

PRIME MATERIALS RECOVERY

SITE PLAN MODIFICATION

410 GOVERNOR'S HIGHWAY & 444 NUTMEG ROAD ~ SOUTH WINDSOR ~ CT

GIS #36900410 & 65100444

N/F 500' ABUTTERS

STREET ADDRESS	OWNER	PARCEL ID
30 TALBOT LANE	MCCARTHY TALBOT REALTY LLC	88900030
596 GOVERNORS HIGHWAY	BUTLER DERRICK J & CARINA L	36900596
519 NUTMEG ROAD	ELECTRO-METHODS INC	65100519
441 GOVERNORS HIGHWAY	ELECTRO-METHODS INC	36900441
431 GOVERNORS HIGHWAY	ELECTRO-METHODS INC	36900431
300 GOVERNORS HIGHWAY	ELECTRON TECHNOLOGIES CORPORATIO	36900300
551 GOVERNORS HIGHWAY	UW VINTAGE LANE II LLC	36900551
359 GOVERNORS HIGHWAY	HAGELIN ASSOCIATES LLC	36900359
330 NUTMEG ROAD	NUTMEG ROAD ASSOCIATES LLC	65100330
400 GOVERNORS HIGHWAY	MARCO ENTERPRISE MANAGEMENT LLP	36900400
345 NUTMEG ROAD	NUTMEG PROPERTIES OF CT LLC	65100345
584 GOVERNORS HIGHWAY	RONDINONE STEVEN	36900584
301 GOVERNORS HIGHWAY	MACYS LOGISTICS LLC	36900301
560 NUTMEG ROAD	560 NUTMEG ROAD NORTH LLC	65100560
540 NUTMEG ROAD	MR SOUTH WINDSOR PROPERTIES LLC	65100540
550 GOVERNORS HIGHWAY	RULNICK MARTIN	36900550
455 GOVERNORS HIGHWAY	RYAN KATHLEEN T	36900455
330 GOVERNORS HIGHWAY	ELECTRO-METHODS INC	36900330
576 GOVERNORS HIGHWAY	JE SHEPARD COMPANY	36900576
528 NUTMEG ROAD	JE SHEPARD COMPANY	65100528
550 FOSTER ROAD	JE SHEPARD COMPANY	33300550
381 GOVERNORS HIGHWAY	RSS REAL ESTATE LLC	36900381
401 GOVERNORS HIGHWAY	RSS REAL ESTATE LLC	36900401
560 GOVERNORS HIGHWAY	SNUCK ANTHONY G L/U	36900560
555 NUTMEG ROAD	555 NUTMEG RD NO REALTY LLC	65100555
570 GOVERNORS HIGHWAY	JONES WILLIAM &	36900570
475 GOVERNORS HIGHWAY	UW VINTAGE LANE II LLC	36900475
20 BAKER LANE	TEMPLE BETH HILLEL	7100020
5 TALBOT LANE	UW VINTAGE LANE II LLC	88900005
25 TALBOT LANE	UW VINTAGE LANE II LLC	88900025
470 GOVERNORS HIGHWAY	RYCONN PROPERTIES LLC	36900470
L0031 NUTMEG ROAD	MACY'S RETAIL HOLDINGS LLC	6510L0031

ZONING TABLE

ZONE: I ZONE (INDUSTRIAL)				
ITEM	REQUIRED/ ALLOWED	EXISTING (444 NUTMEG)	EXISTING (410 GOVERNOR'S HIGHWAY)	PROPOSED (COMBINED)
LOT AREA	30,000 SF	1,550,691 SF	33,341 SF	1,584,032 SF
LOT FRONTAGE	100'	558.2'	145'	558.2'
LOT DEPTH	150'	768'	230'	768'
FRONT YARD	35'	114.3'	--	88.17'
SIDE YARD	10'	77.4'	--	77.4'
REAR YARD	25'	N/A	--	N/A
BUILDING HEIGHT	40' / 2 STORIES	< 40'	--	< 40'
LOT COVERAGE	50%	2.7%	0.0%	4.8%
IMPERVIOUS COVERAGE	65%	20.7%	0.0%	23.2%

PARKING CALCULATION:

PARKING REQUIRED:
PROPOSED MANUFACTURING/INDUSTRIAL SPACE: 1 SPACE PER 700 GFA REQUIRED
PROPOSED ENCLOSED BUILDING GFA AND GARAGE = 29,900 SF
29,900/700 = 42.7 SPACES REQUIRED
PROPOSED OFFICE SPACE: 165 SF
4.5 SPACES REQUIRED PER 1,000 SF OF GFA
4.5 REQUIRED
42.7 + 4.5 = 47.2 TOTAL SPACES REQUIRED
17 SPACES PROPOSED PLUS 31 RESERVE SPACES
TOTAL PARKING SPACES PROVIDED = 48

10% OF PROPOSED SPACES MUST BE LEVEL 2 EV READY
48 PROPOSED SPACES X .10 = 4.8
5 LEVEL 2 EV READY SPACES ARE REQUIRED, AND ARE PROVIDED.
3% OF PROPOSED SPACES MUST BE LEVEL 2 EV INSTALLED SPACES
48 PROPOSED SPACES X .03 = 1.44 LEVEL 2 EV INSTALLED SPACES REQUIRED, 2 PROVIDED.
ALSO, OF THE 2 LEVEL 2 EV INSTALLED SPACES, 1 IS RESTRICTED VAN ACCESSIBLE.

PRELIMINARY NOT FOR CONSTRUCTION

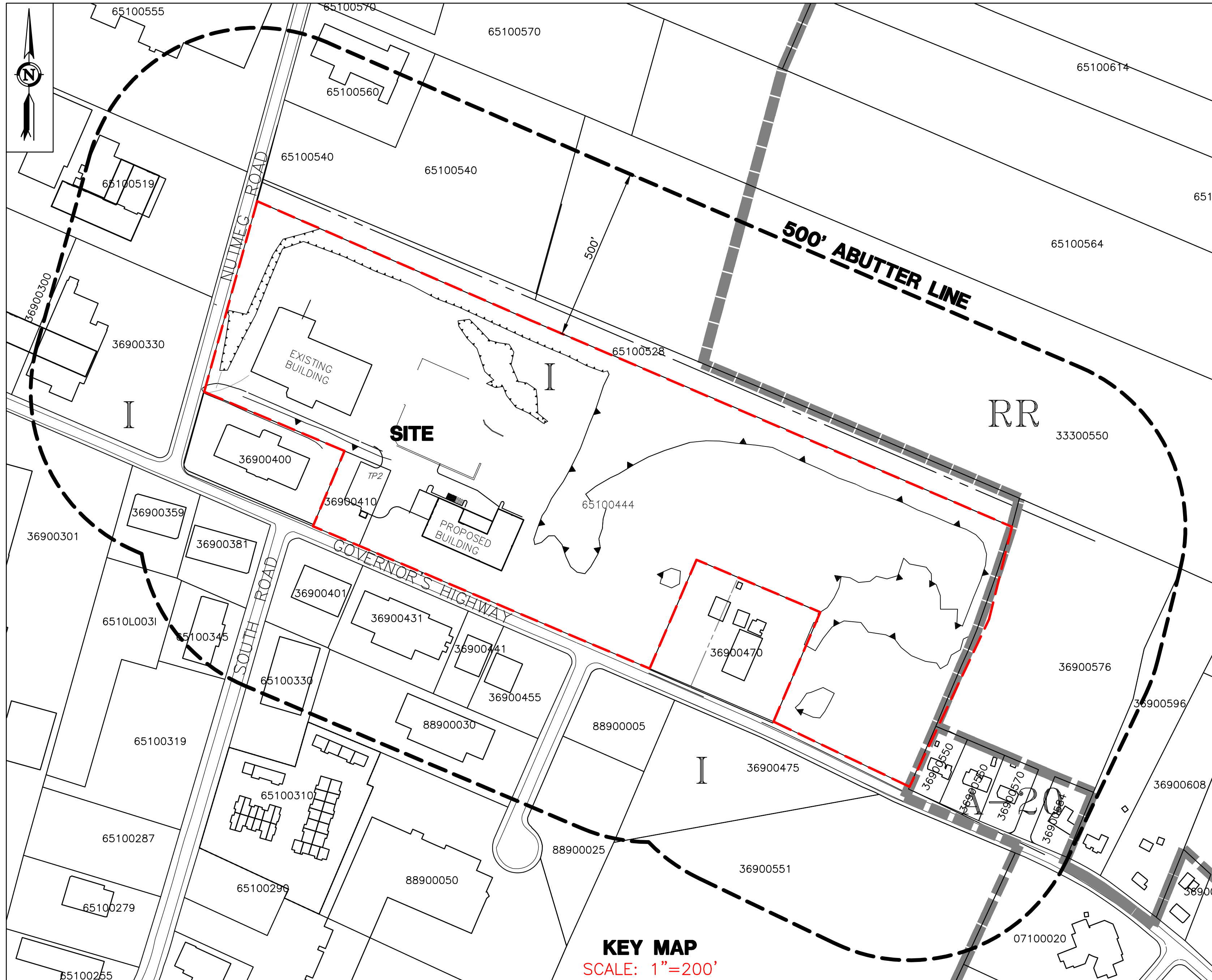
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GENERAL NOTES:

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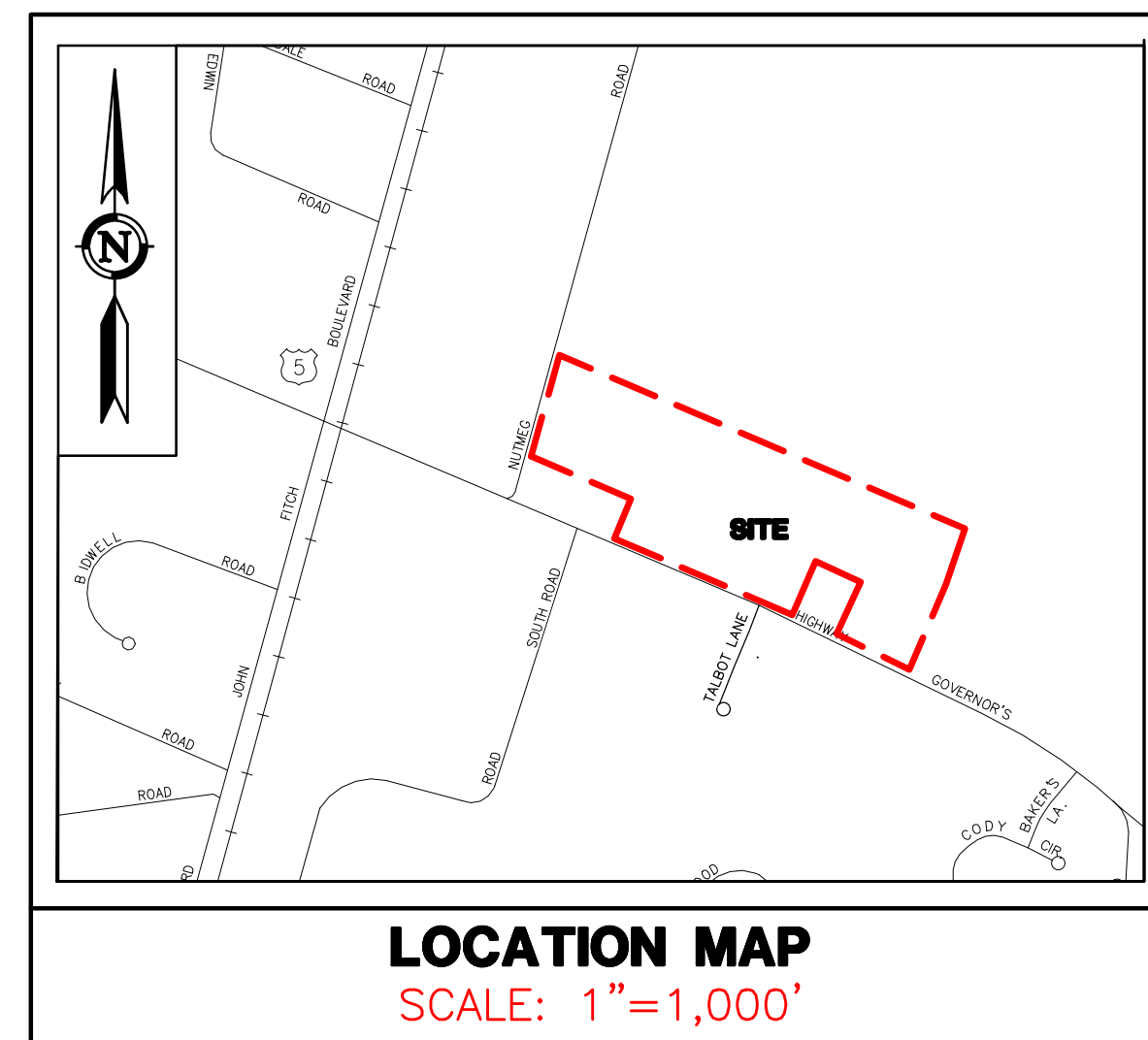
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KEY MAP
SCALE: 1"=200'

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LOCATION MAP
SCALE: 1"=1,000'

CIVIL ENGINEER,
LANDSCAPE ARCHITECT
& LAND SURVEYOR:



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PLANNERS / LANDSCAPE ARCHITECTS

21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
www.designprofessionalsinc.com

ARCHITECT:

FLB Architecture & Planning, Inc.
19 Silver Lane
East Hartford, CT 06118
860-568-4030
www.flbarch.com

PROPERTY OWNERS:
G & S SCRAP REALTY, LLC
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

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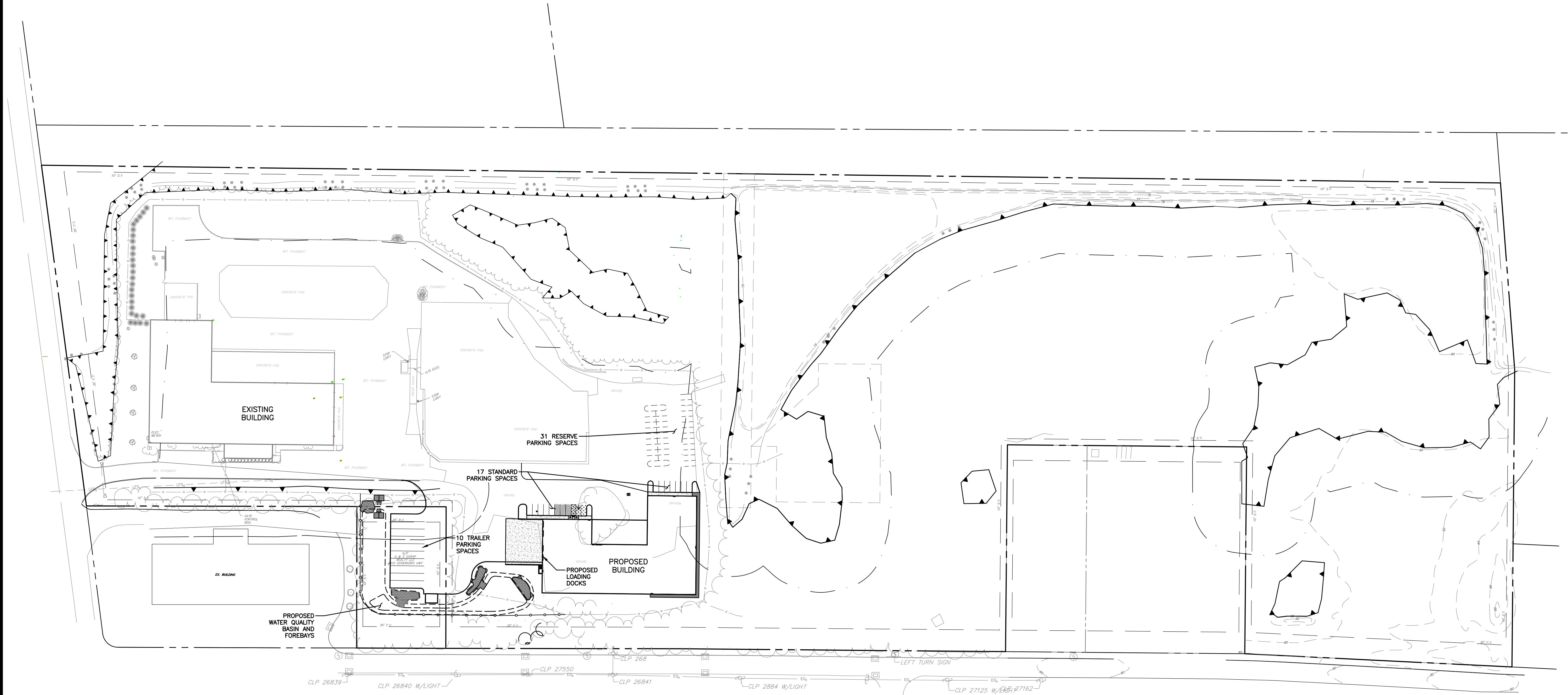
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DATE:
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PRIME MATERIALS
RECOVERY
410 GOVERNOR'S HIGHWAY & 444 NUTMEG ROAD
SOUTH WINDSOR, CT
GIS #36900410 & 65100444

NO.	DATE	REVISIONS	BY

TITLE

SHEET
C-T1
SHEET 1 OF 14



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC PLAN, PRIME MATERIALS RECOVERY, 410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD NORTH, SOUTH WINDSOR, CONNECTICUT" DATED 9/26/2022 PREPARED BY DESIGN PROFESSIONALS, INC.

