 JOHN FITCH LLC | 47701700 |
| 1640 JOHN FITCH BLVD | COHEN PROPERTIES LLC | 47701640 |
| 1518 JOHN FITCH BLVD | COUNTY DISTRIBUTORS INC | 47701518 |
| 1590 JOHN FITCH BLVD | LARNICK LLC | 47701590 |
| 1615 JOHN FITCH BLVD | SOUTH WINDSOR LAND CONS TRUST INC | 47701615 |
| 7 FITCH MEADOW LANE | MELINOSKY DAVID T | 32800007 |
| 5 FITCH MEADOW LANE | AGARWAL SANJAY | 32800005 |
| 100 SCHWEIR ROAD | SOUTH WINDSOR TECHNOLOGIES CENTER LLC | 81300100 |
| 1492 JOHN FITCH BLVD | SOUTH WINDSOR TOWN OF | 47701492 |
| 11 FITCH MEADOW LANE | MODI FENIL | 32800011 |
| 14 FITCH MEADOW LANE | MASTRIANNI ASHLEY & | 32800014 |
| 15 FITCH MEADOW LANE | PARIKH MANSI | 32800015 |
| 20 FITCH MEADOW LANE | CASAOI HERMAN | 32800020 |
| 21 FITCH MEADOW LANE | SANDERS BRENDA J | 32800021 |
| 22 FITCH MEADOW LANE | ADAMS CHRISTINE RENEE | 32800022 |
| 24 FITCH MEADOW LANE | OBIECHIE ONYEKA | 32800024 |
| 26 FITCH MEADOW LANE | AWALE MUSSE O | 32800026 |
| 27 FITCH MEADOW LANE | TRELA MARIE | 32800027 |
| 28 FITCH MEADOW LANE | PATLOLLA SANTOSH K & | 32800028 |
| 32 FITCH MEADOW LANE | WATTS MARJORIE | 32800032 |
| 35 FITCH MEADOW LANE | VU HUY & KHONESAVANH | 32800035 |
| 36 FITCH MEADOW LANE | REGAN HELEN T | 32800036 |
| 38 FITCH MEADOW LANE | PHAM XUAN MAI T & | 32800038 |
| 40 FITCH MEADOW LANE | SEMINO BARBARA A TRUSTEE | 32800040 |
| 44 FITCH MEADOW LANE | PATEL TEJAS & DHARA | 32800044 |
| 45 FITCH MEADOW LANE | MULROY NANCY | 32800045 |
| 48 FITCH MEADOW LANE | SCOTT KRISTEL-ANN & | 32800048 |
| 49 FITCH MEADOW LANE | TERRY SALLY A | 32800049 |
| 52 FITCH MEADOW LANE | ROSSETTI NICOLE | 32800052 |
| 55 FITCH MEADOW LANE | 55 FITCH LLC | 32800055 |
| 56 FITCH MEADOW LANE | SFREDDO DONALD | 32800056 |
| 59 FITCH MEADOW LANE | CATALI NANCY SANDRA | 32800059 |
| 60 FITCH MEADOW LANE | MUNTER JARRETT | 32800060 |
| 62 FITCH MEADOW LANE | SANCHEZ JASMINE M | 32800062 |
| 64 FITCH MEADOW LANE | SRINIVASACHARI VIJAY | 32800064 |
| 65 FITCH MEADOW LANE | VEERAPANENI KRISHNA CHAITANYA | 32800065 |
| 66 FITCH MEADOW LANE | PATRIARCO LISA M | 32800066 |
| 68 FITCH MEADOW LANE | GIANSIRACUSA PAUL S JR L/U & | 32800068 |
| 69 FITCH MEADOW LANE | PICHAY DUANE D & JOCELYN R | 32800069 |
| 70 FITCH MEADOW LANE | DRAKIOTES GARNET & CLOUGH LINDA M | 32800070 |
| FITCH MEADOW LANE CONDOS | CURRENT RESIDENT | 32800000 |
| 1546 JOHN FITCH BLVD | MLB LLC | 47701546 |



KEY MAP
SCALE: 1"=200'



LOCATION MAP
SCALE: 1"=1,000'

ZONING TABLE

| ZONE: I (INDUSTRIAL) | | | |
|----------------------|-------------------|------------------|------------------|
| ITEM | REQUIRED/ ALLOWED | EXISTING | PROPOSED |
| LOT AREA | 30,000 SQ. FT. | 3.081 AC | 3.081 AC |
| LOT FRONTAGE | 100' | 273' | 273' |
| FRONT YARD | 35' | 48.11' | 48.11' |
| SIDE YARD | 10' | 50.89' | 50.89' |
| REAR YARD | 25' | 419.27' | 323.54' |
| BUILDING HEIGHT | 40' (2 STORIES) | 1 STORY (22.2'±) | 1 STORY (22.2'±) |
| PARKING | 1 SP./700 SQ. FT. | 9 SP. | 24** |
| INTERIOR LANDSCAING | 5% | N/A | 6.07% |
| LOT COVERAGE | 50% | 3.56% | 7.29% |
| IMPERVIOUS COVERAGE | 65% | 23.07% | 60.12% |

NOTES:
** PARKING REQUIREMENTS
OFFICE: 4.5 SP/1000 SF GFA (2704 SF) = 13 SP
INDUSTRIAL: 1 SP. PER 700 SF GFA (7080 SF) = 11 SP
24 PARKING SPACES ARE REQUIRED FOR THIS DEVELOPMENT AND 24 PARKING SPACES ARE PROVIDED WHICH INCLUDES 1 EXISTING ACCESSIBLE SPACE.

ARCHITECT:

Capital Studio Architects LLC
1379 Main Street
East Hartford, CT 06108
860-289-3262
www.capitalstudio.net

SHEET INDEX

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|-------------|---|----------|
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| C-DM1 | DEMOLITION PLAN | 2 of 11 |
| C-SP1 | SITE PLAN | 3 of 11 |
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| | ARCHITECTURAL FLOOR PLAN & ELEVATIONS (BY OTHERS) | 1-3 of 3 |

PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

CIVIL ENGINEER, LANDSCAPE ARCHITECT & LAND SURVEYOR:



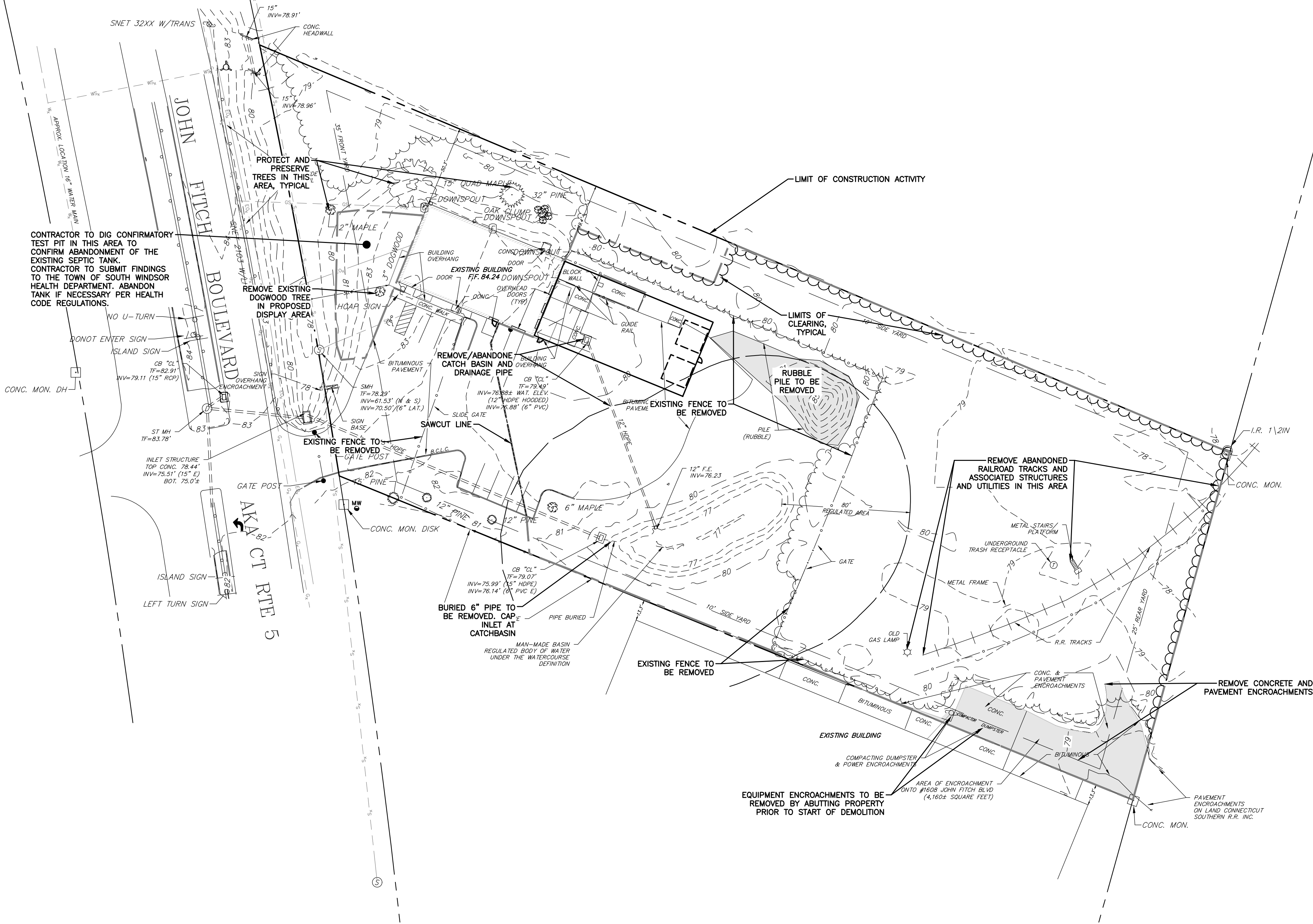
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
www.designprofessionalsinc.com

PROPERTY OWNERS:
AIRGAS USA, LLC SUCCESSOR BY
MERGER TO ABCO WELDING &
INDUSTRIAL SUPPLY INC.
6055 ROCKSIDE WOODS BLVD N.
INDEPENDENCE, OH 44131

APPLICANT:
BARRY EQUIPMENT
COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN TITLED "PROPERTY & TOPOGRAPHIC SURVEY, 1608 JOHN FITCH BOULEVARD, SOUTH WINDSOR, CONNECTICUT" DATED 10-23-2019 PREPARED BY DESIGN PROFESSIONALS, INC.

DEMOLITION PLAN NOTES:
1. DEMOLITION PLAN IS A GENERAL REPRESENTATION OF ITEMS THAT NEED TO BE REMOVED IN ORDER TO ACCOMMODATE THE PROPOSED IMPROVEMENTS, BUT MAY NOT BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PERFORM A THOROUGH SITE INVESTIGATION AND INCLUDE IN THEIR BID ANY WORK REQUIRED TO BE DEMOLISHED, TEMPORARILY OR PERMANENTLY RELOCATED, OR REPLACED IN ORDER TO ACCOMMODATE THE PROPOSED WORK.
2. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
3. THIS PLAN SHALL BE USED FOR DEMOLITION PURPOSES ONLY.
4. REFER TO NOTES, DETAILS, AND LEGEND SHEET C-D1 FOR CONSTRUCTION NOTES.
5. ALL EXISTING UTILITIES TO BE REMOVED OR ABANDONED SHALL BE DONE SO IN ACCORDANCE WITH THE APPLICABLE UTILITY COMPANIES GUIDELINES AND REQUIREMENTS.

