

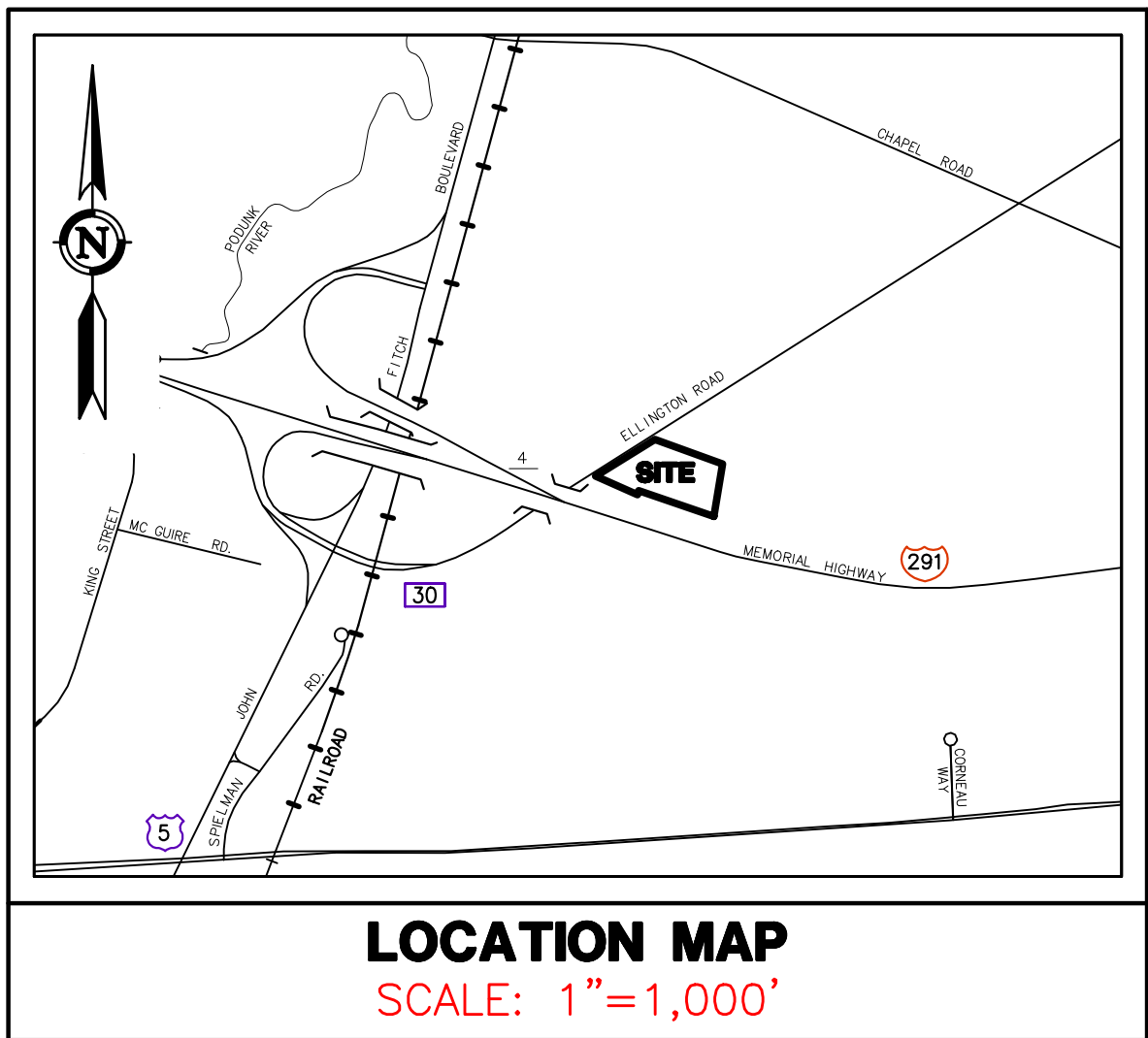
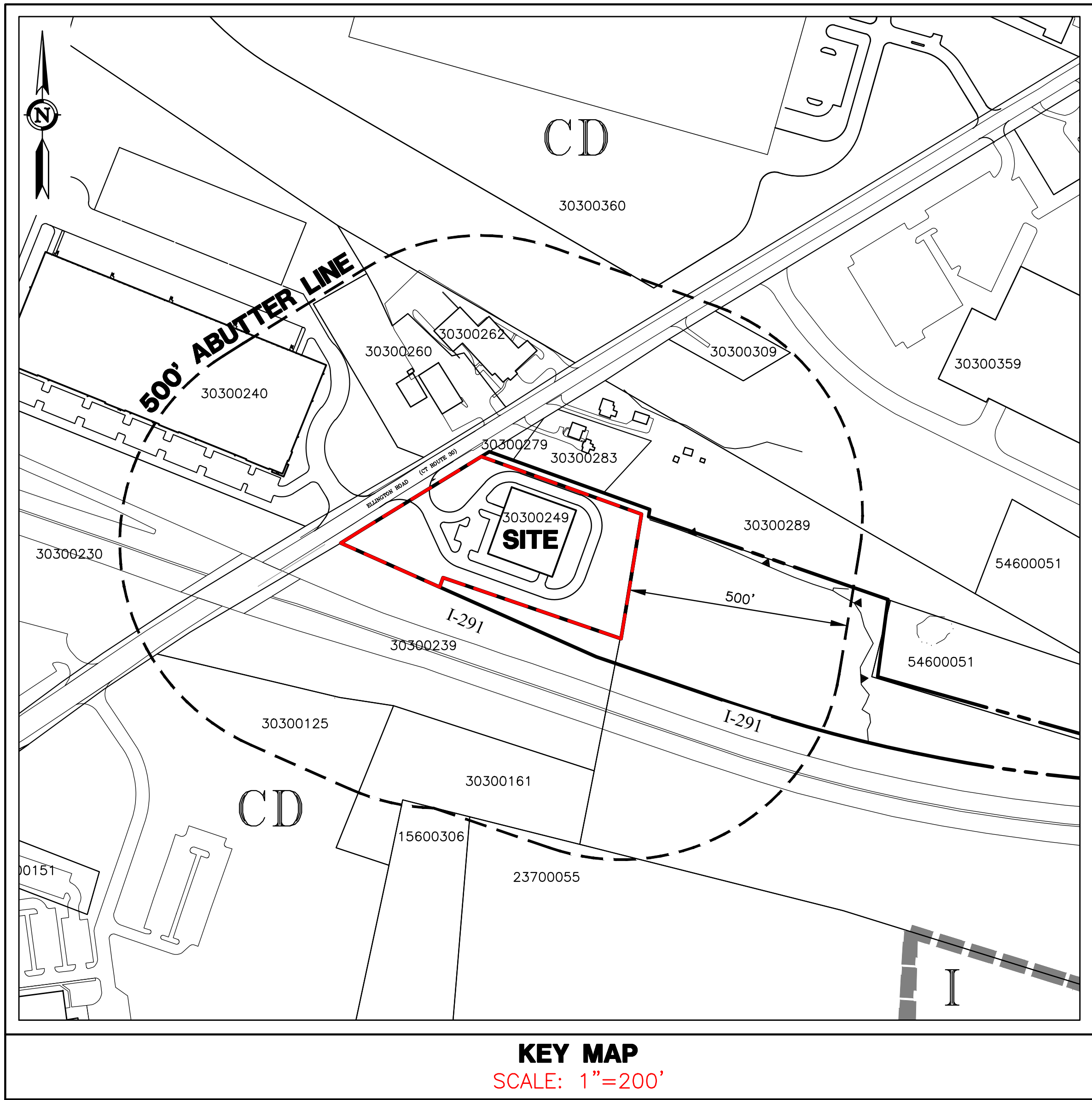
CLIMATE-CONTROLLED VERTICAL SELF STORAGE FACILITY

SITE PLAN OF DEVELOPMENT

249 ELLINGTON ROAD (ROUTE 30) ~ SOUTH WINDSOR ~ CT

GIS PIN: 30300249

N/F 500' ABUTTERS		
PARCEL ID	STREET ADDRESS	OWNER
15600306	306 BURNHAM STREET	ARG STWINCT001 LLC
23700055	55 CORNEAU WAY	BHD 55 REALTY LLC
30300125	125 ELLINGTON ROAD	ARG STWINCT001 LLC
30300161	161 ELLINGTON ROAD	ARG STWINCT001 LLC
30300230	230 ELLINGTON ROAD	CONN STATE OF
30300239	239 ELLINGTON ROAD	CONN STATE OF
30300240	240 ELLINGTON ROAD	SCANNELL PROPERTIES #419 LLC
30300260	260 ELLINGTON ROAD	CASS ENTERPRISES LLC
30300262	262 ELLINGTON ROAD	SCARBORO PROPERTIES LLC
30300279	279 ELLINGTON ROAD	TOWN OF SOUTH WINDSOR
30300283	283 ELLINGTON ROAD	SJD PROPERTY MANAGEMENT LLC
30300289	289 ELLINGTON ROAD	BALLSIEPER DONALD E JR
30300309	309 ELLINGTON ROAD	CONN LIGHT & POWER COMPANY
30300359	359 ELLINGTON ROAD	SCANNELL PROPERTIES #344 LLC
30300360	360 ELLINGTON ROAD	SCANNELL PROPERTIES #418 LLC (64%)



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ZONING TABLE		
ZONE: CD ZONE (I-291 CORRIDOR DEVELOPMENT ZONE)		
ITEM	REQUIRED/ ALLOWED	PROPOSED
LOT AREA	5 AC	3.5 AC*
LOT FRONTAGE	300'	318'
FRONT YARD	50'	95.5'
SIDE YARD	20'	44.2'
REAR YARD	20'	149'
BUILDING HEIGHT	60'/5 STORIES	< 60' / 4 STORIES
LOT COVERAGE	N/A	N/A
IMPERVIOUS COVERAGE	65%	39%
PARKING	29	12**

* EXISTING NON-CONFORMING

PARKING CALCULATION:
SELF STORAGE: 1 SPACE PER 25 UNITS OF STORAGE REQUIRED
(PER ZONING TABLE 6.4.3A)

PROPOSED STORAGE UNITS: 708 UNITS
PROPOSED NUMBER OF SPACES REQUIRED:
708 UNITS x (1 SPACE/25 UNITS) = 28.32
29 PARKING SPACES REQUIRED

**12 SPACES PROVIDED. A PARKING WAIVER HAS BEEN REQUESTED.

**PRELIMINARY
NOT FOR CONSTRUCTION**
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE
REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE
TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
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LANDSCAPE ARCHITECT
& LAND SURVEYOR:**

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500 Plaza
Middletown, CT 06457
860-344-9332
http://ncarchitects.com/

PROPERTY OWNER:
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171 PENNYWISE LANE
GLASTONBURY, CT 06033

APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
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PREPARED FOR:
Mr. Scott Spindler
Highland Capital Holdings, LLC
P.O. Box 1174
Rochester, NY 03866

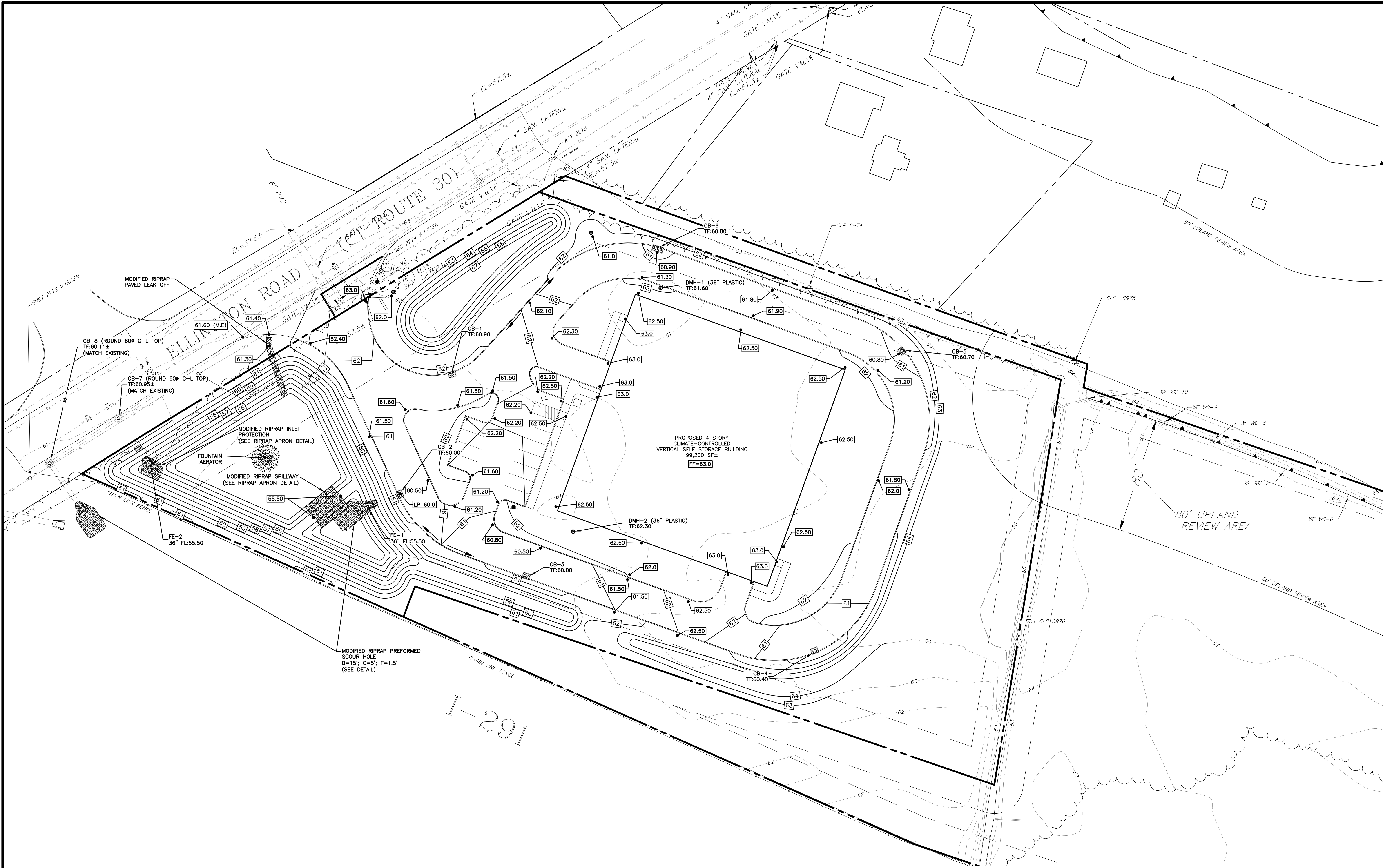
PROJECT NO.: 4303H
DATE: 10/24/22
DRAWN BY: CHM/CHJ
CHECKED BY: JAV
SCALE: AS SHOWN

**CLIMATE-CONTROLLED
VERTICAL SELF
STORAGE FACILITY**
249 ELLINGTON ROAD
SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY
1	10/24/22	P&Z SUBMISSION	

TITLE SHEET

SHEET
C-T1
SHEET 1 OF 13



PROPERTY OWNER:
249 ELLINGTON ROAD LLC
171 PENNYWISE LANE
ROCHESTER, CT 06033

APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, ELLINGTON ROAD (ROUTE 30), 249 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 10/14/22 PREPARED BY DESIGN PROFESSIONALS, INC.

GRADING PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. ALL PROPOSED PAVEMENT SPOT ELEVATIONS INDICATE TOP OF PAVEMENT. TOP OF CURB ELEVATIONS SHALL BE SIX INCHES ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.
3. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY
4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES



GRADING PLAN

NO.	DATE	REVISIONS	BY
1	10/24/22	PAZ SUBMISSION	

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P.O. Box 1174
Rochester, NY 03866

PROJECT NO.:
4303H
DATE:
10/14/22
DESIGN BY:
CHM/CHJ
CHECKED BY:
CHM/CHJ
SCALE:
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design professionals
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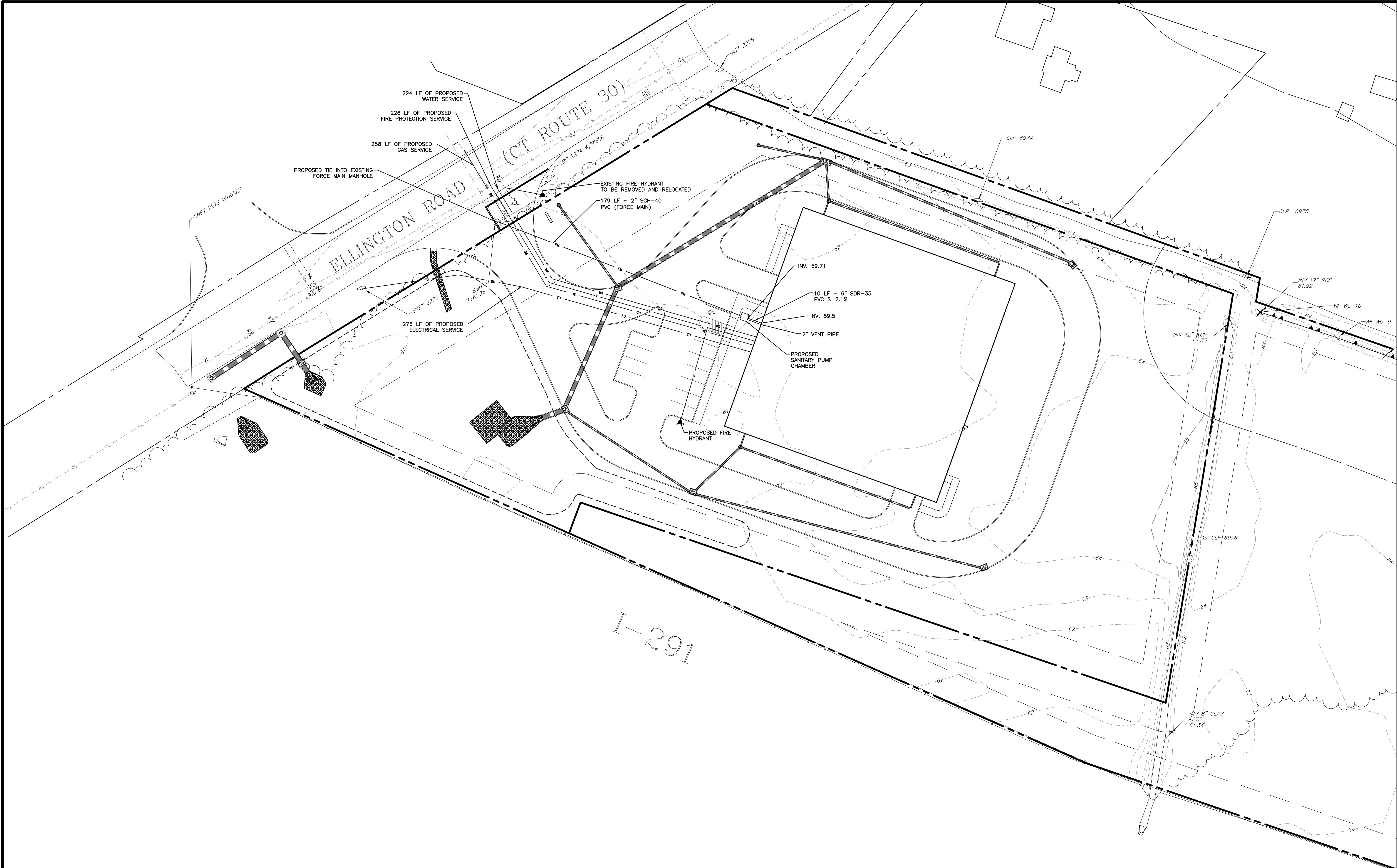


DRAINAGE PLAN NOTES:

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION
2. THIS PLAN SHALL BE USED FOR DRAINAGE PURPOSES ONLY
3. REFER TO NOTES SHEET

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UTILITY PLAN NOTES:
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2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY
3. REFER TO NOTES SHEET

