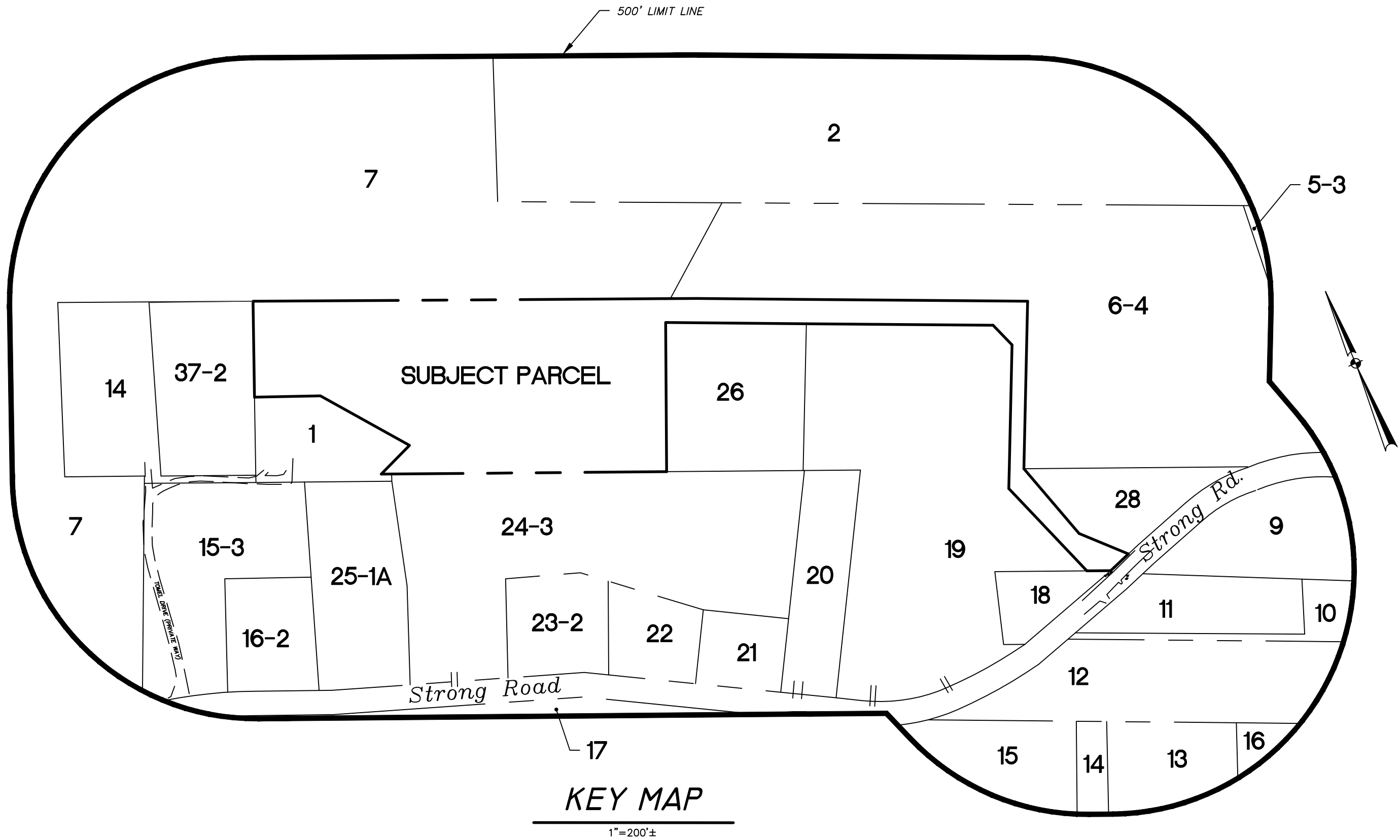


# Special Exception/Interior Lot

586 Strong Road  
South Windsor, Connecticut



Names & Addresses

| Map | Lot  | Address  |
|-----|------|--|
| 74  | 16   | Town of South Windsor<br>1540 Sullivan Avenue<br>South Windsor, CT 06074             |
| 85  | 14   | James T. Poulin<br>430 Strong Road<br>South Windsor, CT 06074                        |
|     | 15-3 | NRK Properties LLC<br>438 Strong Road<br>South Windsor, CT 06074                     |
|     | 16-2 | Scott Guerrette<br>442 Strong Road<br>South Windsor, CT 06074                        |
|     | 37-2 | James T. Poulin<br>432 Strong Road<br>South Windsor, CT 06074                        |
| 86  | 1    | Lynda Tomel Busto<br>434 Strong Road<br>South Windsor, CT 06074                      |
|     | 2    | South Windsor Land Conser. Trust Inc.<br>P.O. Box 415<br>East Windsor Hill, CT 06028 |
|     | 5-3  | Rocky G. Veilleux<br>646 Strong Road<br>South Windsor, CT 06074                      |
|     | 6-4  | Sheryl Smith<br>630 Strong Road<br>South Windsor, CT 06074                           |
|     | 9    | David J. Bell<br>621 Strong Road<br>South Windsor, CT 06074                          |
|     | 10   | Deborah & Karl C. Denfeld<br>643 Strong Road<br>South Windsor, CT 06074              |