- SITE LAYOUT PLAN NOTES:**
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
 2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
 3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES



PROPERTY OWNERS:
G & S SCRAP REALTY, LLC
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

APPLICANT:
PRIME MATERIALS RECOVERY
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OVERALL SITE PLAN

C-OS1
SHEET 2 OF 14

NO.	DATE	REVISIONS	BY

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410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD
SOUTH WINDSOR, CT
GIS #36900410 & 65100444

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444 Nutmeg Road
South Windsor, CT 06074
860-622-7626 T

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DATE: 10/03/22
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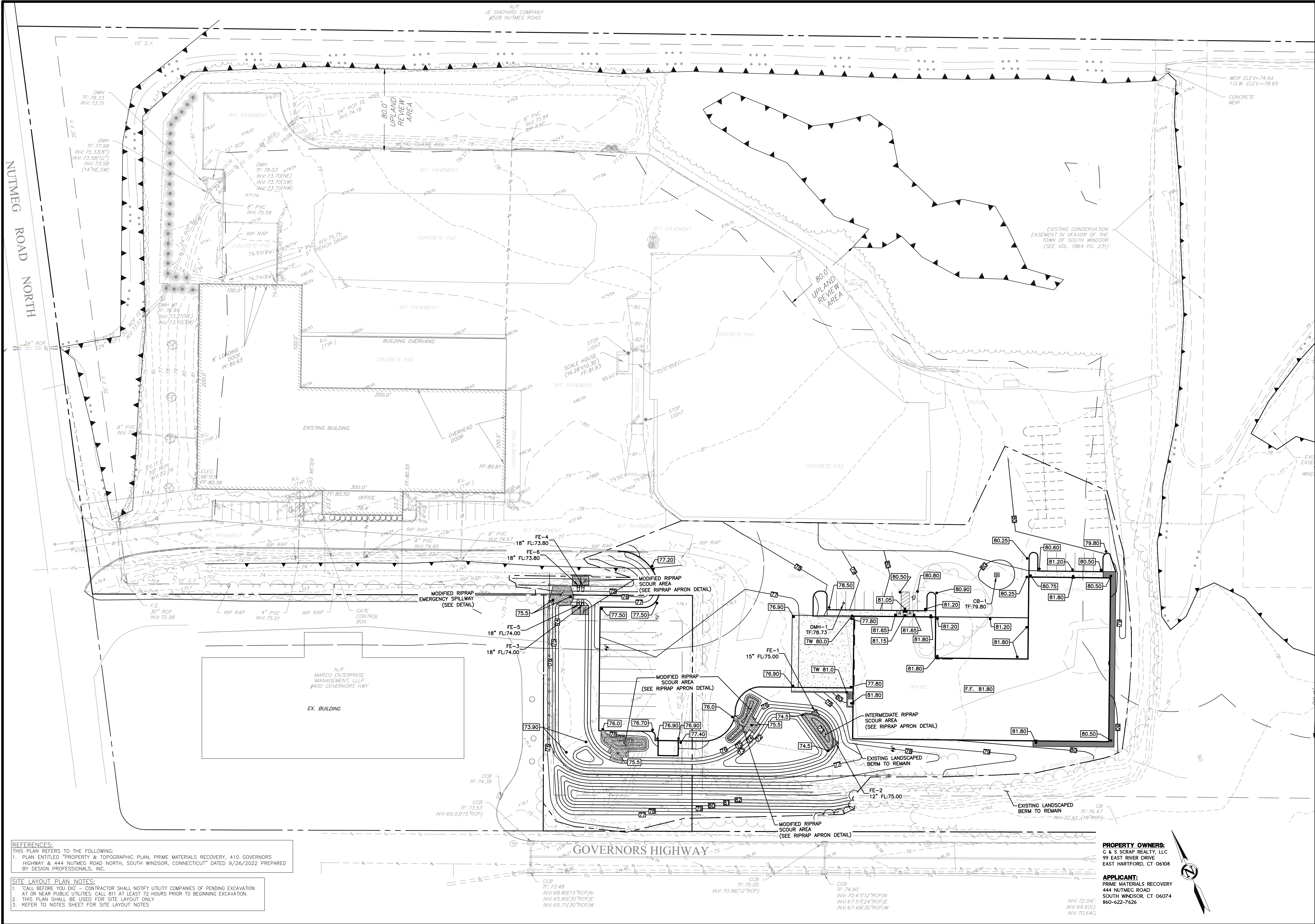
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G & S SCRAP REALTY, LLC
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

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860-622-7626



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860-250-9257 - F
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NO. DATE REVISIONS BY

GRADING PLAN

SCALE: 0' 20' 40' 80'
T = 40'

SHEET
C-GD1
SHEET 4 OF 14

STAGE STORAGE TABLE						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
73.00	3,131.87	N/A	N/A	0.00	N/A	0.00
74.00	4,217.35	1.00	3674.61	3674.61	3661.18	3661.18
75.00	5,359.38	1.00	4788.36	8462.97	4776.97	8438.15
76.00	6,557.95	1.00	5958.67	14421.64	5948.59	14386.75

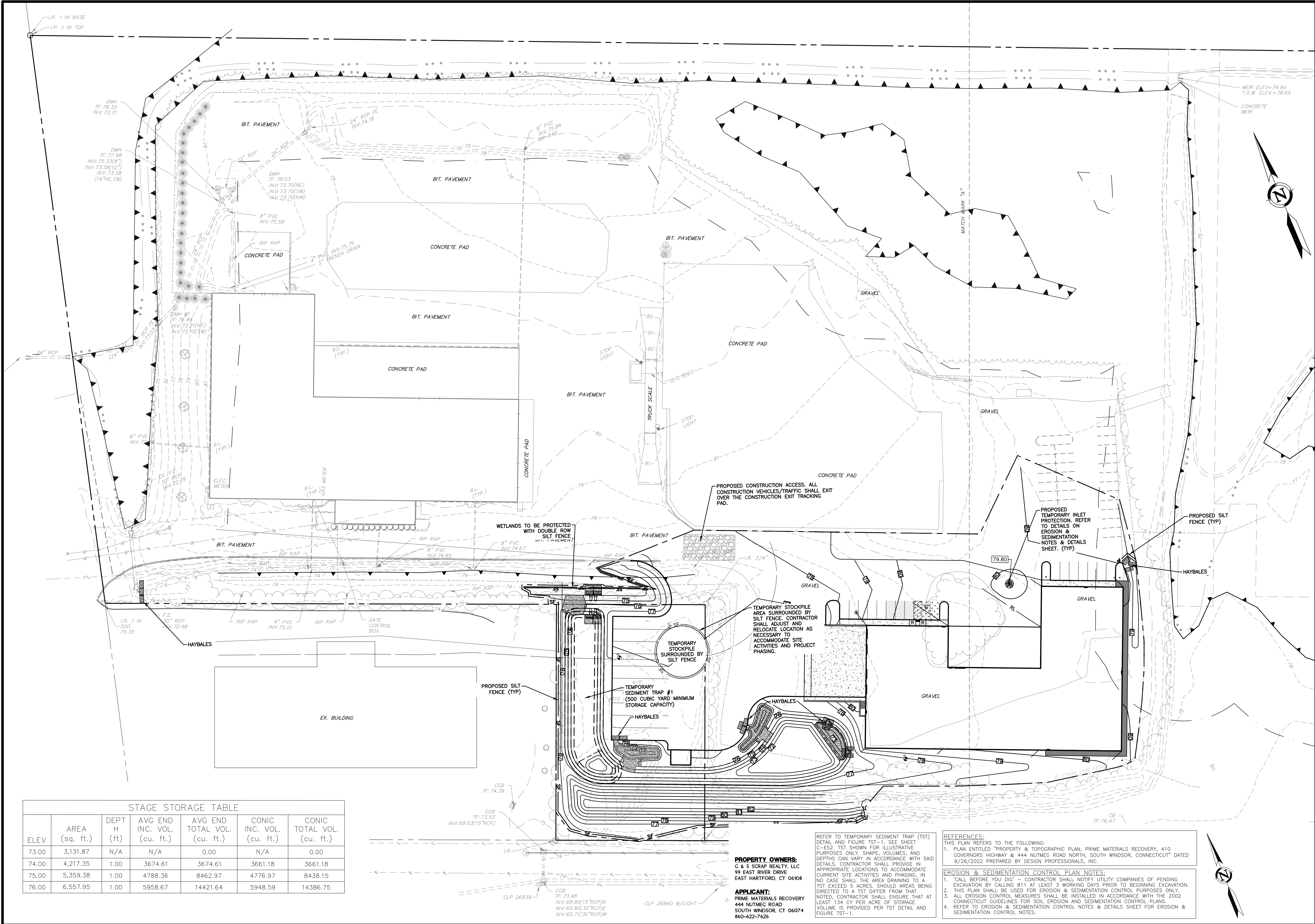
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REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1. SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 134 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.

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EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.



EROSION & SEDIMENTATION CONTROL PLAN

REVISIONS

NO. DATE BY

PRIME MATERIALS RECOVERY

410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD

SOUTH WINDSOR, CT

GIS #36900410 & 65100444

DESIGN PROFESSIONALS

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS

PLANNERS / LANDSCAPE ARCHITECTS

PROJECT NO. 2509P

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DESIGN BY SFC

REVIEW BY SFC

APPROVED BY SFC

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Prime Materials Recovery

444 Nutmeg Road

South Windsor, CT 06074

860-622-7626 T

21 JEFFREY DRIVE

P.O. BOX 167

SOUTH WINDSOR, CT 06074

860-291-8727 - F

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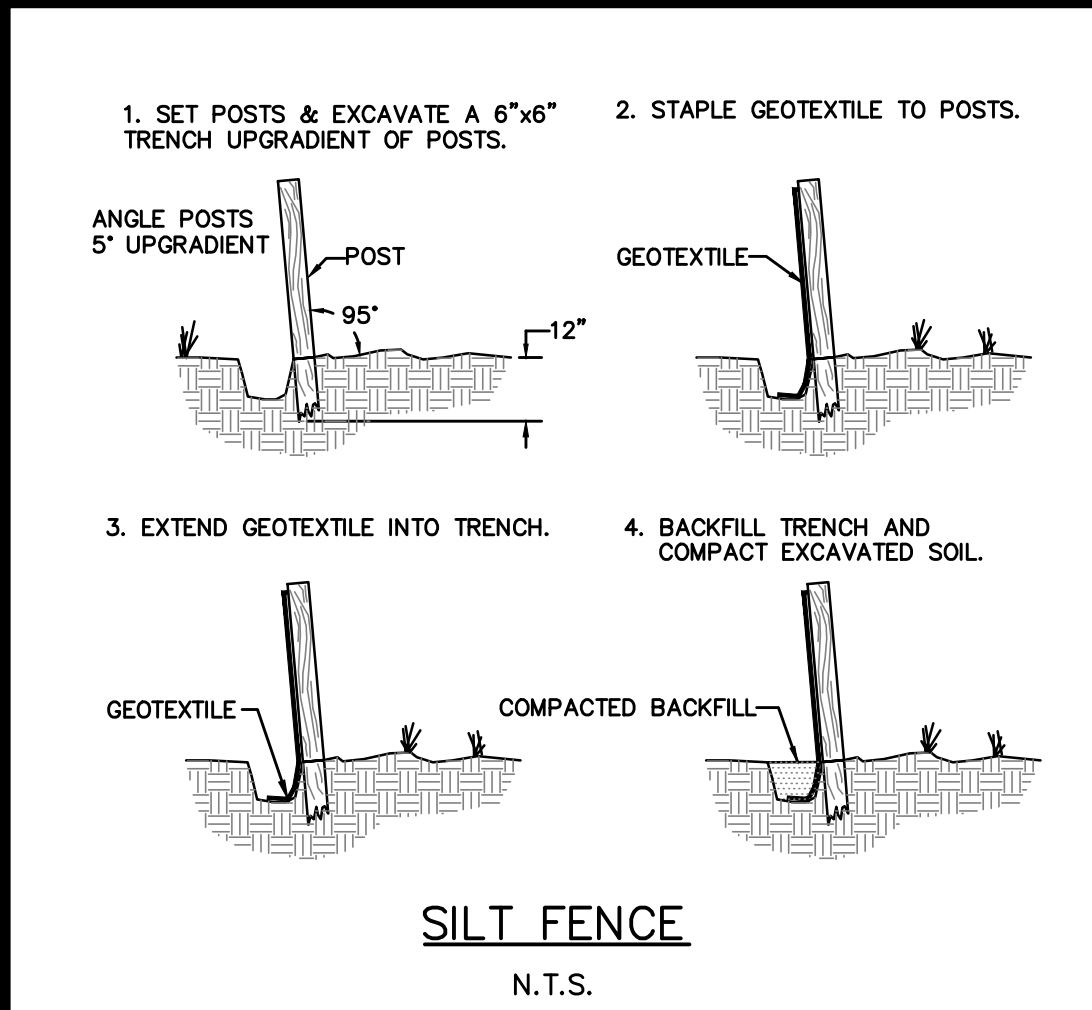
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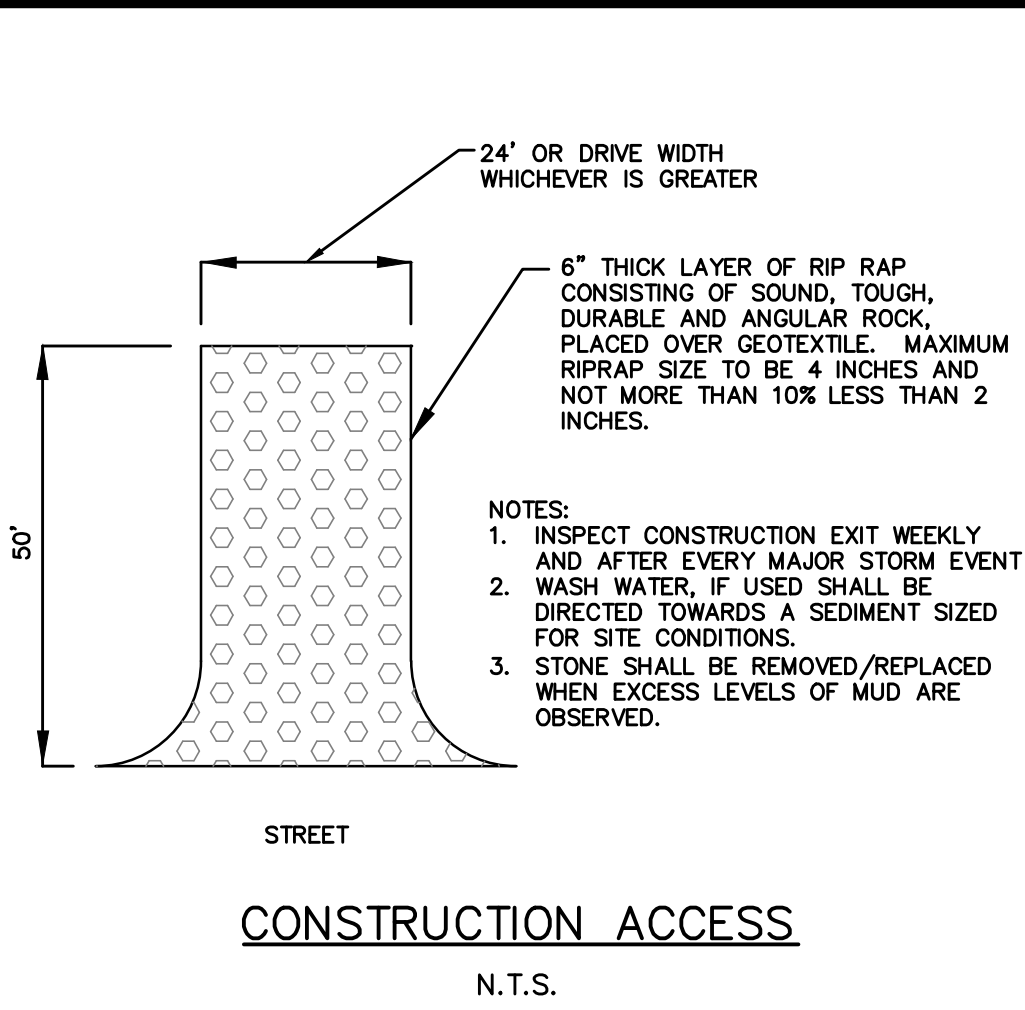
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C-ES1