UTILITIES PLAN		REVISIONS		BY	
NO.	DATE	1 10/24/22		PAZ SUBMISSION	

SCALE: 0 15' 30' 60'	
1" = 30'	

SHEET	
C-UT1	
SHEET	5 OF 13

UTILITIES PLAN

SCALE: 0 15' 30' 60'

T = 30'

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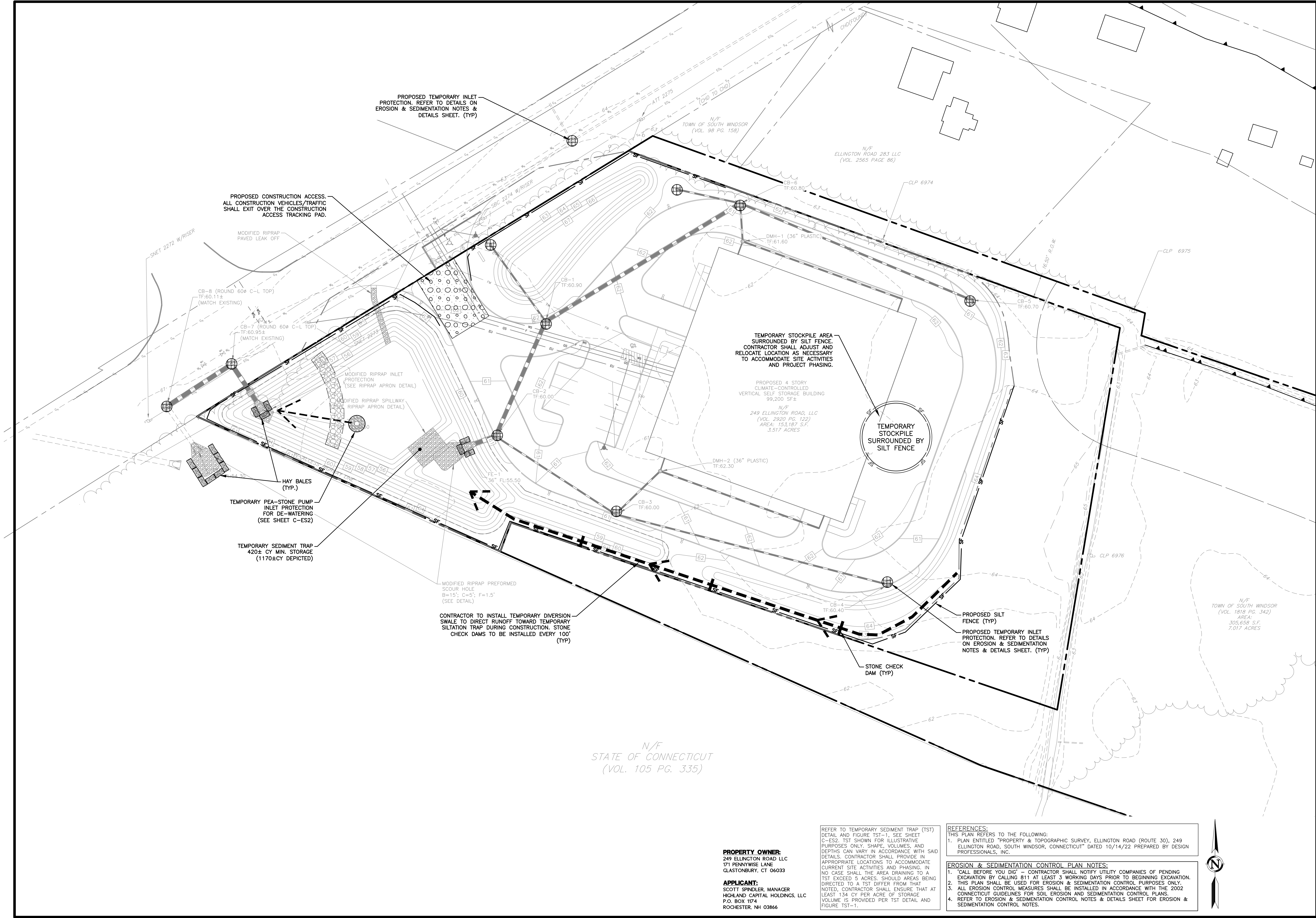
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Rochester, NY 03866

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REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1, SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 134 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.

REFERENCES:
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EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.



EROSION & SEDIMENTATION CONTROL PLAN

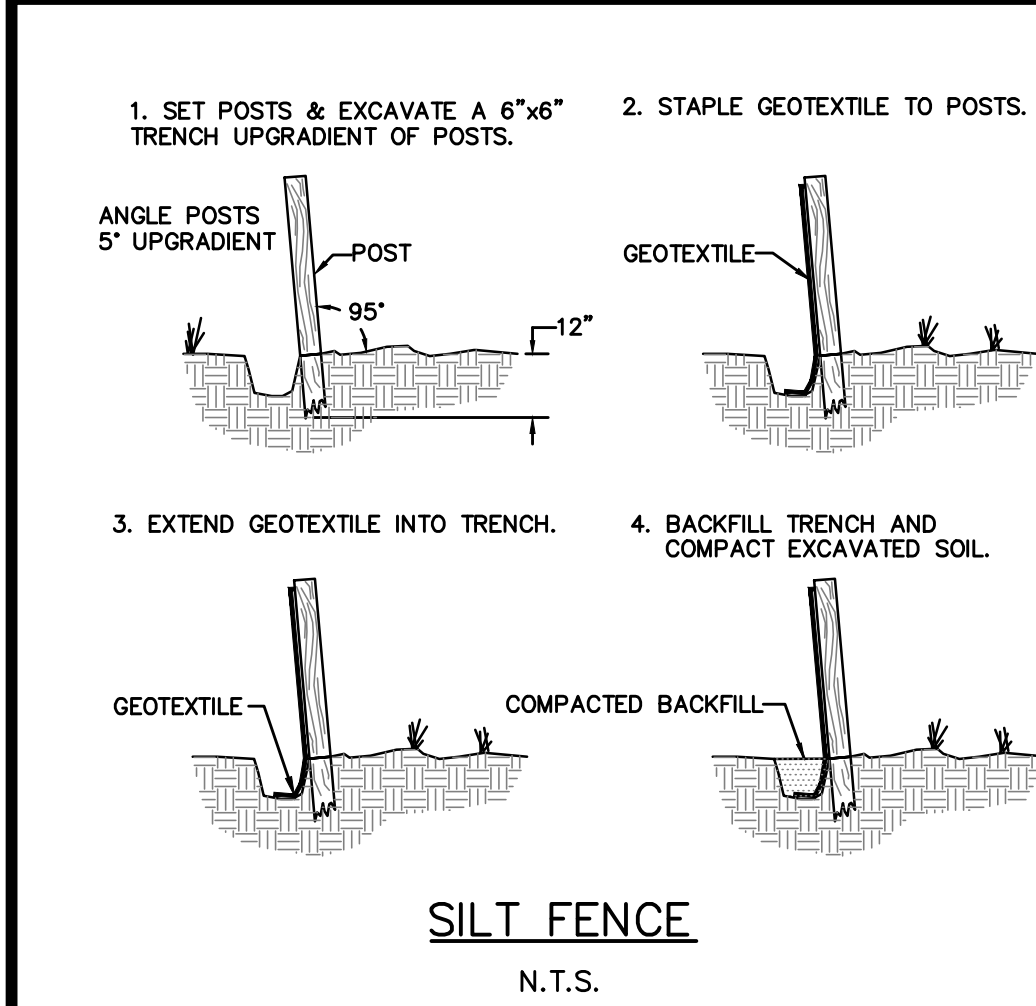
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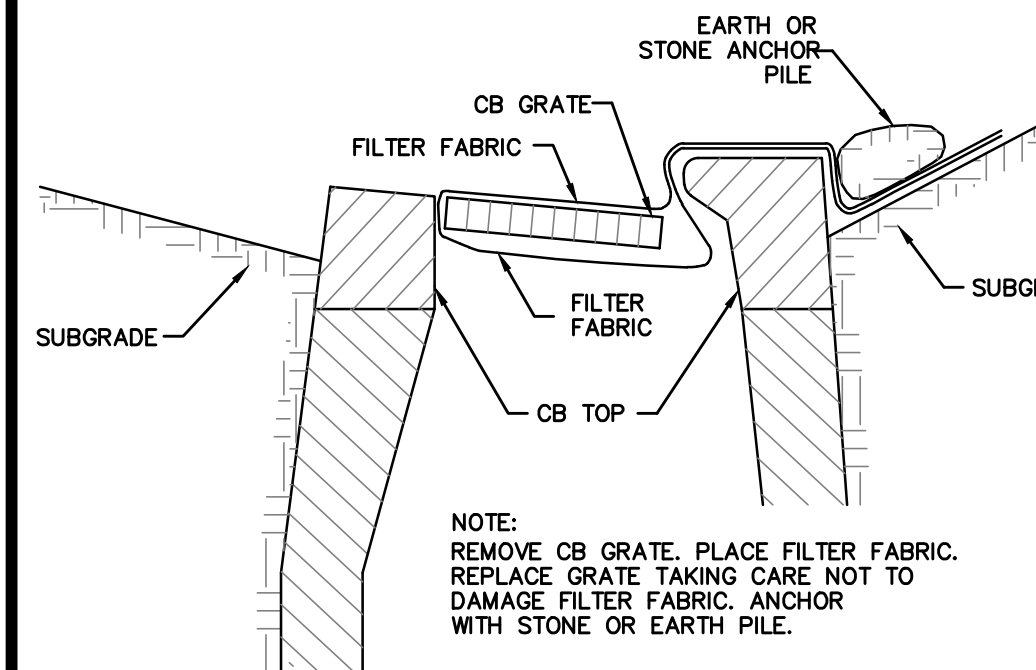
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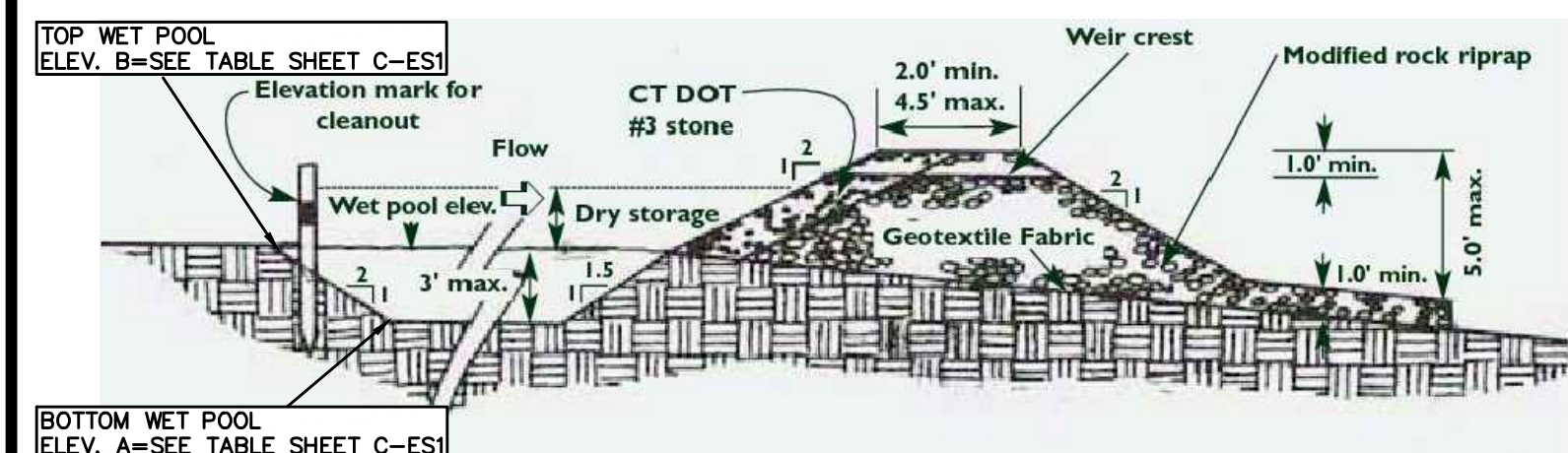
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SILT FENCE
N.T.S.



CATCH BASIN GRATE
SEDIMENTATION CONTROL
N.T.S.



REFER TO 2002 CT GUIDELINES FOR SOIL AND SEDIMENT CONTROL FOR ADDITIONAL DETAIL AND REQUIREMENTS.

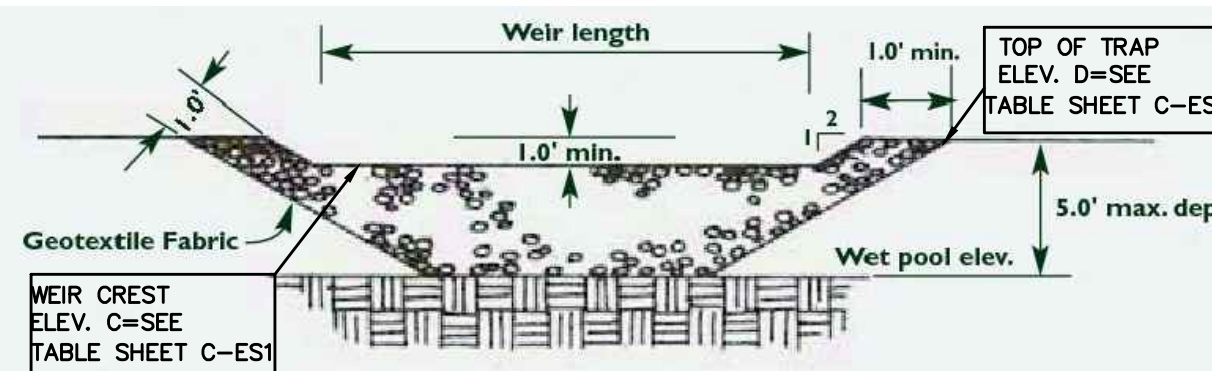


Figure TST-1 Formula for Figuring Temporary Sediment Trap Storage Requirements

Wet storage volume may be approximated as follows:

$$V_w = 0.85 \times A_w \times D_w$$

where,

- V_w = the wet storage volume in cubic feet
- A_w = the surface area of the flooded area at the base of the stone outlet in square feet
- D_w = the maximum depth in feet, measured from the low point in the trap to the base of the stone outlet.

Dry storage volume may be approximated as follows:

$$V_d = \frac{A_w + A_d}{2} \times D_d$$

where,

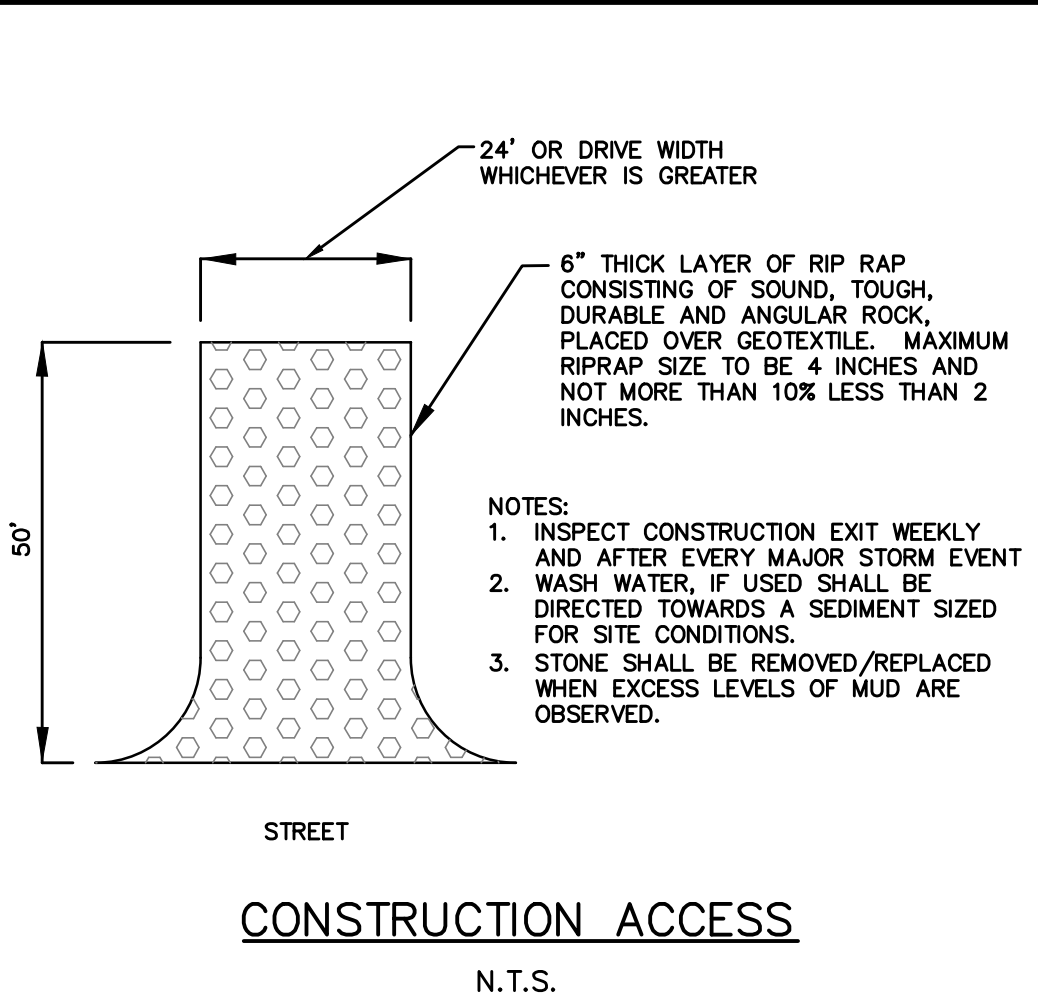
- V_d = the dry storage volume
- A_w = the surface area of the flooded area at the base of the stone outlet in square feet
- A_d = the surface area of the flooded area at the top of the stone outlet (over flow mechanism), in square feet
- D_d = the depth in feet, measured from the base of the stone outlet to the top of the stone outlet

Note: Conversion between cubic feet and cubic yards is: cubic feet x 0.037 = cubic yards.

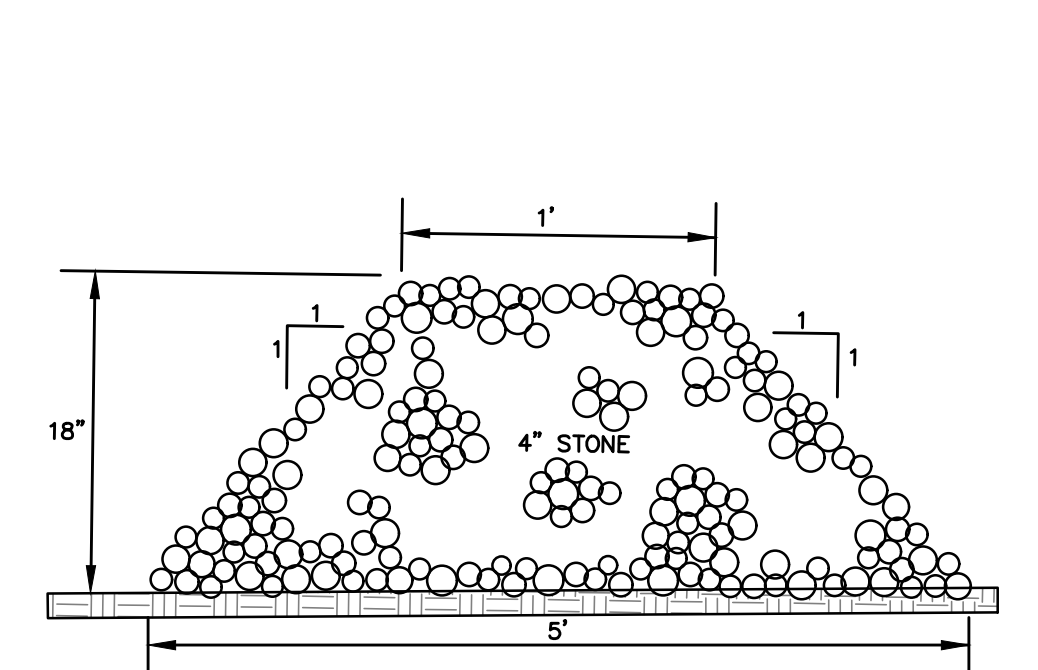
NOTE:

1. VOLUME OF TST SHALL BE A MINIMUM OF 134 CUBIC YARDS PER ACRE DRAINING TO IT. HALF OF THE REQUIRED VOLUME SHALL BE FOR WET STORAGE WHILE THE OTHER HALF SHALL BE FOR DRY STORAGE. REFER TO GENERAL SIZING CALCULATIONS FOR TST BELOW.