Names & Addresses

| Map | Lot   | Address  |
|-----|-------|--|
| 86  | 11    | Philip Blamire<br>595 Strong Road<br>South Windsor, CT 06074             |
|     | 12    | Mario & Rosa DiLoreto<br>61 Candlewood Road<br>Glastonbury, CT 06033     |
|     | 13&14 | John J. Sazinski<br>574 Strong Road<br>South Windsor, CT 06074           |
|     | 15    | Town of South Windsor<br>1540 Sullivan Avenue<br>South Windsor, CT 06074 |
|     | 17    | James T. Poulin<br>430 Strong Road<br>South Windsor, CT 06074            |
|     | 18    | Joseph F. Savinski, Jr.<br>574 Strong Road<br>South Windsor, CT 06074    |
|     | 19    | Conael Family Investment Co. LLC<br>8 McLaren Road<br>Darien, CT 06820   |
|     | 20    | Yolanda D. Olenick<br>532 Strong Road<br>South Windsor, CT 06074         |
|     | 21    | Ryan Stottle<br>518 Strong Road<br>South Windsor, CT 06074               |
|     | 22    | Eric Gilnack<br>500 Strong Road<br>South Windsor, CT 06074               |
|     | 23-2  | Susan M. Thompson<br>488 Strong Road<br>South Windsor, CT 06074          |

Names & Addresses

| Map | Lot   | Address  |
|-----|-------|--|
| 86  | 24-3  | Joseph Masiovecchio<br>478 Strong Road<br>South Windsor, CT 06074                                      |
|     | 25-1A | Robert, Daniel & John Devin<br>460 Strong Road<br>South Windsor, CT 06074                              |
|     | 26    | Diamond Homes LLC &<br>Frontview Homes LLC<br>1131 Tolland Turnpike, Suite 365<br>Manchester, CT 06042 |
| 97  | 7     | Redland Brick<br>P.O. Box 20910<br>Canton, OH 44701-0910   |

Owner/Applicant

Danny & Liza LeGare  
60 Oak Street  
South Windsor, Connecticut 06074  
818-524-9023

Owner

James T. Poulin  
430 Strong Road  
South Windsor, Connecticut 06074

Prepared By

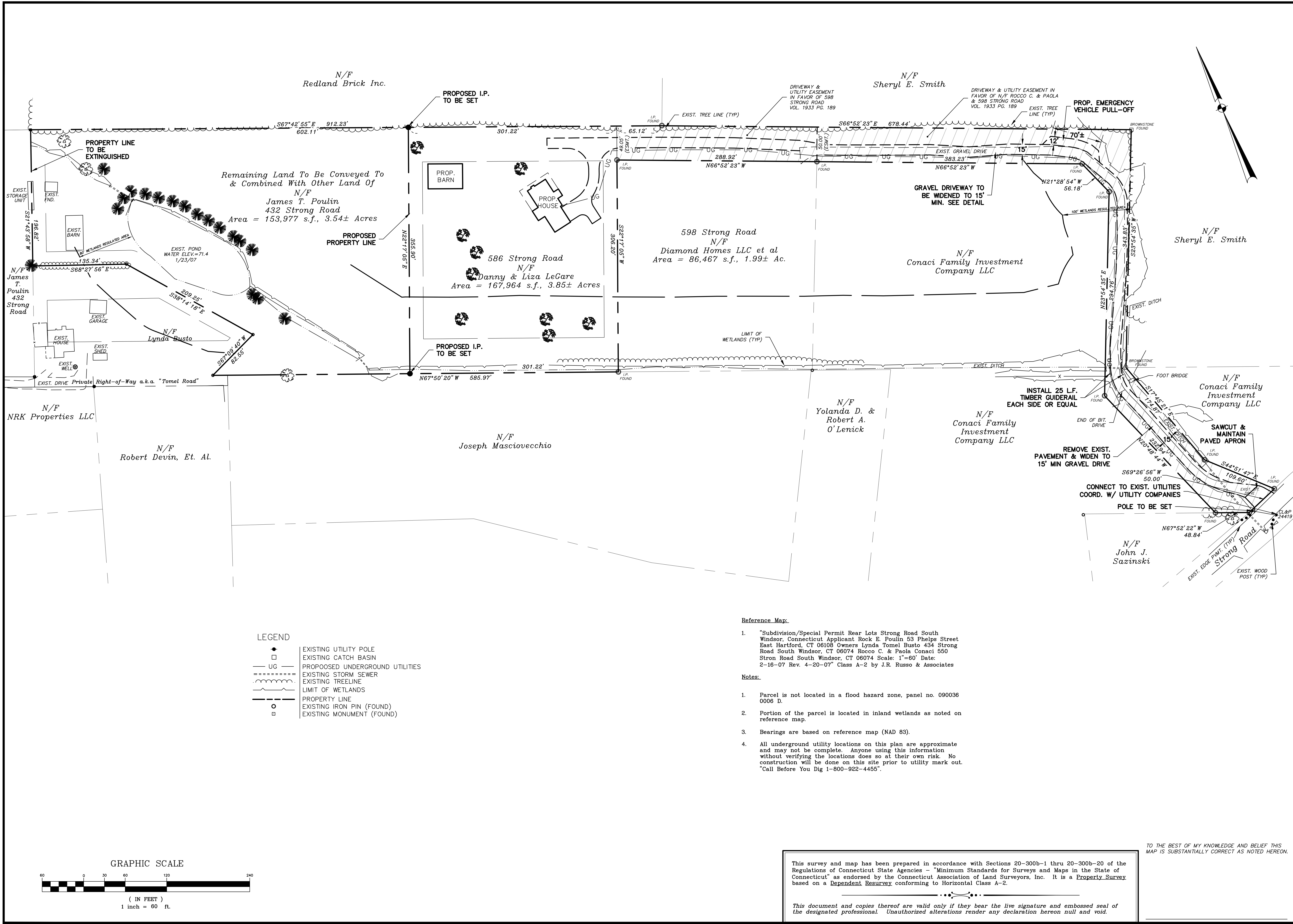


DRAWING INDEX

| SHEET                         | TITLE | SHEET NO. | LATEST REVISION |
|-------------------------------|-------|-----------|-----------------|
| CIVIL                         |       |           |                 |
| COVER SHEET                   |       | 1 of 4    | 2-10-23         |
| LOT LINE RECONFIGURATION PLAN |       | 2 of 4    | 2-10-23         |
| SEPTIC SYSTEM PLAN            |       | 3 of 4    | 2-10-23         |
| DETAIL SHEET                  |       | 4 of 4    | 2-10-23         |