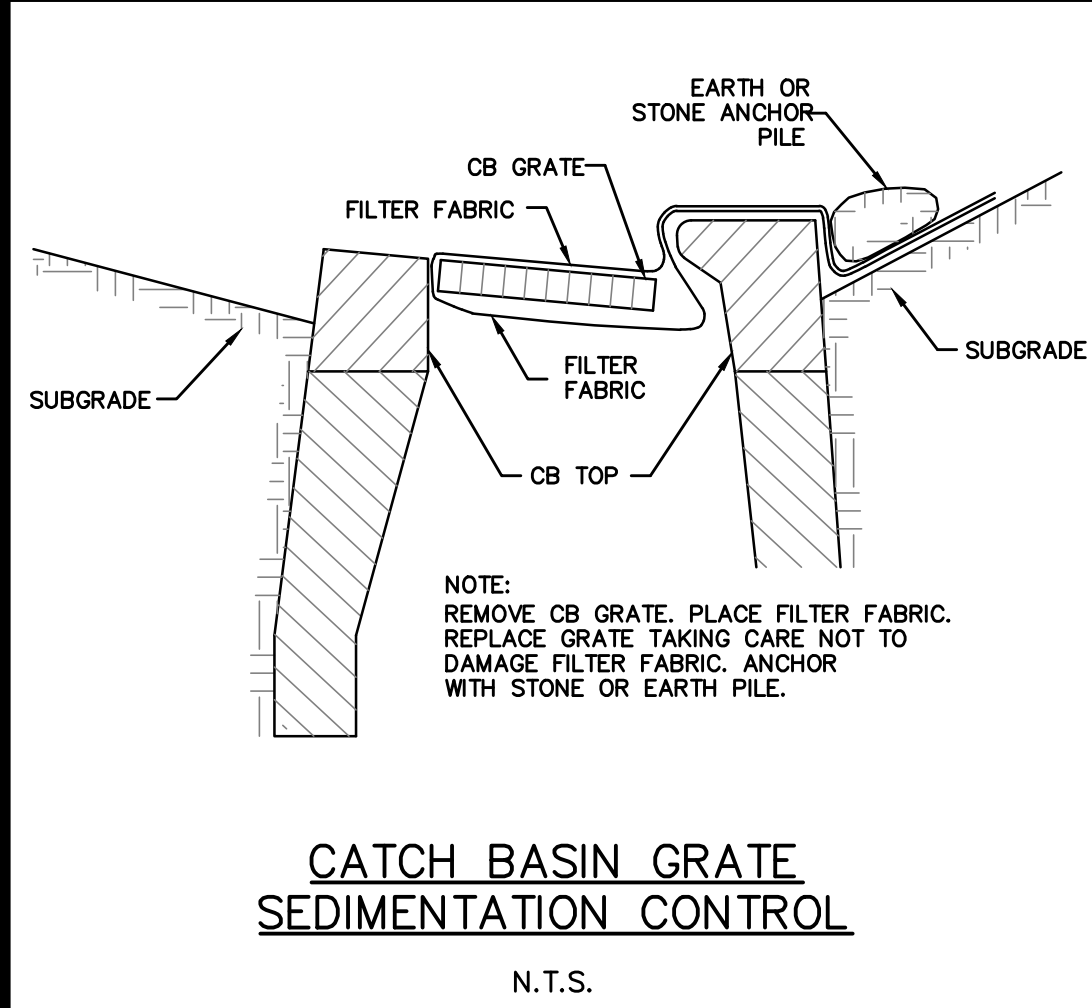
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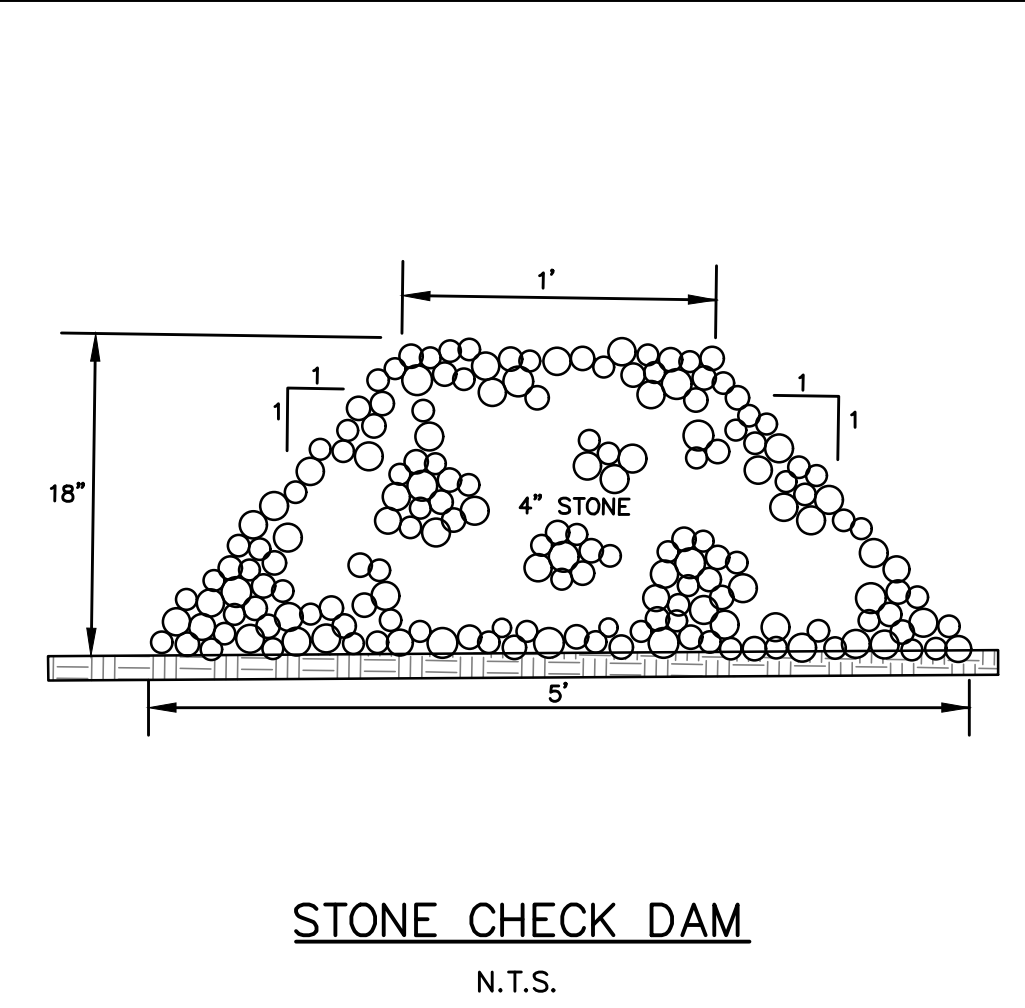
SILT FENCE
N.T.S.



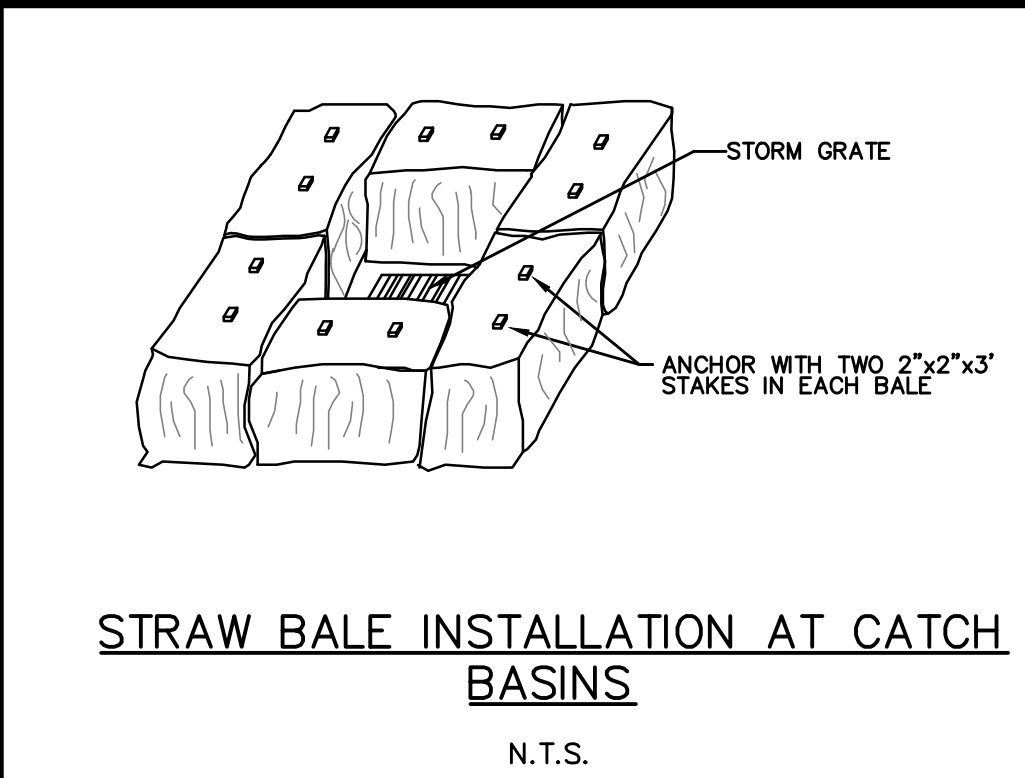
CONSTRUCTION ACCESS
N.T.S.



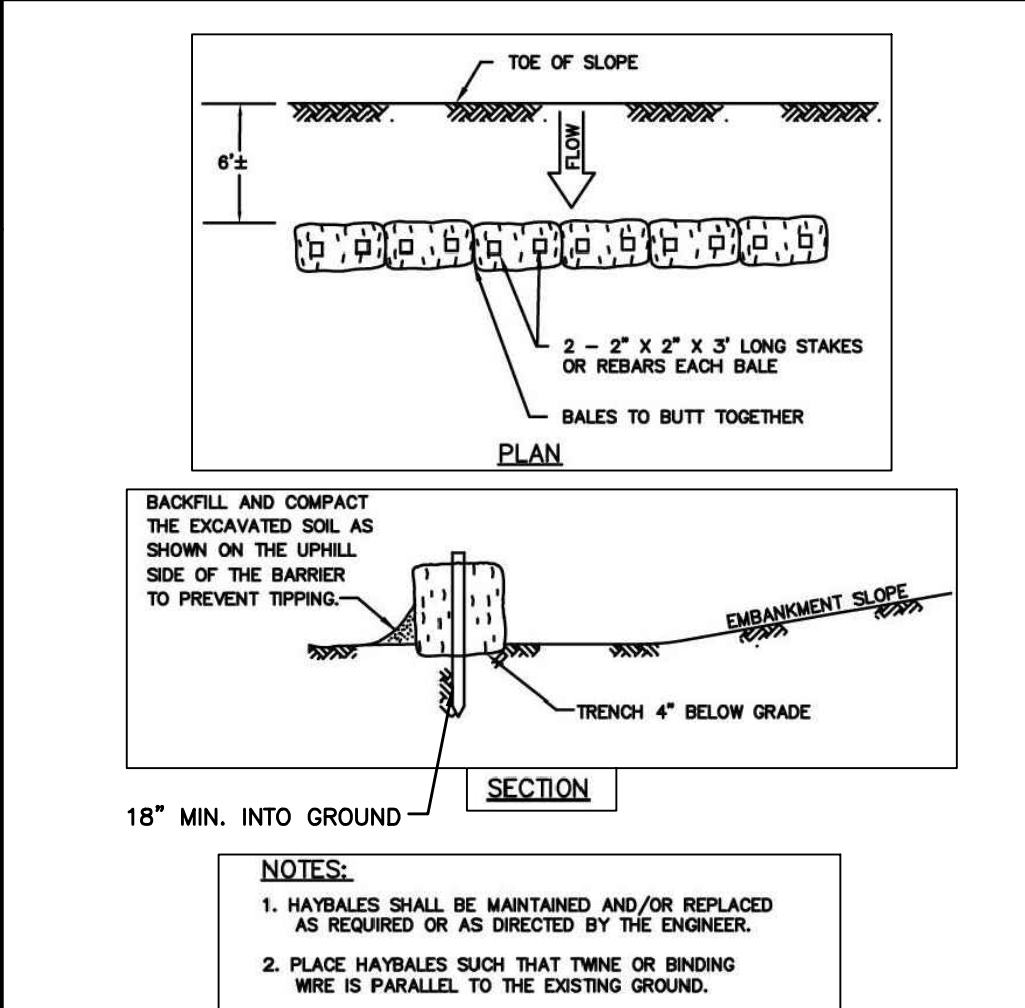
CATCH BASIN GRATE
SEDIMENTATION CONTROL
N.T.S.