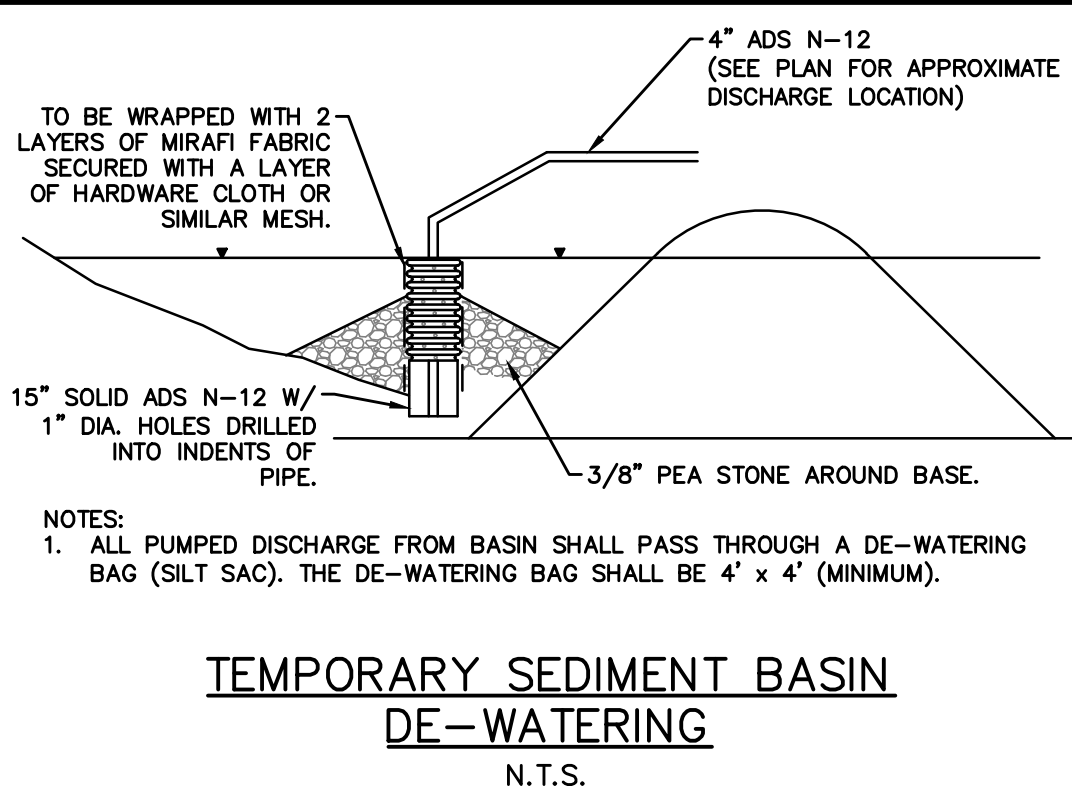
TEMPORARY SEDIMENT TRAP
N.T.S.



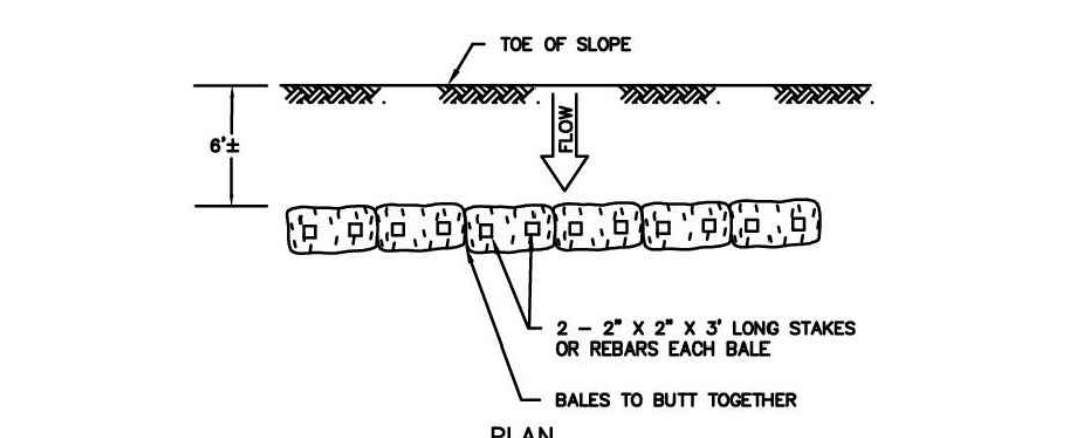
CONSTRUCTION ACCESS
N.T.S.



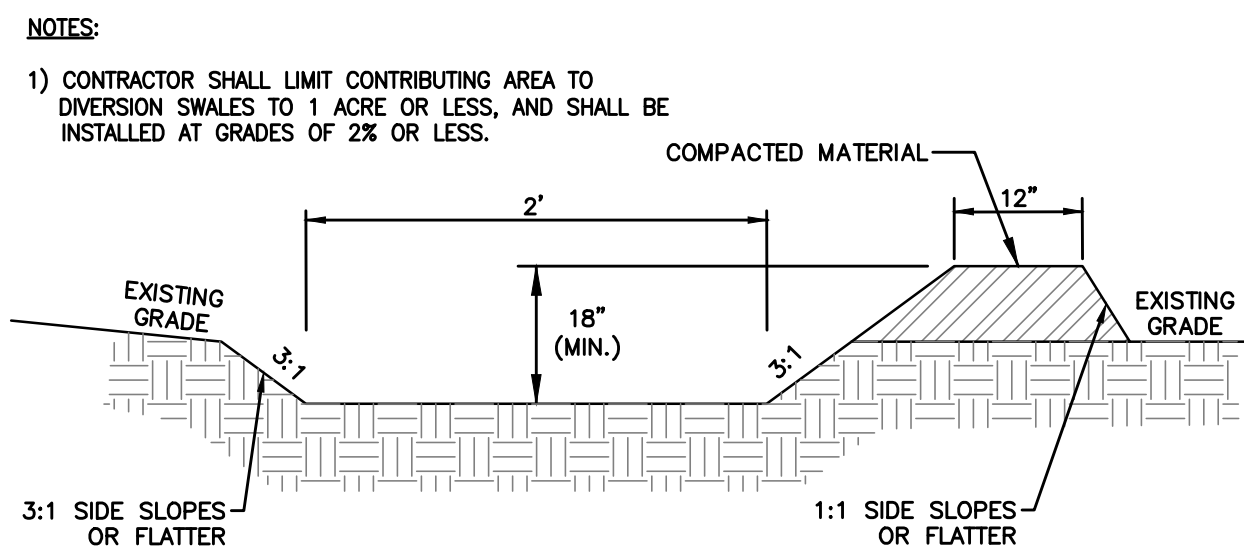
STONE CHECK DAM
N.T.S.



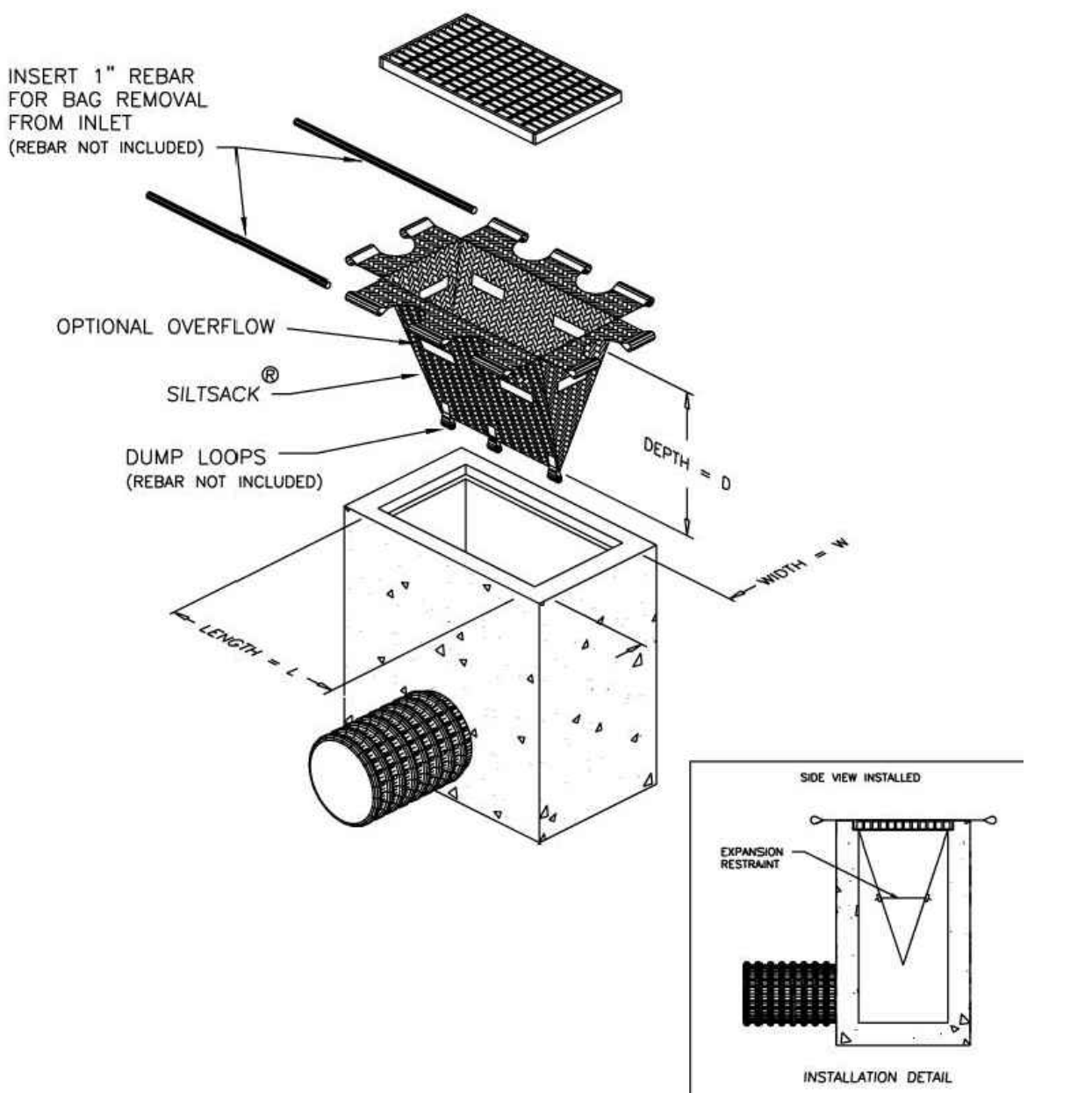
TEMPORARY SEDIMENT BASIN
DE-WATERING
N.T.S.



STRAW BALES FOR EROSION
CONTROL
N.T.S.



TEMPORARY DIVERSION SWALE
N.T.S.



CURB-LESS INLET PROTECTION DETAIL
N.T.S.

- CONSTRUCTION SEQUENCE:**
1. INSTALL CONSTRUCTION ACCESS AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ACCESS WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
 2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
 3. CONSTRUCT TEMPORARY SEDIMENT BASINS AND/OR TRAPS AS SHOWN ON THE PLANS.
 4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
 5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL." (IF DRAINING TO IMPAIRED WATER: ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 14 DAYS. SEED WITHIN 3 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.")
 6. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
 7. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
 8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCH BASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
 9. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
 10. AFTER STABILIZATION OF UPGRADING CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASINS AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
 11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
 12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

CATCH BASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR, ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

OUTLET STRUCTURE: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES. IN THE EVENT OF A MAJOR RAINFALL, (0.5 INCHES OF RAIN OR MORE) THE OUTLET STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR OBSTRUCTING ITEMS.

SEDIMENT FOREBAYS: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

WATER QUALITY BASIN: SHALL BE INSPECTED TWICE PER YEAR, ALL WOODY, NON LANDSCAPE GROWTH SHALL BE REMOVED. ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABILIZED SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF THE BASIN OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIATED IMMEDIATELY. THE BASIN SHALL BE MONITORED TO ASSURE PROPER DEWATERING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DEWATER/EMPTY WITH 72 HOURS AFTER A STORM EVENT. IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIOD, THE BOTTOM OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPLACE WITH 4" OF LOAM AND SEED.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM (WEEKLY CONSTRUCTION REPORTS):

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINFALL, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

EROSION & SEDIMENTATION CONTROL NARRATIVE

1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH:	RATE:
STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL RYEGRASS	1.0# / 1000 S.F.
7. CONTRACTOR SHALL CLEAN CATCH BASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORM WATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.

**PROJECT
CONTACT INFO:**

SCOTT SPINDLER
(978) 590-7841

PROPERTY OWNER:
249 ELLINGTON ROAD LLC
171 PENNYWISE LANE
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APPLICANT:
SCOTT SPINDLER, MANAGER
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10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
 11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
 12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
 13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
 14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
 15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
 16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
 17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
 18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.
- ESTIMATED CONSTRUCTION START DATE - SPRING 2023
ESTIMATED COMPLETION DATE - SPRING 2024

CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVEL WAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATER BODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVEL WAYS TO KEEP THE TRAVEL WAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NON-ASPHALTIC, NONTXOIC TO HUMAN, ANIMAL, AND PLANT LIFE, NON-CORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

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PREPARED FOR:
Mr. Scott Spindler
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P.O. Box 1174
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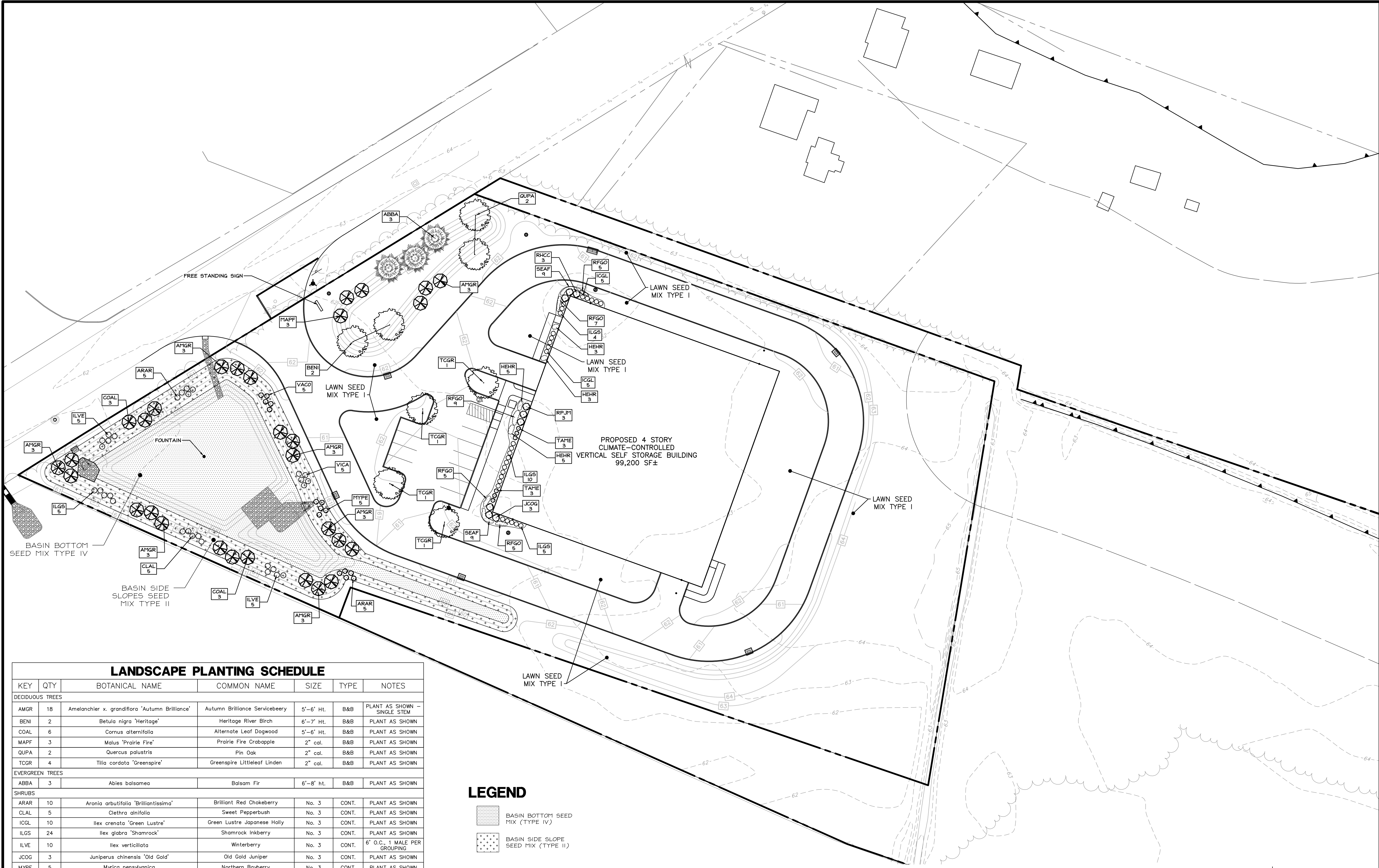
PROJECT NO.: 4303H
DATE: 10/14/22
DESIGN BY: CAM/CHJ
CHECKED BY: CAM/CHJ
SCALE: N.T.S.

**CLIMATE-CONTROLLED
VERTICAL SELF
STORAGE FACILITY**
249 ELLINGTON ROAD
SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY
1	10/24/22	PAZ SUBMISSION	

**EROSION & SEDIMENTATION
DETAILS & NOTES**

SHEET
C-ES2
SHEET 7 OF 13



LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
AMGR	18	Amelanchier x. grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	5'-6' Ht.	B&B	PLANT AS SHOWN - SINGLE STEM
BENI	2	Betula nigra 'Heritage'	Heritage River Birch	6'-7' Ht.	B&B	PLANT AS SHOWN
COAL	6	Cornus alternifolia	Alternate Leaf Dogwood	5'-6' Ht.	B&B	PLANT AS SHOWN
MAPF	3	Malus 'Prairie Fire'	Prairie Fire Crabapple	2" cal.	B&B	PLANT AS SHOWN
QUPA	2	Quercus palustris	Pin Oak	2" cal.	B&B	PLANT AS SHOWN
TCGR	4	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" cal.	B&B	PLANT AS SHOWN
EVERGREEN TREES						
ABBA	3	Abies balsamea	Balsam Fir	6'-8' ht.	B&B	PLANT AS SHOWN
SHRUBS						
ARAR	10	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	No. 3	CONT.	PLANT AS SHOWN
CLAL	5	Clethra alnifolia	Sweet Pepperbush	No. 3	CONT.	PLANT AS SHOWN
ICGL	10	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	No. 3	CONT.	PLANT AS SHOWN
ILGS	24	Ilex glabra 'Shamrock'	Shamrock Inkberry	No. 3	CONT.	PLANT AS SHOWN
ILVE	10	Ilex verticillata	Winterberry	No. 3	CONT.	6" O.C., 1 MALE PER GROUPING
JCOG	3	Juniperus chinensis 'Old Gold'	Old Gold Juniper	No. 3	CONT.	PLANT AS SHOWN
MYPE	5	Myrica pensylvanica	Northern Bayberry	No. 3	CONT.	PLANT AS SHOWN
RHCC	3	Rhododendron catawbiense 'Chionoides'	Chionoides Rhododendron	No. 3	CONT.	PLANT AS SHOWN
RPJM	3	Rhododendron 'PJM Compactum'	Compact PJM Rhododendron	No. 3	CONT.	PLANT AS SHOWN
TAME	6	Taxus x media 'Densiformis'	Dense Spreading Yew	No. 3	CONT.	PLANT AS SHOWN
VACO	5	Vaccinium corymbosum	High Bush Blueberry	No. 3	CONT.	PLANT AS SHOWN
VICA	5	Viburnum cassinoides	Witherod Viburnum	No. 3	CONT.	PLANT AS SHOWN
PERENNIALS						
HEHR	16	Hemerocallis 'Happy Returns'	Happy Returns Daylily	No. 1	CONT.	18" O.C.
RFGO	31	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-eyed Susan	No. 1	CONT.	2" O.C.
SEAF	18	Sedum spectabile 'Autumn Fire'	Autumn Fire Stonecrop	No. 1	CONT.	2' O.C.