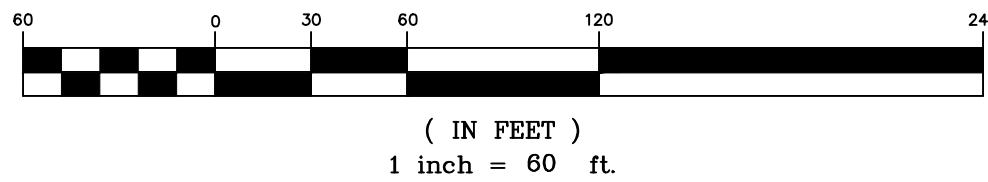


S:\Acad\2022 Civil 3D\2022-104 LeGare - 586 Strong Rd\Russo Drawings\2022-104.dwg, 1:1



- LEGEND
- EXISTING UTILITY POLE
  - EXISTING CATCH BASIN
  - PROPOSED UNDERGROUND UTILITIES
  - EXISTING STORM SEWER
  - EXISTING TREELINE
  - LIMIT OF WETLANDS
  - PROPERTY LINE
  - EXISTING IRON PIN (FOUND)
  - EXISTING MONUMENT (FOUND)

GRAPHIC SCALE



Reference Map:

- "Subdivision/Special Permit Rear Lots Strong Road South Windsor, Connecticut Applicant Rock E. Poulin 53 Phelps Street East Hartford, CT 06108 Owners Lynda Tomei Busto 434 Strong Road South Windsor, CT 06074 Rocco C. & Paola Conaci 550 Stron Road South Windsor, CT 06074 Scale: 1"=60' Date: 2-16-07 Rev. 4-20-07" Class A-2 by J.R. Russo & Associates

Notes:

- Parcel is not located in a flood hazard zone, panel no. 090036 0006 D.
- Portion of the parcel is located in inland wetlands as noted on reference map.
- Bearings are based on reference map (NAD 83).
- All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".

This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Dependent Resurvey conforming to Horizontal Class A-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



Property Of  
**James T. Poulin**  
430 Strong Road  
South Windsor, Connecticut  
and  
**Danny & Liza LeGare**

| REVISIONS  |          |
|------------|----------|
| BY: JU/TAC | CHK: JEU |

Prepared For  
**Danny & Liza LeGare**  
586 Strong Road  
South Windsor, Connecticut  
Map 86 Lot 26 Zone: RR

| Lot Line Reconfiguration Plan |          |
|-------------------------------|----------|
| DATE                          | 2-10-23  |
| SCALE                         | 1"=60'   |
| JOB NUMBER                    | 2022-104 |
| SHEET                         | 2 of 4   |



SUBSURFACE SEWAGE DISPOSAL SYSTEM (SSDS) NOTES:

GENERAL

This system is designed for a 3 bedroom house. Any increase in the number of bedrooms or the installation of a large capacity discharge type bathtub/jacuzzi (over 100 gallon capacity) will require a septic system redesign by the design engineer. A bedroom shall be defined by the definition in section 1.0 of the Technical Standards of the CT Public Health Code.

The soil test results and soil types apply only to the test holes shown and may not be the same for other areas on the site. Soil type, grade and various elevations must be verified by owner or contractor over the entire leaching area during construction.

Foundation dimensions shown on this plan are for site design purposes only. The foundation contractor shall use architectural plans for layout and construction of the building(s) foundation.

Location of existing utilities shown on this plan are approximate and may not be complete, contractor must call before digging for verification 1-800-922-4455.

The SSDS installation must conform to local and state Health Department requirements. Any deviation from the SSDS design as shown hereon must be approved by the design engineer prior to construction.

LOCATION

All parts of the SSDS shall be at least 10 feet from all property lines. In addition, the primary leaching system shall be at least 25 feet from a downgradient property line when MLSS applies.

Non-perforated drainage pipe shall be at least 25 feet from the SSDS unless constructed of gasketed tight pipe as listed on Table 2-C of the Technical Standards of the CT Public Health Code. Tight pipe may be no less than 5 feet from the SSDS as long as the trench is not backfilled with free draining material conforming to CT DOT Form 816 M.02.07.

Potable water and/or irrigation lines which flow under pressure shall be at least 10 feet from the SSDS.

Utility service trenches (underground electric, gas, phone services, etc.) shall be at least 5 feet from the SSDS. When a utility trench is backfilled with free draining material (M.02.07), this distance shall be increased to 25 feet. All utility trenches within 25 feet of the SSDS shall be inspected by the local Health Department prior to burial.

The as-built location of the SSDS shall be measured and recorded by the installer prior to backfilling. Copies of the as-built shall be provided to the local Health Department official and the design engineer.

PIPING

Piping from the building to the septic tank shall be 4" PVC Schedule 40 or approved equal and laid at a minimum slope of 1/4" per foot. Piping leaving the septic tank to the distribution box shall be 4" PVC SDR-35 or approved equal and laid at a minimum slope of 1/8" per foot. Piping located within the leaching trenches shall be perforated 4" PVC SDR-35 or approved equal and laid level or on a grade not more than 2 to 4 inches per one hundred feet.

Cleanouts are required every 75 feet from the building to the septic tank and where a cumulative change in direction greater than 45° occurs, unless a 90° (36" radius) sweep is utilized per Table No. 2 of the Technical Standards of the CT Public Health Code.

SEPTIC TANK

Septic tank capacity shall be at least 250 gallons per bedroom and no less than 1,000 gallons. Garbage grinders are not recommended but if installed, add 250 gallons to required tank capacity. All septic tanks (except tanks in series) shall contain two compartments with 2/3 the required capacity in the first compartment.