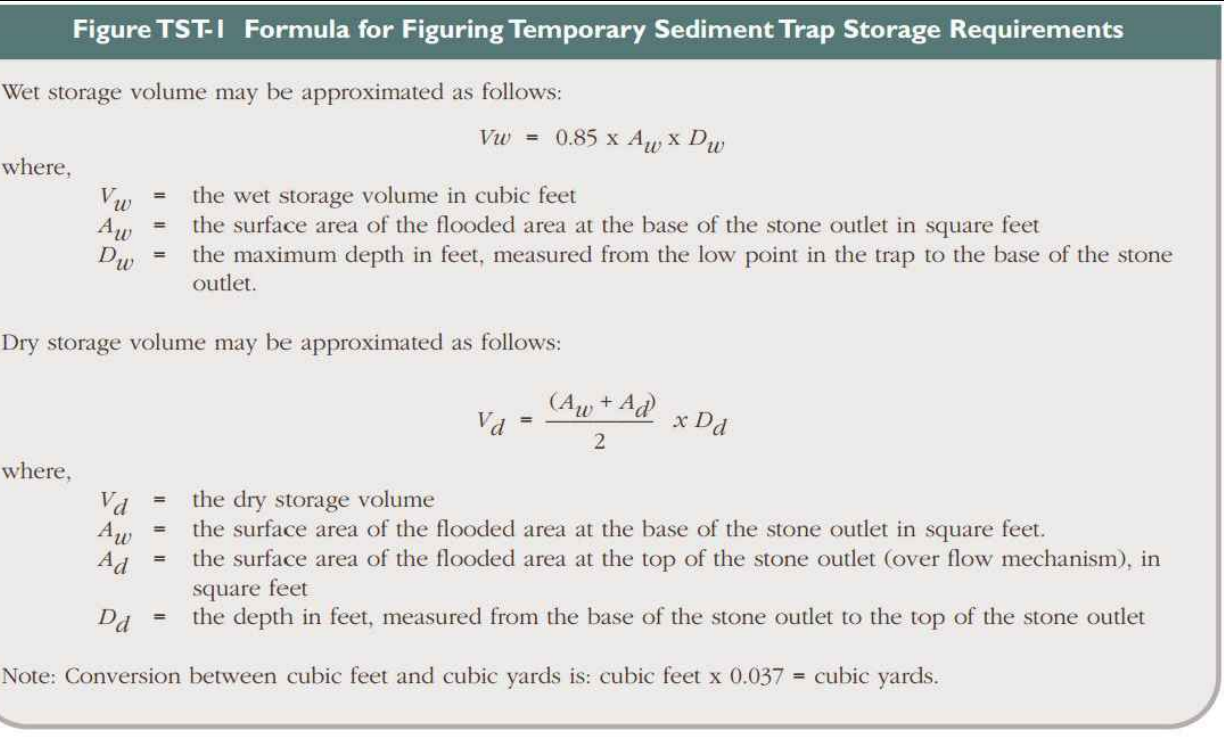
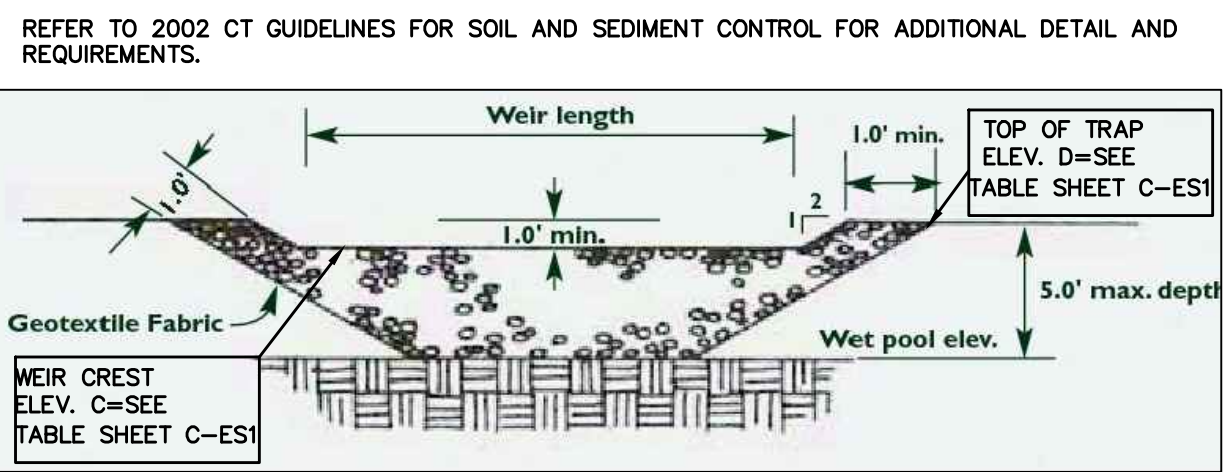
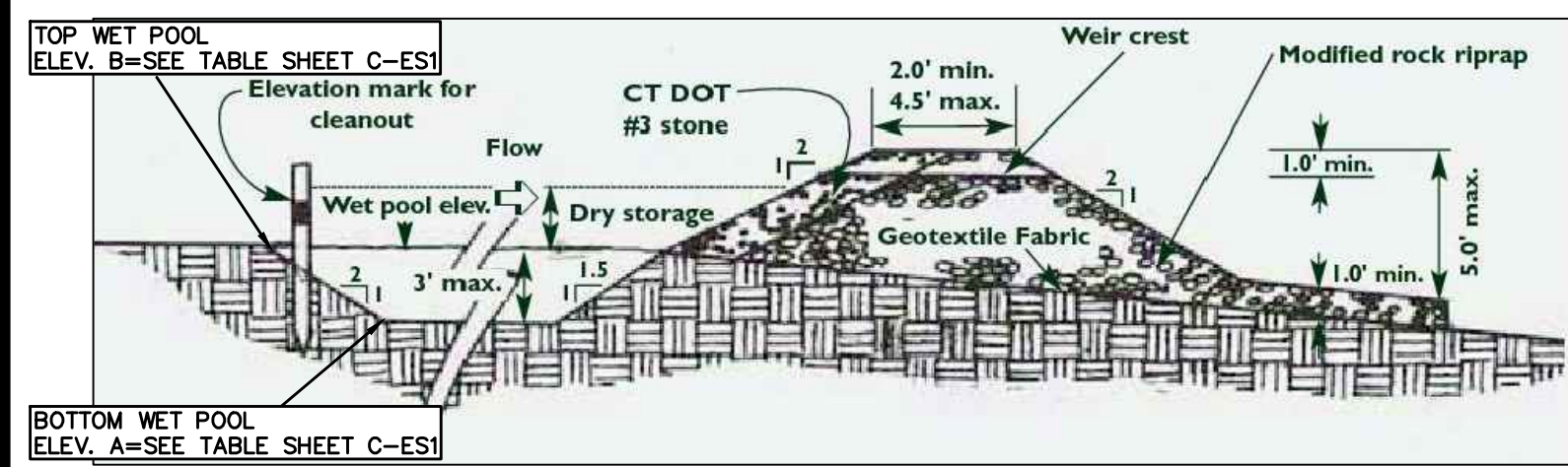
STONE CHECK DAM
N.T.S.



STRAW BALE INSTALLATION AT CATCH
BASINS
N.T.S.

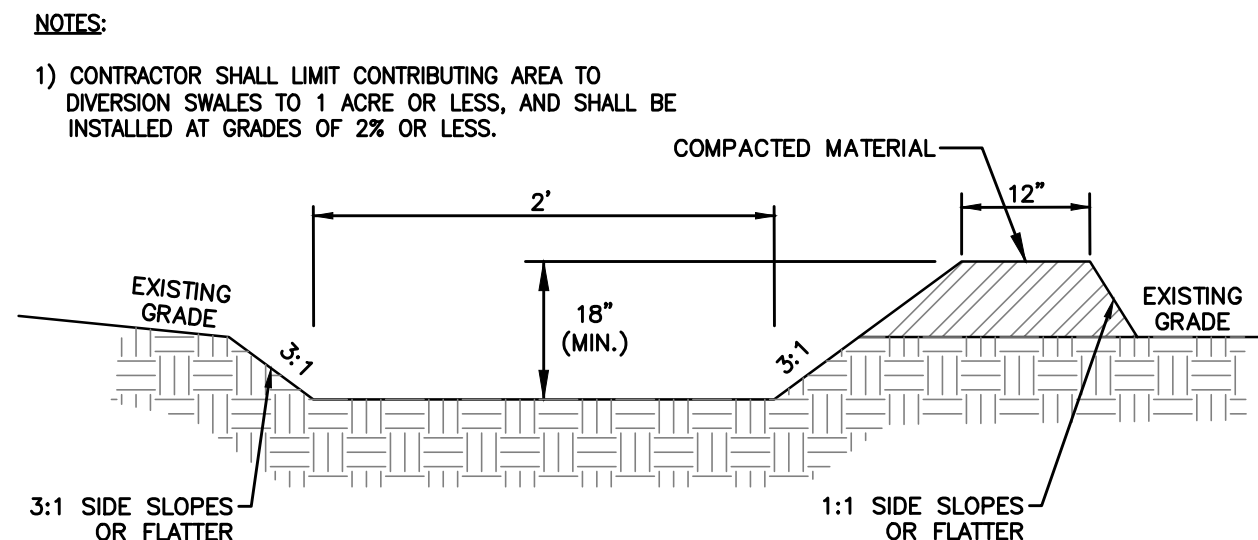


STRAW BALES FOR EROSION
CONTROL
N.T.S.

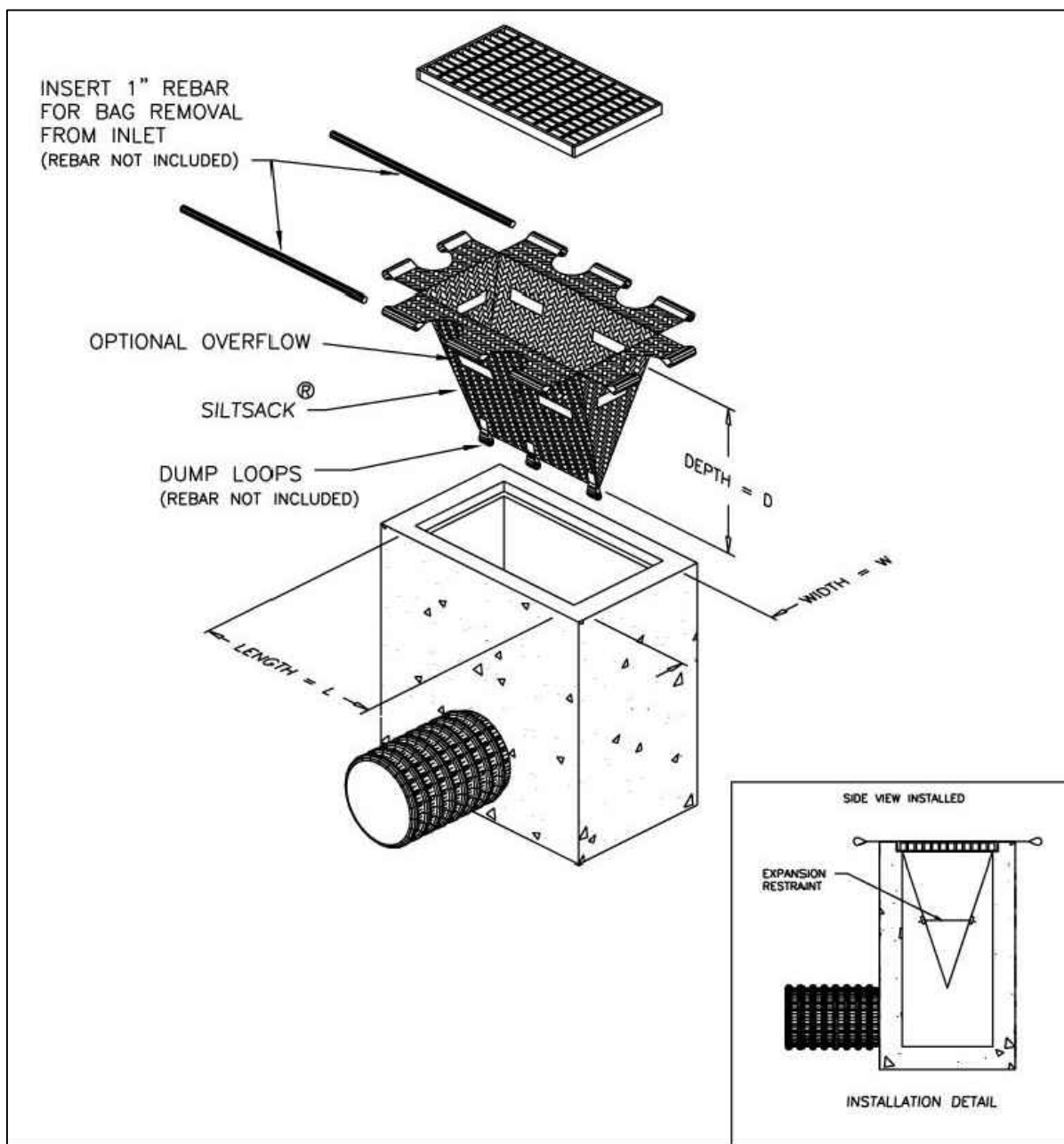


- NOTE:
- VOLUME OF TST SHALL BE A MINIMUM OF 134 CUBIC YARDS PER ACRE DRAINING TO IT. HALF OF THE REQUIRED VOLUME SHALL BE FOR WET STORAGE WHILE THE OTHER HALF SHALL BE FOR DRY STORAGE. REFER TO GENERAL SIZING CALCULATIONS FOR TST BELOW.

TEMPORARY SEDIMENT TRAP
N.T.S.



TEMPORARY DIVERSION SWALE
N.T.S.



CURB-LESS INLET PROTECTION DETAIL
N.T.S.

CONSTRUCTION SEQUENCE (DETENTION BASIN):

- INSTALL CONSTRUCTION ACCESS AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ACCESS IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
- STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
- CONSTRUCT TEMPORARY SETTLING OR SILTATION BASINS, SEDIMENT TRAPS AND OTHER BEST MANAGEMENT PRACTICES AS SHOWN ON THE PLANS.
- REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. REFER TO LANDSCAPE PLANS FOR TEMPORARY SEEDING REQUIREMENTS.
- CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
- ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUIVAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
- INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH HAYBALES AND FILTER FABRIC AS SHOWN IN THE DETAILS.
- INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
- MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
- ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND/OR UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR. ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

WATER QUALITY BASIN AND SEDIMENT FOREBAYS: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM
(WEEKLY CONSTRUCTION REPORTS):

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

EROSION & SEDIMENTATION CONTROL NARRATIVE

- PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
- AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDING WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:
MULCH: STRAW 90# / 1000 S.F.
TEMPORARY SEEDING: PERENNIAL RYEGRASS 1.0# / 1000 S.F.
- CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
- DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
- AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
- AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
- AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
- THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO

PROJECT
CONTACT INFO:

BRYAN SCHILBERG
860-622-7626

ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.

- THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
- ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER. WITHOUT OVERFLOW FROM THE CONTAINMENT AREA, ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
- CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
- IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
- FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE - FALL 2022
ESTIMATED COMPLETION DATE - SUMMER 2023

CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAIL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBARRIERS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPALLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

PROPERTY OWNERS:
G & S SCRAP REALTY, LLC
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

LANDSCAPING NOTES:

1. PER ZONING REGULATION TABLE 6.4.6A PARKING AREAS WITH FEWER THAN 30 PARKING SPACES REQUIRE 5% OF THE INTERIOR PARKING AREA TO BE LANDSCAPED AND ONE TREE FOR EACH 10 PARKING SPACES.
2. 17 PARKING SPACES ARE PROPOSED. 2 TREES ARE REQUIRED. 4 TREES ARE PROVIDED IN THE PARKING AREA ISLANDS.
- 5% OF THE PARKING AREAS IS AN AREA OF 432 SF. 612 SF OF LANDSCAPED ISLANDS ARE PROVIDED.

WETLAND CREATION PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
20	<i>Calamagrostis canadensis</i>	Canada Bluejoint	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Carex stricta</i>	Tussock Sedge	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Juncus effusus</i>	Soft Rush	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Leersia oryzoides</i>	Rice Cutgrass	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Mimulus ringens</i>	Monkey-flower	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Sagittaria latifolia</i>	Northern Arrowhead	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Scirpus cyperinus</i>	Wool Grass	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Scirpus validus</i>	Soft-stem Bulrush	ONE YR GROWTH	2" POT	2' O.C.
20	<i>Verbena hastata</i>	Blue Vervain	ONE YR GROWTH	2" POT	2' O.C.

LEGEND

- BASIN BOTTOM SEED MIX (TYPE IV)
- BASIN SIDE SLOPE SEED MIX (TYPE II)
- WETLAND CREATION PLANTING (REFER TO WETLAND CREATION PLANTING SCHEDULE)

LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
GLTR	2	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Honeylocust	2" Cal.	B&B	PLANT AS SHOWN
TCGR	3	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	2" Cal.	B&B	PLANT AS SHOWN
EVERGREEN TREES						
ABBA	19	<i>Abies balsamea</i>	Balsam Fir	6'-8" ht.	B&B	PLANT AS SHOWN
ABCO	10	<i>Abies concolor</i>	White Fir	6'-8" ht.	B&B	PLANT AS SHOWN
PIGL	6	<i>Picea glauca</i>	White Spruce	6'-8" ht.	B&B	PLANT AS SHOWN
TONI	55	<i>Thuja occidentalis</i> 'Nigra'	Dark American Arborvitae	6'-8" ht.	B&B	PLANT AS SHOWN

PROPERTY OWNERS:
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99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC PLAN, PRIME MATERIALS RECOVERY, 410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD NORTH, SOUTH WINDSOR, CONNECTICUT" DATED 9/26/2022 PREPARED BY DESIGN PROFESSIONALS, INC.