LEGEND

- BASIN BOTTOM SEED MIX (TYPE IV)
- BASIN SIDE SLOPE SEED MIX (TYPE II)

LANDSCAPING NOTES:

- PER ZONING REGULATION TABLE 6.4.6A PARKING AREAS WITH FEWER THAN 30 PARKING SPACES REQUIRE 5% OF THE INTERIOR PARKING AREA TO BE LANDSCAPED AND ONE TREE FOR EACH 10 PARKING SPACES. ALSO, PENINSULA PLANTING AREAS MUST CONTAIN AT LEAST ONE TREE TO COUNT TOWARD INTERIOR LANDSCAPE REQUIREMENT.
- 2 TREES ARE REQUIRED PER THE 12 PARKING SPACES PROPOSED AND 1 TREE PER LANDSCAPE PENINSULA AREA. 4 TREES ARE PROVIDED, ONE TREE IN EACH OF THE PARKING PENINSULA AREAS. 5% OF THE PARKING AREAS IS AN AREA OF 30% SF. 1,420 SF OF LANDSCAPED ISLANDS ARE PROVIDED.

PROPERTY OWNER:
249 ELLINGTON ROAD LLC
171 PENNYWISE LANE
GLASTONBURY, CT 06033

APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866

REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
- PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, ELLINGTON ROAD (ROUTE 30), 249 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 10/14/22 PREPARED BY DESIGN PROFESSIONALS, INC.

LANDSCAPE PLAN NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.
- REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

CLIMATE-CONTROLLED
VERTICAL SELF
STORAGE FACILITY
249 ELLINGTON ROAD
SOUTH WINDSOR, CONNECTICUT

REVISIONS
NO. DATE BY
1 10/24/22 PAZ SUBMISSION

LANDSCAPE PLAN
SHEET 8 OF 13

PREPARED FOR
Mr. Scott Spindler
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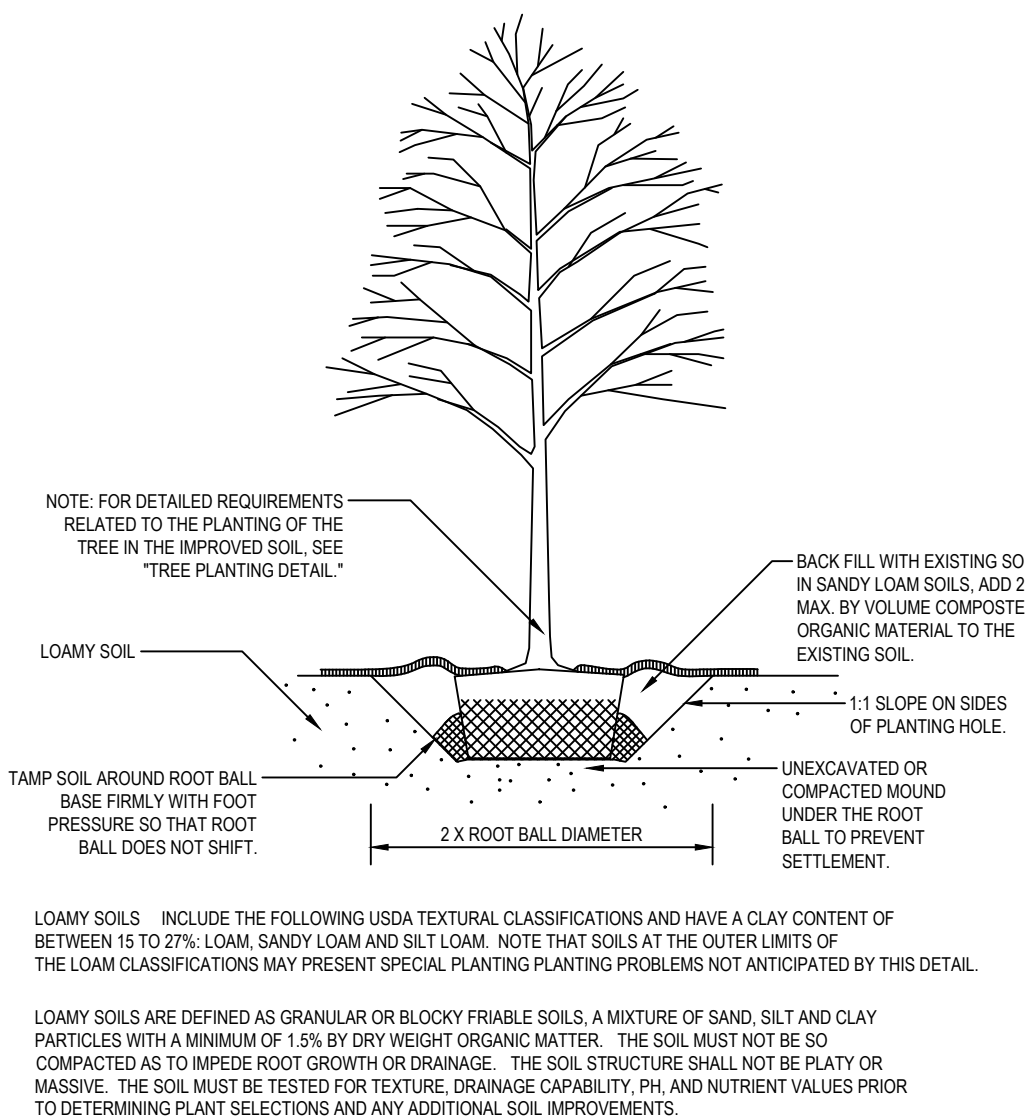
SEEDING MIXTURE TYPE I (LAWN AREAS)
BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
CHESTNUT RED FESCUE 30% OF MIXTURE
PERENNIAL RYEGRASS 20% OF MIXTURE
APPLICATION RATE: 450 LBS. PER 1,000 SF.

SEEDING MIXTURE TYPE II (BASIN FLOORS)
RETENTION BASIN WILLOWITE MIX - URRYS-27
By Ernst Conservation Seeds, 9006 N. Mercer Pike, Meadville, PA 16335 (800) 873-3131
SEEDING MIXTURE TYPE III (SLOPE SLOTTING)
SEEDING MIXTURE TYPE IV (BASIN BOTTOMS)
SLOPE AND BASIN MIX - URRYS-27
By Ernst Conservation Seeds, 9006 N. Mercer Pike, Meadville, PA 16335 (800) 873-3131
APPLICATION RATE: 500 LBS PER 1,000 SF.

BASIN SIDE SLOPES SHALL HAVE A MINIMUM OF 6" OF TRACKED/ TOPSOIL UNLESS OTHERWISE NOTED.
5. DISCHARGING RUNOFF FROM THE SLOPE SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO
DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.

SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE I) SHALL BE BY HYDROSEEDING AND TOPDRESSING.
6. SEEDING OF BASIN FLOORS (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND TOPDRESSING.
TO COMBED 2000 AND APPLIED AT THE RATE OF 450 LBS. PER ACRE
7. SEEDING OF BASIN FLOORS SHALL BE BY HYDROSEEDING AND TOPDRESSING.
GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF

- 1 ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY
- 2 THE TRUNK OR THE TREE.
- 3 ALL TREES SHALL BE COMPLETELY REMOVED ONCE THE
- 4 TREE HAS BEEN PLACED IN THE PLANTING AREA, BURLAP SHALL BE
- 5 REMOVED AND THE TREE SHALL BE PLACED IN THE PLANTING AREA
- 6 WITH ALL NINE BASKETS SHALL BE CUT AND THE UPPER 2/3 REMOVED
- 7 AND THE TREE SHALL BE PLACED IN THE PLANTING AREA.
- 8 ALL TREES SHALL BE FRESHLY DUG WITHIN 30 DAYS OF DELIVERY
- 9 TO THE PLANTING AREA.
- 10 ALL TRUNK, ROPE OR ANY OTHER OBJECTS AROUND THE ROOT BALL
- 11 SHALL BE REMOVED.
- 12 ALL EXCAVATION OF TWO TIMES THE DIAMETER OF THE ROOT BALL
- 13 SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE
- 14 LESS THAN THE DIAMETER OF THE ROOT BALL. THE EXCAVATION SHALL BE
- 15 MEASURED FROM THE ROOT FLAIR ON THE TRUNK TO THE BOTTOM OF
- 16 THE ROOT BALL.
- 17 ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED
- 18 SITE.
- 19 WHEN BACK FILLING TREES, GROWING MEDIUM SHALL BE WORKED IN
- 20 TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO
- 21 COMPROMISE THE ROOT BALL.
- 22 THE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES
- 23 ABOVE GRADE.
- 24 WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE.
- 25 TREES SHALL BE PROTECTED FROM ANY DAMAGE TO THE TRUNK.
- 26 ALL TREES SHALL HAVE A SINGLE CENTRAL UNIFORM LEADER.
- 27 TREES SHALL NOT BE STAKED OR GUYED UNLESS DICTATED BY THE
- 28 PLANTING AREA.
- 29 THE DEPTH OF ALL MULCH SHALL NOT EXCEED MORE THAN TWO
- 30 INCHES.
- 31 ALL TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED.
- 32 ALL TREES SHALL BE PERFORMED UNLESS DIRECTED BY THE TREE
- 33 PLANTING.
- 34 NO LITTERS OR WATER POLYESTERS SHALL BE APPLIED AT THE



WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
 TREES UP TO 65 MM (2.5 IN.) CALIPER - 14 GAUGE
 TREES 65 MM (2.5 IN.) TO 75 MM (3 IN.) CALIPER - 12 GAUGE

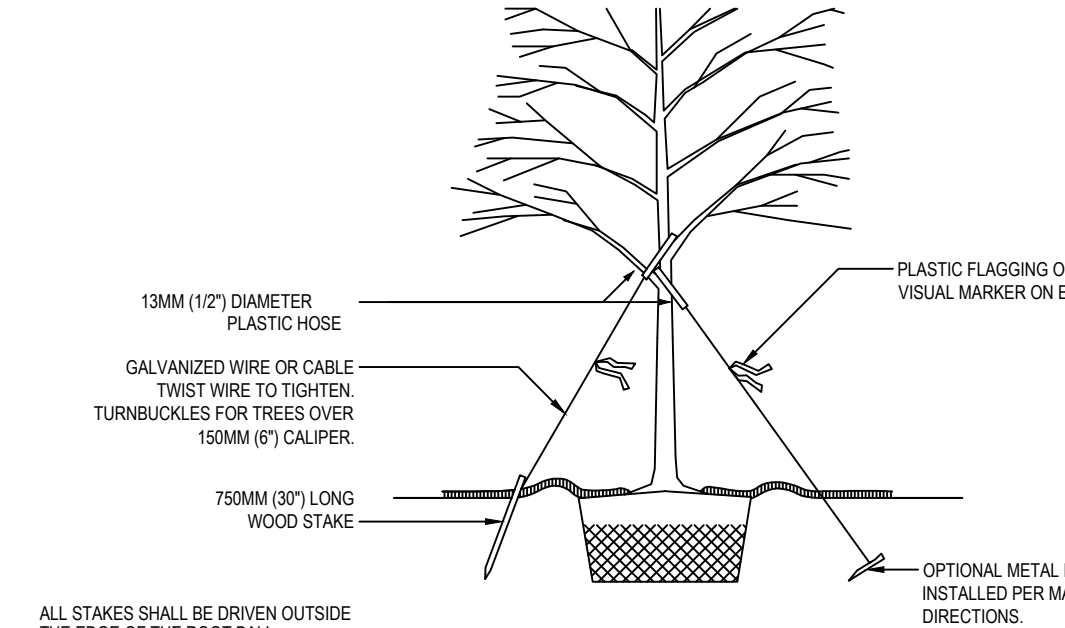
TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 3MM (1/8 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

13MM (0.5") DIAMETER PLASTIC HOSE
 GALVANIZED WIRE OR CABLE
 TWIST WIRE TO TIGHTEN

2"x2" HARDWOOD STAKES OR OTHER APPROVED STAKE MATERIAL
 PAINT TOP 6" OF STAKES ORANGE FOR VISIBILITY

125MM (1/2")

NOTE: ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.



TWO-WALLED PLASTIC SHEETING OR TREE SHELTER MATERIAL, APPLIED FROM TRUNK FLARE TO FIRST BRANCH

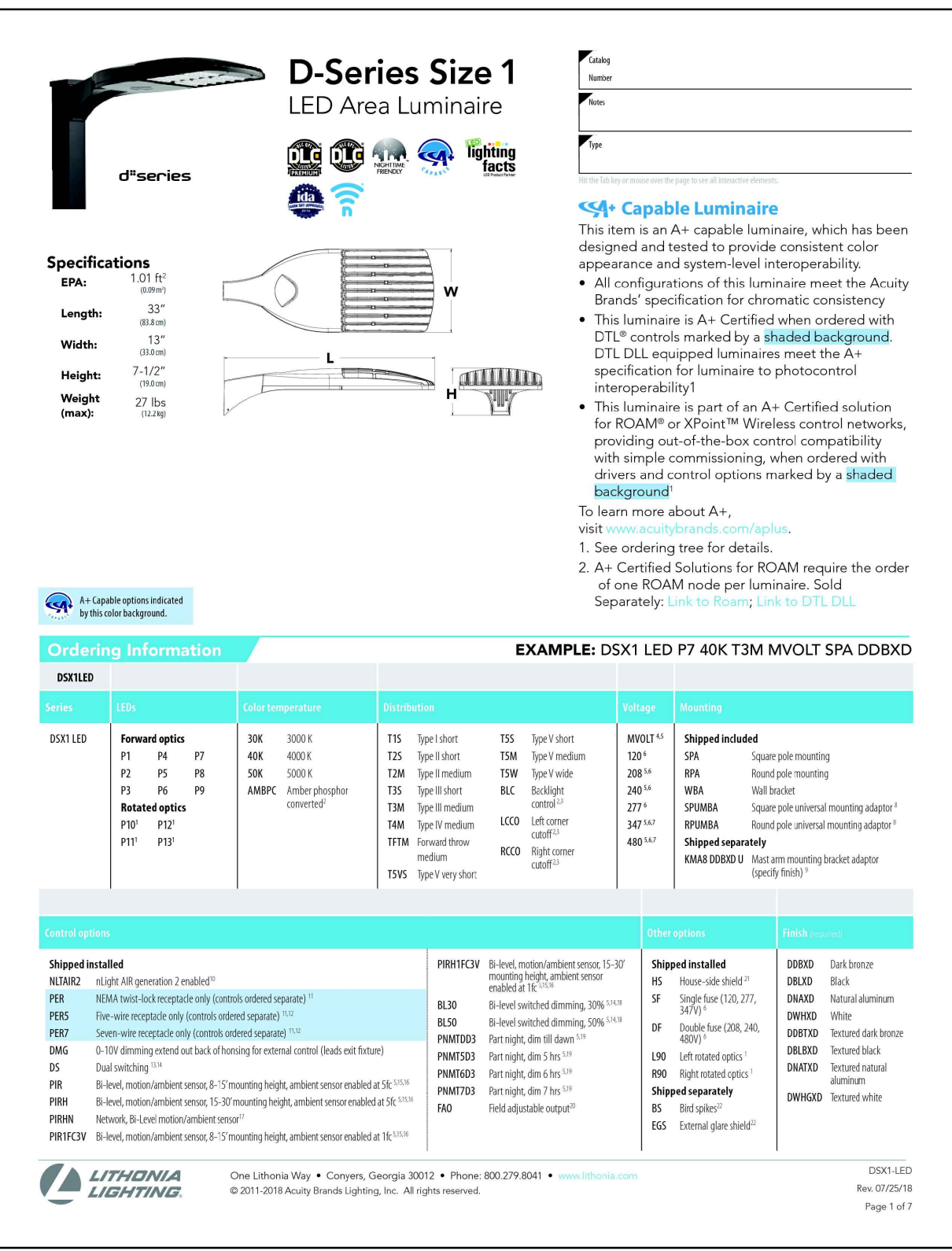
BIO-DEGRADABLE PLASTIC TAPE

BREATHABLE FABRIC TREE WRAP APPLIED TO TRUNK FLARE TO FIRST BRANCH. WRAP FROM THE BOTTOM UP WITH SUFFICIENT TO COVER ALL BARK.

BIO-DEGRADABLE PLASTIC TAPE

APPLY THE PLASTIC SHEETING LOOSELY AROUND THE TRUNK TO LEAVE A 1/2 INCH (0.5 IN) GAP BETWEEN THE TRUNK AND THE SHEETING.

APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	1.7 fc	0.0 fc	N/A	N/A

- PROPERTY OWNER:**
249 ELLINGTON ROAD LLC
171 PENNYWISE LANE
GLASTONBURY, CT 06033
- APPLICANT:**
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866

REFERENCES:

THIS PLAN REFERS TO THE FOLLOWING:

1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, ELLINGTON ROAD (ROUTE 30), 249 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 10/14/22 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LIGHTING PLAN NOTES:

1. "CALL BEFORE YOU DIG" CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

1. At least two (2) business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies. From parcel testimony, and from other sources. These locations may be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
19. The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. General information regarding utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

20. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply with all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29. All materials and work shall conform to the state Department of Transportation standard specifications (latest edition, and any amendments or revisions thereto), unless otherwise specified in these plans.
30. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
31. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
32. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
33. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
34. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:

Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with slit tight joints.

RCP Class V pipe shall be used in paved areas with less than 1 ft. of cover or in locations noted on the plans.

High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for slit tight joints.































Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
35. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
36. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
37. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe must be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.