PROPERTY OWNERS:
AIRGAS USA, LLC SUCCESSOR BY MERGER TO ABCO WELDING & INDUSTRIAL SUPPLY INC.
6095 ROCKSIDE WOODS BLVD N.
INDEPENDENCE, OH 44131

APPLICANT:
BARRY EQUIPMENT
COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072

DEMOLITION PLAN
SHEET
C-DM1
SHEET 2 OF 11

NO. DATE REVISIONS BY

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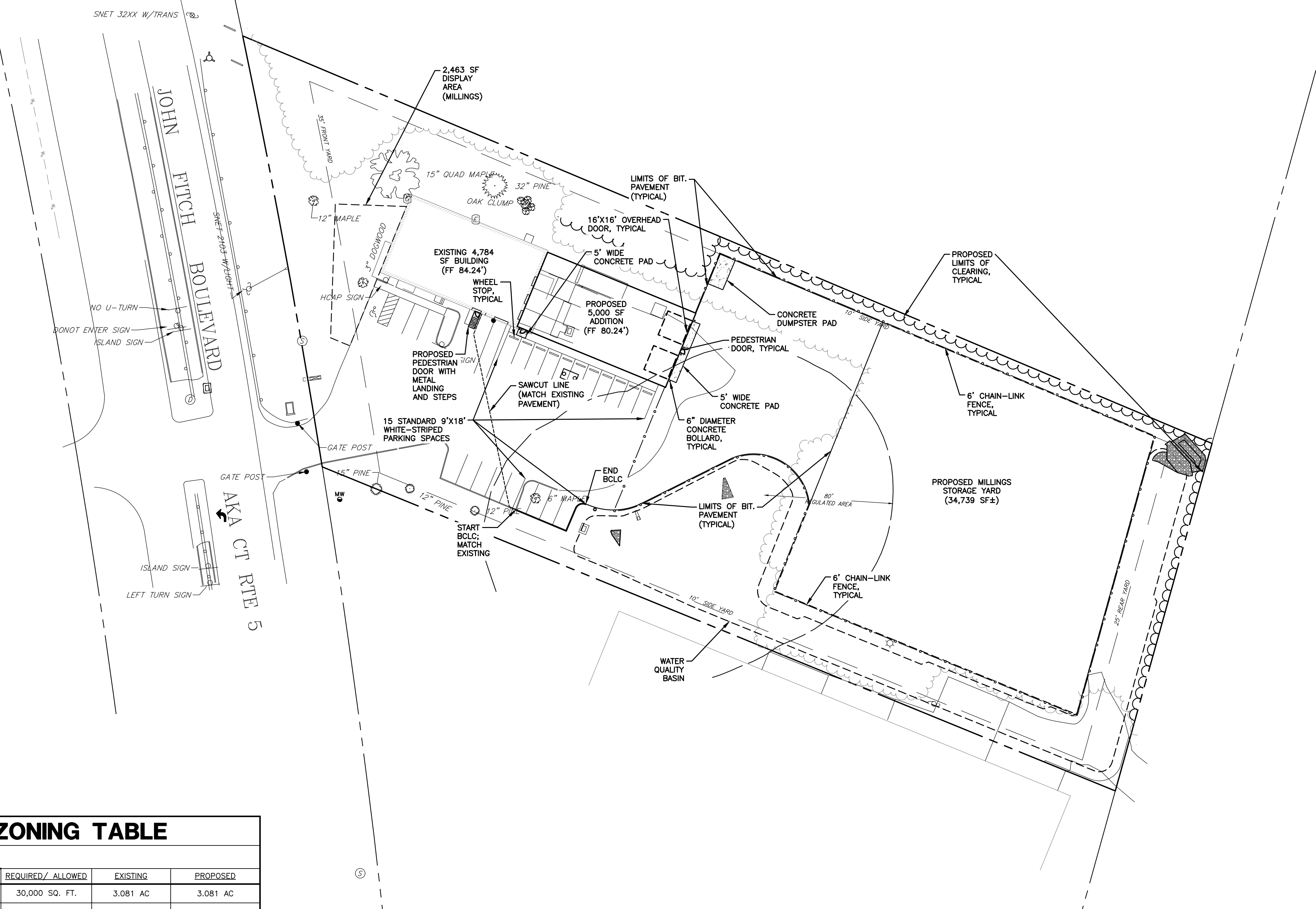
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| ZONING TABLE | | | |
|----------------------|--------------------|------------------|------------------|
| ZONE: I (INDUSTRIAL) | | | |
| ITEM | REQUIRED/ ALLOWED | EXISTING | PROPOSED |
| LOT AREA | 30,000 SQ. FT. | 3.081 AC | 3.081 AC |
| LOT FRONTAGE | 100' | 273' | 273' |
| FRONT YARD | 35' | 48.11' | 48.11' |
| SIDE YARD | 10' | 50.89' | 50.89' |
| REAR YARD | 25' | 419.27' | 323.54' |
| BUILDING HEIGHT | 40' (2 STORIES) | 1 STORY (22.2 ±) | 1 STORY (22.2 ±) |
| PARKING | 1 SP./700' SQ. FT. | 9 SP. | 24** |
| INTERIOR LANDSCAING | 5% | N/A | 6.07% |
| LOT COVERAGE | 50% | 3.56% | 7.29% |
| IMPERVIOUS COVERAGE | 65% | 23.07% | 60.12% |

NOTES:
**** PARKING REQUIREMENTS**
 OFFICE: 4.5 SP/1000 SF GFA (2704 SF) = 13 SP
 INDUSTRIAL: 1 SP. PER 700 SF GFA (7080 SF) = 11 SP
 24 PARKING SPACES ARE REQUIRED FOR THIS
 DEVELOPMENT AND 24 PARKING SPACES ARE PROVIDED
 WHICH INCLUDES 1 EXISTING ACCESSIBLE SPACE.



PROPERTY OWNERS:
AIRGAS USA, LLC SUCCESSOR BY
MERGER TO ABCO WELDING &
INDUSTRIAL SUPPLY INC.
6055 ROCKSIDE WOODS BLVD N
INDEPENDENCE, OH 44131

APPLICANT:
BARRY EQUIPMENT
COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072

REFERENCES:

THIS PLAN REFERS TO THE FOLLOWING:

1. PLAN TITLED "PROPERTY & TOPOGRAPHIC SURVEY, 1608 JOHN FITCH BOULEVARD, SOUTH WINDSOR, CONNECTICUT" DATED 10-23-2019 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LAYOUT PLAN NOTES:

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

[illegible]

BARRY EQUIPMENT
SITE PLAN MODIFICATION & SPECIAL EXCEPTION
 1608 JOHN FITCH BOULEVARD
 SOUTH WINDSOR, CONNECTICUT
 GIS No. 47701608

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|---------------------|--------------------|-------------------|------------------|--------------------|
| PROJECT NO: 4342 | DATE 09/19/2020 | DESIGN BY: DJI | DRAWN BY: REM | CHECKED BY: DJI |
|---------------------|--------------------|-------------------|------------------|--------------------|

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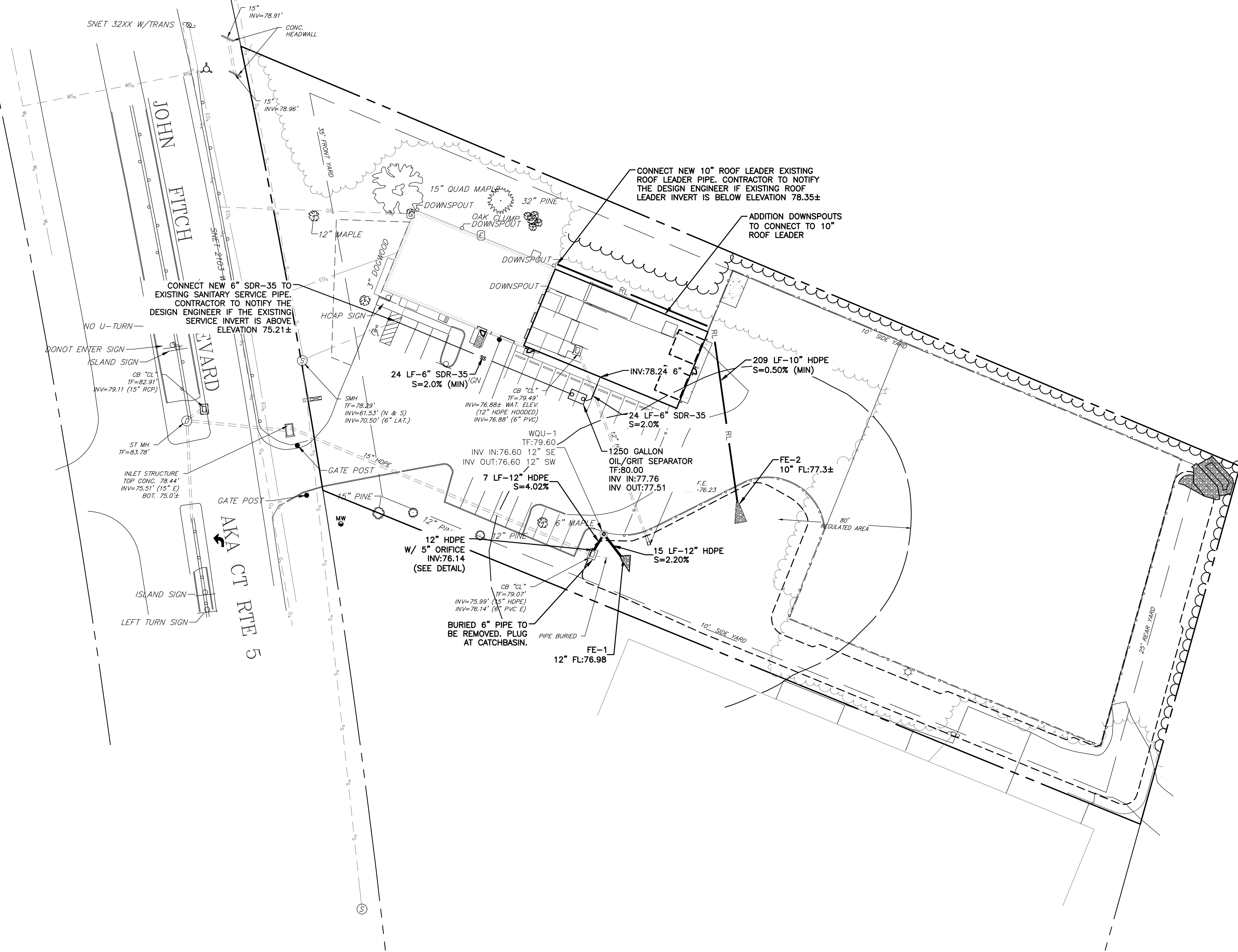
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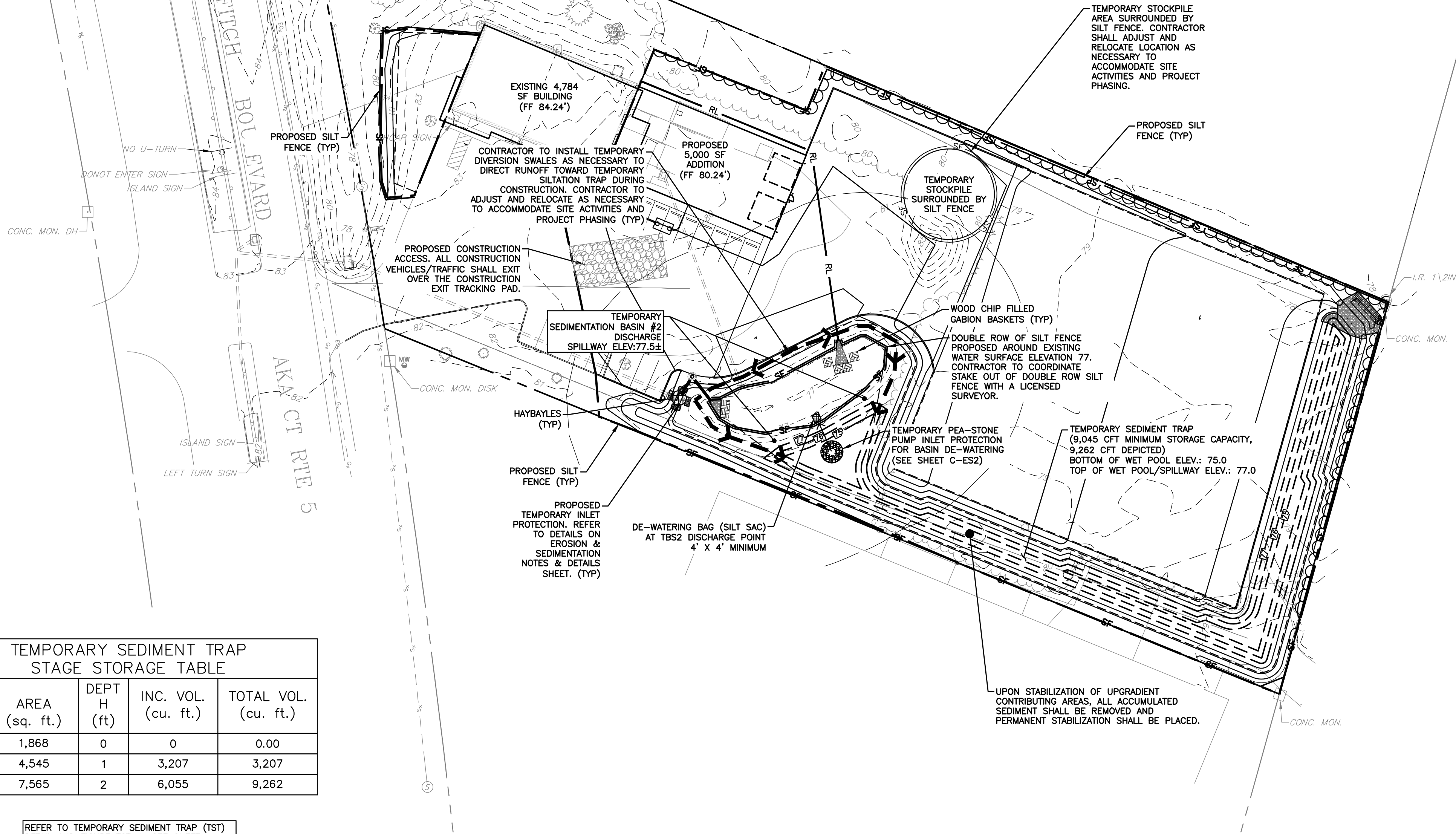
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UTILITY PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY
3. REFER TO NOTES SHEET FOR UTILITY NOTES