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3. REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

LANDSCAPE PLAN

SHEET
C-LS1
SHEET 8 OF 14

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NO.	DATE	BY

PRIME MATERIALS
RECOVERY

410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD
SOUTH WINDSOR, CT
GIS #36900410 & 65100444

PREPARED FOR:
Prime Materials Recovery
444 Nutmeg Road
South Windsor, CT 06074
860-622-7626 T

PRODUCT NO:
2509P

DATE:
10/03/22

DESIGN BY:
SFC

DRAWN BY:
SFC

CHECKED BY:
SFC

design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 EBBEY DRIVE
PO BOX 1167
SOUTH WINDSOR, CT 06074
860-298-9257 - F
www.designprofessionalsinc.com

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[illegible]

1. SEEDING MIXTURE TYPE I (LAWN AREAS).
BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
CREeping RED FESCUE 30% OF MIXTURE
PERENNIAL RYEGRASS 20% OF MIXTURE
APPLICATION RATE: 4.50 LBS. PER 1,000 S.F.
2. SEEDING MIXTURE TYPE II (BASIN SLOPES)
RETENTION BASIN HILDLITE MIX - ERNRY-127
By Ernst Commercial Seeds, 4006 Market Pike, Meadowdale, PA 16335 (800) 873-3731
APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
3. SEEDING MIXTURE TYPE IV (BASIN BOTTOM)
PERENNIAL RYEGRASS 10% OF MIXTURE
CREeping RED FESCUE 10% OF MIXTURE
ALSKIE CLOVER 5% OF MIXTURE
RED TOP 5% OF MIXTURE
TURF-TYPE TALL FESCUE 70% OF MIXTURE
APPLICATION RATE: 5.00 LBS PER 1,000 S.F.
4. BASIN SLOPE SEEDING: THE HATCH OF "TRACKED" TOPSOIL UNLESS OTHERWISE NOTED.
SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO
DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.
SEEDING OF BASIN SLOPES (SIDEWALLS) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING.
AND AN ADDITIONAL 15% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUIVALENT
TO 2000 LBS PER ACRE OF 100% CLOVER, PER ACRE
CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY
GROWTH IS DETECTED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF
MAINTENANCE PERIOD.

1. ALL CONSTRUCTION EQUIPMENT UTILIZED IN THIS AREA SHALL MINIMIZE COMPACTION AS MUCH AS POSSIBLE.
2. EXCAVATE AREA TO A DEPTH 12" BELOW FINISH GRADE AND STOCKPILE TOPSOIL BEYOND THE LIMITS OF WETLANDS.
3. MECHANICALLY MIX TOPSOIL WITH A MINIMUM 30% ORGANIC CONTENT OUTSIDE OF THE WETLANDS CREATION AREA. USE TOPSOIL FROM WETLANDS TO BE REVERSED.
4. PLACE TOPSOIL/ORGANIC SOIL MIXTURE IN WETLAND CREATION AREA TO A MINIMUM DEPTH OF 12". NO FERTILIZER OR LIME SHALL BE APPLIED.
5. PLANT WETLAND PLANTS PER WETLAND CREATION PLANTING SCHEDULE ON SHEET C-15I.
6. PLANTS TO BE PLACED IN FIELD WITH SPACING AS SPECIFIED. EVENLY DISTRIBUTE ALL SPECIES THROUGHOUT ENTIRE PLANTING AREA.

1. ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY THE TRUNK OF THE TREE.
2. ALL TREES SHALL BE COMPLETELY REMOVED ONCE THE TREE HAS BEEN PLACED IN THE PLANTING AREA. BURLAP SHALL BE REMOVED FROM THE TRUNK AND THE ROOT BALL SHALL BE CUT INTO ANY NINE BASKETS SHALL BE CUT AND THE UPPIER 2/3 REMOVED.
3. ALL TREES SHALL BE FRESHLY DUG WITHIN 30 DAYS OF DELIVERY TO THE PLANTING SITE.
4. NO OTHER OBJECTS AROUND THE ROOT BALL SHALL BE REMOVED.
5. THE AREA AROUND THE ROOT BALL SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE AS MEASURED FROM THE ROOT FLAIR ON THE TRUNK TO THE BOTTOM OF THE ROOT BALL.
6. ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED SITE.
7. BACK FILLING TREES, GROWING MEDIUM SHALL BE WORKED IN TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO COMPACT MEDIUM NEAR THE TRUNK OF THE TREE.
8. THE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES ABOVE THE GRADE.
9. WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE.
10. ALL TREE TRUNKS SHALL BE FREE FROM ANY INJURY OR DAMAGE.
11. ALL TREES SHALL BE PLACED IN THE PLANTING ORDER.
12. TREES SHALL NOT BE STAKED OR GUYED UNLESS DIRECTED BY THE ARCHITECT.
13. THE DEPTH OF ALL MULCH SHALL NOT EXCEED MORE THAN TWO INCHES.
14. ALL TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED.
15. NO PRUNING SHALL BE PERFORMED UNLESS DIRECTED BY THE TREE NURSERY.
16. FERTILIZERS OR WATER POLYMERS SHALL BE APPLIED AT

Not to Scale

Not to Scale

Not to Scale

Not to Scale

Not to Scale

C-LS2

SHEET 9 OF 14

SHEET

LANDSCAPE DETAILS & NOTES

NO.	DATE	REVISIONS	BY

PRIME MATERIALS

RECOVERY

410 GOVERNOR'S HIGHWAY & 444 NUTMEG ROAD
SOUTH WINDSOR, CT

GIS #369000410 & 651000444

PREPARED FOR:

Prime Materials Recovery
444 Nutmeg Road
South Windsor, CT 06074
860-622-7626 T

PROJECT NO.
25091P

DATE
03/22

CONTRACT NO.
SFC

DRAWING BY
CMM

SHEET NO.
SFC

21 JEFFREY DRIVE
PO BOX 1867
SOUTH WINDSOR, CT 06074
860-294-8257
www.designprofessionals.com

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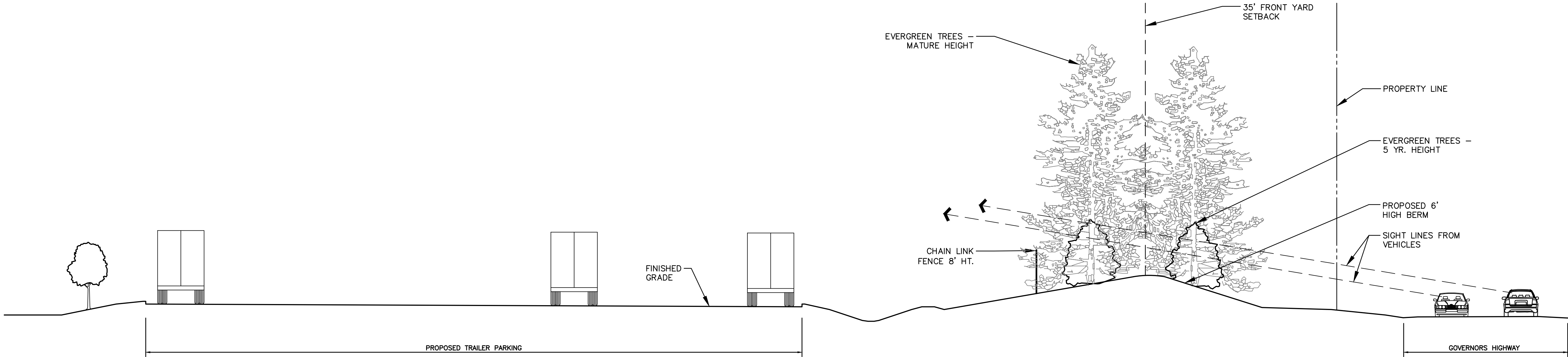
• The plan is issued in three (3) sets: one set for client, one set for contractor, and one set for landscape architect.

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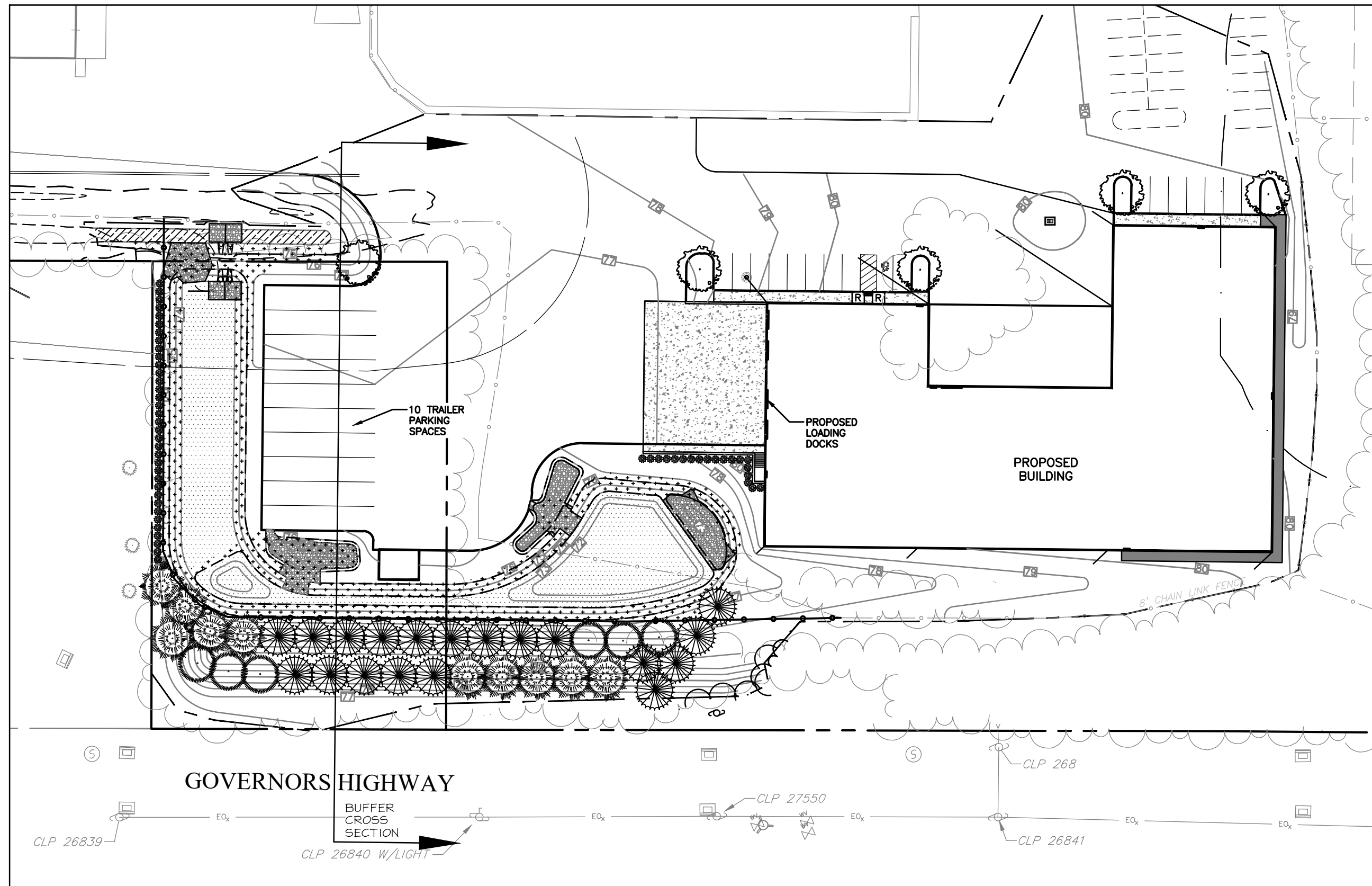
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File: C:\jda\2509P\Landscape Arch\AutoCAD\2509 LS-LT Planning Layout: 10/4/2022 9:22 AM Plotted: 10/4/2022 8:39 AM Last Saved By: BernieMurlo



1 BUFFER CROSS SECTION



2 KEY MAP

PROPERTY OWNERS:
G & S SCRAP REALTY, LLC
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

REFERENCES:
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SOUTH WINDSOR, CT 06074
860-298-8257 - F
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PREPARED FOR:
Prime Materials Recovery
444 Nutmeg Road
South Windsor, CT 06074
860-622-7626 T

PROJECT NO:
2509P

DATE:
10/03/22

DESIGNED BY:
SFC

DRAWN BY:
SFC

CHECKED BY:
SFC

PRIME MATERIALS RECOVERY
410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD
SOUTH WINDSOR, CT
GIS #36900410 & 65100444

NO.	DATE	REVISIONS	BY

LANDSCAPE PLAN

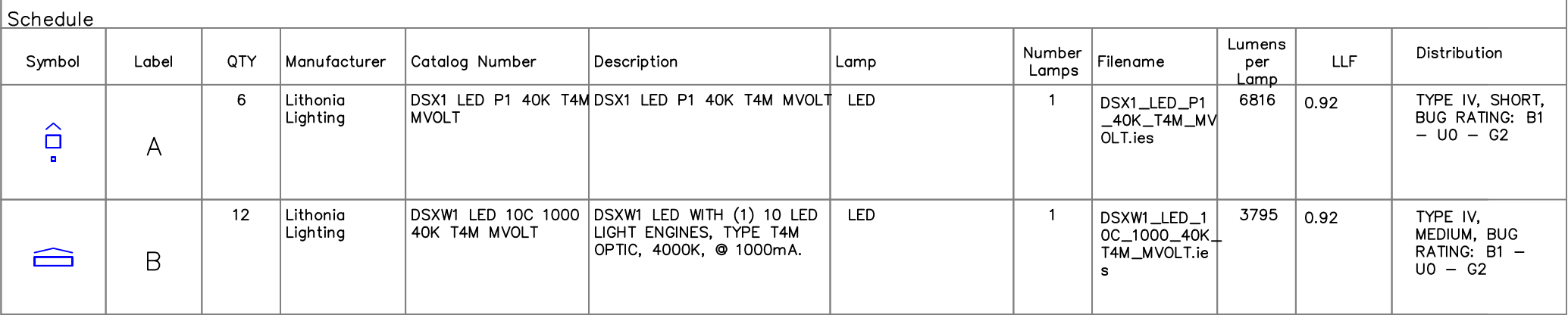
SCALE: 0 20' 40' 80'

T = 40'

SHEET

C-LS3

SHEET 10 OF 14



1. THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOT-CANDELES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
3. MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
4. ALL FIXTURES AND PHASES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURB.
5. ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
6. LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
7. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

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2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

D-Series Size 1 LED Wall Luminare

Buy American

d'series

Specifications Luminare

Width:	13-3/4" (344 mm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (254 mm)		
Height:	6-3/8" (162 mm)		

Back Box (BB2W, E2WOC)

Width:	13-3/4" (344 mm)	Weight:	5 lbs (2.3 kg)
Depth:	8" (203 mm)	BB2W Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (162 mm)		

For 30" x 30" x 4" cavity (not shown)

Introduction

The D-Series Wall Luminare is a stylish, fully integrated LED solution for building-mood applications. It features a sleek, modern design and is carefully engineered to provide long-lasting energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSW1K 20C 100K 400 T3M MVOLT DBTSTD

Series	Size	Driver Config	Color Temperature	Distribution	Mounting	Mounting Options	Accessories
DSW1K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)	225°	1 1/2" Shank	Standard
DSW2K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)	225°	1 1/2" Shank	Standard
DSW3K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)	225°	1 1/2" Shank	Standard
DSW4K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)	225°	1 1/2" Shank	Standard
DSW5K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)	225°	1 1/2" Shank	Standard
DSW6K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)	225°	1 1/2" Shank	Standard
DSW7K LED	10C (10" x 10" LED engine)	30A 300mA	30K 3000K	12° Spot (Opt.)	90°/180°	1/2" Shank	Standard
	15C (15" x 15" LED engine)	50A 500mA	40K 4000K	12° Spot (Opt.)	90°/180°	3/8" Shank	Standard
	20C (20" x 20" LED engine)	70mA 700mA	50K 5000K	15° Spot (Opt.)	225°	1" Shank	Standard
	30C (30" x 30" LED engine)	100A 1000mA	AWFC Ambient	15° Spot (Opt.)			