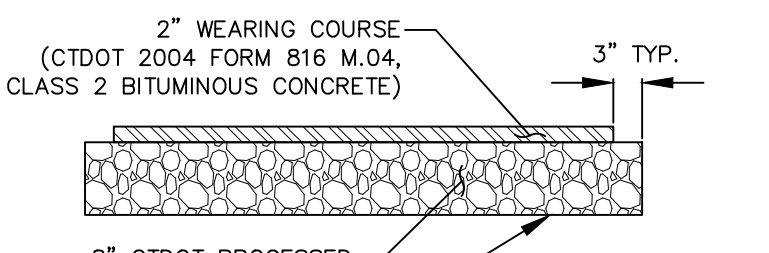
3. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
39. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
40. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
41. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
42. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the facade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
43. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
44. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
45. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
46. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
47. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
48. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
49. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

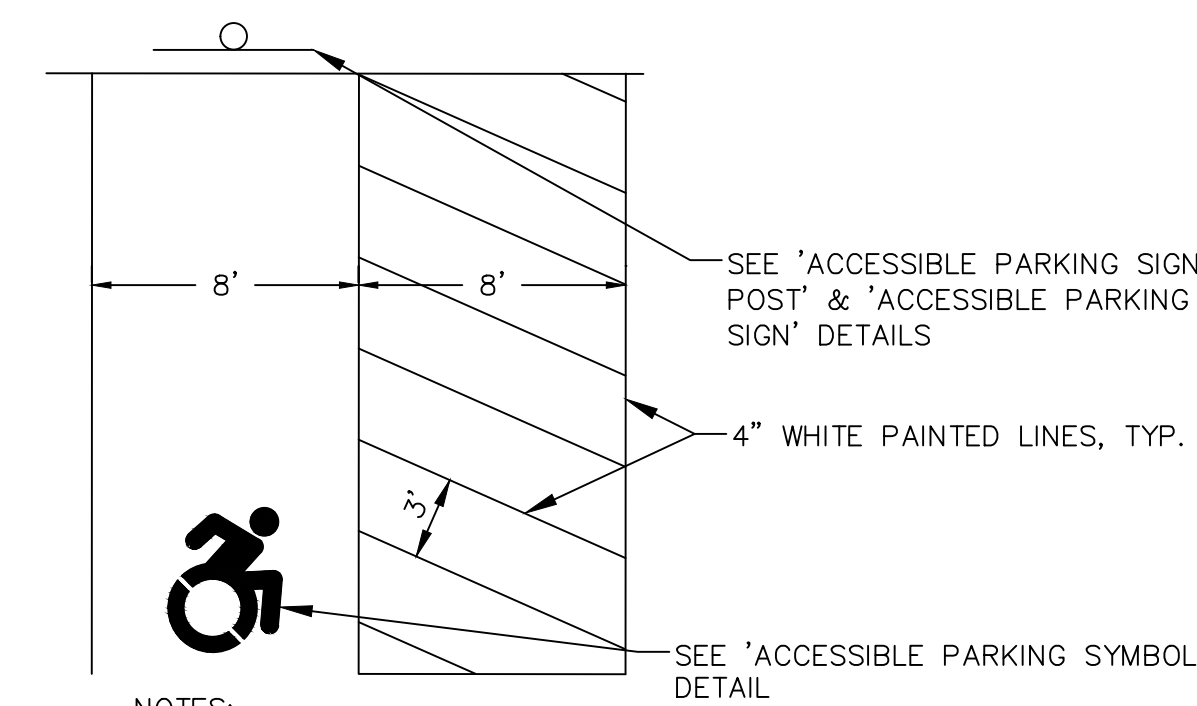
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall have no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps –shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
	BORING / TEST PIT LOCATION	
COMMUNICATION		
— — — — C ₁ — — — — C ₂ — —	UNDERGROUND COMMUNICATION LINES	— — — — C — — — —
DOMESTIC WATER		
— — — — W ₁ — — — — W ₂ — —	WATER MAIN	— — — — W — — — —
— — — — W _S — — — —	WATER SERVICE	— — — — WS — — — —
— — — — F ₁ — — — — F ₂ — —	FIRE SERVICE LINE	— — — — F — — — —
— — — — NP/W ₁ — — — —	NON-POTABLE WATER LINE	— — — — NPW — — — —
 	WATER VALVE / FIXTURES	  
	FIRE HYDRANT	
LIQUID FUEL		
— — — — LF ₁ — — — —	MAIN LIQUID FUEL LINE	— — — — LF — — — —
— — — — LF _S — — — —	LIQUID FUEL SERVICE LINE	— — — — LFS — — — —
— — — — LF ₂ — — — —	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
— — — — I ₁ — — — — I ₂ — —	IRRIGATION LINES	— — — — I — — — —
LIGHTING		
 / 	POLE / GROUND MOUNTED LIGHT	 / 
NATURAL GAS		
— — — — G ₁ — — — — G ₂ — —	GAS MAIN	— — — — G — — — —
— — — — GS ₁ — — — —	GAS SERVICE LINE	— — — — GS — — — —
POWER		
— — — — EO ₁ — — — —	ELECTRICAL LINES, OVERHEAD	— — — — EO — — — —
— — — — EU ₁ — — — —	ELECTRICAL LINES, UNDERGROUND	— — — — EU — — — —
	UTILITY POLE	
PROPERTY		
— — — — — — — — — —	PROPERTY LINE	— — — — — — — — — —
— — — — — — — — — —	EASEMENT LINE	— — — — — — — — — —
	IRON PIPE	
	IRON ROD	
	MONUMENT	
ROADS		
— — — — R — — — — R — — — —	GUARD RAIL	— — — — ● — — — — ● — — — —
EROSION CONTROL		
— — — — — — — — — —	SILT FENCE	— — — — SF — — — —
SITE FEATURES		
— — — — — — — — — —	4" DOUBLE SOLID YELLOW LINE	— — — — DSYL — — — —
— — — — — — — — — —	4" SINGLE SOLID WHITE LINE	— — — — SSWL — — — —
— — — — — — — — — —	BIT. CONC. LIP CURB	— — — — BCLC — — — —
— — — — — — — — — —	PRECAST CONCRETE CURB	— — — — PCC — — — —
SANITARY SEWER		
— — — — S ₁ — — — — S ₂ — —	SANITARY SEWER MAIN	— — — — S — — — —
— — — — SS ₁ — — — — SS ₂ — —	SANITARY SEWER SERVICE LINE	— — — — SS — — — —
	SANITARY SEWER MANHOLE	
STORM SEWER		
— — — — — — — — — —	STORM DRAIN PIPE	— — — — — — — — — —
— — — — RL ₁ — — — — RL ₂ — —	ROOF LEADER	— — — — RL — — — —
— — — — UD — — — — UD — —	UNDERDRAIN	— — — — UD — — — — UD — —
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
— — — — 95 — — — —	CONTOUR	— — — — 95 — — — —
— — — — X61.95 — — — —	SPOT ELEVATION	— — — — 95 — — — —
OTHER		
— — — — — — — — — —	RAMP	— — — — R — — — —
— — — — — — — — — —	LANDSCAPE AREA	— — — — LSA — — — —



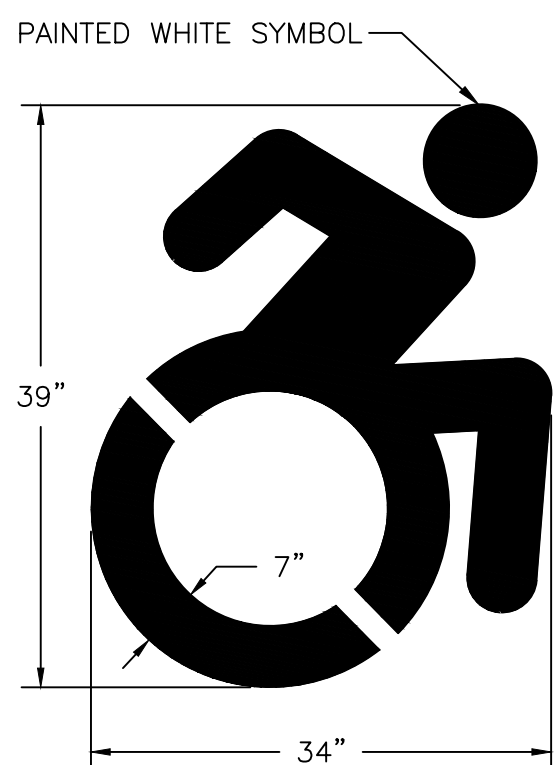
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1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

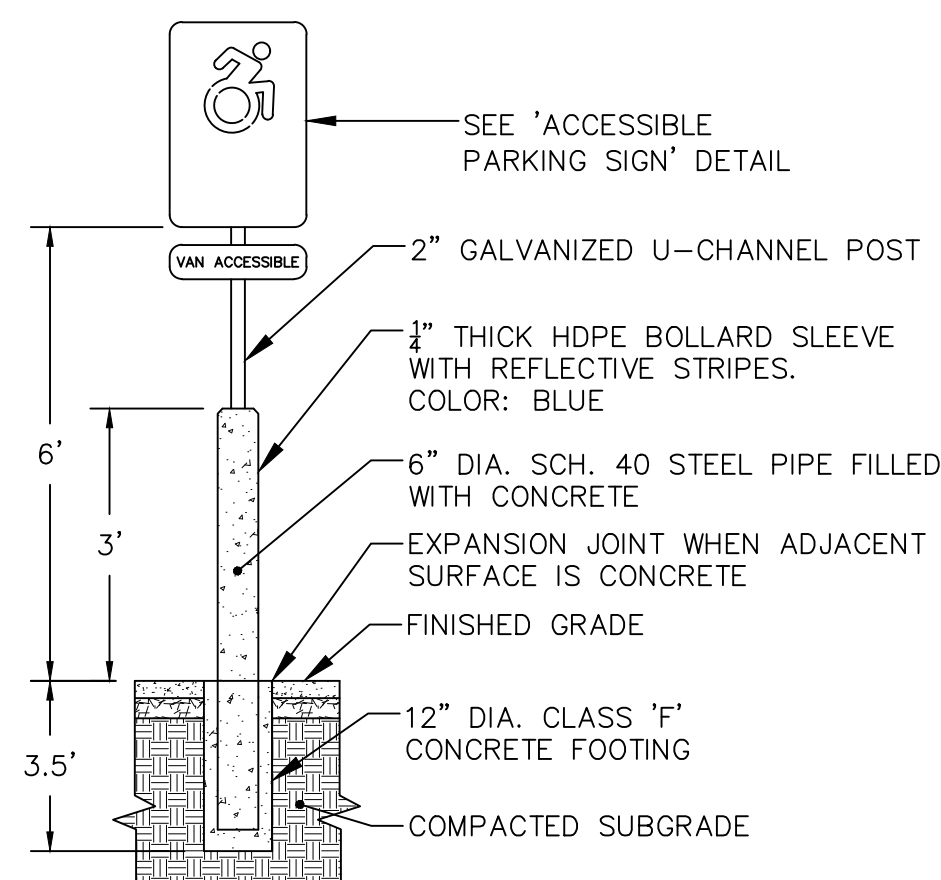
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3

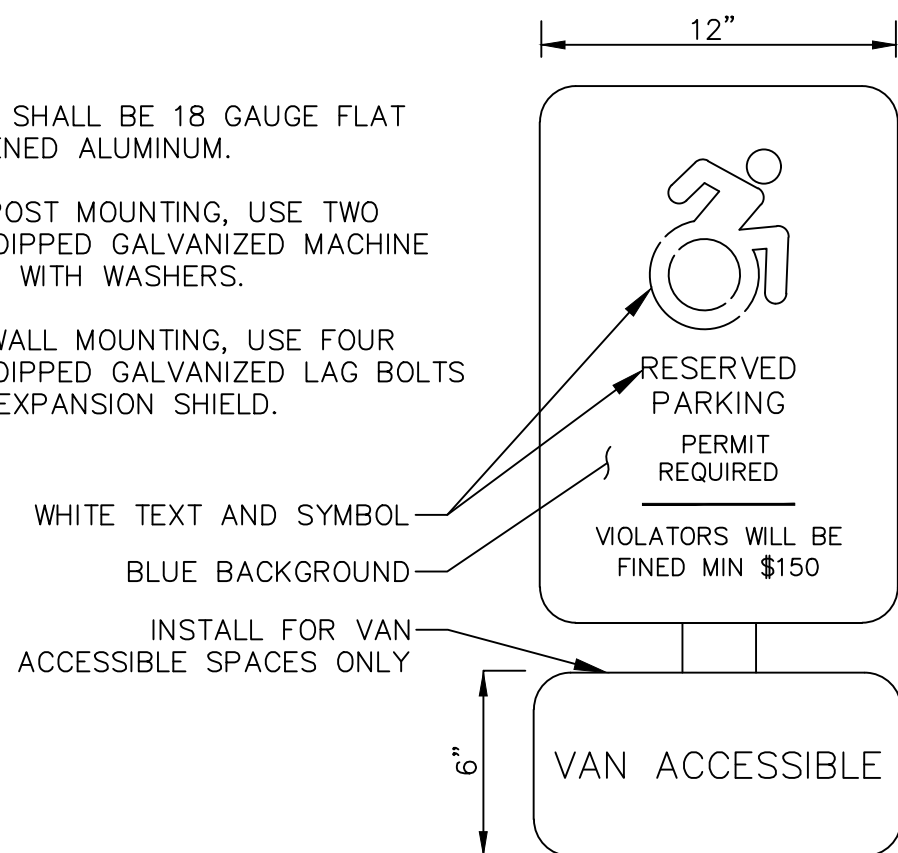
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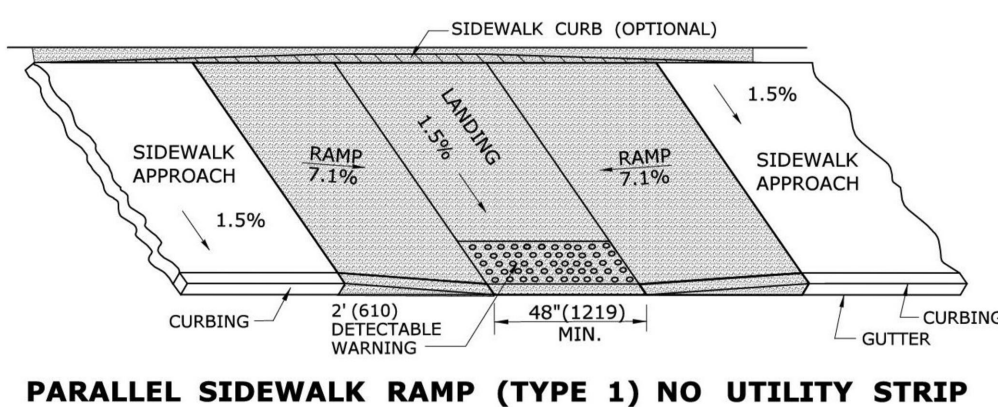
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1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.
3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



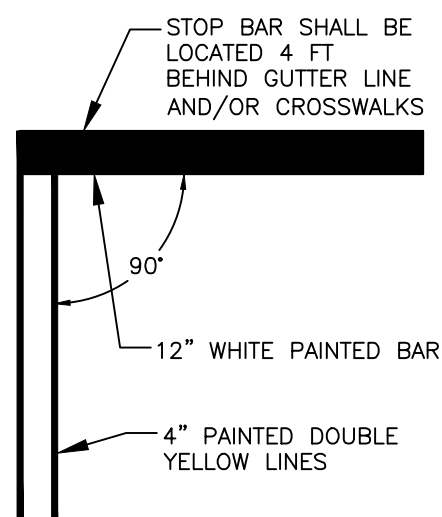
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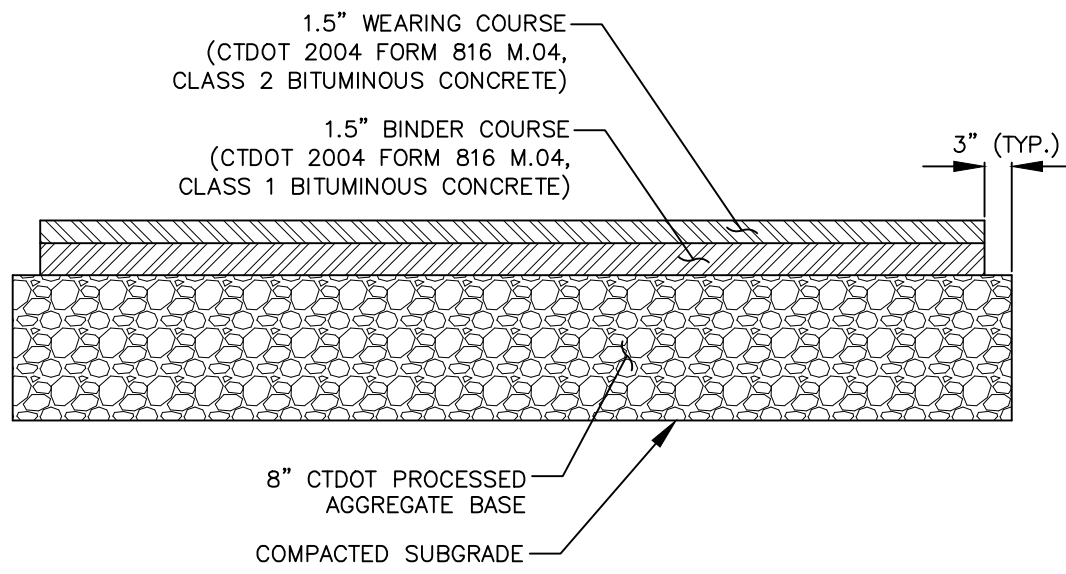
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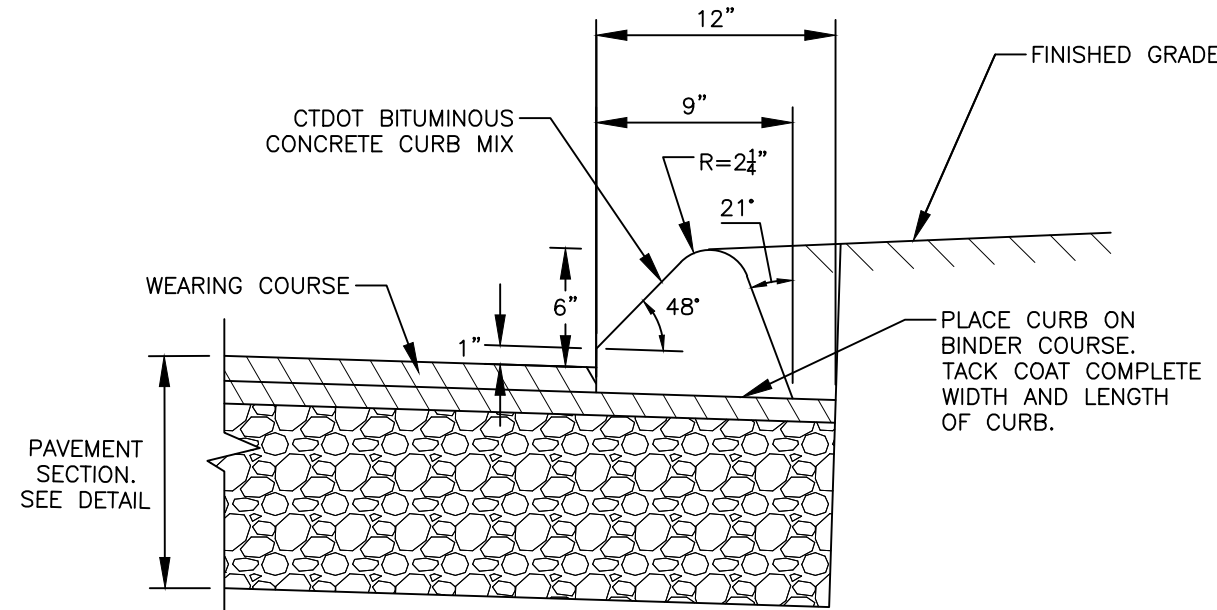
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- NOTES:
1. PAVEMENT, BASE MATERIALS, AND THICKNESSES PER GEOTECHNICAL REPORT ENTITLED " " PREPARED BY GEL, DATED " ".
 2. HEAVY DUTY PAVEMENT AREA NOTED ON SITE PLAN. ALL OTHER PAVEMENT AREAS TO BE STANDARD DUTY.
 3. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

1 BITUMINOUS CONCRETE PAVEMENT SECTION - STANDARD DUTY

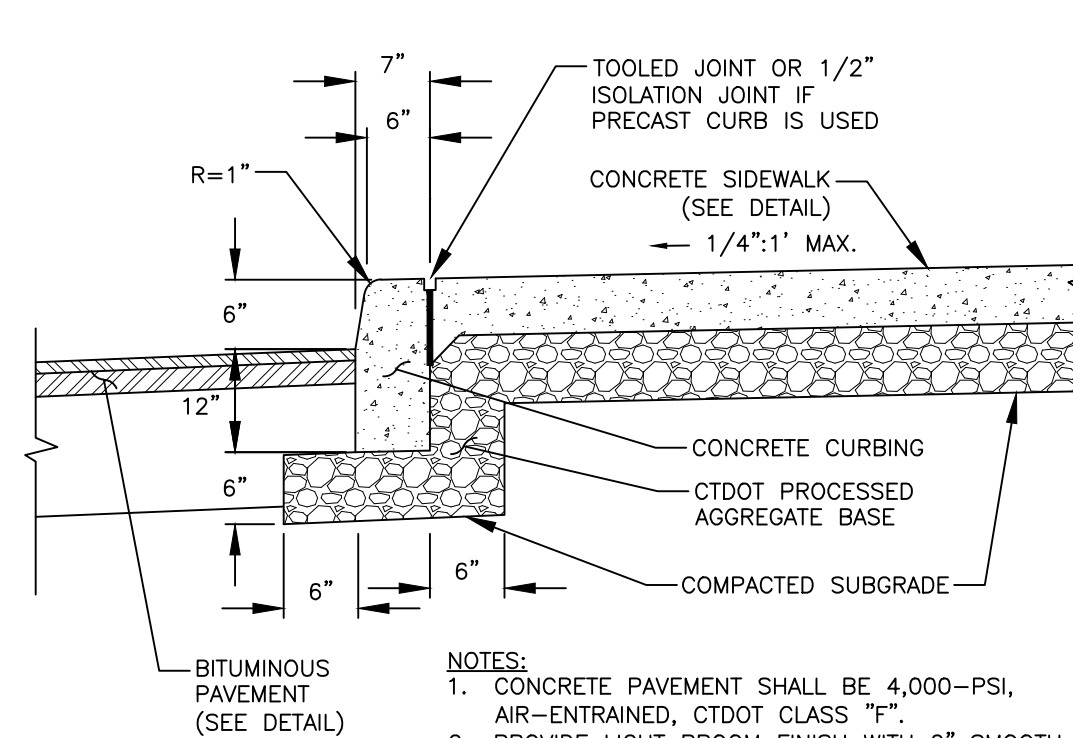
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- NOTE:
- BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CTDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