| TEMPORARY SEDIMENT TRAP STAGE STORAGE TABLE | | | | |
|--|-------------------|-------------------|------------------------|-------------------------|
| ELEV | AREA (sq. ft.) | DEPT H (ft) | INC. VOL. (cu. ft.) | TOTAL VOL. (cu. ft.) |
| 75.00 | 1,868 | 0 | 0 | 0.00 |
| 76.00 | 4,545 | 1 | 3,207 | 3,207 |
| 77.00 | 7,565 | 2 | 6,055 | 9,262 |

REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1, SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 134 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.



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APPLICANT:
BARRY EQUIPMENT
COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN TITLED "PROPERTY & TOPOGRAPHIC SURVEY, 1608 JOHN FITCH BOULEVARD, SOUTH WINDSOR, CONNECTICUT" DATED 10-23-2019 PREPARED BY DESIGN PROFESSIONALS, INC.

EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

| NO. | | DATE | REVISIONS | BY |
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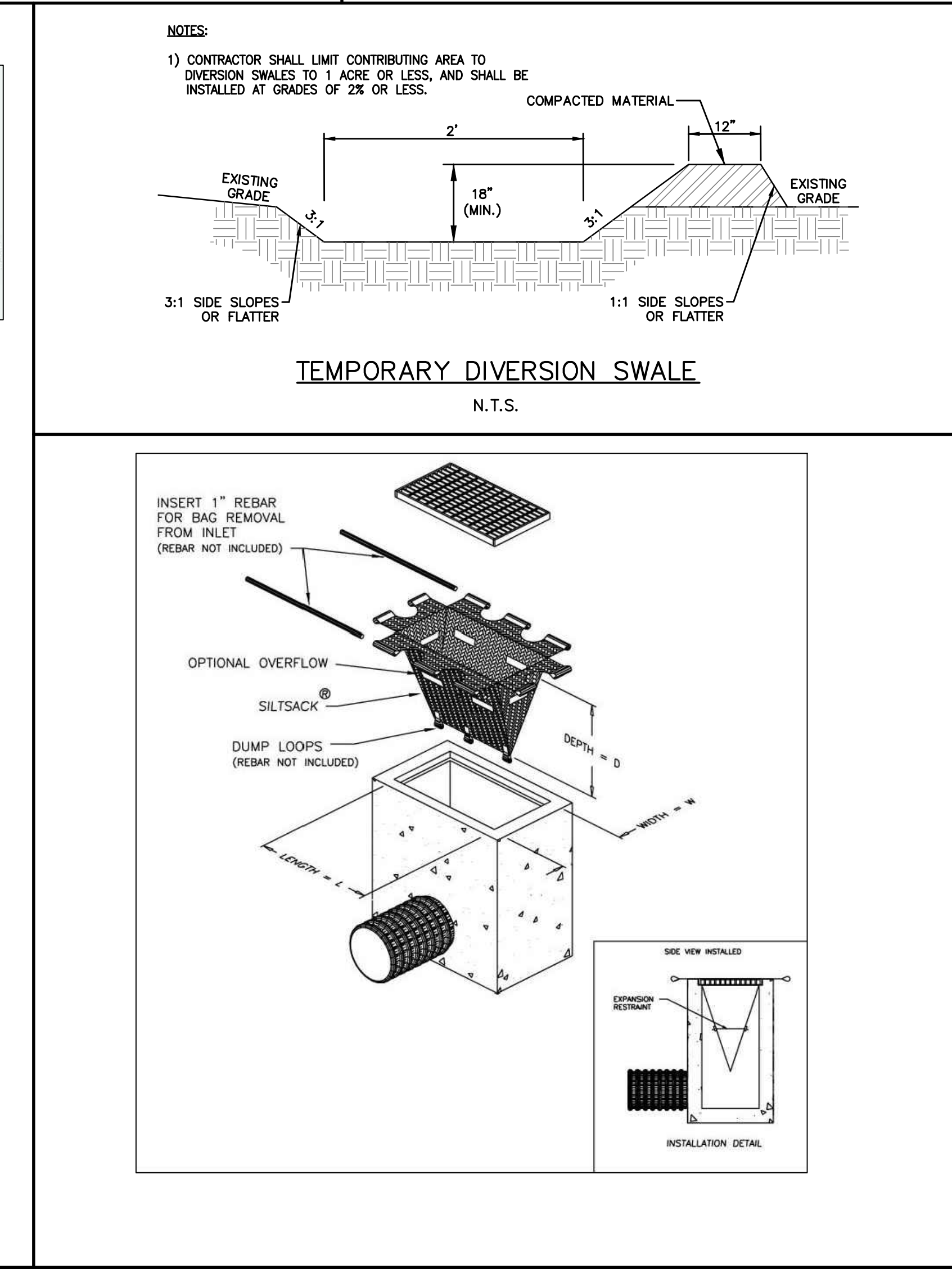
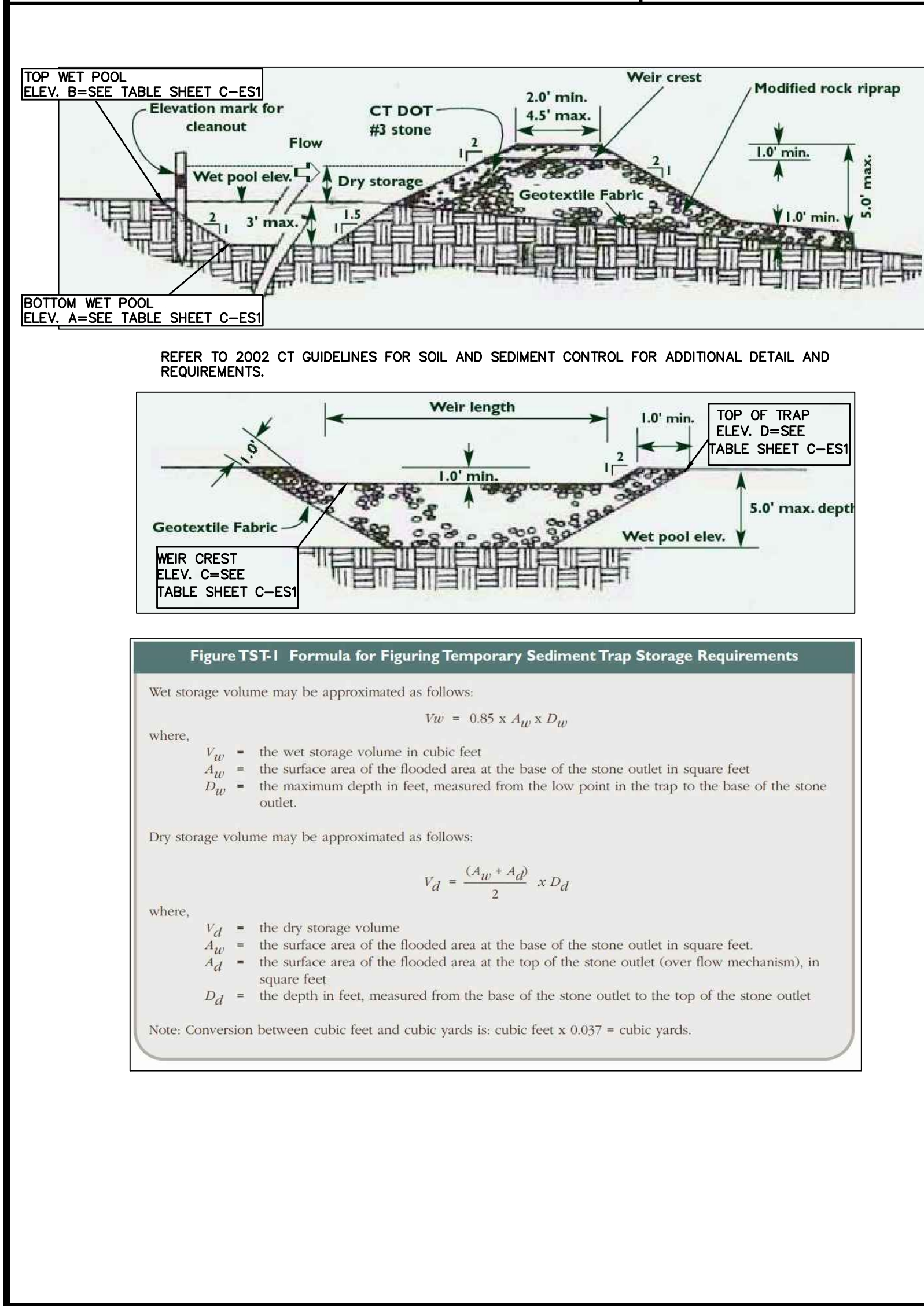
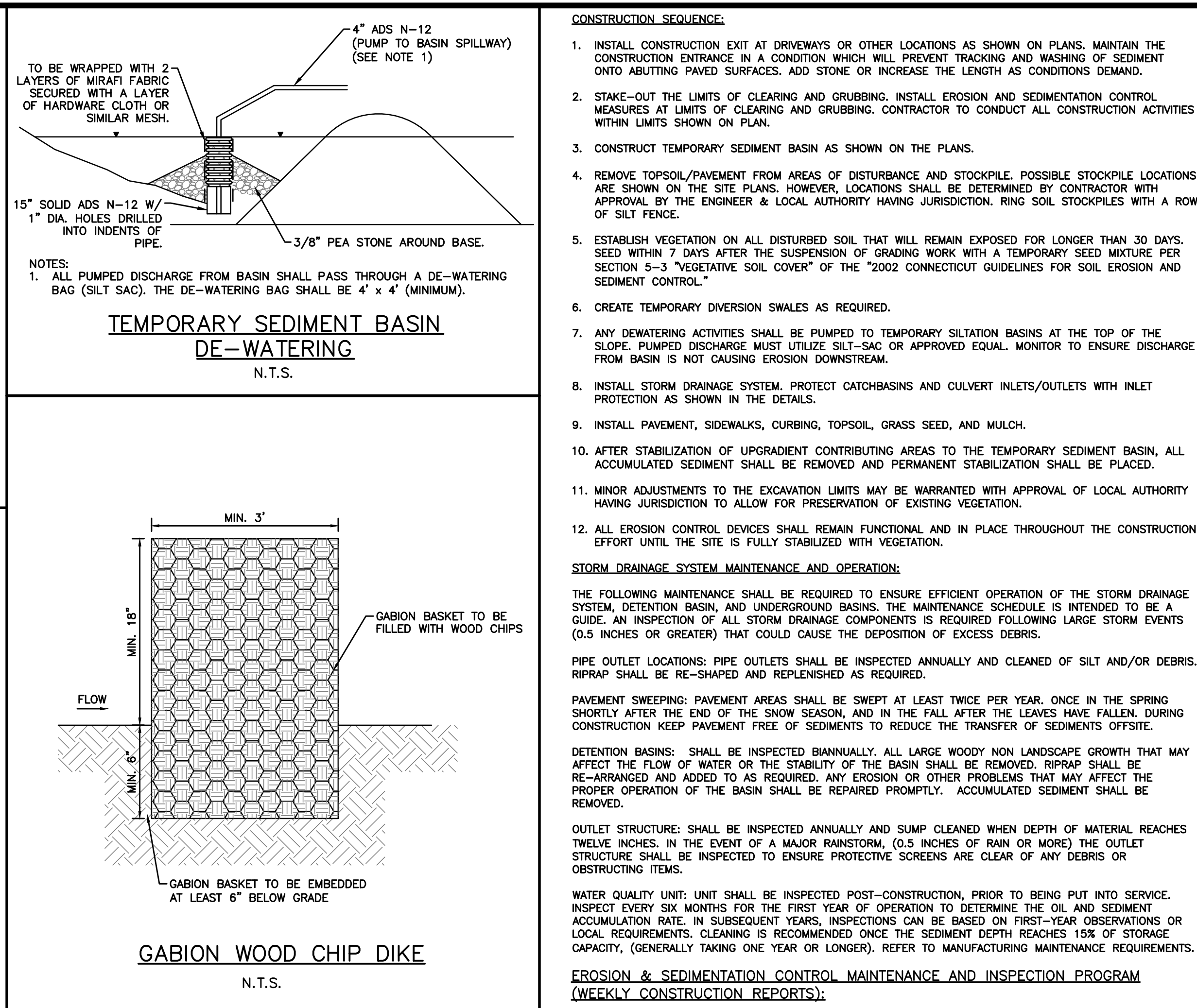
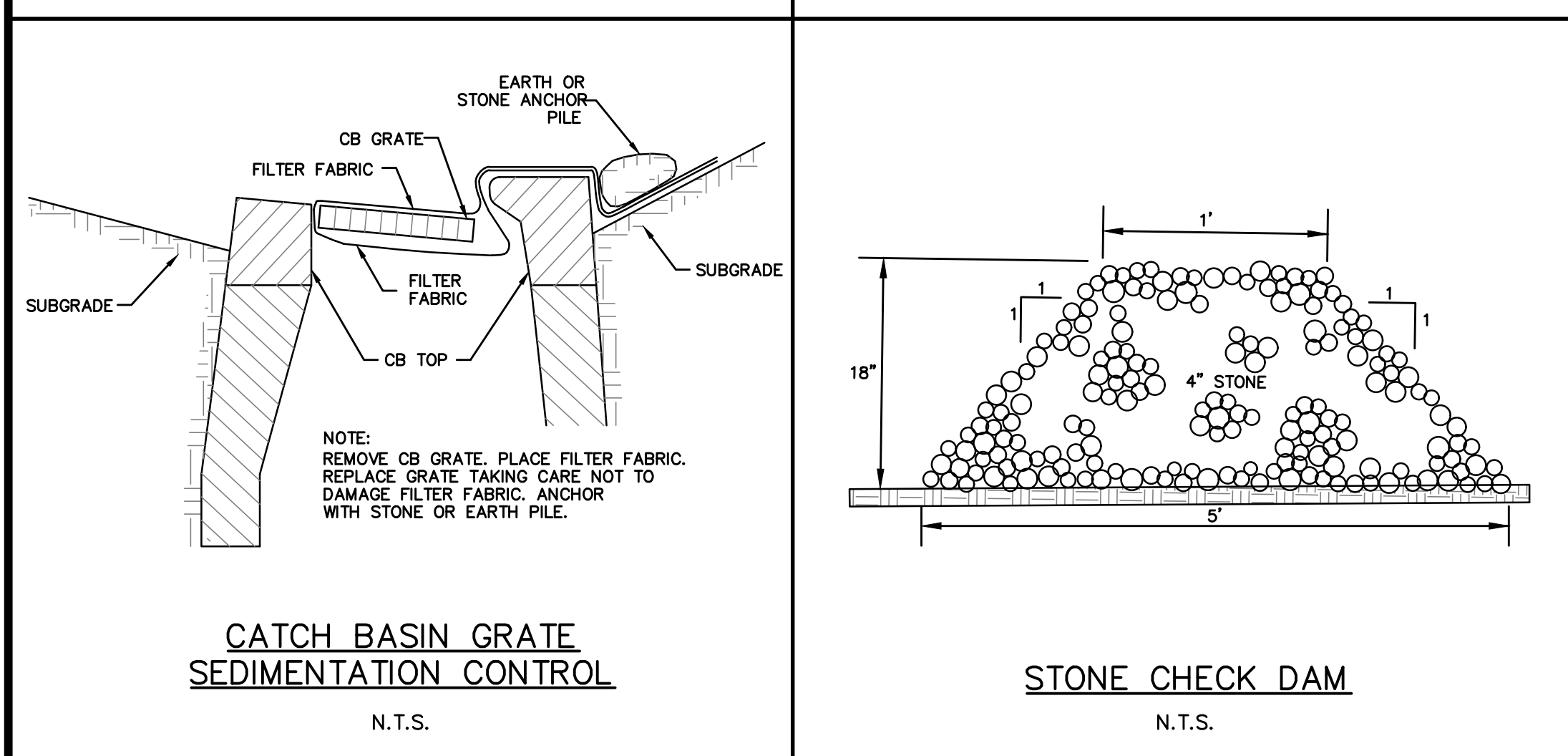
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SITE PLAN MODIFICATION & SPECIAL EXCEPTION
1608 JOHN FITCH BOULEVARD
SOUTH WINDSOR, CONNECTICUT
GIS No. 47701608