[illegible]

- At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Safety and Health (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed plans. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall submit in writing to the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and the local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- No work, including but not limited to tree clearing, beyond the limits of disturbance shown shown on the approved plans shall be completed without approval. No trees and/or vegetation outside the limits shown on the drawings shall be removed. Any items desired to be removed outside the limits shown must be approved in writing by the engineer and the local authorities having jurisdiction. All equipment and construction activities must be confined to the property, right-of-way, and designated work space.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with

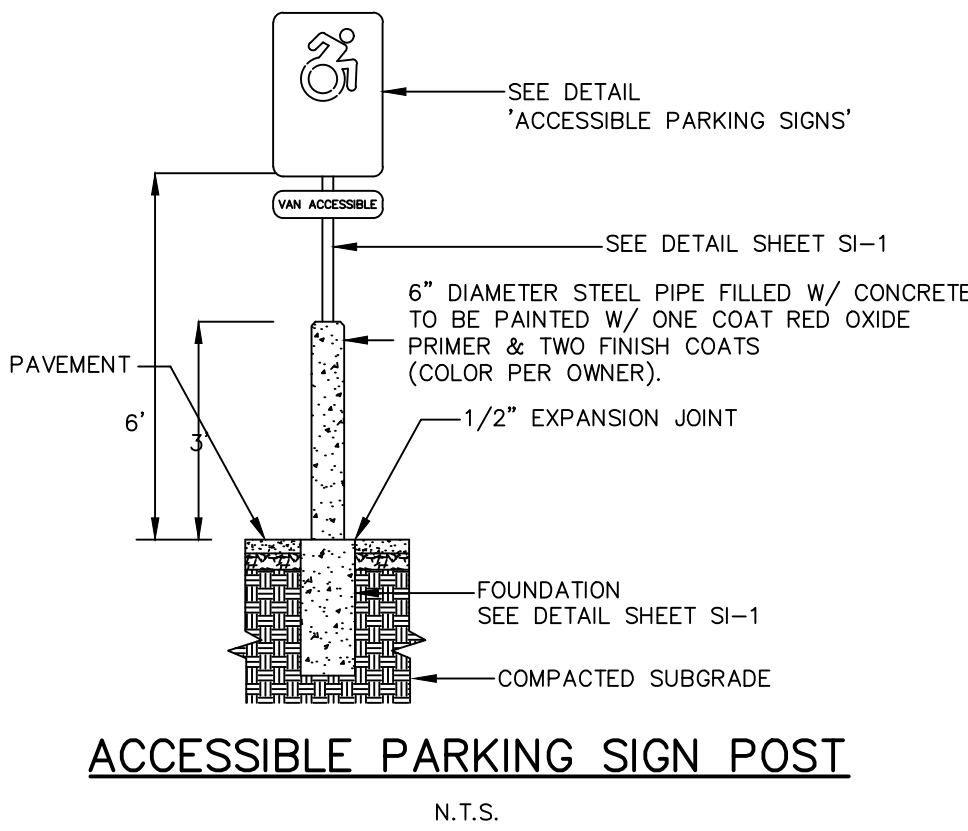
- appropriate utility companies and the affected end users to minimize impact and service interruption.
21. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
22. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
23. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
24. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
25. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
26. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
27. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
28. All property monumentation shall be protected during construction. It is the contractor's sole responsibility to protect all property monumentation. If monumentation is disturbed, it is the contractor's responsibility to have a licensed land surveyor in the State of Connecticut replace the monumentation to town or state standards.
29. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
30. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereof. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
31. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
32. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
33. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
34. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
35. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
- Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
- Polyvinyl Chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
36. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
37. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
38. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
39. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
40. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and

The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.

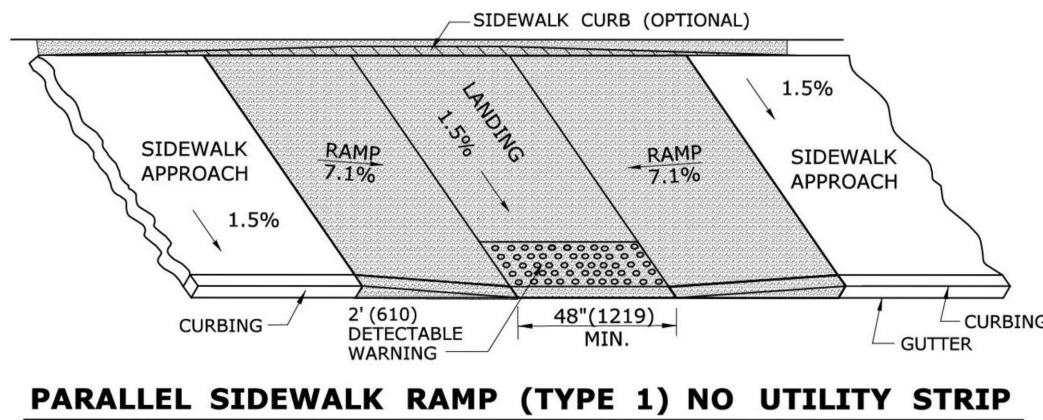
Where sump pumps are installed, all discharge lines must be connected to the storm sewer or discharged to an approved location.

For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the fogged treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal regulations, regulations and ordinances.

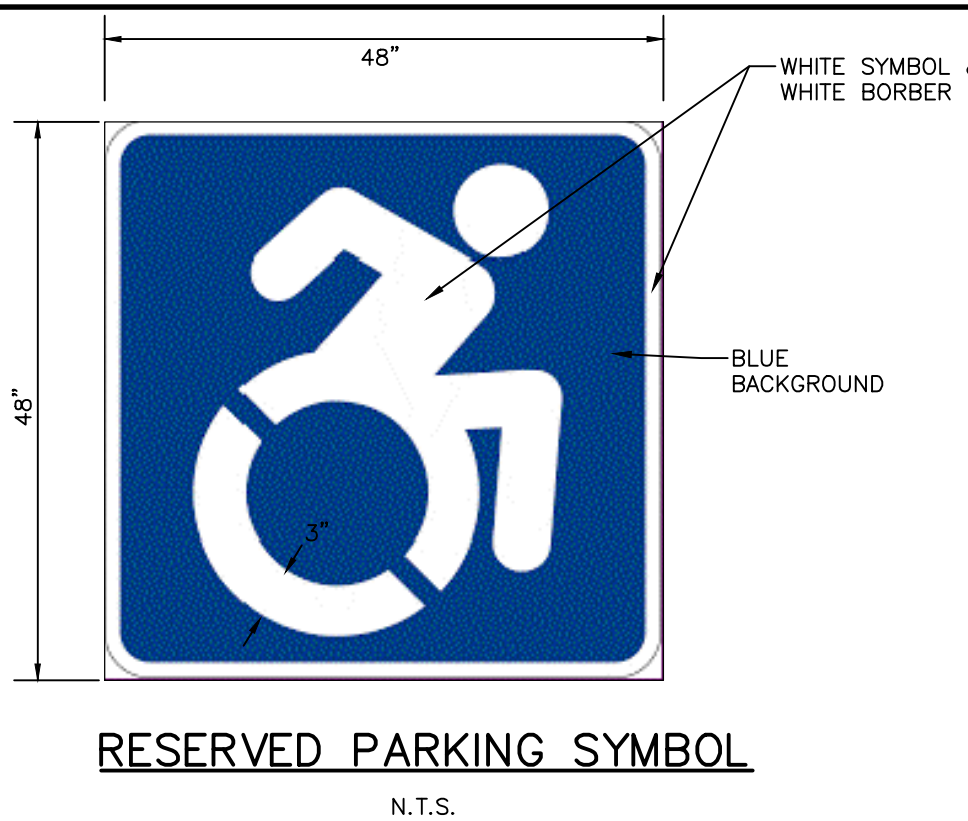
Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.



The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:



- | | |
|---|--|
|  <p><u>RESERVED PARKING SYMBOL</u></p> | <p>1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.</p> <p><u>VAN ACCESSIBLE PARKING LAYOUT</u></p> <p>N.T.S.</p> |
|---|--|

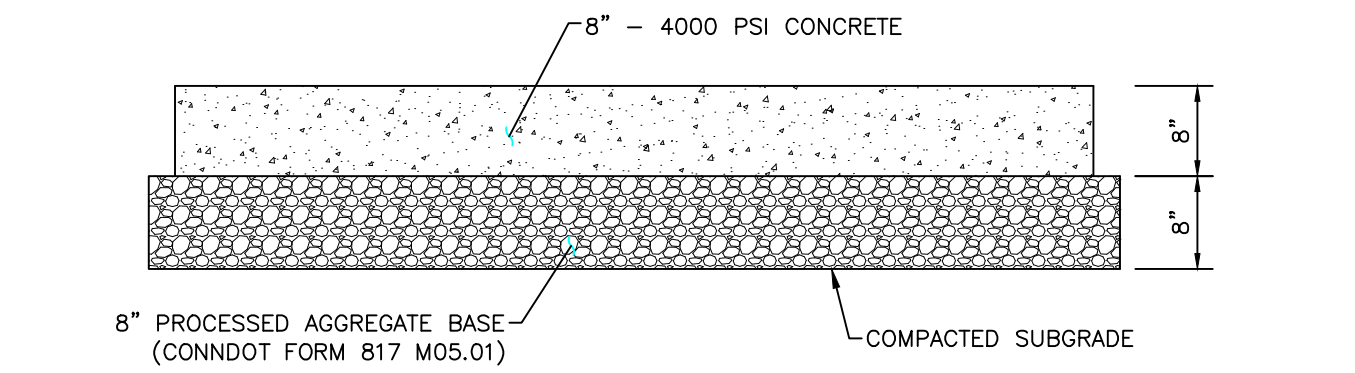


LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	BORING / TEST PIT LOCATION	
— — — C _u — — — C _u — —	UNDERGROUND COMMUNICATION LINES	— — — C — — —
— — — W _u — — — W _u — —	WATER MAIN	— — — W — — —
— — — WS _u — — —	WATER SERVICE	— — — WS — — —
— — — F _u — — — F _u — —	FIRE SERVICE LINE	— — — F — — —
— — — NPW _u — — —	NON-POTABLE WATER LINE	— — — NPW — — —
 	WATER VALVE / FIXTURES	  
	FIRE HYDRANT	
— — — LF _u — — —	MAIN LIQUID FUEL LINE	— — — LF — — —
— — — LFS _u — — —	LIQUID FUEL SERVICE LINE	— — — LFS — — —
— — — LF _o — — —	LIQUID FUEL LINE, ABANDONED	
— — — I _u — — — I _u — —	IRRIGATION LINES	— — — I — — —
 / 	POLE / GROUND MOUNTED LIGHT	 / 
— — — G _u — — — G _u — —	GAS MAIN	— — — G — — —
— — — GS _u — — —	GAS SERVICE LINE	— — — GS — — —
— — — E _u — — —	ELECTRICAL LINES, OVERHEAD	— — — EO — — —
— — — E _u — — —	ELECTRICAL LINES, UNDERGROUND	— — — EU — — —
	UTILITY POLE	
	PROPERTY LINE	— — — — —
— — — — —	EASEMENT LINE	— — — — —
	IRON PIPE	
	IRON ROD	
	MONUMENT	
— — — — —	GUARD RAIL	— — — — —
	EROSION CONTROL	
	SILT FENCE	— — — SF — — —
	SITE FEATURES	
	4" DOUBLE SOLID YELLOW LINE	— — — DSYL — — —
	4" SINGLE SOLID WHITE LINE	— — — SSWL — — —
	BIT. CONC. LIP CURB	— — — BCLC — — —
	PRECAST CONCRETE CURB	— — — PCC — — —
— — — S _u — — — S _u — —	SANITARY SEWER MAIN	— — — S — — —
— — — SS _u — — — SS _u — —	SANITARY SEWER SERVICE LINE	— — — SS — — —
	SANITARY SEWER MANHOLE	
— — — — —	STORM DRAIN PIPE	— — — — —
— — — RL _u — — — RL _u — —	ROOF LEADER	— — — RL — — —
— — — UD — — — UD — —	UNDERDRAIN	— — — UD — — — UD — —
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
	TOPOGRAPHY	
— — — -95— — —	CONTOUR	— — — 95 — — —
— — — ×61.95 — — —	SPOT ELEVATION	— — — 95 — — —
	RAMP	— — — R — — —
	LANDSCAPE AREA	— — — LSA — — —

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

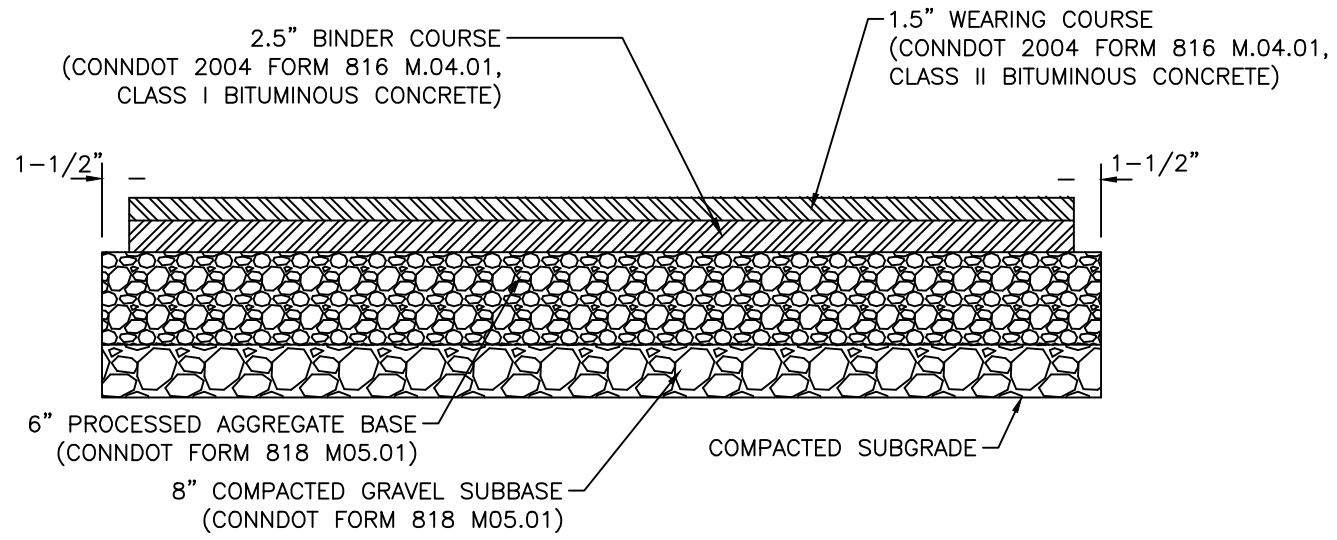
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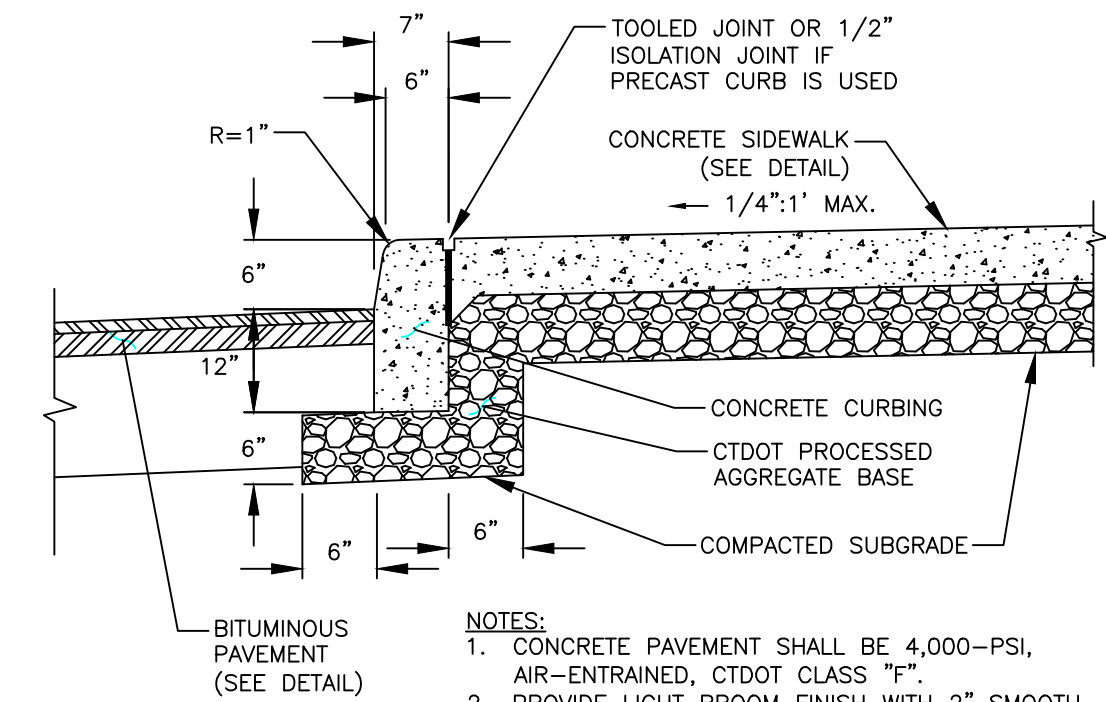
NOTES:
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.
2. CONCRETE SHALL BE MIXED PER SPECIFICATION OUTLINED IN CONNDOT FOR 817 M.03.