2 BITUMINOUS CONCRETE LIP CURB

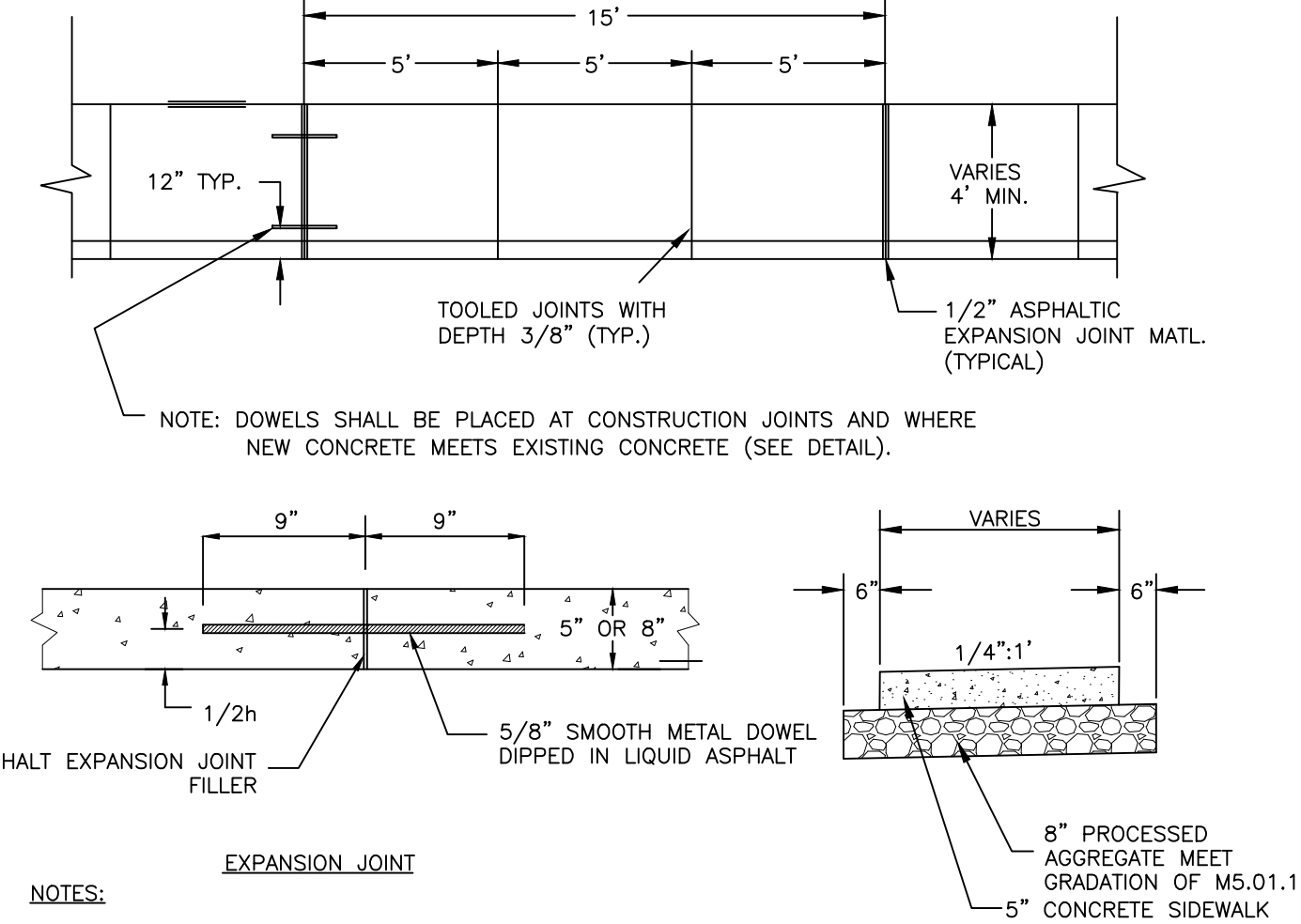
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- NOTES:
1. CONCRETE PAVEMENT SHALL BE 4,000-PSI, AIR-ENTRAINED, CTDOT CLASS "F".
 2. PROVIDE LIGHT BROOM FINISH WITH 2" SMOOTH SURFACE ON EACH SIDE OF ALL JOINTS.

3 MONOLITHIC CONCRETE CURB & WALK

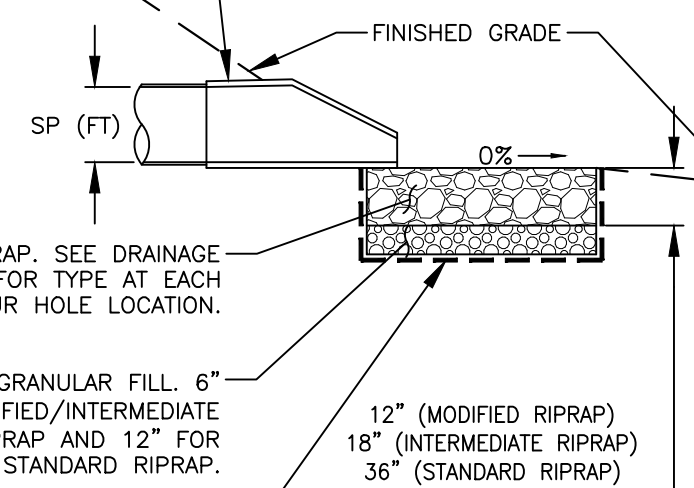
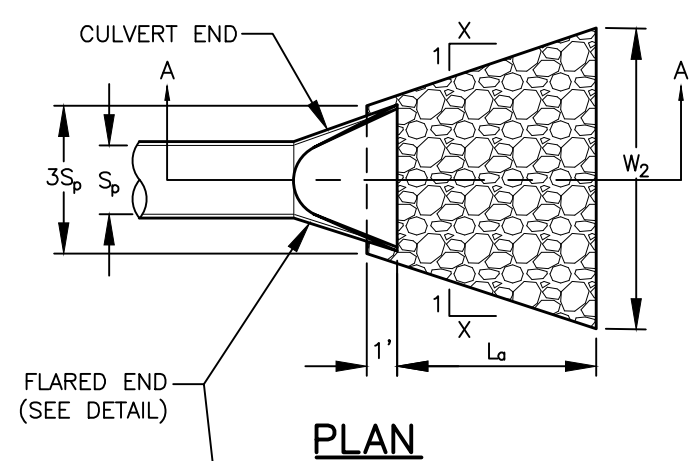
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- NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS "F". MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
 2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
 3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
 4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH

CONCRETE SIDEWALK

N.T.S.



SECTION A-A

- NOTES:
1. FILTER FABRIC SHALL BE NONWOVEN AND SHALL MEET AASHTO M288-00, CLASS 2
 2. X = 3 FOR TYPE A RIPRAP APRON
 3. W₂ = 3S₂ + 0.7 L₂ FOR TYPE A RIPRAP APRON

7 TYPE A & B RIPRAP APRON

Not to Scale

PIPE DIAMETER, in (mm)					
Diameter (in)	12 (305)	15 (381)	18 (457)	24 (609)	30 (762)
A	6.5	6.5	7.5	7.5	7.5
B	10.0	10.0	15.0	15.0	22.0
H	25.0	25.0	32.0	38.0	55.0
L	25.0	25.0	32.0	38.0	55.0
W	25.0	25.0	32.0	38.0	55.0
W ₂	35.0	35.0	45.0	55.0	85.0

NOTES:

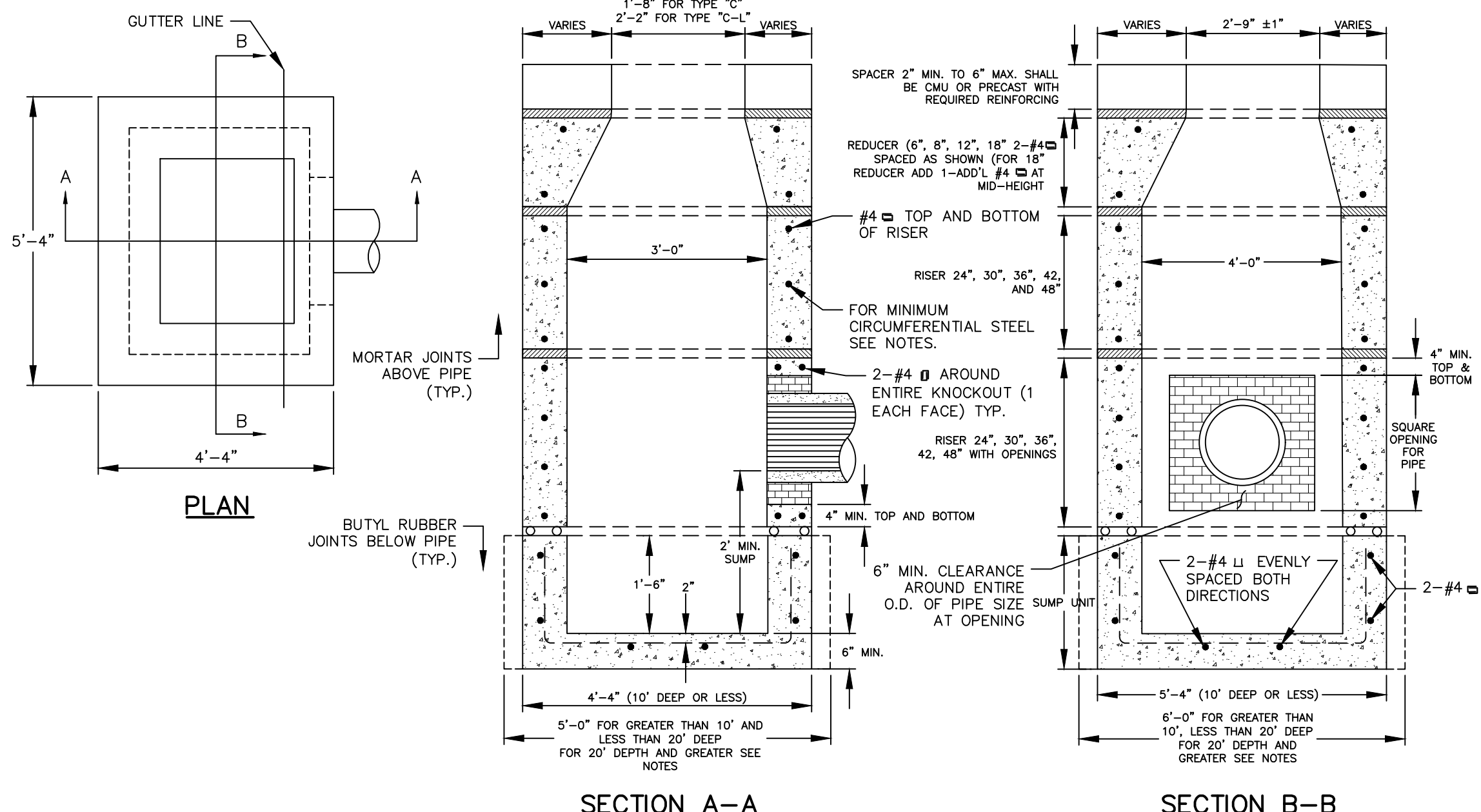
ADS HDPE FLARED ENDS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL USE THIS PRODUCT AS SPECIFIED OR APPROVED EQUAL.

10 HDPE FLARED END

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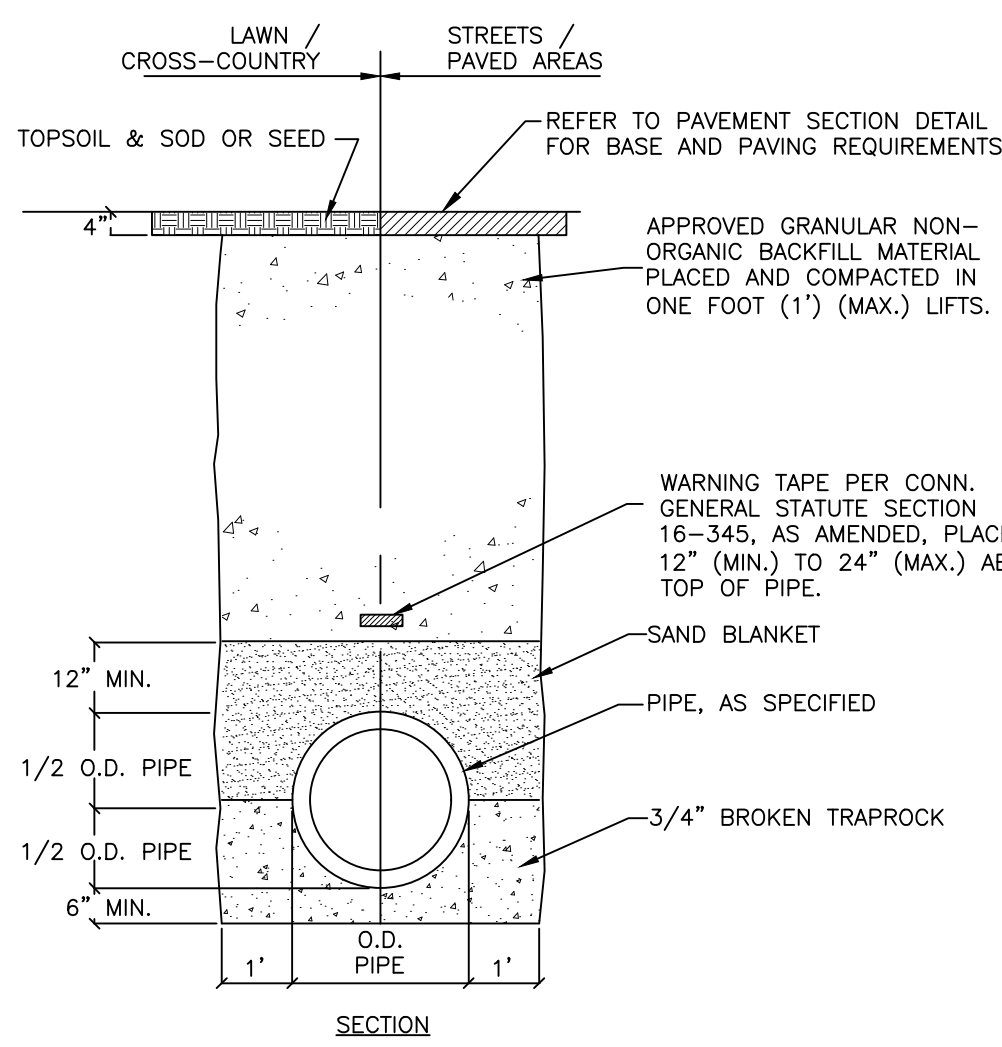
PROPERTY OWNER:
249 ELLINGTON ROAD LLC
171 PENNYWISE LANE
GLASTONBURY, CT 06033

APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866



4 PRECAST CONCRETE TYPE "C" AND "C-L" CATCH BASIN

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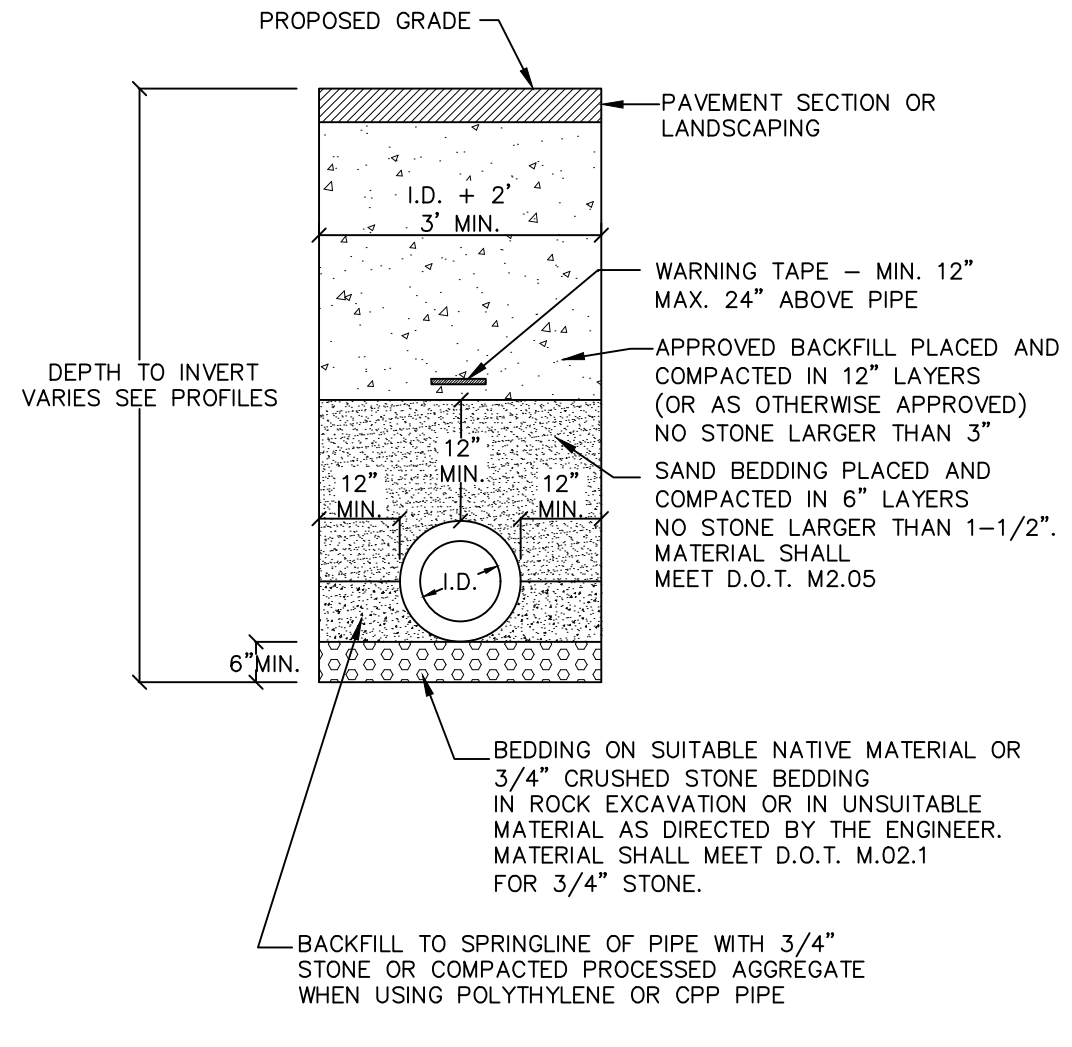


SANITARY SEWER TRENCH SECTION

N.T.S.