PROJECT NO.
4342
DATE
9/1/2020
DESIGNER
DHJ
CHECKER
DHJ

PREPARED FOR
Barry Equipment
c/o Tom & Joseph Barry
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Webster, MA 01570
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CONSTRUCTION SEQUENCE:

1. INSTALL CONSTRUCTION EXIT AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ABUTTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
3. CONSTRUCT TEMPORARY SEDIMENT BASIN AS SHOWN ON THE PLANS.
4. REMOVE TOPSOIL/PAVEMENT FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
6. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
7. ANY DETAHERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED ALLOY MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
9. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
10. AFTER STABILIZATION OF UPGRADED CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASIN, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REFRESHED AS REQUIRED.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR, ONCE IN THE SPRING AND ONCE AFTER THE END OF THE SEASON. SWEEPING IS REQUIRED TO PREVENT THE LEAVES FROM FALLING, DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

DETENTION BASINS: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

OUTLET STRUCTURE: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OF RAIN OR MORE) THE OUTLET STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR OBSTRUCTING ITEMS.

WATER QUALITY UNIT: UNIT SHALL BE INSPECTED POST-CONSTRUCTION, PRIOR TO BEING PUT INTO SERVICE. INSPECT EVERY SIX MONTHS FOR THE FIRST YEAR OF OPERATION TO DETERMINE THE OIL AND SEDIMENT ACCUMULATION RATE. IN SUBSEQUENT YEARS, INSPECTIONS CAN BE BASED ON FIRST-YEAR OBSERVATIONS OR LOCAL REQUIREMENTS. CLEANING IS RECOMMENDED ONCE THE SEDIMENT DEPTH REACHES 15% OF STORAGE CAPACITY, (GENERALLY TAKING ONE YEAR OR LONGER). REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM
(WEEKLY CLEANING REPORTS):

7. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
8. DURING EXCAVATION OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
12. THE CONTRACTOR SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED IMMEDIATELY. WHEN THE AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS, REMOVE AND DISPOSE OF HARDSOENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR SOLID OR CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE - SPRING 2021

ESTIMATED COMPLETION DATE - WINTER 2021

CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT, ON UNPAVED TRAVELWAYS AND TEMPORARY HAIL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILLS, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHERING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE HIGHLY SOLUBLE SOILS PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD BE WASHED INTO THE PLANT AND ANNUAL LIFE. ADDITIONAL SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SALT CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE APPLICATION SHALL BE NON-ASPHALTIC, NON-TOXIC TO HUMANS, NON-FLAMMABLE, NON-CORROSIVE AND NONHARMFUL. MATERIALS SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

PROJECT CONTACT
INFO:
JOE BARRY
[508-294-7311]

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MERGER TO ABCO WELDING &
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APPLICANT:
BARRY EQUIPMENT
COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072

LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK". PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FOLIAGE WITHOUT Voids AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG-BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR PUSHDROOPED BALLS ARE NOT ACCEPTABLE. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORMLY THICK COATING OF MUD BY BEING PULVERIZED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
- ALL PLANTS SHALL BE NURSERY-GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT A WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER-GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE-ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
 - BARK MULCH/COMPOST 10%-12%
 - COARSE SAND 40-45%
 - TOPSOIL 45-50%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIME SHALL BE PELLETED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MINIMUM OF 60% OXIDE, (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER; STORE IN MANNER TO PREVENT HEATING AND DETEIORATION.
- DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLIES AND PERENNIALS SHALL BE INSTALLED AT 24° C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
- NO PLANT, EXCEPT GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS. MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKSMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE.
- INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES PERMEABLE TO FERTILIZER TRANSPARATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
 - MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
 - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
 - ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
- MULCH TO BE APPLIED AS FOLLOWS:
 - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
 - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
 - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
 - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SANDUST.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:
 - MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
 - MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
 - RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
 - CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND HEATHER AND SEASON PERMIT.
 - WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
 - REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
- LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
- CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
- ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
- TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
- THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
 - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
 - CHENINGES RED FESCUE 30% OF MIXTURE
 - PERENNIAL KYESSGRASS 20% OF MIXTURE
- SEEDING MIXTURE TYPE II (BASIN SLOPES):
 - OB-1 FACH PERENNIAL FOOD 4 COVER WETLAND MIX - ERNFIX-120
 - BT Eriol Conservation Seeds, 9000 Thayer Pike, Thedaville, PA 15359 (800) 973-3321
- APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- ANY SEEDING AREA NOT LABELED AS TYPE I SHALL BE SEEDING MIXTURE TYPE I (LAWN).
- SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.
- SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING. ADD AN ADDITIONAL 1% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUAL TO COMBED 2000 AND APPLIED AT THE RATE OF 1,400 LBS. PER ACRE.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDED AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.
- ALL CONSTRUCTION EQUIPMENT UTILIZED IN THE INFILTRATION BASINS SHALL MINIMIZE COMPACTION AS MUCH AS POSSIBLE.
- FLOOR OF INFILTRATION BASINS SHALL NOT RECEIVE TOPSOIL TO PROMOTE INFILTRATION.
- INFILTRATION BASINS SHALL BE MOWED BETWEEN NOVEMBER 1 AND MARCH 1, NO MORE THAN TWICE PER YEAR. CLIPPINGS SHOULD ONLY BE REMOVED IF IMPACTING INFILTRATION FUNCTION. AFTER TWO YEARS OF MAINTENANCE INFILTRATION RESULTS SHALL BE PRESENTED TO TOWN STAFF, AT WHICH POINT MORE REGULAR MOWING MAY BE GRASSED IF INFILTRATION IS NOT FUNCTIONING AS EXPECTED.
- BASIN SIDE SLOPES SHALL HAVE A MINIMUM OF 6" OF "TRACKED" TOPSOIL UNLESS OTHERWISE NOTED.