Septic tanks shall include minimum 17-inch diameter access holes with removable covers directly over the inlet and outlet pipes. If a tank access hole is more than 12 inches below finished grade, provide 24-inch diameter riser with manhole frame & cover to within 12 inches of finished grade. When the cover over the tank exceeds 42 inches, the tank and risers shall be rated H-20. When the tank is located under vehicular travel areas, the tank, risers and cover assemblies shall be rated for H-20 wheel loadings.

All newly installed tanks shall have an approved non-by-pass effluent filter at the outlet. A list of approved outlet filters can be found in Appendix B of the Technical Standards of the CT Public Health Code.

LEACHING SYSTEM

The contractor is required to use care during construction to keep the leaching area undisturbed until it is staked and approved for installation by the design engineer or Health Department Official.

The bottom of the leaching system must at least 18 inches above the maximum ground water level and four feet above ledge rock. Whenever the design percolation rate is faster than one inch per minute, the minimum separation to maximum groundwater must be increased to 24 inches, and the minimum separation above ledge rock shall be increased to eight feet or distances shall be doubled from any well in accordance with Table No. 1, item A of the Technical Standards of the CT Public Health Code.

The ground surface over the entire SSDS shall be graded and maintained to lead surface water away from the area. Leaching systems shall be covered with a minimum of 6 inches of soil and seeded to prevent erosion over and adjacent to the system.

Select (septic) fill placed within and adjacent to leaching system areas shall be clean sand, or sand and gravel, free from organic matter and foreign substances. The select fill shall contain no material larger than 3", and up to 45% of the dry weight may be retained on the #4 sieve. Material passing the #4 sieve shall be reweighed to verify compliance with the following gradation:

| Sieve Size | % Passing Wet Sieve | % Passing Wet Sieve (Alt.) | % Passing Dry Sieve |
|------------|---------------------|----------------------------|---------------------|
| #4         | 100                 | 100                        | 100                 |
| #10        | 70 - 100            | 70 - 100                   | 70 - 100            |
| #40        | 10 - 50             | 10 - 75                    | 10 - 75             |
| #100       | 0 - 20              | 0 - 10                     | 0 - 5               |
| #200       | 0 - 5               | 0 - 5                      | 0 - 2.5             |

Material that does not meet the dry sieve gradation, is still acceptable if it meets either of the wet sieve gradations above.

Distribution boxes shall be placed level in undisturbed soil or compacted gravel to below frost line.

SSDS DESIGN CRITERIA

NUMBER OF BEDROOMS 3  
MINIMUM SEPTIC TANK CAPACITY 1000 gallons  
PERCOLATION RATE <1.0 min./in.  
MINIMUM EFFECTIVE LEACHING AREA (ELA) 495 sq. ft.  
DEPTH TO RESTRICTIVE LAYER N/A inches  
HYDRAULIC GRADIENT 1.0 %  
RECEIVING SOIL DEPTH N/A inches  
MINIMUM LEACHING SYSTEM SPREAD (MLSS): (HF= N/A) X (FF= N/A) X (PF= N/A) = N/A feet

RECOMMENDED INSTALLATION

SEPTIC TANK CAPACITY 1250 gallons  
LEACHING: 1 ROW = 84 LF DOUBLE INFILTRATORS  
EFFECTIVE LEACHING AREA (ELA) 1X84X5.9SF/LF=495 sq. ft.  
MAX. DEPTH INTO GRADE 1 inches  
SYSTEM LENGTH 84 feet

PERC TEST DATA

Observed by Design Professionals, Inc. 4-11-06

PT#2  
Depth Of Hole: 25.5"  
Pre-soak At: 1:51 p.m. (12")

| Time | Reading (in) | Rate (Min./Inch) |
|------|--------------|------------------|
| 2:17 | 12 1/4       | -                |
| 2:18 | 15 3/4       | 0.28             |
| 2:19 | 18 1/2       | 0.36             |
| 2:20 | 20           | 0.67             |
| 2:21 | 21 1/2       | 0.67             |
| 2:22 | 22 1/2       | 1.0              |
| 2:23 | 24 (Dry)     | 0.67             |