5 SANITARY SEWER TRENCH

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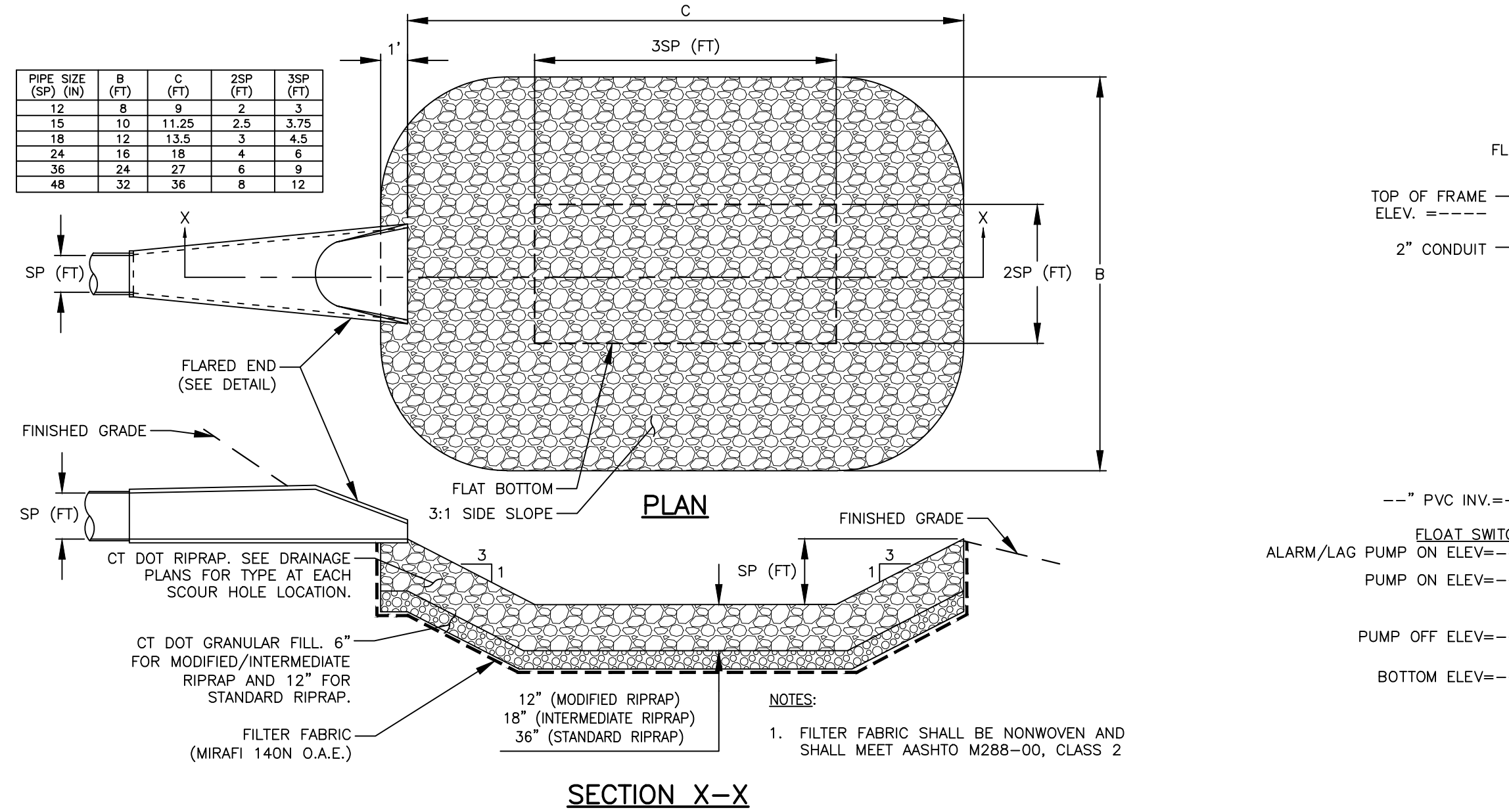


STORM SEWER TRENCH SECTION

N.T.S.

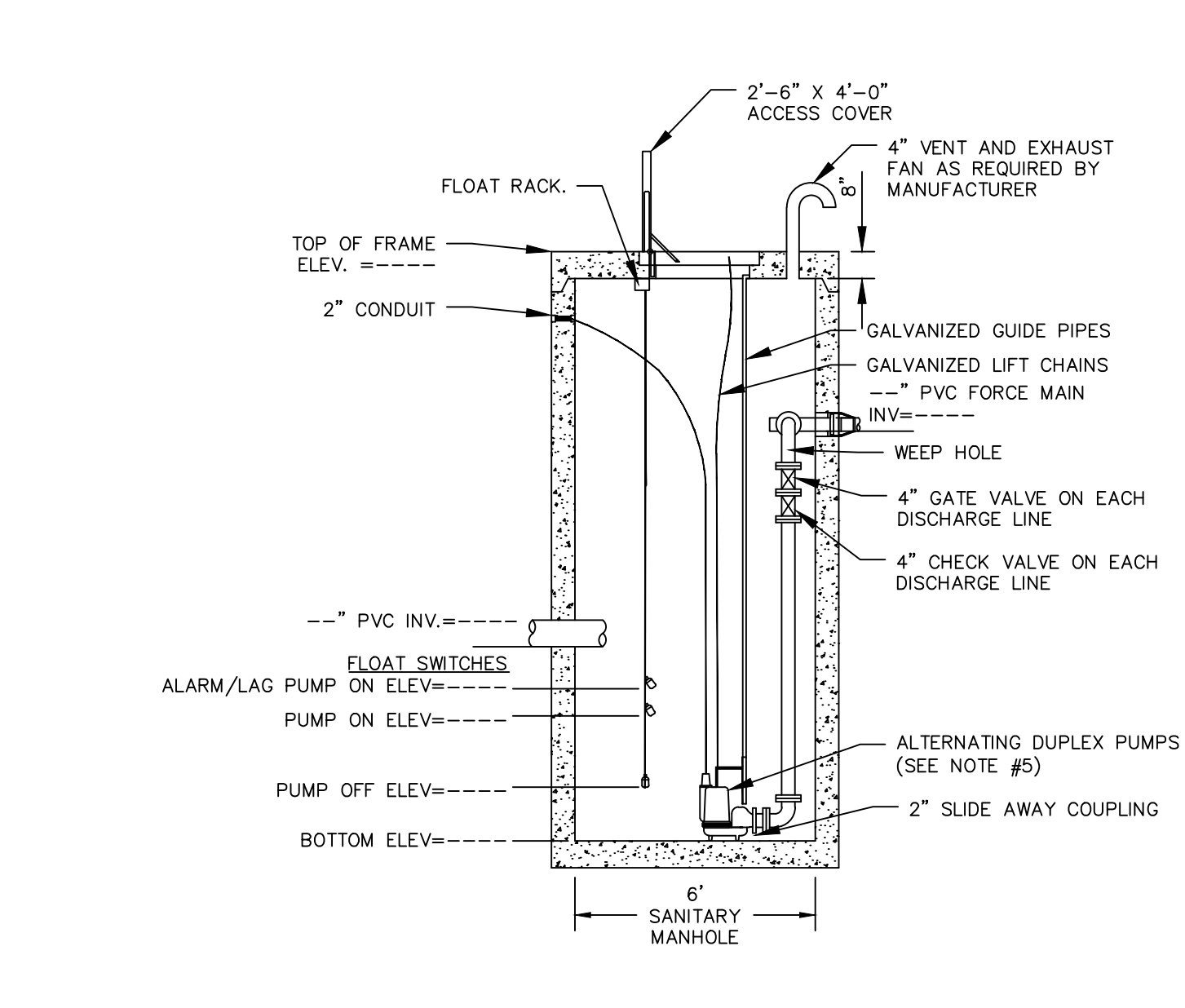
6 STORM SEWER TRENCH

Not to Scale



8 PREFORMED SCOUR HOLE

Not to Scale



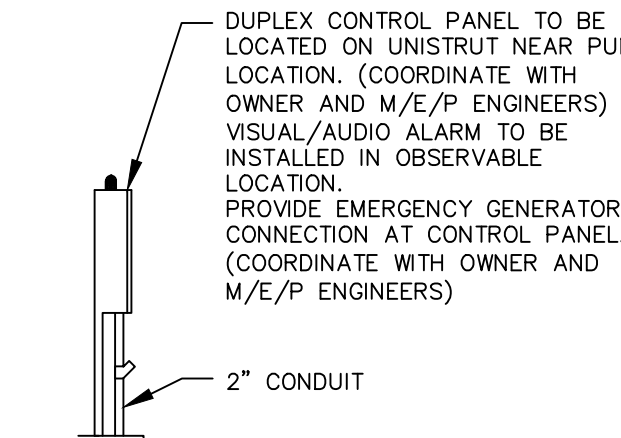
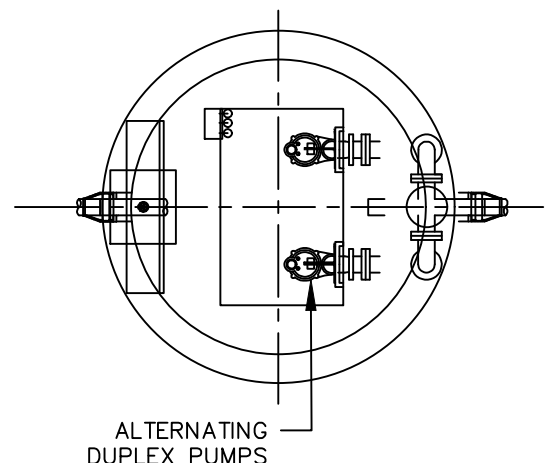
9 DUPLEX SANITARY PUMP DETAIL

- PUMP STATION TO BE DESIGNED BASED ON THE FOLLOWING:
1. DESIGN FLOW: ---- GALLONS PER DAY
 2. INVERT INTO PUMP STATION = ----
 3. ---- LF PIPE RUN OF ---- FORCE MAIN TO SANITARY MANHOLE.
 4. PUMPS SHALL BE STANCOR AVENGER SERIES SV-500 OR APPROVED EQUIVALENT. CONTACT ERIC NOVODROSKI OF DELTA PUMP GROUP FOR MORE INFORMATION (401) 944-8380.

DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. PROPOSED PUMP STATION TO HAVE ALTERNATING DUPLEX PUMPS, PAD MOUNTED GENERATOR AND ALARM SYSTEM. THE ALARM SYSTEM IS TO BE MONITORED BY THE PROJECT MAINTENANCE CONTRACTOR. MAINTENANCE AND INSPECTION OF ALL SYSTEM COMPONENTS SHALL BE PER MANUFACTURER'S WRITTEN REQUIREMENTS AND/OR RECOMMENDATIONS. CONTRACTOR SHALL COORDINATE WITH OWNER AND MANUFACTURER TO DETERMINE FINAL TYPE & SIZE OF PUMP CHAMBER, PUMPS, WET WELL, FORCE MAIN, AND OTHER COMPONENTS PRIOR TO CONSTRUCTION. GENERATOR/CONNECTION TO BE COORDINATED WITH M/E/P ENGINEERS.

FINAL DESIGN AND SHOP DRAWINGS SHALL BE PROVIDED TO DESIGN ENGINEER AND THE TOWN FOR FINAL REVIEW AND APPROVAL.

- NOTES:
1. CONCRETE SHALL BE CTDOT CLASS "F".
 2. STRUCTURE AND COVER SHALL BE DESIGNED FOR HS-20 LOADING.
 3. STRUCTURE SHALL BE WATERTIGHT AND HAVE BALLAST PROTECTION IF LOCATED IN GROUNDWATER.
 4. STEEL REINFORCEMENT SHALL CONFORM TO LATEST ASTM A185.
 5. BUTYL RESIN JOINT SHALL CONFORM TO LATEST ASTM C990 SPECIFICATION.
 6. PUMP OFF ELEV. TO BE COORDINATED WITH PUMP & WET WELL MANUFACTURER TO ASSURE ADEQUATE PRIMING IS PROVIDED.
 7. ALTERNATING DUPLEX PUMPS SHALL BE PROVIDED.
 8. FLOAT SWITCHES TO BE PRESSURE TRANSDUCERS, MECHANICAL FLOAT SWITCHES, OR OTHER ACCEPTABLE CONTROLS PER THE CT PUBLIC HEALTH CODE STANDARDS.
 9. MINIMUM EMERGENCY STORAGE VOLUME NOT REQUIRED WITH IMPLEMENTATION OF DUPLICATE ALTERNATING PUMPS PER SECTION 6.C OF THE CT PUBLIC HEALTH CODE TECHNICAL STANDARDS.
 10. POWER FOR THE DUPLEX SANITARY PUMP SHALL BE 3-PHASE 208V.



Not to Scale

WATER STANDARD DETAILS

THE METROPOLITAN DISTRICT

JANUARY 2017

WATER MAIN TRENCH
DETAIL W-3

TRENCH REQUIREMENTS FOR 1-INCH TO 2-INCH SERVICE TAPS
DETAIL W-4

TAPPING GATE VALVE
DETAIL W-5

1-INCH SERVICE TAP OFF HORIZONTAL CENTER LINE
DETAIL W-6

SERVICES 4-INCH THROUGH 8-INCH
DETAIL W-7

STANDARD SERVICE CURB BOX
DETAIL W-8

STANDARD GATE VALVE 12-INCH AND SMALLER
DETAIL W-9

STANDARD GATE VALVE ASSEMBLY (DWYER TYPE)
DETAIL W-10

CAST IRON GATE BOX COVER (DWYER TYPE)
DETAIL W-11

GATE BOX EXTENSION
DETAIL W-12

STANDARD FIRE HYDRANT ASSEMBLY
DETAIL W-13

SWIVEL MECHANICAL JOINT HYDRANT TEE
DETAIL W-14

MECHANICAL JOINT LACING METHOD
DETAIL W-15

STANDARD AIR VALVE
DETAIL W-16

WATER CROSSING BELOW SEWER
DETAIL W-17

4-INCH OR 6-INCH BLOW OFF ASSEMBLY
DETAIL W-18

STOP SIGN
DETAIL W-19

TRAFFIC SIGN POST
DETAIL W-20

COPPER WATER SERVICE OFFSET
DETAIL W-21

STANDARD RESTRAINED JOINTS
DETAIL W-22

RESTRAINED OFFSET WITH CONCRETE ANCHOR
DETAIL W-23

OUTLET CONTROL STRUCTURE
DETAIL W-24

HDPE DRAIN MANHOLE
DETAIL W-25

ALL DETAILS RELATED TO THE WATER DISTRIBUTION SYSTEM WERE TAKEN DIRECTLY FROM THE MDC WATER SERVICE STANDARD DETAILS MANUAL. FOR CLARIFICATION OF DETAILS OR ADDITIONAL DETAILS SEE THE COMPLETE MANUAL WHICH IS AVAILABLE AT THE MDC AND WHICH BY THIS NOTE IS MADE PART OF THESE PLANS.

WATER SERVICE NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH METROPOLITAN DISTRICT STANDARDS AND SPECIFICATIONS.
- "CALL BEFORE YOU DIG" - THE CONTRACTOR IS HEREBY REMINDED THAT TITLE 16, CHAPTER 293 OF THE CONNECTICUT GENERAL STATUTES REQUIRES NOTIFICATION OF THE UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. THE CONTRACTOR SHALL CALL 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO BEGINNING THE EXCAVATION.
- EXTREME CARE MUST BE EXERCISED BY THE CONTRACTOR TO PROTECT EXISTING SANITARY SEWERS, SANITARY SEWER LATERALS, STORM DRAINS AS WELL AS OTHER UTILITIES DURING CONSTRUCTION.
- ELEVATIONS ARE BASED ON NAVD 88 DATUM.
- TEST PRESSURE SHALL BE 150 PSI, AS CONFIRMED BY THE METROPOLITAN DISTRICT INSPECTOR ON SITE.
- GATE OPERATIONS FOR THIS PROJECT SHALL BE "OPEN LEFT".
- HYDRANT LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE TOWN FIRE MARSHAL.
- WHERE RESTRAINT IS INDICATED, APPROVED RETAINER GLANDS OR RODDING MAY BE UTILIZED.
- WHERE "PULLING" OR DEFLECTING PIPE IS INDICATED, SUCH DEFLECTION SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF "THE DIPRA HANDBOOK." IN NO CASE SHOULD THE DEFLECTION BE GREATER THAN FIVE DEGREES (3 DEGREES IF RESTRAINED).
- ALL GATE VALVES, AIR VALVES AND BLOWOFFS SHALL BE INSTALLED COMPLETE WITH DISTRICT APPROVED GATE BOXES AND APPURTENANCES UNLESS OTHERWISE NOTED.
- GATE NUT EXTENSION STEMS REQUIRED WHERE GATE VALVE NUTS ARE PLACED AT A DEPTH GREATER THAN 4.5 FEET BELOW FINAL GRADE.
- TRENCH BACKFILL UNDER ROADWAYS AND WALKWAYS SHALL BE BANK RUN GRAVEL, SAND, OR ACCEPTABLE NATIVE SOIL SATISFACTORY TO THE TOWN, CITY, AND/OR STATE AUTHORITY HAVING JURISDICTION.
- TEMPORARY AND PERMANENT PAVING RESTORATION SHALL BE MADE IN ACCORDANCE WITH DISTRICT AND/OR TOWN AND/OR STATE SPECIFICATIONS.
- CONTRACTOR SHALL CALL MDC SYSTEMS REPAIR (860-278-7850 EXT. 3627) AFTER JOB CONFERENCE WITH DISTRICT TO SCHEDULE ANY REQUIRED TAPS OF MDC WATER MAINS.