PROPERTY OWNERS:
ARCAS USA LLC SUCCESSOR BY
MERGER TO ABCO WELDING &
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INDEPENDENCE, OH 44131

APPLICANT:
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COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072

REFERENCES:

THIS PLAN REFERS TO THE FOLLOWING:

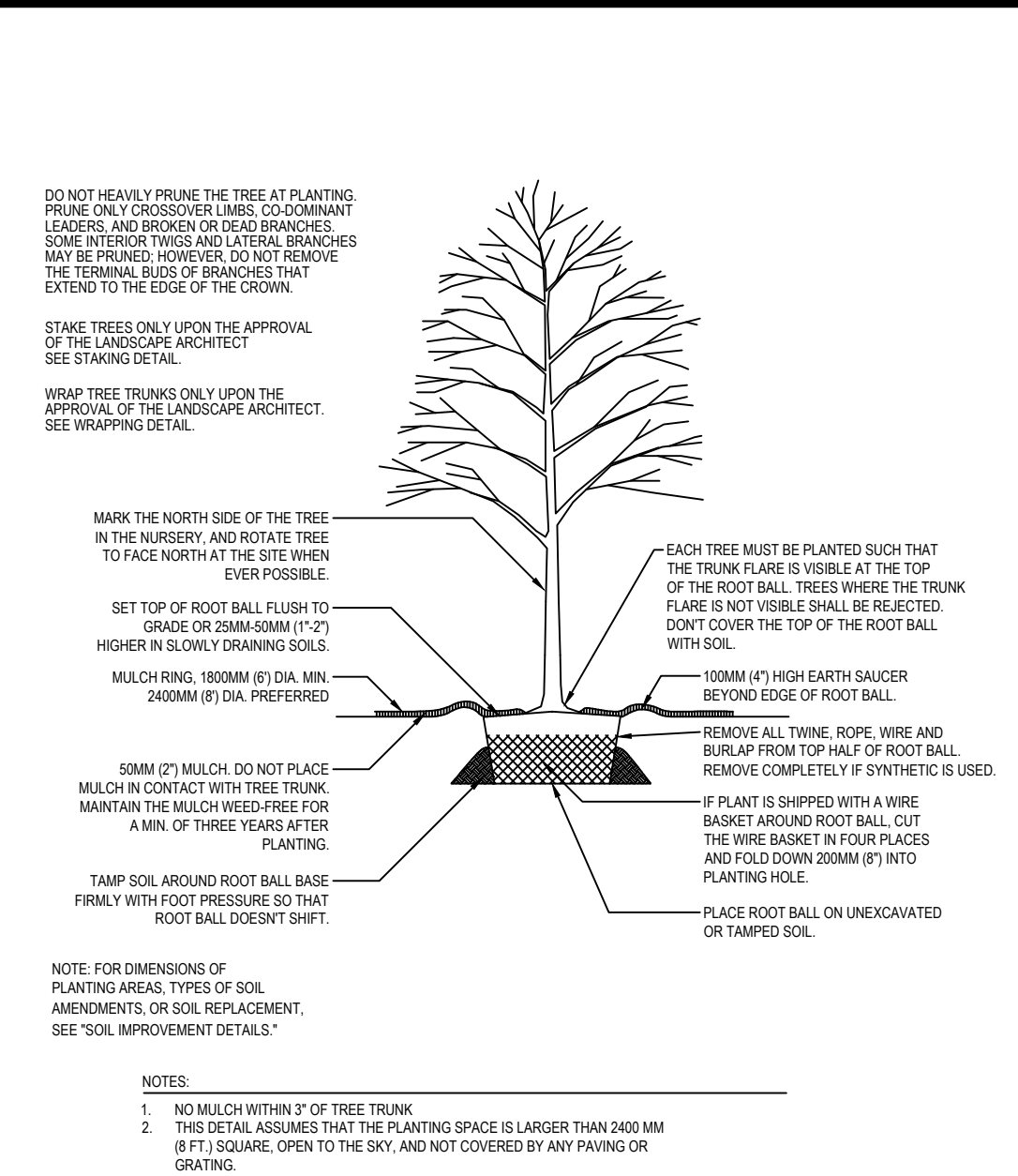
- PLAN TITLED "PROPERTY & TOPOGRAPHIC SURVEY, 1608 JOHN FITCH BOULEVARD, SOUTH WINDSOR, CONNECTICUT" DATED 10-23-2019 PREPARED BY DESIGN PROFESSIONALS, INC.

LANDSCAPE PLAN NOTES:

- "CALL BEFORE YOU DIG" CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES; CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.
- REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

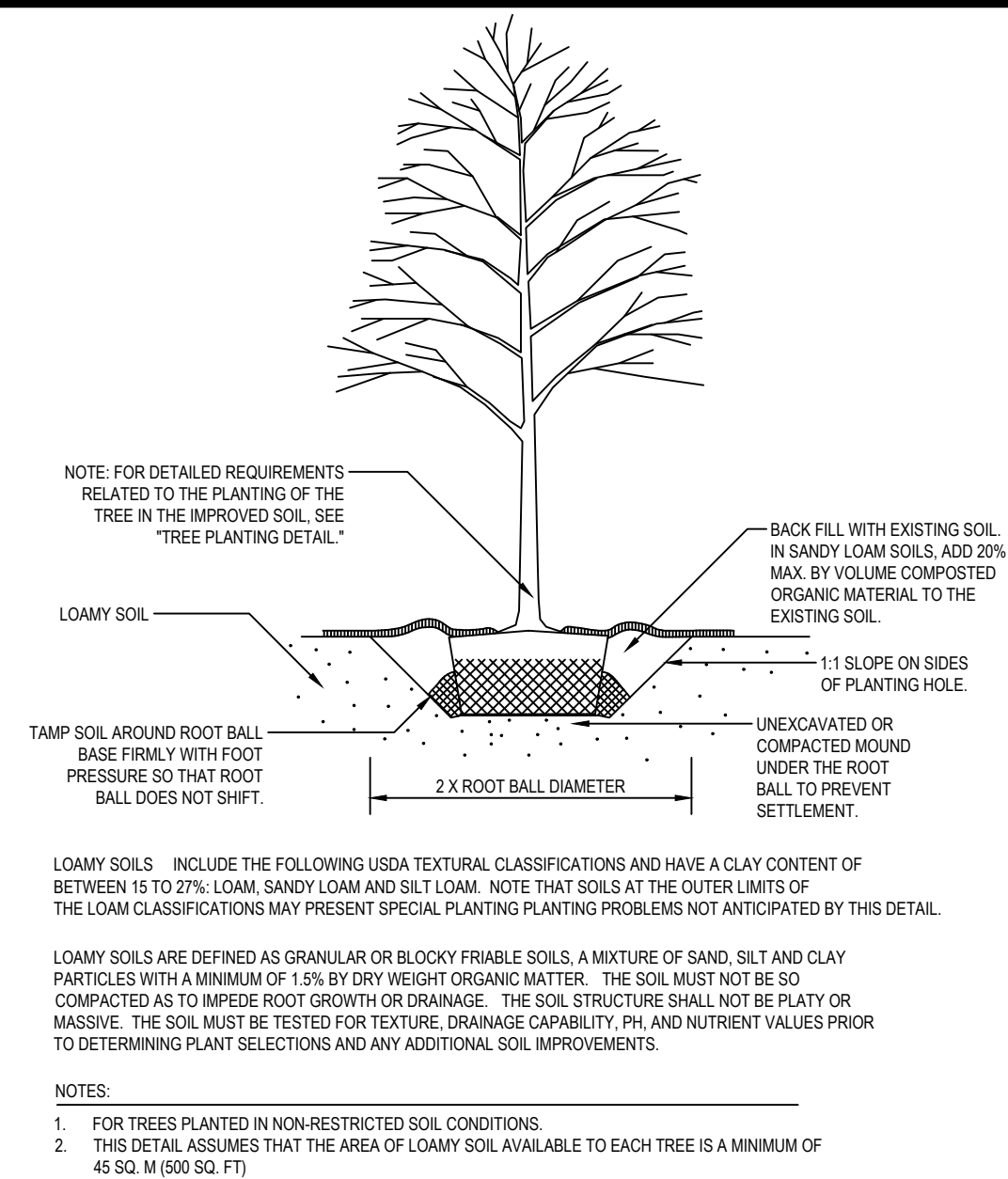
1 TREE PLANTING DETAIL

Not to Scale



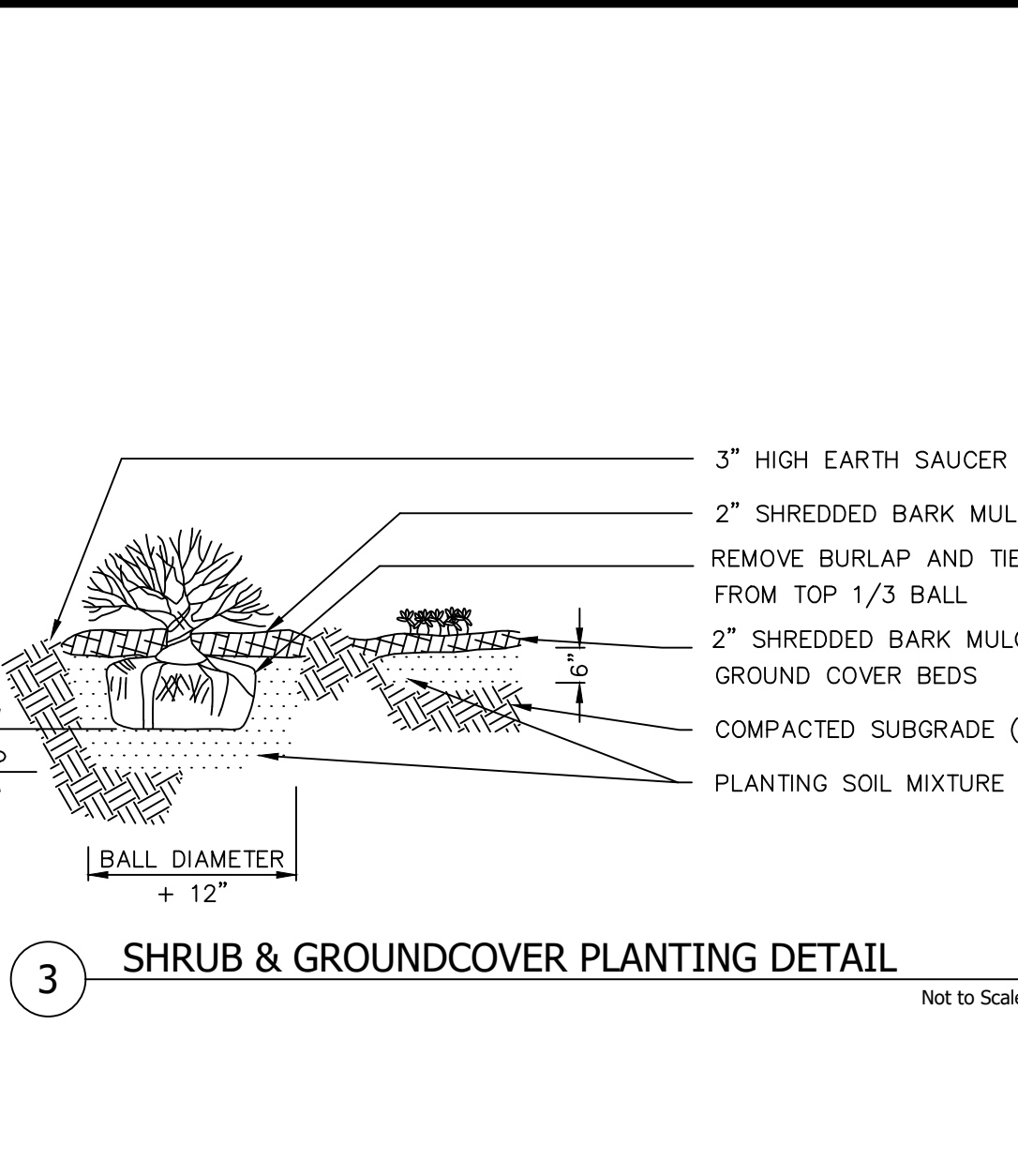
2 SOIL IMPROVEMENT DETAIL

Not to Scale



3 SHRUB & GROUNDCOVER PLANTING DETAIL

Not to Scale



LANDSCAPE PLANTING SCHEDULE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE | TYPE | NOTES |
|-----------------|-----|----------------------------------|------------------------|-----------|-------|------------------------------|
| DECIDUOUS TREES | | | | | | |
| ACFR | 1 | Acer x. freemanii 'Juffer's Red' | Autumn Blaze Maple | 2" cal. | B&B | PLANT AS SHOWN |
| COFL | 2 | Cornus florida | Flowering Dogwood | 1.5" cal. | B&B | PLANT AS SHOWN - SINGLE STEM |
| SHRUBS | | | | | | |
| CARS | 3 | Clethra alnifolia 'Ruby Spice' | Ruby Spice Summersweet | No. 3 | CONT. | 3' O.C. |
| TAME | 10 | Taxus x. media 'Everlow' | Everlow Yew | No. 3 | CONT. | 3' O.C. |
| VIDE | 10 | Viburnum dentatum | Arrowwood Viburnum | No. 3 | CONT. | 6' O.C. |
| PERENNIALS | | | | | | |
| HEHR | 10 | Hemerocallis 'Happy Returns' | Happy Returns Daylily | No. 1 | CONT. | 2' O.C. |