Design Rate: Up To Min./Inch

TEST PIT DATA

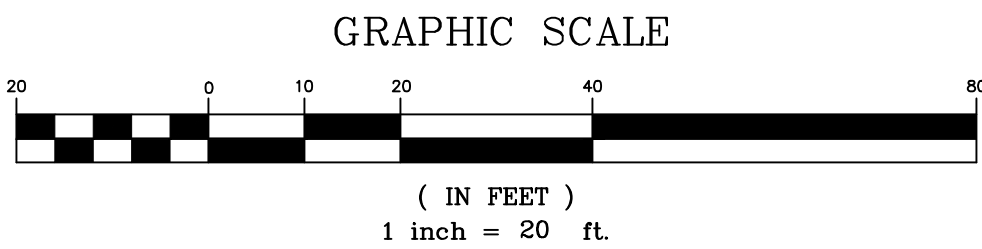
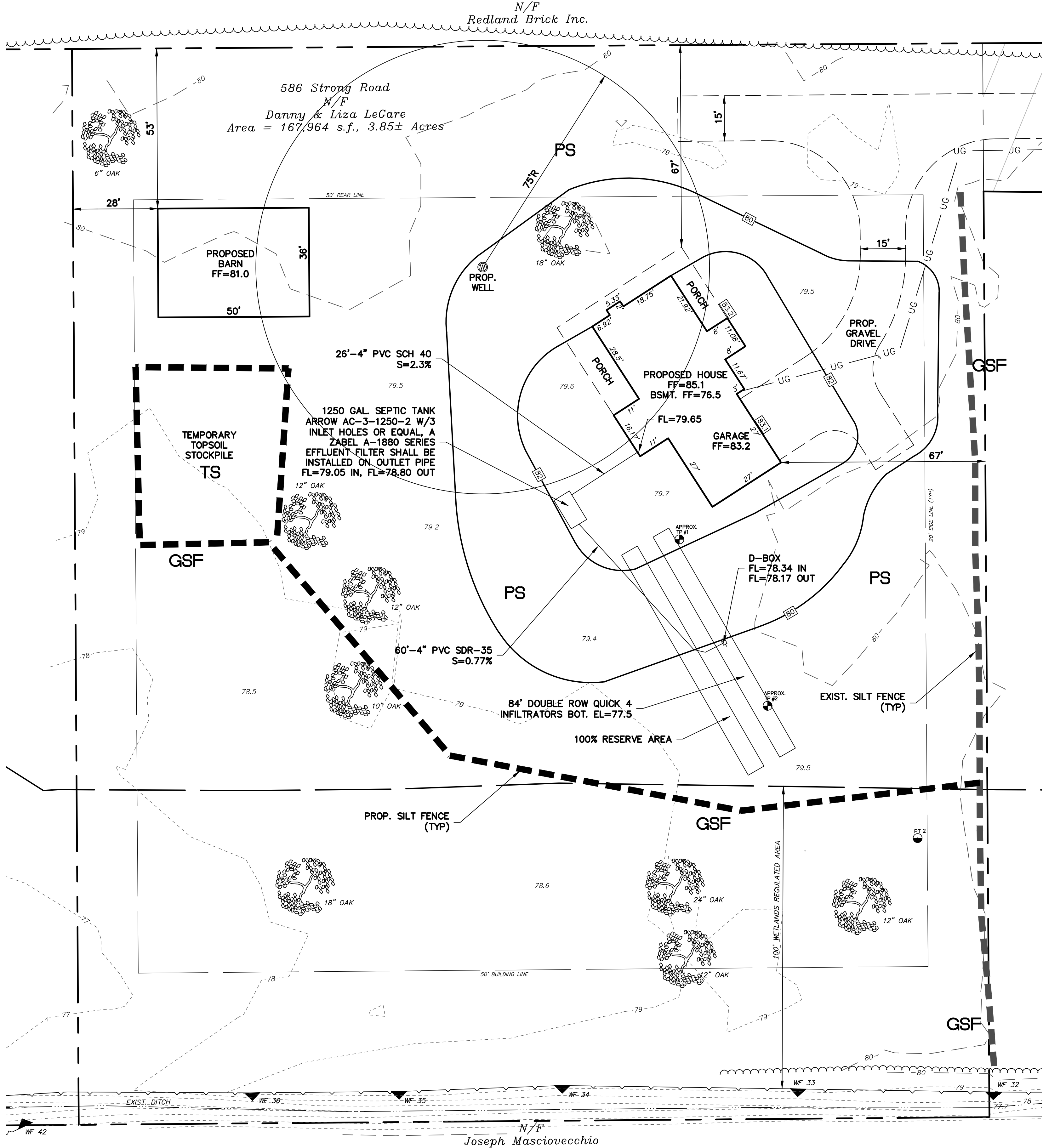
Observed by Town of South Windsor  
10-27-22

TP#1  
0"-8" Topsoil  
8"-18" Tilled Topsoil/Dark Brown  
18"-25" Light Brown Sand  
25"-60" Light Brown Gray Sand  
No Mottling  
No Groundwater  
No Ledge

TP#2  
0"-11" Tilled Topsoil/Agriculture  
11"-19" Light Brown Sand  
19"-65" Light Brown Gray Sand  
No Mottling  
No Groundwater  
No Ledge

LEGEND

|       |                                |
|-------|--------------------------------|
| —●—   | EXISTING UTILITY POLE          |
| —W—   | PROPOSED WATER LINE            |
| —G—   | PROPOSED GAS LINE              |
| —UG—  | PROPOSED UNDERGROUND UTILITIES |
| □     | EXISTING CATCH BASIN           |
| ===== | EXISTING STORM SEWER           |
| —X—   | EXISTING SIGN                  |
| ○     | EXISTING IRON PIN (FOUND)      |
| ⊕     | EXISTING MONUMENT (FOUND)      |
| ----- | EXISTING SPOT GRADE            |
| ----- | PROPOSED SPOT GRADE            |
| ----- | EXISTING CONTOUR               |
| ----- | PROPOSED CONTOUR               |
| ----- | EXISTING TREELINE              |
| ----- | LIMIT OF WETLANDS              |
| ---   | SILT FENCE                     |



This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Property Survey based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

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TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

| AS-BUILT LOCATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEM (SSDS)<br>(TO BE MEASURED BY INSTALLER PRIOR TO BACKFILLING) |   |   |   |   |   |   |   |   |   |    |
|---|---|---|---|---|---|---|---|---|---|----|
| DISTANCE FROM SEPTIC SYSTEM COMPONENT   | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
| BUILDING CORNER "A"   |   |   |   |   |   |   |   |   |   |    |
| BUILDING CORNER "B"   |   |   |   |   |   |   |   |   |   |    |
| BUILDING CORNER "C"   |   |   |   |   |   |   |   |   |   |    |

EROSION & SEDIMENT CONTROL PLAN KEY

|     |                       |
|-----|-----------------------|
| PS  | PERMANENT SEEDING     |
| TS  | TEMPORARY SEEDING     |
| GSF | GEOTEXTILE SILT FENCE |

**RUSSO**  
SURVEYORS • ENGINEERS  
SERVING CT & MA

Property Of  
**James T. Poulin**  
430 Strong Road  
South Windsor, Connecticut  
and  
**Danny & Liza LeGare**

REVISIONS

BY: LF/TAC CHK: JEU

Prepared For  
**Danny & Liza LeGare**  
586 Strong Road  
South Windsor, Connecticut  
Map 86 Lot 26 Zone: RR