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21 EBBETT DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8727 - F
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Design Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR

Mr. Scott Spindler
Highland Capital Holdings, LLC
P.O. Box 1174
Rochester, NY 03866

PROJECT NO. 4303H
DATE 10/14/22
DESIGNED BY JGM/CHJ
CHECKED BY JGM/CHJ
SCALE AS SHOWN

**CLIMATE-CONTROLLED
VERTICAL SELF
STORAGE FACILITY**
249 ELLINGTON ROAD
SOUTH WINDSOR, CONNECTICUT

REVISIONS

NO.	DATE	REVISIONS
1	10/24/22	PAZ SUBMISSION

DETAILS

SHEET
C-D3
SHEET 13 OF 13

PROPERTY OWNER:
249 ELLINGTON ROAD LLC
171 PENNYWISE LANE
GLASTONBURY, CT 06033

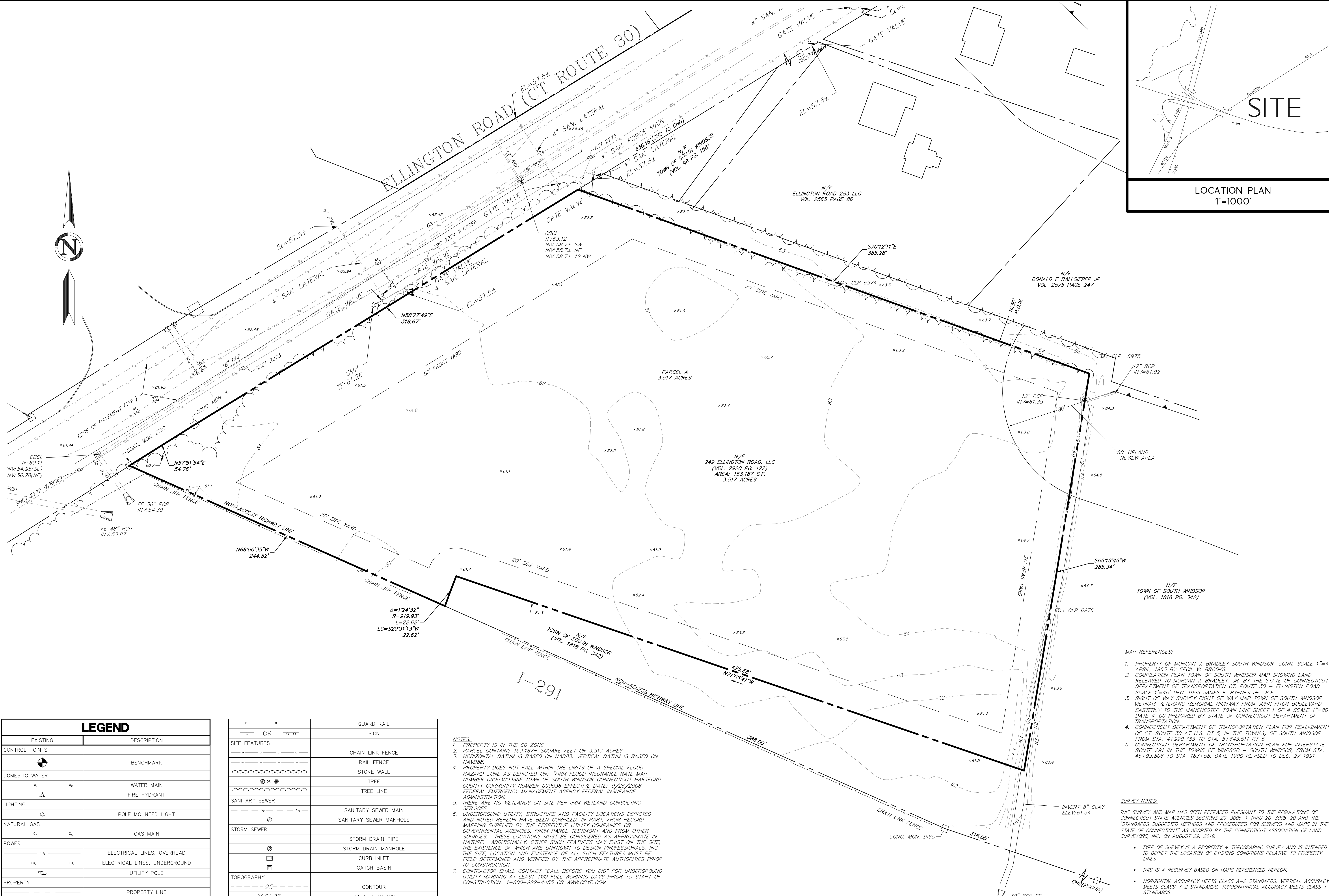
APPLICANT:
SCOTT SPINDLER, MANAGER
HIGHLAND CAPITAL HOLDINGS, LLC
P.O. BOX 1174
ROCHESTER, NH 03866

LEGEND	
EXISTING	DESCRIPTION
	BENCHMARK
	DOMESTIC WATER
	LIGHTING
	NATURAL GAS
	POWER
	PROPERTY
	ROADS
	WATER MAIN
	FIRE HYDRANT
	POLE MOUNTED LIGHT
	GAS MAIN
	ELECTRICAL LINES, OVERHEAD
	ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
	PROPERTY LINE
	EASEMENT LINE
	IRON PIPE
	IRON ROD
	MONUMENT

	GUARD RAIL
	SIGN
	SITE FEATURES
	CHAIN LINK FENCE
	RAIL FENCE
	STONE WALL
	TREE
	TREE LINE
	SANITARY SEWER
	SANITARY SEWER MAIN
	SANITARY SEWER MANHOLE
	STORM SEWER
	STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
	TOPOGRAPHY
	CONTOUR
	SPOT ELEVATION
	WETLANDS
	WETLANDS LINE

NOTES:

- PROPERTY IS IN THE CD ZONE.
- PARCEL CONTAINS 153,187± SQUARE FEET OR 3.517 ACRES.
- HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD88.
- PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0386F TOWN OF SOUTH WINDSOR, CONNECTICUT HARTFORD COUNTY COMMUNITY NUMBER 090036 EFFECTIVE DATE: 9/26/2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
- THERE ARE NO WETLANDS ON SITE PER JMM WETLAND CONSULTING SERVICES.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.



MAP REFERENCES:

- PROPERTY OF MORGAN J. BRADLEY SOUTH WINDSOR, CONN. SCALE 1"=40' APRIL, 1963 BY CECIL W. BROOKS.
- COMPLATION PLAN TOWN OF SOUTH WINDSOR MAP SHOWING LAND RELEASED TO MORGAN J. BRADLEY, JR. BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION CT. ROUTE 30 - ELLINGTON ROAD SCALE 1"=40' DEC. 1999 JAMES F. BYRNES JR., P.E.
- RIGHT OF WAY SURVEY RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR VIETNAM VETERANS MEMORIAL HIGHWAY FROM JOHN FITCH BOULEVARD EASTERLY TO THE MANCHESTER TOWN LINE SHEET 1 OF 4 SCALE 1"=80' DATE: 4-00 PREPARED BY STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION
- CONNECTICUT DEPARTMENT OF TRANSPORTATION PLAN FOR REALIGNMENT OF CT. ROUTE 30 AT U.S. RT 5, IN THE TOWN(S) OF SOUTH WINDSOR FROM STA. 4+990.783 TO STA. 5+643.511 RT 5.
- CONNECTICUT DEPARTMENT OF TRANSPORTATION PLAN FOR INTERSTATE ROUTE 291 IN THE TOWNS OF WINDSOR - SOUTH WINDSOR, FROM STA. 45+93.806 TO STA. 163+58, DATE 1990 REVISED TO DEC. 27 1991.

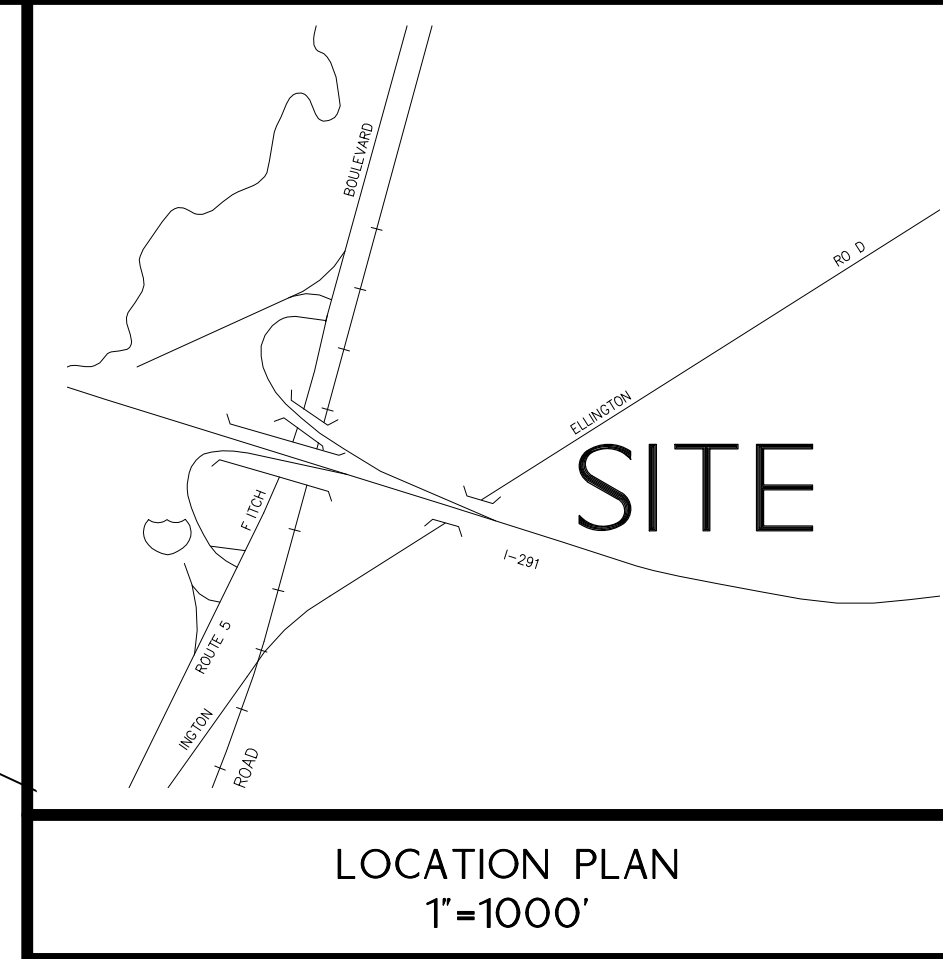
SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON MAPS REFERENCED HEREON.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

16766
LIC. NO.



PROPERTY & TOPOGRAPHIC SURVEY

V-1

REVISIONS

BY

DATE

NO.

ELLINGTON ROAD (ROUTE 30)

249 ELLINGTON ROAD

SOUTH WINDSOR, CONNECTICUT

PROJECT NO.

4303

DESIGN BY

10/14/22

DATE

10/14/22

BY

MMB/MHA

DATE

10/14/22

BY

LEG

PREPARED FOR:

Mr. Scott Spindler

Highland Capital Holdings, LLC

P.O. Box 1174

Rochester, NH 03866

DESIGN PROFESSIONALS

21 BEFREY DRIVE

P.O. BOX 1167

SOUTH WINDSOR, CT 06074

860-291-9757

WWW.DESIGNPROFESSIONALS.COM

16766

LIC. NO.



REVISIONS:

PROGRESS SET
NOT FOR CONSTRUCTION

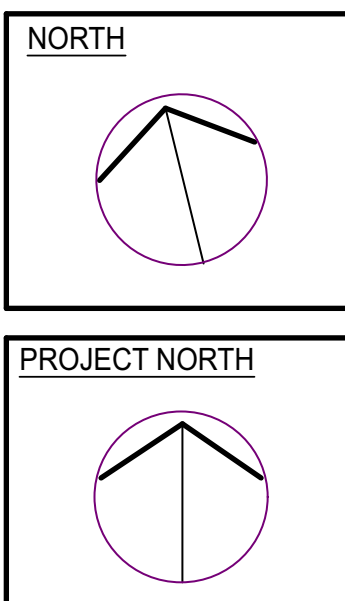
1st FLOOR CONSTRUCTION PLAN

DATE: 10-24-22

CA JOB NO.: 22280

DRAWING NO.:

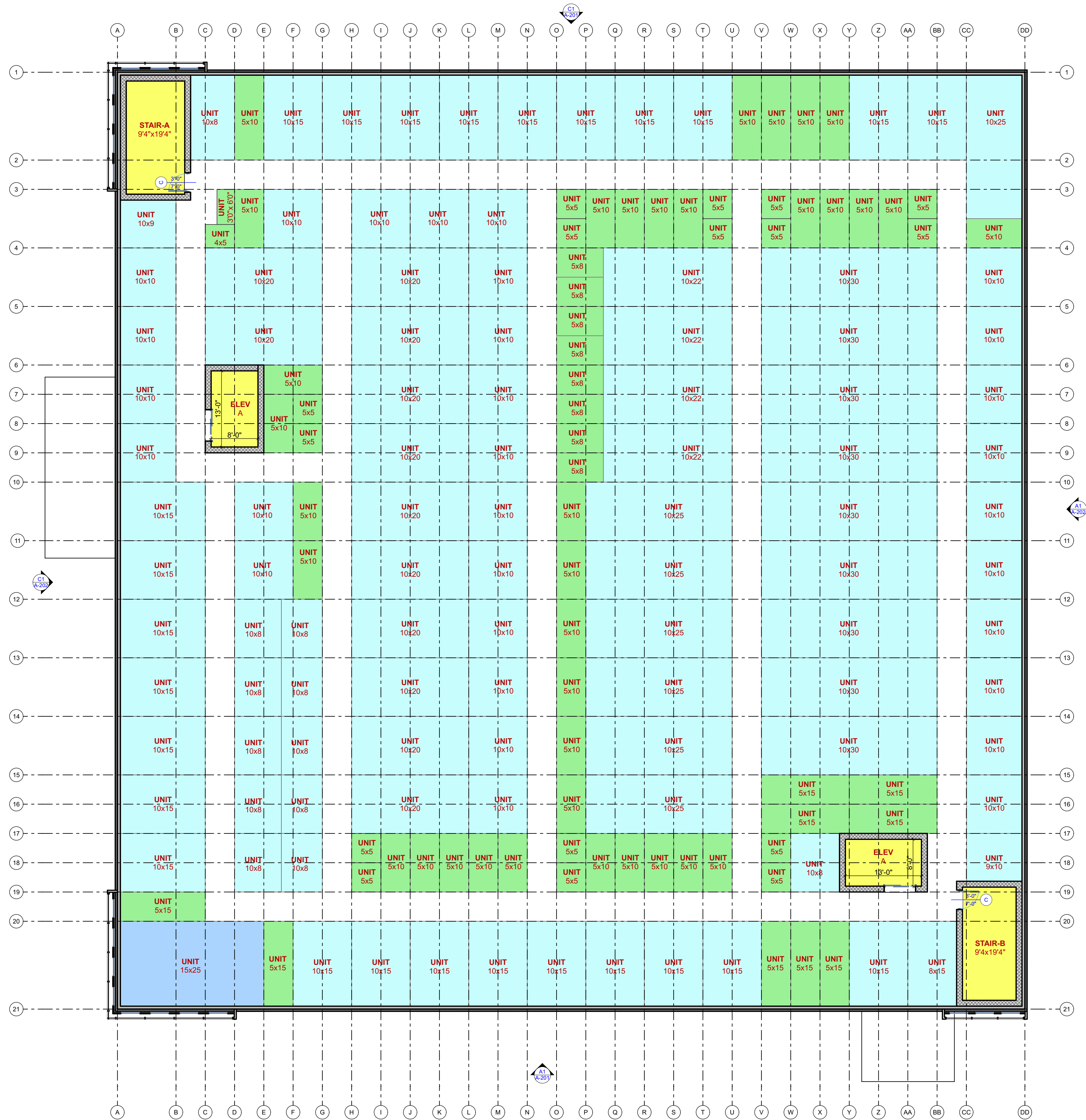
A-111



1st FLOOR CONSTRUCTION PLAN

SCALE: 3/32" = 1'-0"







NORTHEAST
COLLABORATIVE
ARCHITECTS
500 Plaza Middlesex
Middletown, CT. 06457
v. 860.344.9332

249 ELLINGTON ROAD
STORAGE BUILDING
249 Ellington Road
South Windsor, CT. 06074

REVISIONS:

PROGRESS SET
NOT FOR CONSTRUCTION

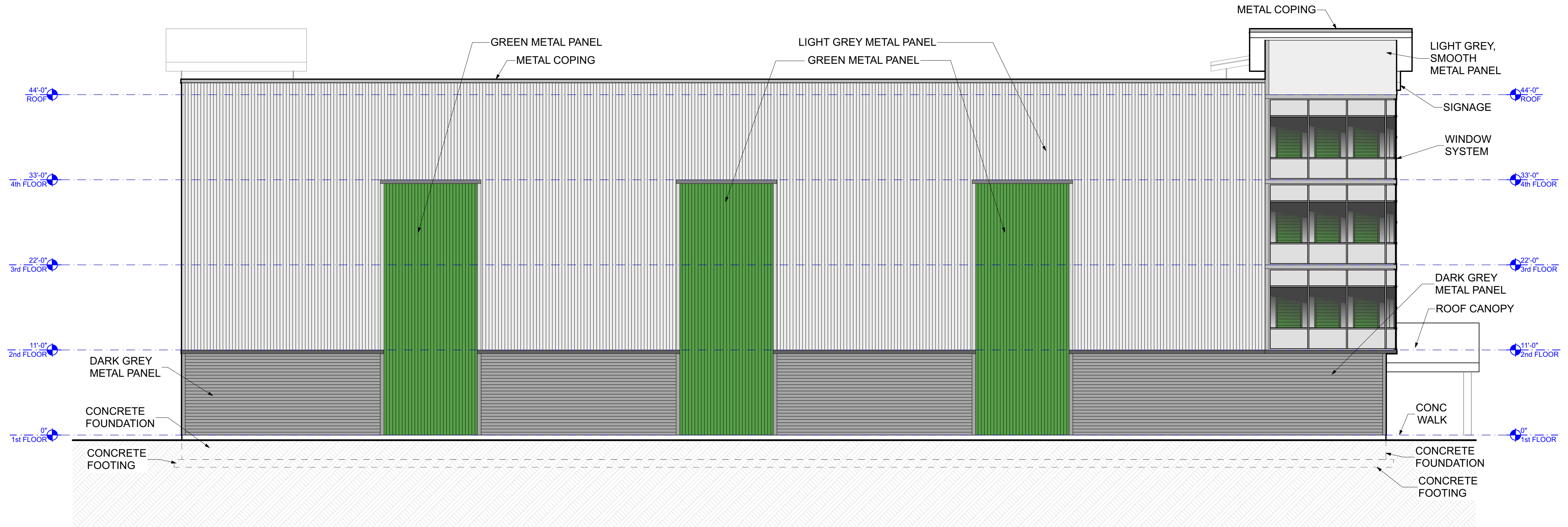
NORTH & SOUTH
EXTERIOR
ELEVATIONS

DATE: 10-24-22

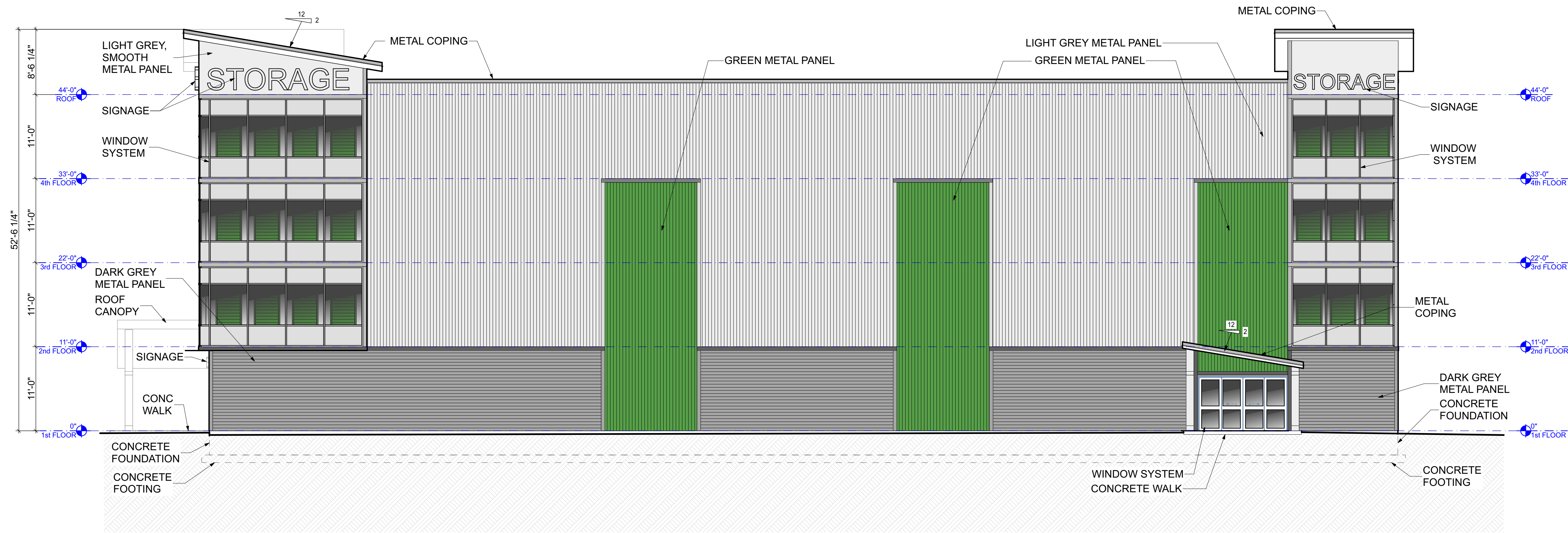
NCA JOB NO.: 22280

DRAWING NO.:

A-201



C1
A-201
NORTH CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"



A1
A-201
SOUTH CONSTRUCTION ELEVATION
SCALE: 1/8" = 1'-0"





NORTHEAST
COLLABORATIVE
ARCHITECTS
500 Plaza Middlesex
Middletown, CT. 06457
v. 860.344.9332

249 ELLINGTON ROAD
STORAGE BUILDING
249 Ellington Road
South Windsor, CT. 06074

REVISIONS:

WEST & EAST
EXTERIOR
ELEVATIONS

DATE: 10-24-22

NCA JOB NO.: 22280

DRAWING NO.:

A-202