REVISIONS

| NO. | DATE | BY |
|-----|----------|-----|
| 1 | 9/1/2020 | DHJ |

LANDSCAPE PLAN

SHEET 8 OF 11

PREPARED FOR

BARRY EQUIPMENT

c/o Tom & Joseph Barry

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| Statistics | | | | | | |
|--------------|--------|-----|-----|-----|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc_Zone #1 | + | 0.3 | 6.3 | 3.3 | 6.0 | 6.0 |
| | | | | | N/A | N/A |

| Schedule | | | | | | | | | | | |
|---|-------|-----|-------------------|----------------------------------|---|--------------------------------------|-----------------|------|------|---------|-----------------|
| Symbol | Label | QTY | Manufacturer | Catalog Number | Description | Filename | Lumens per Lamp | Lamp | LLF | Wattage | Mounting Height |
|  | B | 2 | Lithonia Lighting | DSX1 LED P2 40K T4M MVOLT | DSX1 LED P2 40K T4M MVOLT | DSX1_LED_P2_40K_T4M_MVOLT.ies | 8707 | LED | 0.94 | 140 | 25 feet |
|  | A | 1 | Lithonia Lighting | DSX1 LED P2 40K T4M MVOLT HS | DSX1 LED P2 40K T4M MVOLT with houseside shield | DSX1_LED_P2_40K_T4M_MVOLT_HS.ies | 6758 | LED | 0.94 | 70 | 25 feet |
|  | C | 2 | Lithonia Lighting | DSXW1 LED 20C 350 40K T3TM MVOLT | DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3TM OPTIC, 4000K, @ 350mA. | DSXW1_LED_20C_350_40K_T3TM_MVOLT.ies | 3019 | LED | 0.94 | 23.3 | 18 feet |




| Specifications | |
|----------------|---|
| EPA: | 1.01 ft ² (0.09 m ²) |
| Length: | 33" (83.8 cm) |
| Width: | 13" (33.0 cm) |
| Height: | 7.12" (18.1 cm) |
| Weight (max): | 27 lbs (12.2 kg) |

| | |
|--------|--|
| Rating | |
| Notes | |
| Type | |

A+ Capable Luminaire

- This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
 - This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL® equipped luminaires meet the A+ specification for luminaire to photocolor interoperability
 - This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**
- To learn more about A+, visit www.acuitybrands.com/aplus.
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam Link to DTL DLL](#)

A+ Capable options indicated by this color background.

| Ordering Information | | | | EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DBDXD | | | | | | | | | |
|---|--|-------------------|-------------------|--|---|-------------------|--------------|----------------------|--|------|--|--|-------------|
| DSX1LED | | | | | | | | | | | | | |
| Series | LEDs | Color temperature | Distribution | Voltage | Mounting | | | | | | | | |
| DSX1 LED | Forward optics | | | | MVOLT 14 | Shipped included | | | | | | | |
| | P1 | P4 | P7 | 30K | 1000 K | T15 | Type I short | TSS | Type I short | 120° | SPA | Square pole mounting | |
| | P2 | P5 | P8 | 40K | 4000 K | T25 | Type I short | TSS | Type I medium | 200° | SPA | Square pole mounting | |
| | P3 | P6 | P9 | 50K | 5000 K | T35 | Type I short | TSS | Type I medium | 200° | SPA | Square pole mounting | |
| | Related optics | | | | | | | | | | | | |
| | P10* | P12* | AMBC ¹ | Amber phosphor converted | T35 | Type II short | 80C | Backlight control | | 240° | SWA | Wall bracket | |
| | P11* | P13* | | | T3M | Type II medium | 180C | Left corner control | | 277° | WMA | Square pole external mounting adapter ⁴ | |
| | | | | | T5M | Type II medium | 180C | Left corner control | | 344° | WMA | Square pole external mounting adapter ⁴ | |
| | | | | | T7M | Type II medium | 180C | Forward throw medium | | 440° | WMA | Square pole external mounting adapter ⁴ | |
| | | | | | T95 | Type I very short | 180C | High corner control | | | KMA DBORD ² | Shipped separately | |
| | | | | | | | | | | | Must arm mounting bracket adapter (specify fresh) ⁵ | | |
| Control options | | | | Other options | | | | Finish | | | | | |
| Shipped installed | | | | Shipped installed | | | | Fresh | | | | | |
| NEMZD | slight light generation 2 enabled ⁶ | | | PMW1TCV | BI-level, medium/ambient sensor, 15-30° mounting height, ambient sensor enabled at 16° ^{10,11} | | | HS | Haze (one-side shield) ⁷ | | | DBK | Dark bronze |
| PER | NEMA hublock receptacle only (controls ordered separately) ¹¹ | | | BL30 | BI-level, medium/ambient sensor, 16° ^{10,11} | | | SS | Single slide (120°, 240°) | | | DBLD | Black |
| PER | wide receptacle only (controls ordered separately) ¹¹ | | | BL50 | BI-level, medium/ambient sensor, 16° ^{10,11} | | | DO | Double free (238°, 240°) | | | DBLD | Black |
| CRG | 0-10V dimming (order built out housing for external control (back not future)) | | | PMW1D3 | PIR light, dim, 18° beam ¹² | | | L90 | Left-side mounted ⁸ | | | DBWV | White |
| CRG | 0-10V dimming (order built out housing for external control (back not future)) | | | PMW1D5 | PIR light, dim, 25° beam ¹² | | | L90 | Left-side mounted ⁸ | | | DBWV | White |
| DS | Dark switching 11° | | | PMW1D7 | PIR light, dim, 25° beam ¹² | | | R90 | Right-side mounted ⁸ | | | DBWV | White |
| PSB | BI-level, medium/ambient sensor, 15-30° mounting height, ambient sensor enabled at 16° ^{10,11} | | | PMW1D9 | PIR light, dim, 25° beam ¹² | | | PMW1T2 | PIR light, dim, 25° beam ¹² | | | DBWV | White |
| PSB | BI-level, medium/ambient sensor, 15-30° mounting height, ambient sensor enabled at 16° ^{10,11} | | | F40 | F40 adjustable output ⁹ | | | BS | BS brass-gate shield ⁷ | | | DBWV | White |
| PSBN | Network, BI-level, medium/ambient sensor, 15-30° mounting height, ambient sensor enabled at 16° ^{10,11} | | | | | | | | | | | | |
|  | | | | | | | | | | | | DSX1-LED | |
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CONSTRUCTION NOTES:

1. At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.

2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.

3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.

4. The contractor must comply, to the fullest extent, with the latest Occupational Safety and Health (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.

5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.

6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.

7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.

8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.

9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.

10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.

11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.

12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.

13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.

14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.

15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.

16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.

17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.

18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.

19. The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

20. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.

21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.

22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.

23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.

24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.

25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.

26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.

27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.

28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.

29. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.

30. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of joint bunts.

31. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.

32. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.

33. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:

Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.

High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.

Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.

34. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.

35. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.

36. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.

37. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.

38. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American

- Water Works Association (AWWA) standards in effect at the time of the service application.

39. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.

40. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.

41. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.

42. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.

43. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.

44. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.

45. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.

46. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.

47. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.

48. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

49. All pumped discharge must utilize silt-sac or approved equal. Monitor to ensure dewatering activities do not cause erosion downstream. Stabilize area utilizing winter stabilization if appropriate for season of construction. Dewatering activities shall be completed in accordance with the 2002 CT Guidelines for Soil Erosion and Sediment Control.
- AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:

The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

• Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.

• Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).

• Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.

• A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.

• Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.

• The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.
- 1.5" WEARING COURSE
(CONNDOT 2004 FORM 816 M.04-01,
CLASS II BITUMINOUS CONCRETE)

1.5" BINDER COURSE
(CONNDOT 2004 FORM 816 M.04-01,
CLASS I BITUMINOUS CONCRETE)

8" PROCESSED AGGREGATE BASE—
(CONNDOT FORM 817 M05.01)

COMPACTED SUBGRADE

BITUMINOUS CONCRETE PAVEMENT SECTION STANDARD DUTY

N.T.S.

BITUMINOUS CONCRETE CURB MIX,
PER CONNDOT FORM 817,
SECTION M.04

FINISHED GRADE

WEARING COURSE

PLACE CURB ON BINDER COURSE

GRAVEL BASE AND PAVEMENT SEE DETAIL

BITUMINOUS CONCRETE LIP CURB

N.T.S.

#4 BARS @ 12" O.C. EACH WAY

TURF ESTABLISHMENT

8"-CLASS "F" CONCRETE PER
CONNDOT FORM 817, SECTION M.03

8" PROCESSED AGGREGATE BASE
PER CONNDOT FORM 817, M.05.01

CONCRETE DUMPSTER PAD

N.T.S.

4" MILLINGS

4" PROCESS AGGREGATE
(CONNDOT FORM 817 M0501-1)

6" GRADE B BANK RUN GRAVEL
(CONNDOT FORM 817 M0206-1)

COMPACTED SUBGRADE

PAVEMENT MILLINGS SECTION

N.T.S.