1 CONCRETE DOCK APRON Not to Scale

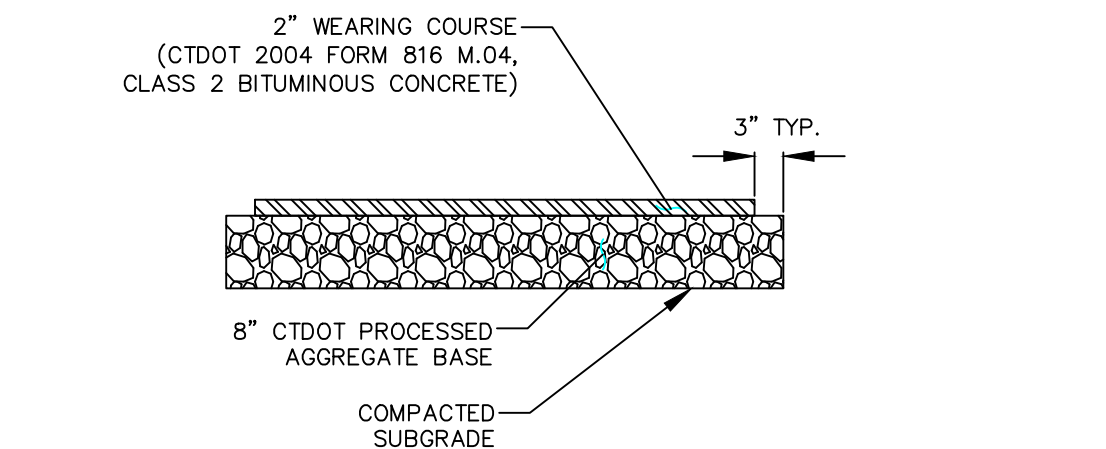


NOTES:
1. HEAVY DUTY PAVEMENT AREA NOTED ON SITE PLAN. ALL OTHER PAVEMENT AREAS TO BE STANDARD DUTY.
2. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

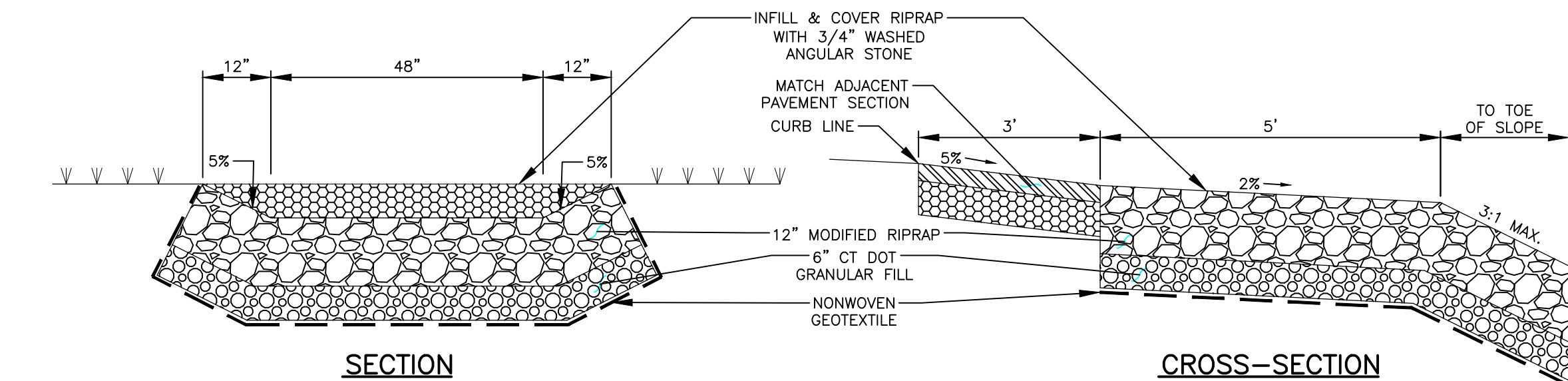
2 BITUMINOUS CONCRETE HEAVY DUTY PAVEMENT Not to Scale



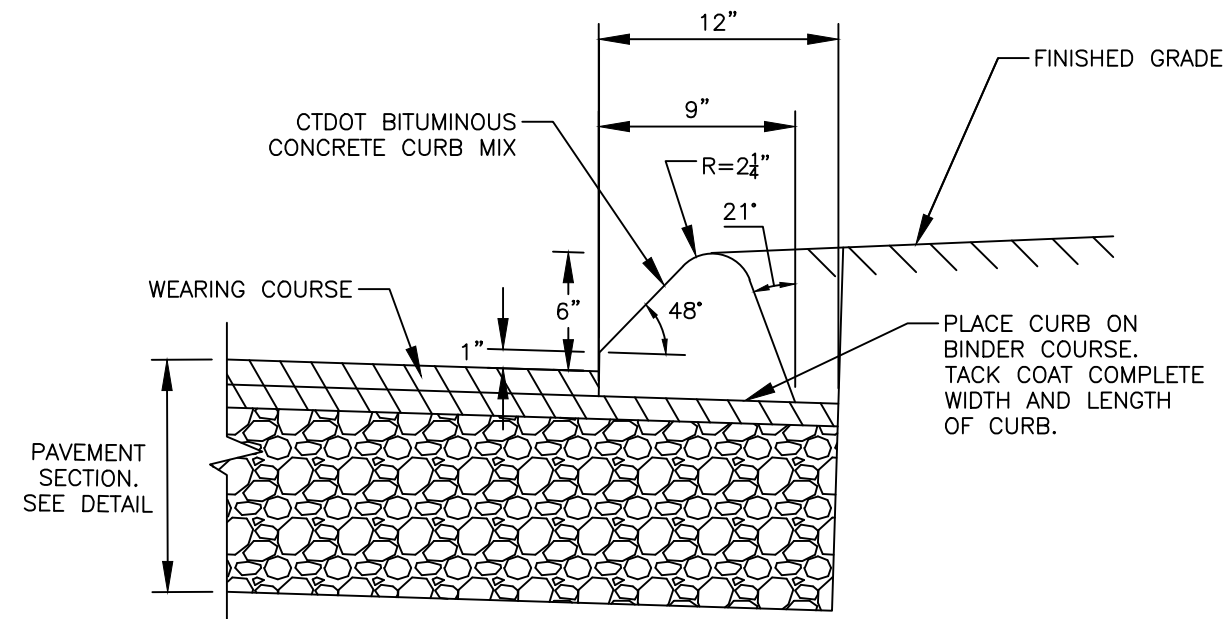
3 MONOLITHIC CONCRETE CURB & WALK Not to Scale



4 BITUMINOUS SIDEWALK SECTION Not to Scale

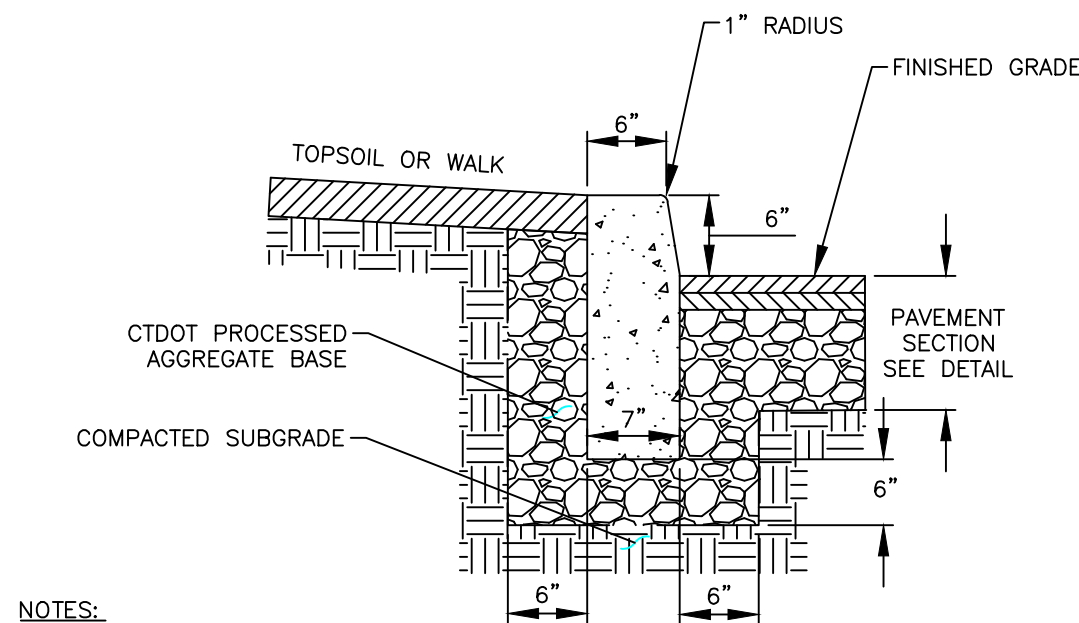


5 PAVED LEAK OFF Not to Scale



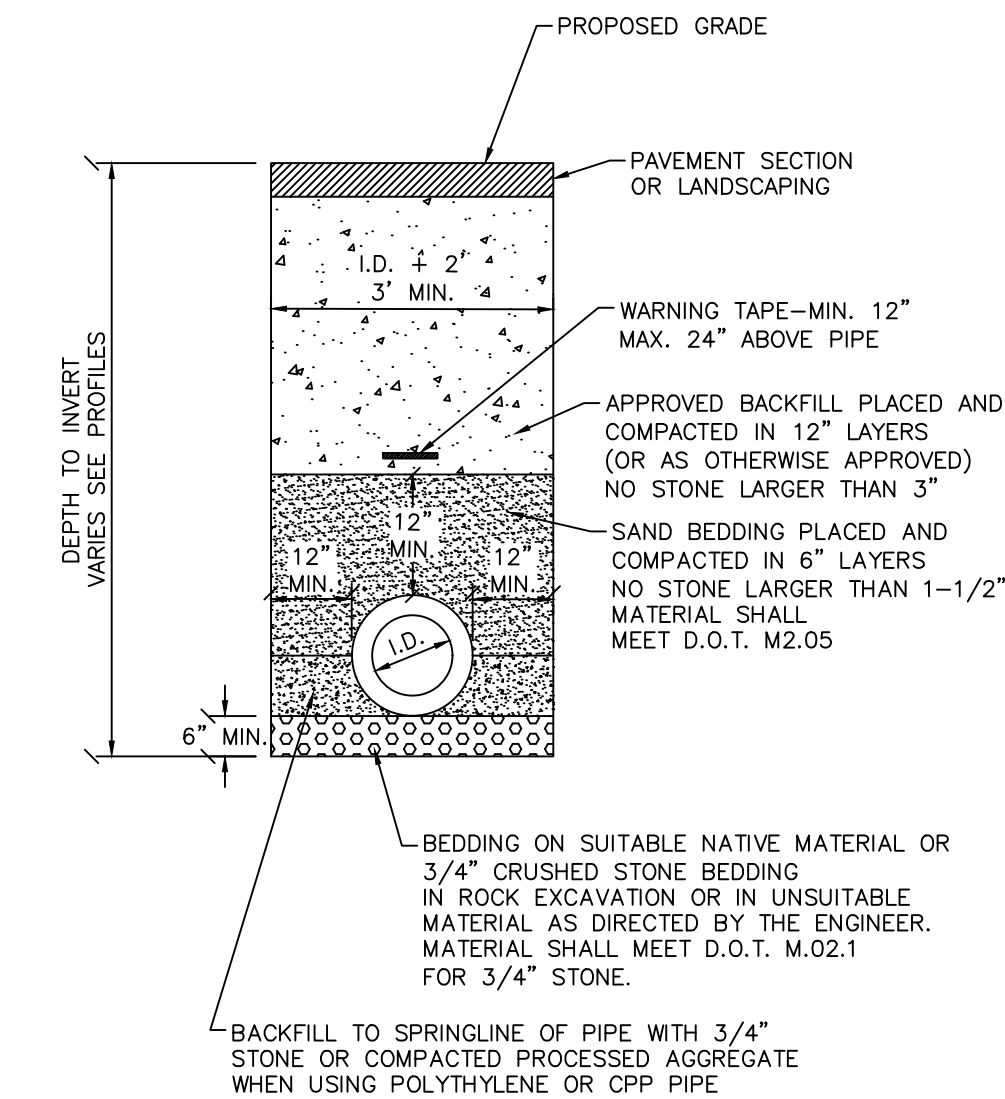
NOTE:
BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CTDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

6 BITUMINOUS CONCRETE LIP CURB Not to Scale

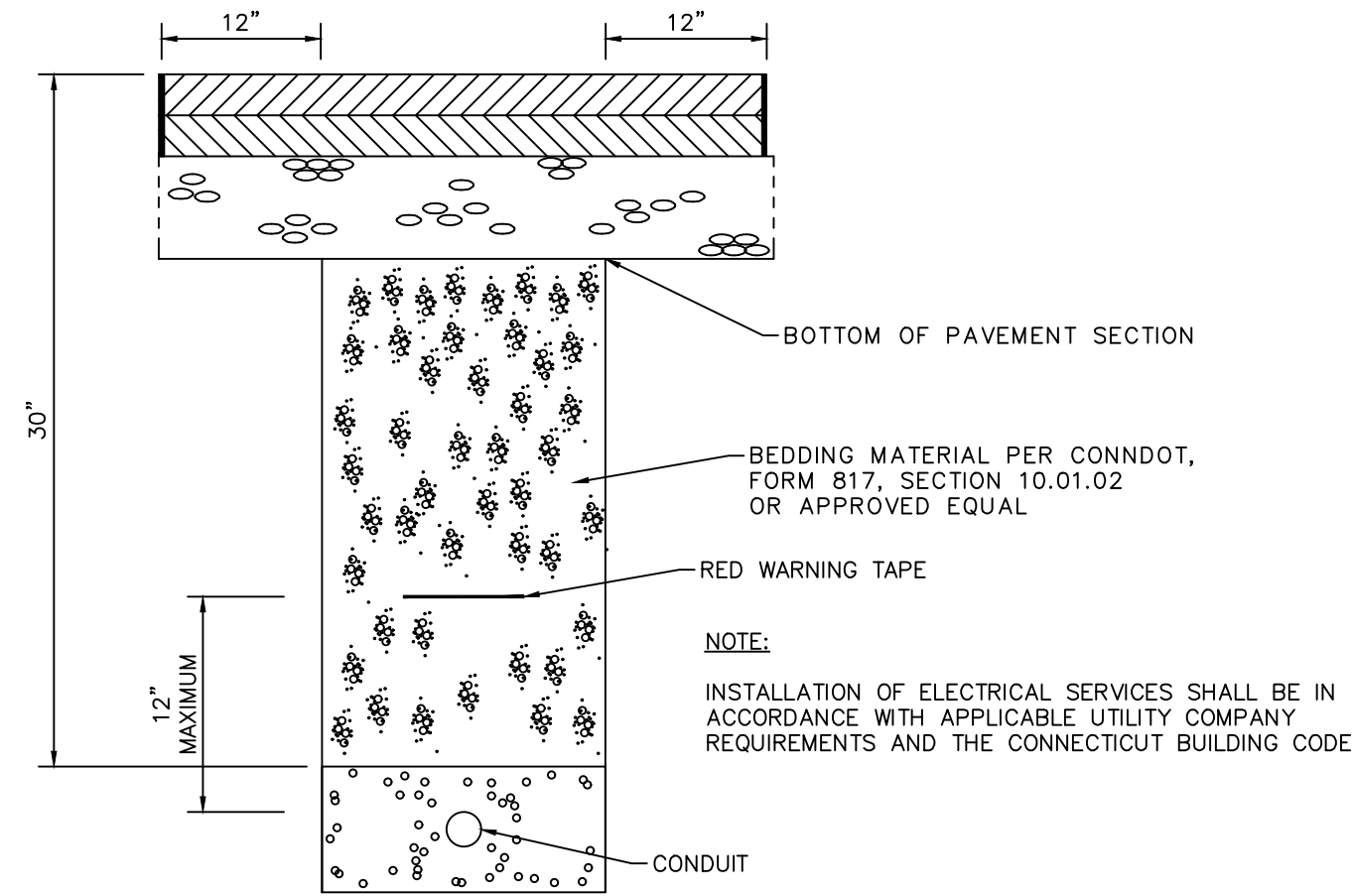


NOTES:
1. ALL CONCRETE SHALL BE CTDOT CLASS "F" OR EQUIVALENT.
2. THE END OF CURB SECTIONS SHALL BE CHAMFERED 1/4".
3. CURB, CURB CORNERS OR EDGING SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.
4. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.
5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF 20 FEET ON CENTER USING PREFORMED EXPANSIONS JOINT FILLER HAVING A THICKNESS OF 1/2".
6. WHEN ABUTTING CONCRETE WALKS, INSTALL PREFORMED EXPANSIONS JOINT FILLER HAVING A THICKNESS OF 1/2" ALONG LENGTH OF WALK.
7. CONCRETE CURBING SHALL BE INSTALLED PER CTDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