Septic System Plan

DATE

2-10-23

SCALE

1"=20'

JOB NUMBER

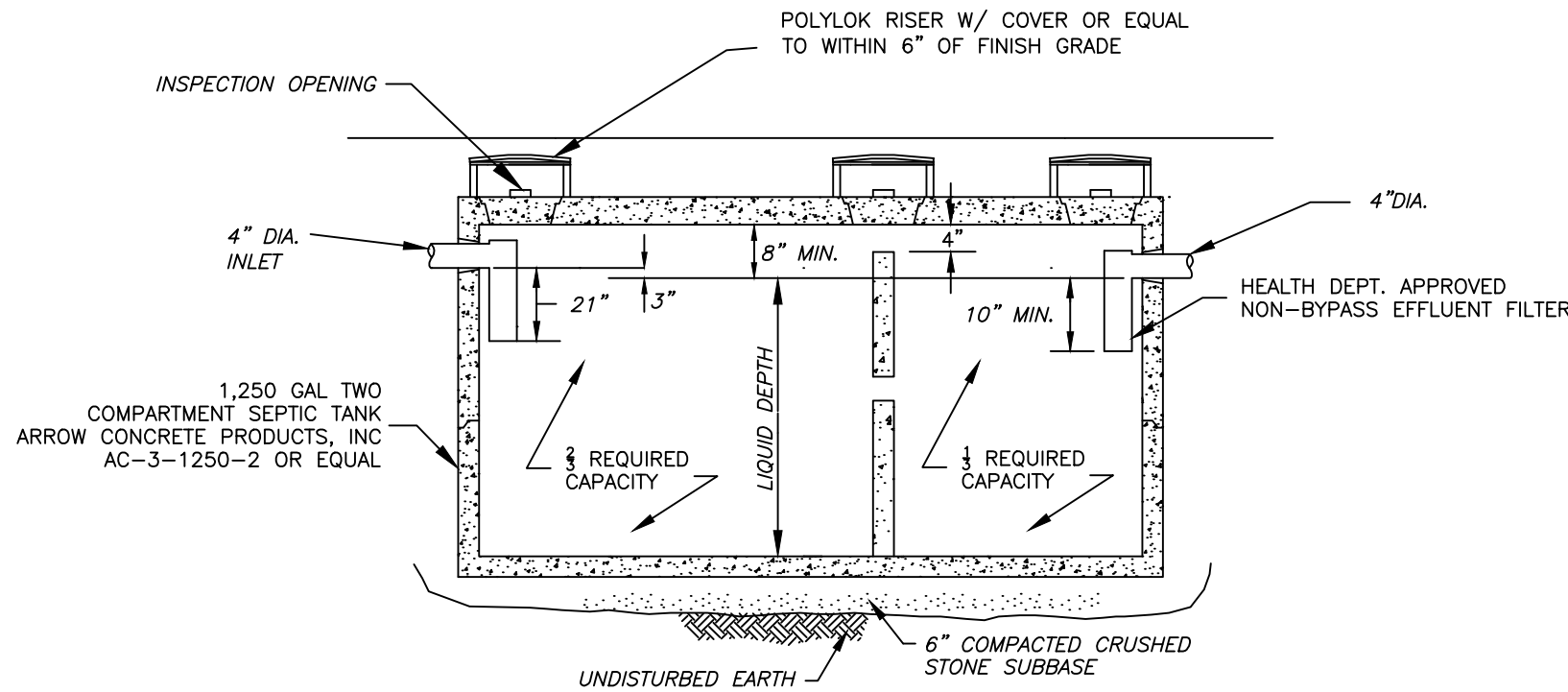
2022-104

SHEET

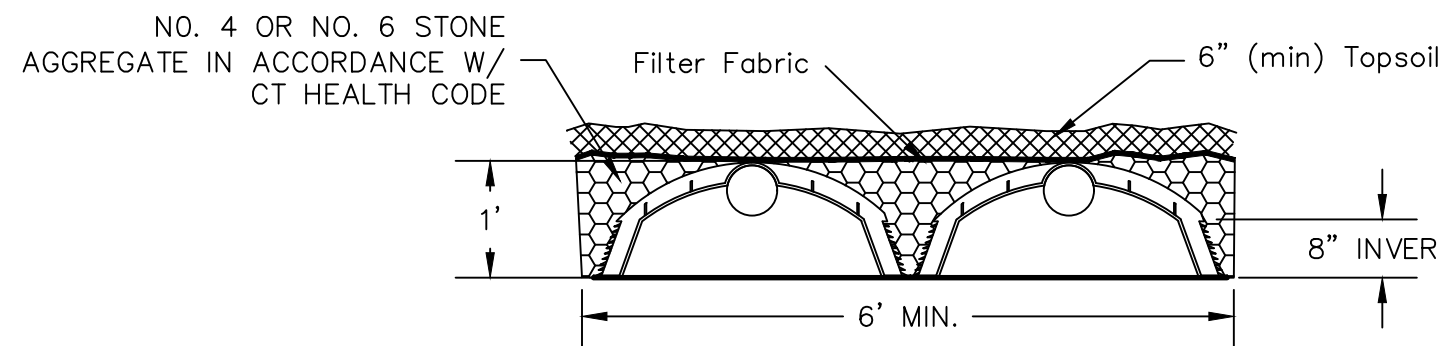
3 of 4



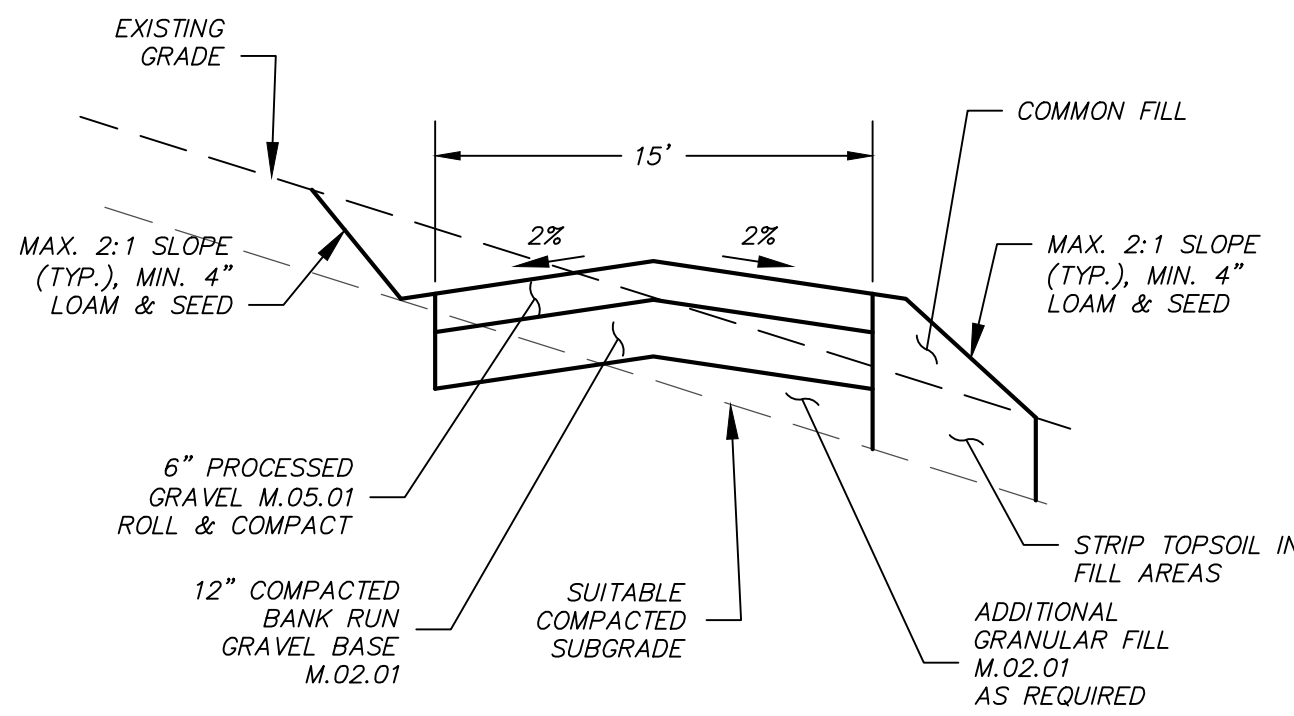