NOTES:

1. CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

| LEGEND | | |
|-----------------|---------------------------------|----------|
| EXISTING | DESCRIPTION | PROPOSED |
| BORINGS | BORING / TEST PIT LOCATION | |
| COMMUNICATION | UNDERGROUND COMMUNICATION LINES | |
| DOMESTIC WATER | WATER MAIN | |
| | WATER SERVICE | |
| | FIRE SERVICE LINE | |
| | NON-POTABLE WATER LINE | |
| | WATER VALVE / FITTINGS | |
| | FIRE HYDRANT | |
| LIQUID FUEL | MAIN LIQUID FUEL LINE | |
| | LIQUID FUEL SERVICE LINE | |
| | LIQUID FUEL LINE, ABANDONED | |
| IRRIGATION | IRRIGATION LINES | |
| LIGHTING | POLE / GROUND MOUNTED LIGHT | |
| NATURAL GAS | GAS MAIN | |
| | GAS SERVICE LINE | |
| POWER | ELECTRICAL LINES, OVERHEAD | |
| | ELECTRICAL LINES, UNDERGROUND | |
| | UTILITY POLE | |
| PROPERTY | PROPERTY LINE | |
| | EASEMENT LINE | |
| | IRON PIPE | |
| | IRON ROD | |
| | MONUMENT | |
| ROADS | GUARD RAIL | |
| EROSION CONTROL | SILT FENCE | |
| SITE FEATURES | 4" DOUBLE SOLID YELLOW LINE | |
| | 4" SINGLE SOLID WHITE LINE | |
| | BIT. CONC. LIP CURB | |
| | PRECAST CONCRETE CURB | |
| SANITARY SEWER | SANITARY SEWER MAIN | |
| | SANITARY SEWER SERVICE LINE | |
| | SANITARY SEWER MANHOLE | |
| STORM SEWER | STORM DRAIN PIPE | |
| | ROOF LEADER | |
| | UNDERDRAIN | |
| | STORM DRAIN MANHOLE | |
| | CURB INLET | |
| | CATCH BASIN | |
| | YARD DRAIN | |
| TOPOGRAPHY | CONTOUR | |
| | SPOT ELEVATION | |
| OTHER | RAMP | |
| | LANDSCAPE AREA | |

PROPERTY OWNERS:
AIRGAS USA, LLC SUCCESSOR BY MERGER TO ABCO WELDING & INDUSTRIAL SUPPLY INC.
6055 ROCKSIDE WOODS BLVD N.
INDEPENDENCE, OH 44131

APPLICANT:
BARRY EQUIPMENT COMPANY, INC.
30 BIRCH ISLAND ROAD
WEBSTER, MA 01570
508-943-9072

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PLANNERS / LANDSCAPE ARCHITECTS

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Barry Equipment
c/o Tom & Joseph Barry
30 Birch Island Road
Webster, MA 01570
508-943-0005 - T
508-943-9072 - F

PROJECT NO.
4342

DATE
9/1/2020

DESIGN BY
DJH

REVIEW BY
DJH

DATE
9/1/2020

DESIGN BY
DJH

REVIEW BY
DJH

NOTES, LEGEND, & DETAILS

REVISIONS

BY

DATE

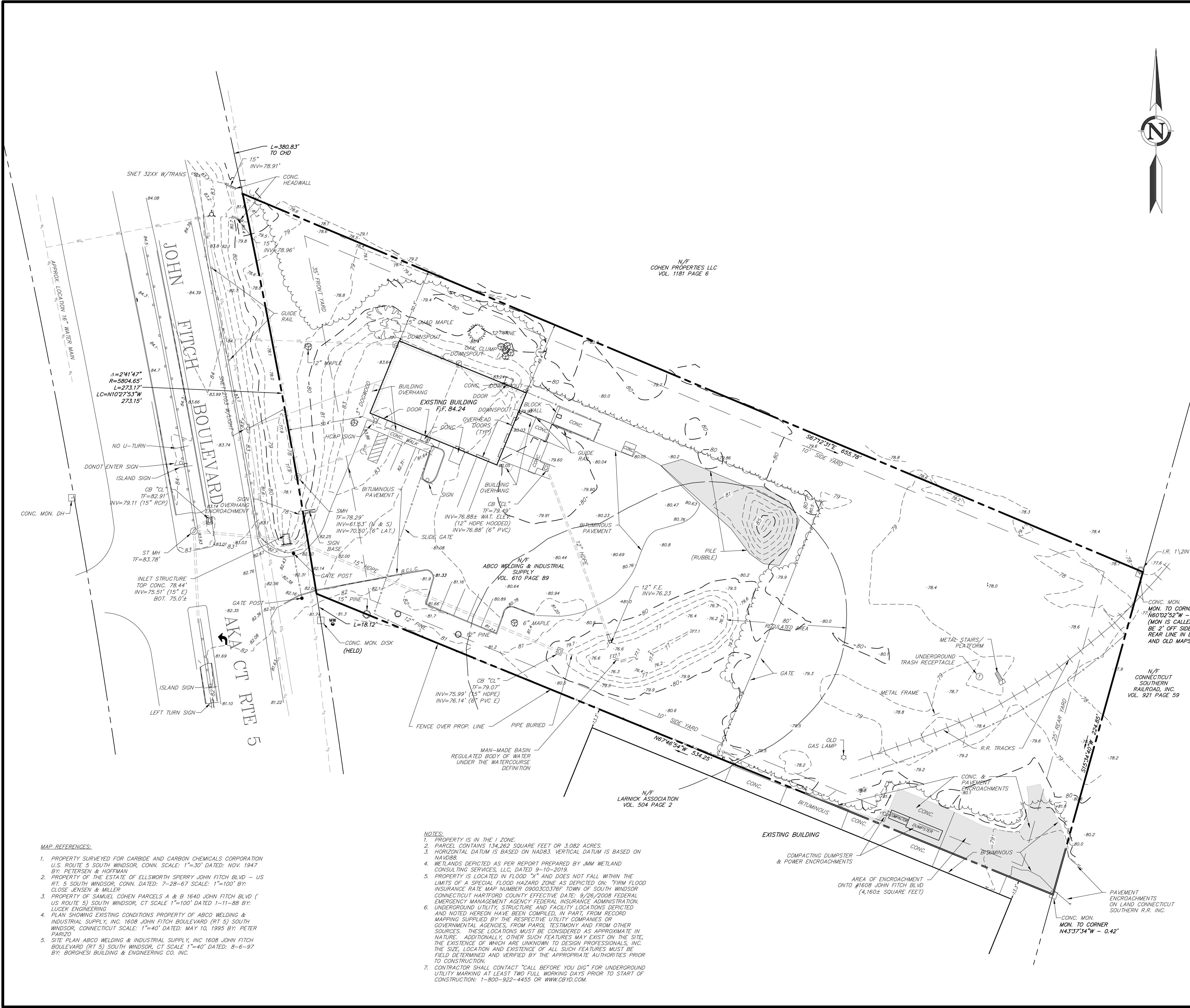
NO.

DATE

SHEET

C-D1

SHEET 10 OF 11



MAP REFERENCES:

1. PROPERTY SURVEYED FOR CARBIDE AND CARBON CHEMICALS CORPORATION U.S. ROUTE 5 SOUTH WINDSOR, CONN. SCALE: 1"=30' DATED: NOV. 1947 BY: PETERSEN & HOFMANN
2. PROPERTY OF THE ESTATE OF ELLSWORTH SPERRY JOHN FITCH BLVD - US RT. 5 SOUTH WINDSOR, CONN. DATED: 7-28-67 SCALE: 1"=100' BY: CLOSE, JENSEN & MILLER
3. PROPERTY OF SAMUEL COHEN PARCELS A & B 1640 JOHN FITCH BLVD (US ROUTE 5) SOUTH WINDSOR, CT SCALE 1"=100' DATED 1-11-88 BY: LUCKE ENGINEERING
4. PLAN SHOWING EXISTING CONDITIONS PROPERTY OF ABCO WELDING & INDUSTRIAL SUPPLY, INC. 1608 JOHN FITCH BOULEVARD (RT 5) SOUTH WINDSOR, CONNECTICUT SCALE: 1"=40' DATED: MAY 10, 1995 BY: PETER PARIZO
5. SITE PLAN, ABCO WELDING & INDUSTRIAL SUPPLY, INC. 1608 JOHN FITCH BOULEVARD (RT 5) SOUTH WINDSOR, CT SCALE 1"=40' DATED: 8-6-97 BY: BORGHESE BUILDING & ENGINEERING CO. INC.

NOTES:

1. PROPERTY IS IN THE 1 ZONE.
2. PARCEL CONTAINS 134,262 SQUARE FEET OR 3.082 ACRES.
3. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
4. WETLANDS DEPICTED AS PER REPORT PREPARED BY JMM WETLAND CONSULTING SERVICES, LLC, DATED 9-10-2019.
5. PROPERTY IS LOCATED IN FLOOD "X" AND DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP NUMBER 090030376F TOWN OF SOUTH WINDSOR, CONNECTICUT HARTFORD COUNTY EFFECTIVE DATE: 9/26/2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
6. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM

SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND REVISED ON OCTOBER 26, 2018.
- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON MAPS REFERENCED HEREON.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS 1-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S.

12327
LIC. NO.

SITE

LOCATION PLAN
1"=1000'

LEGEND

| EXISTING | DESCRIPTION |
|----------------|---|
| BORINGS | BORING / TEST PIT LOCATION |
| COMMUNICATION | OVERHEAD COMM. LINES (CABLE, TEL, ETC.) UNDERGROUND COMMUNICATION LINES |
| CONTROL POINTS | BENCHMARK |
| DOMESTIC WATER | WATER MAIN WATER SERVICE WATER VALVE FIRE HYDRANT |
| LIGHTING | POLE MOUNTED LIGHT |
| NATURAL GAS | GAS MAIN GAS SERVICE LINE |
| POWER | ELECTRICAL LINES, OVERHEAD ELECTRICAL LINES, UNDERGROUND UTILITY POLE |
| PROPERTY | PROPERTY LINE EASEMENT LINE IRON PIPE IRON ROD MONUMENT |
| ROADS | GUARD RAIL SIGN |
| SITE FEATURES | EDGE OF WATER BARBED WIRE FENCE CHAIN LINK FENCE RAIL FENCE STOCKADE FENCE WIRE FENCE STONE WALL TREE TREE LINE |
| SANITARY SEWER | SANITARY SEWER MAIN SANITARY SEWER SERVICE LINE SANITARY SEWER MANHOLE |
| STORM SEWER | STORM DRAIN PIPE STORM DRAIN MANHOLE CURB INLET CATCH BASIN |
| TOPOGRAPHY | CONTOUR SPOT ELEVATION |
| WETLANDS | WETLANDS LINE |

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PREPARED FOR:

Mr. Tom Barry
Mr. Joseph Barry
Barry Equipment
20 Birch Island Road
Webster, MA 04570

PROJECT NO.
4342

DESIGN BY:
10-22-19

DRAWN BY:
10-22-19

CHECKED BY:
10-22-19

LEG

ABCO WELDING & INDUSTRIAL SUPPLY INC

1608 JOHN FITCH BLVD
SOUTH WINDSOR, CONNECTICUT

BY:

NO. DATE

REVISIONS

PROPERTY & TOPOGRAPHIC SURVEY

SCALE: 0 15' 30' 60'

1" = 30'

SHEET
V-1

Architectural floor plan showing the layout of a building renovation project, divided into two main sections: EXISTING BUILDING (PHASE I RENOVATIONS) and ADDITION (PHASE II).

EXISTING BUILDING (PHASE I RENOVATIONS):

- Overall dimensions: 42'-0" (width) x 42'-0" (depth).
- Rooms include: OFFICE (12'-0" x 9'-6"), OFFICE (12'-0" x 9'-6"), OFFICE (12'-0" x 9'-6"), SALES COUNTER, and restrooms.
- NEW ALUM. FRAME WINDOW, TYP., TO MATCH EXIST.
- NEW 3'-0" x 7'-0" HM DOOR and FRAME IN EXISTING MODIFIED OPENING. INFILL EXTERIOR OPENING TO MATCH EXISTING.
- NEW PRE-CAST CONC. STAIRS / LANDINGS.

ADDITION (PHASE II):

- Overall dimensions: 100'-0" (width) x 42'-0" (depth).
- Grid lines: 01, 02, 03, 04, 05 (horizontal) and A, B (vertical).
- Key features:
 - 4'-0" HIGH RAMP W/ 80'-0" RUN at 1:20 SLOPE
 - NEW 8' WIDE CONC. RAMP W/ 36" METAL GUARD RAILS, EA. SIDE.
 - NEW PRE-CAST CONC. STAIRS / LANDINGS.
 - REMOVE EXIST. CANOPY ABOVE.
 - NEW 3'-0" x 7'-0" HM DOOR and FRAME.
 - NEW 3'-0" x 7'-0" HM DOOR and FRAME.
 - NEW 3'-0" x 7'-0" HM DOOR and FRAME.
 - 6"Ø x 48" HIGH CONC. BOLLARD, TYP.
 - 16" x 16" OVERHEAD DOOR, TYP. OF (2).