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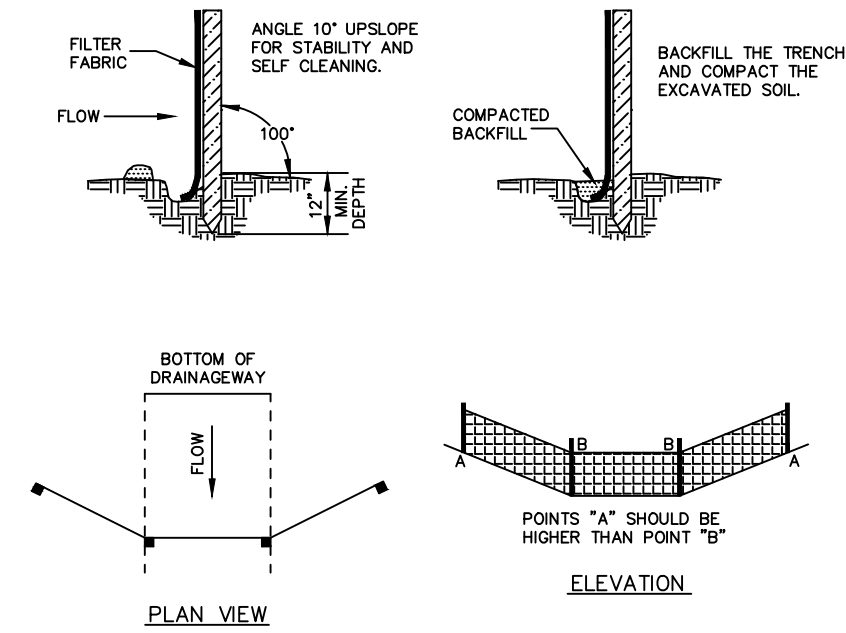
1,250 GAL TWO COMPARTMENT SEPTIC TANK  
NO SCALE



TYPICAL SECTION OF TWIN  
QUICK 4 STANDARD INFILTRATORS  
N.T.S.

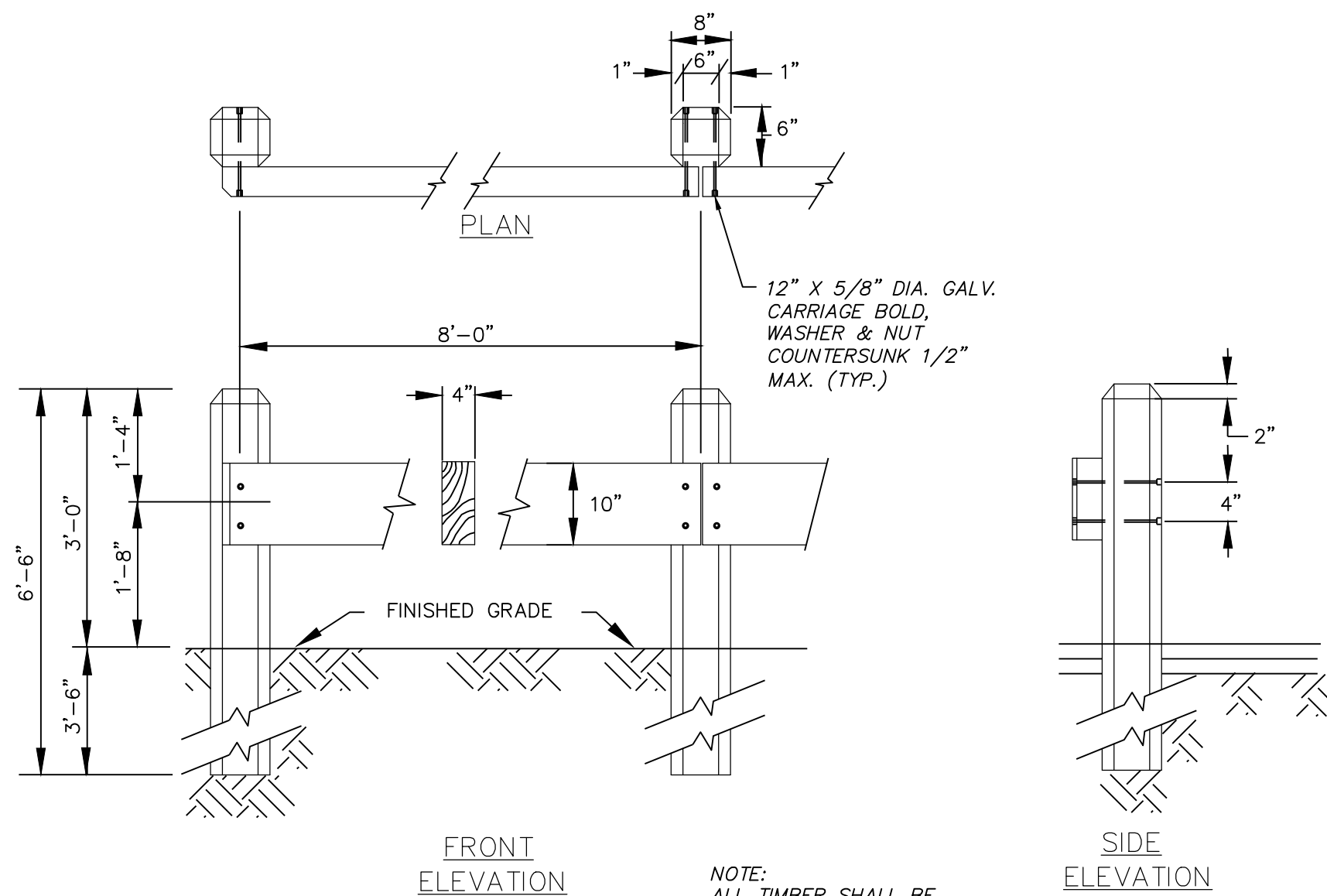


GRAVEL ACCESS DRIVE  
NOT TO SCALE

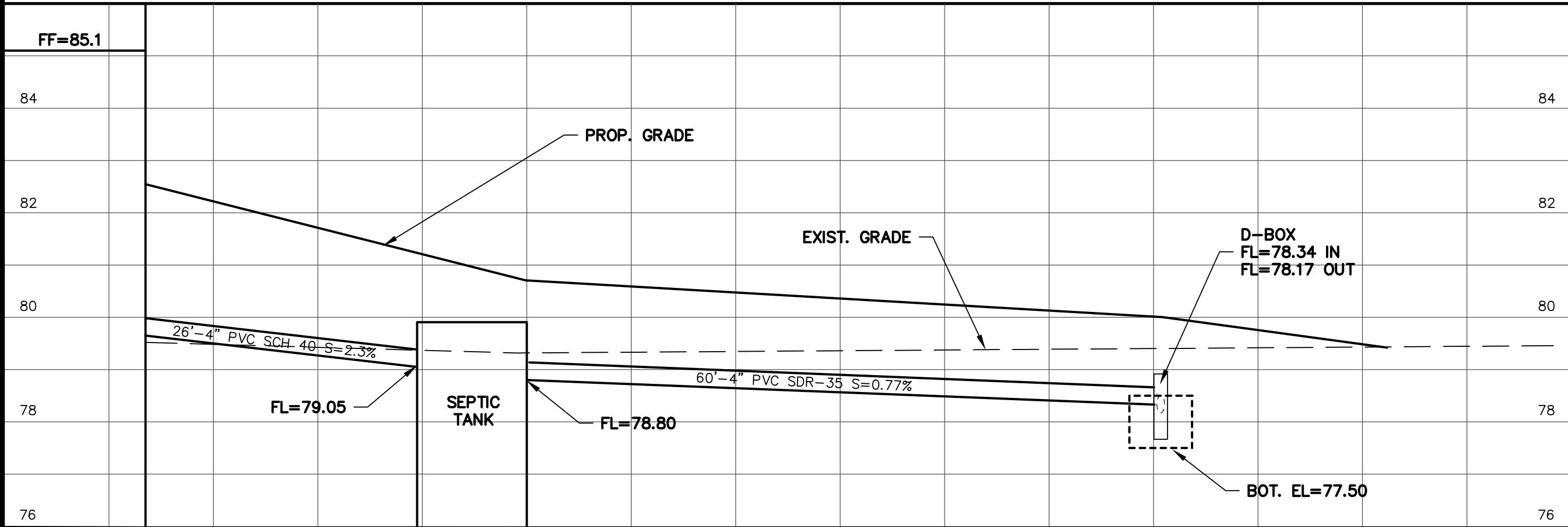


SOURCE: U.S. DEPARTMENT OF AGRICULTURE,  
SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT

PLACEMENT & CONSTRUCTION OF  
A SYNTHETIC FILTER BARRIER  
NOT TO SCALE



TIMBER GUIDE RAIL  
NOT TO SCALE



| REVISIONS  |          |
|------------|----------|
| BY: LF/TAC | CHK: JEU |