General Notes:

- EXISTING BUILDING = 42'-0", V.I.F.
- ADDITION (PHASE II) = 100'-0" OUTSIDE F.O. 6IRT, TYP.
- 50'-0" CENTER ON EXISTING BUILDING
- 2 A-2.0
- 1 A-2.1
- 1 A-2.0
- NORTH

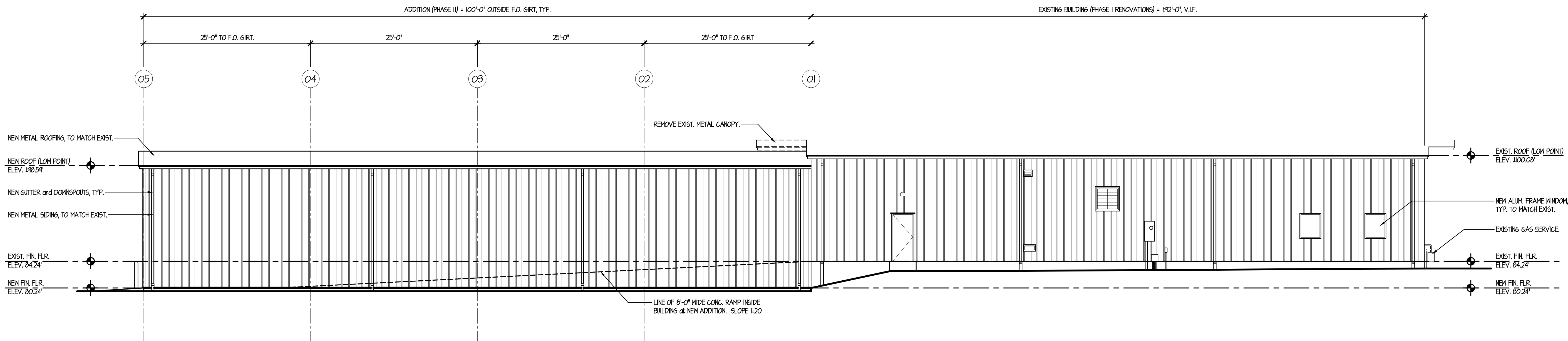
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| date | description | no. |
| revisions | | |

SCHEMATIC FLOOR PLAN

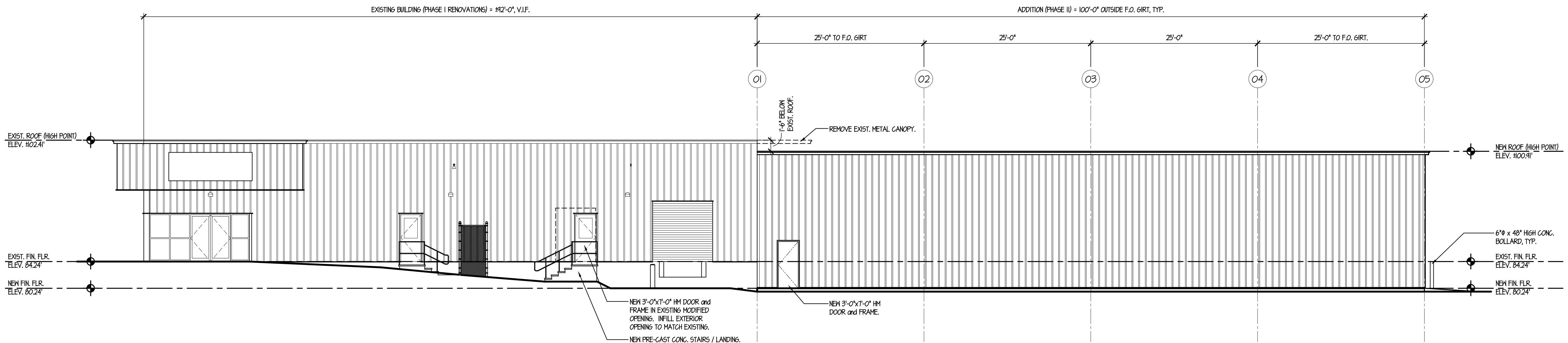
A-1.0

date 28 JULY 2020
drawn JRP
scale AS NOTED
checked DGH
project no. 20-12

Additions and
Alterations to
**BARRY
EQUIPMENT**
1608 John Fitch Blvd.
South Windsor, CT
06074



2 SCHEMATIC NORTH ELEVATION
A-2.0 SCALE: 1/8" = 1'-0"



1 SCHEMATIC SOUTH ELEVATION
A-2.0 SCALE: 1/8" = 1'-0"

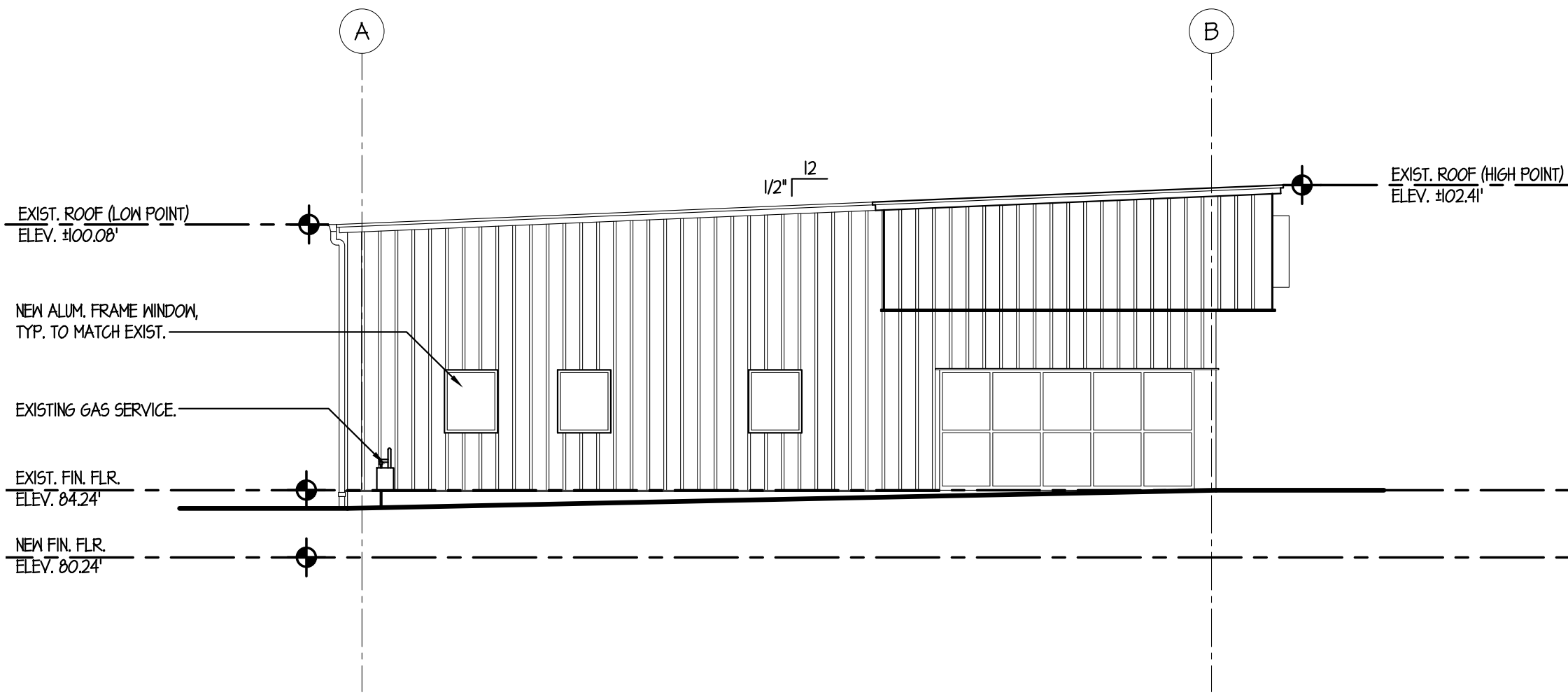
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SCHEMATIC
BUILDING
ELEVATIONS

A-2.0

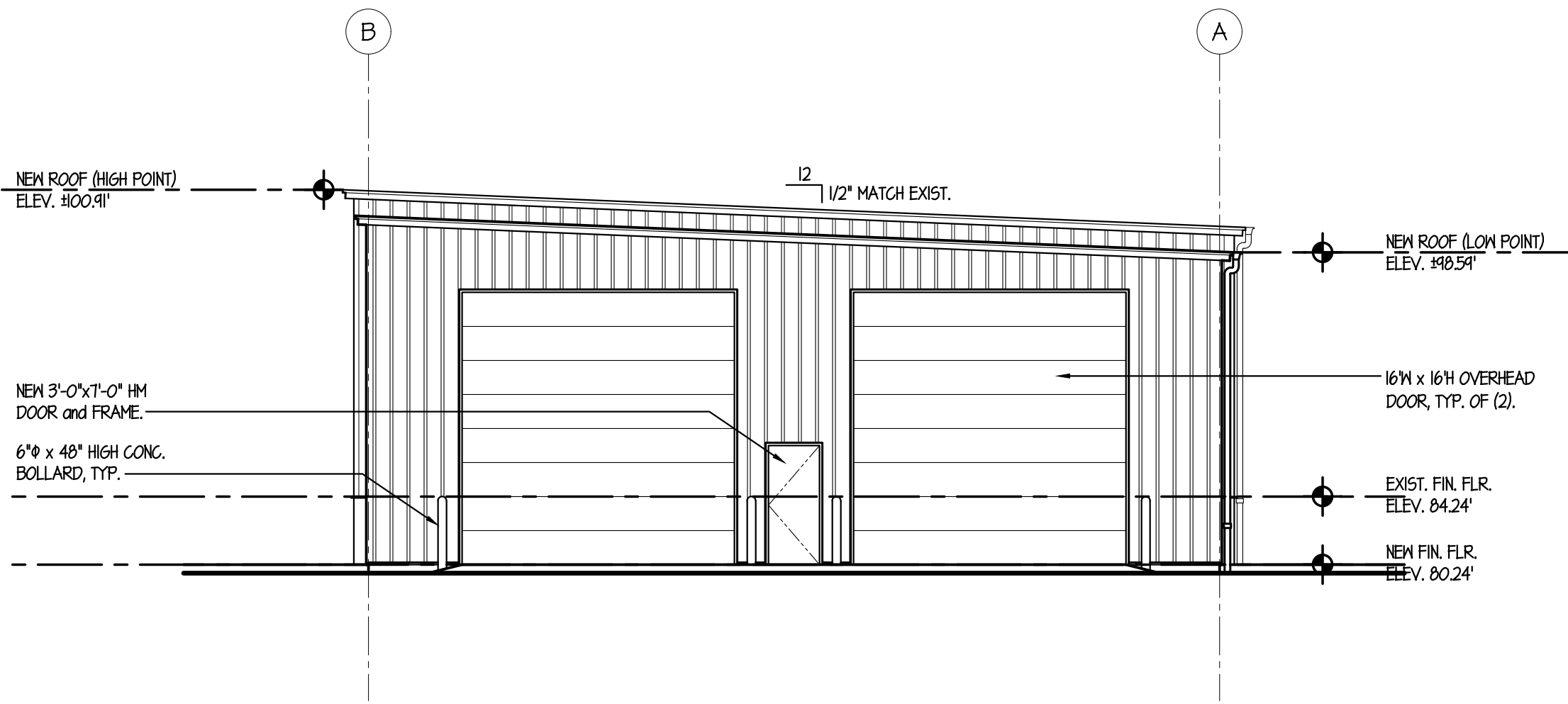
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| date | 28 JULY 2020 |
| drawn | JRP |
| scale | AS NOTED |
| checked | DGH |
| project no. | 20-12 |

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South Windsor, CT
06074



2
A-2.1

SCHEMATIC WEST ELEVATION
SCALE: 1/8" = 1'-0"



1
A-2.1

SCHEMATIC EAST ELEVATION
SCALE: 1/8" = 1'-0"

| date | description | no. |
|-----------|-------------|-----|
| revisions | | |
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**SCHEMATIC
BUILDING
ELEVATIONS**

A-2.1

| | |
|-------------|--------------|
| date | 28 JULY 2020 |
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