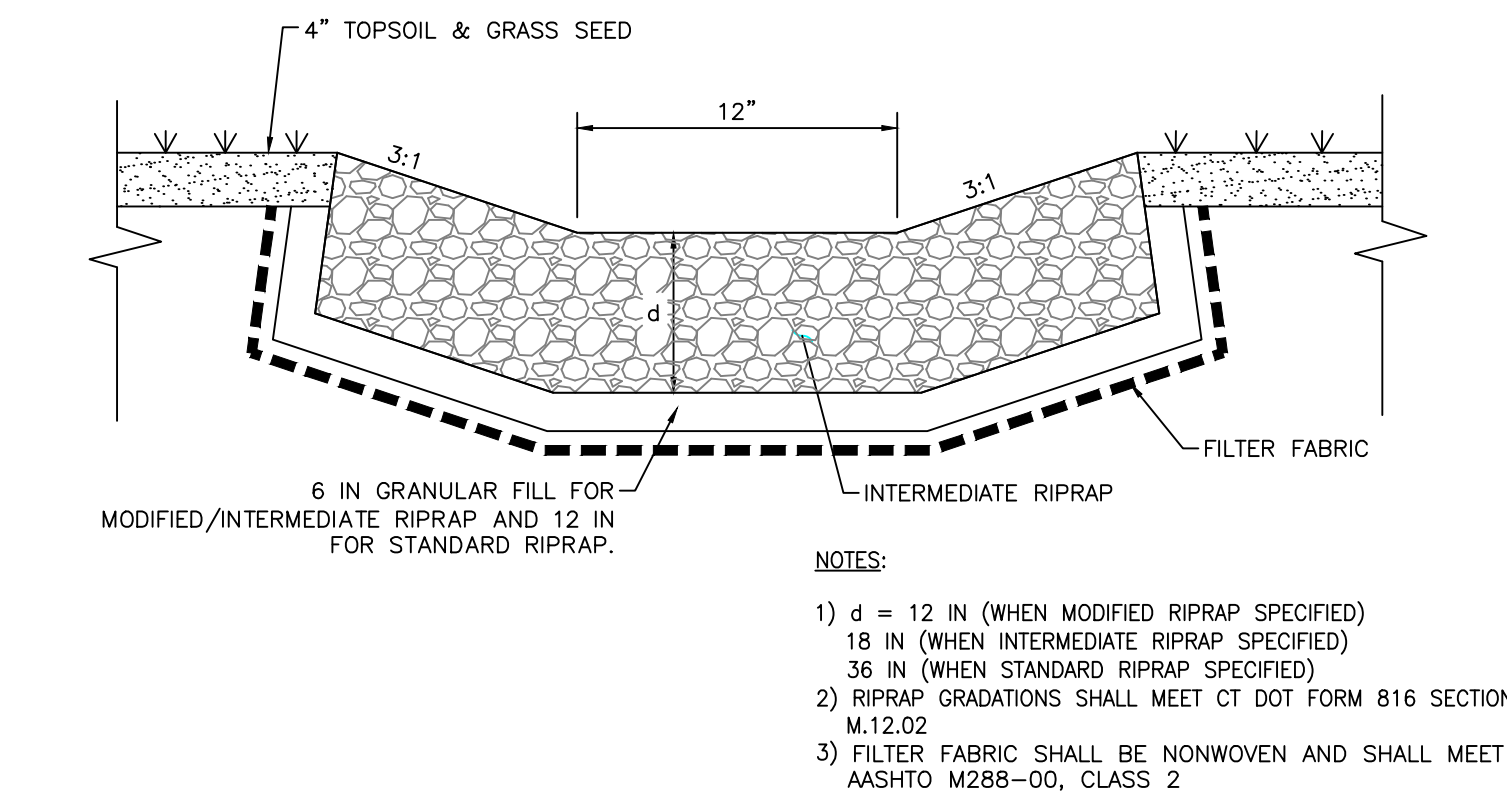
7 PRECAST CONCRETE CURB Not to Scale



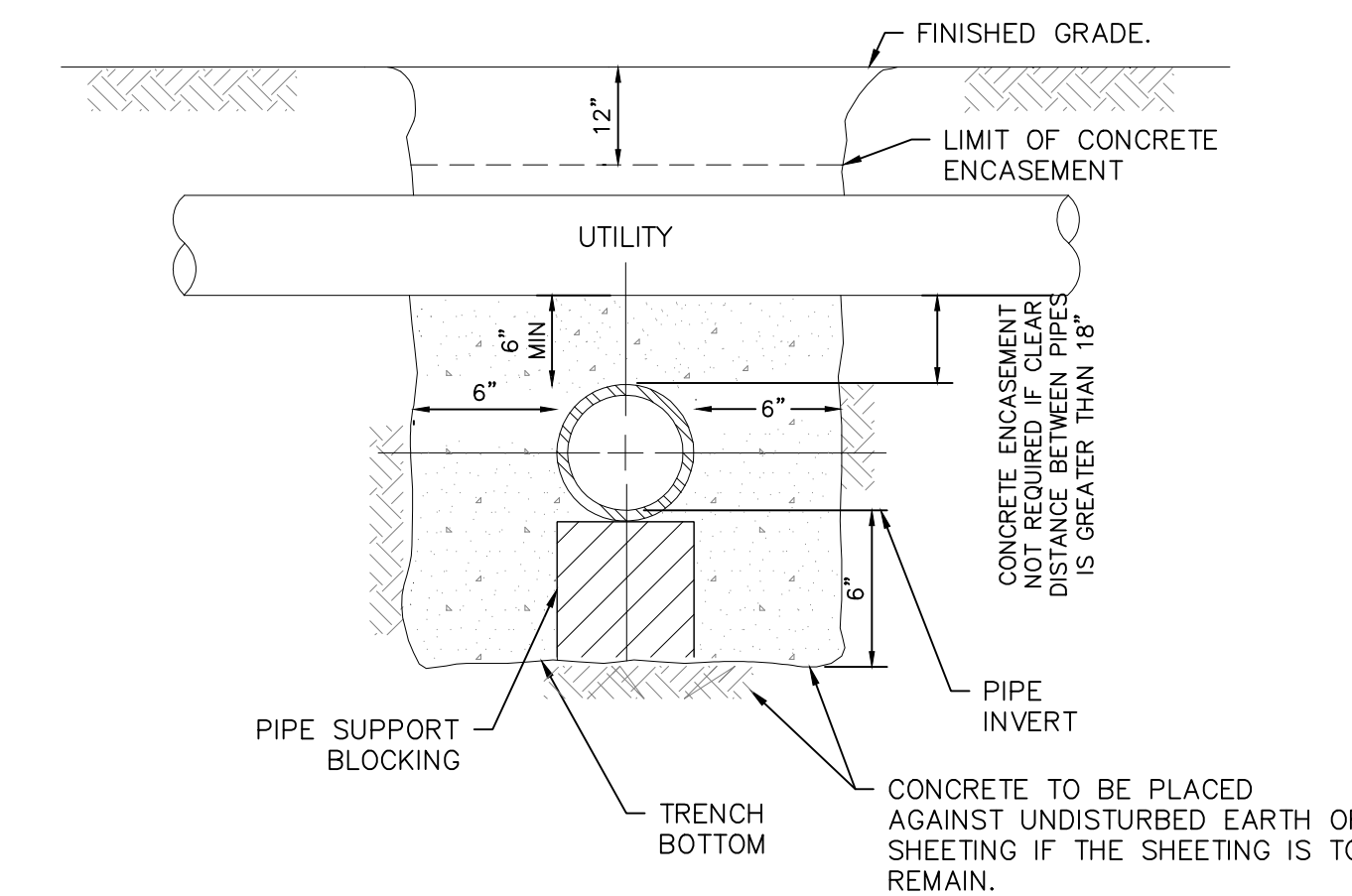
8 STORM SEWER TRENCH SECTION Not to Scale



9 ELECTRIC TRENCH SECTION Not to Scale

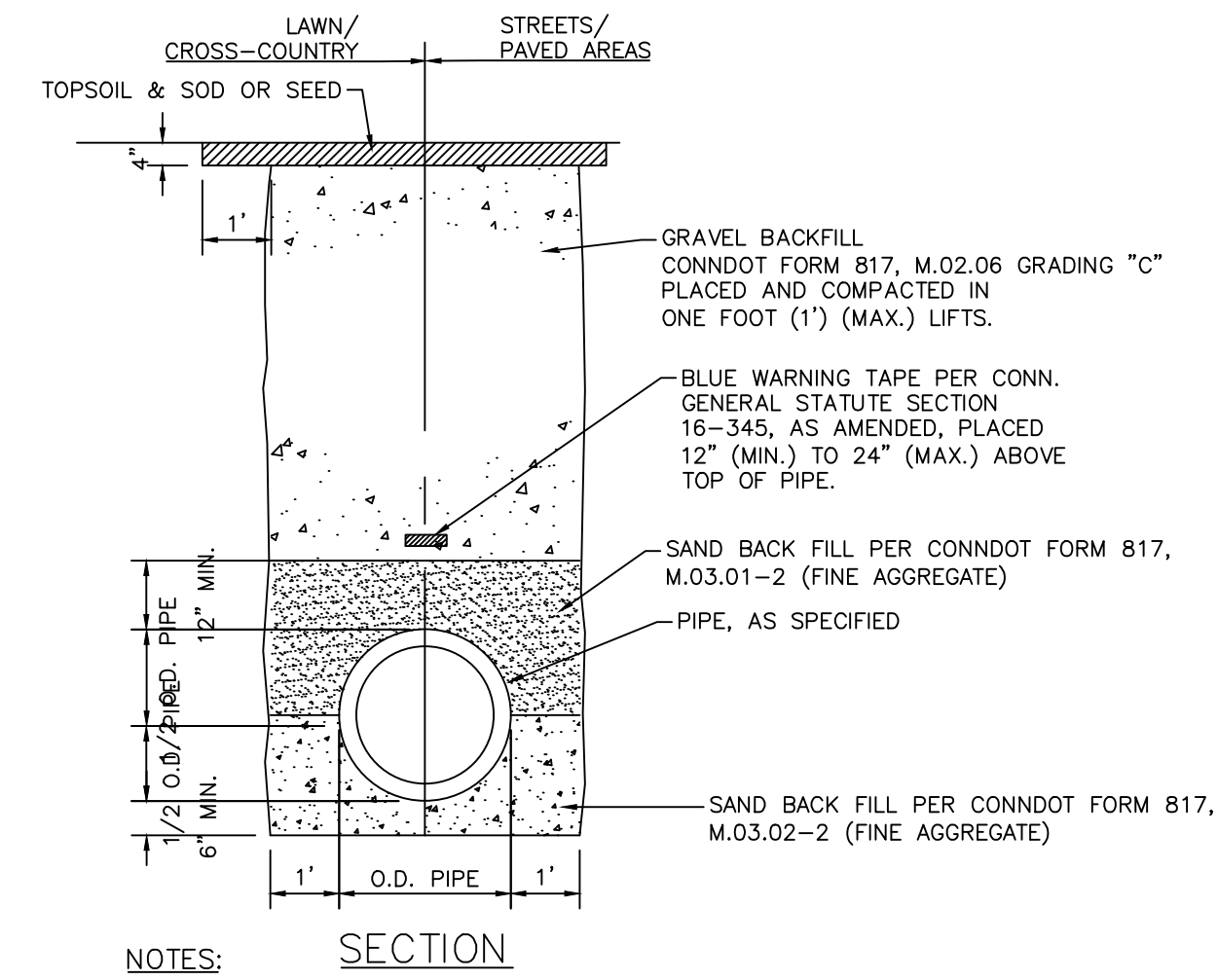


10 RIPRAP APRON SECTION VIEW Not to Scale



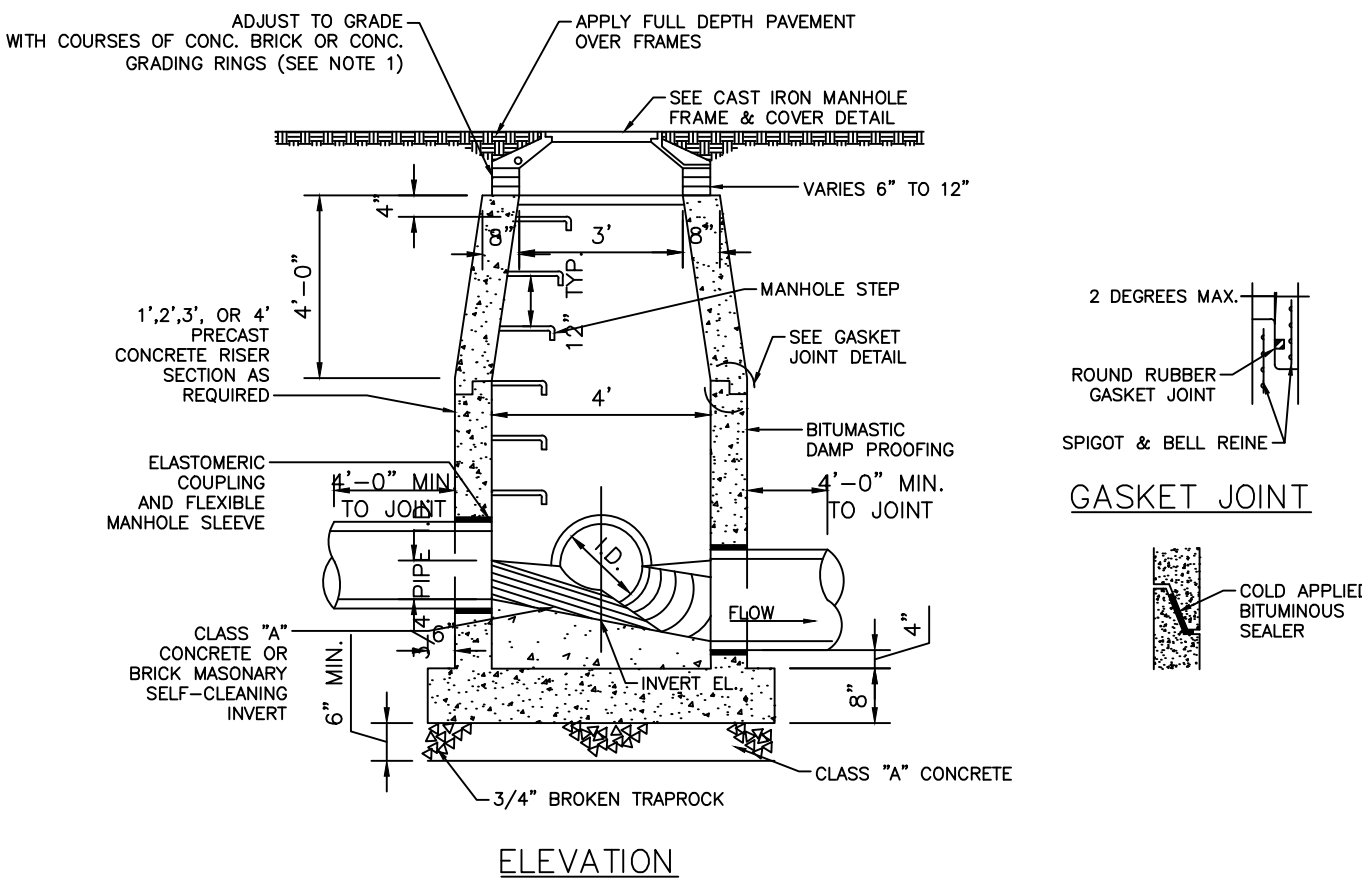
NOTES:
1. CONCRETE ENCASEMENT NOT REQUIRED IF CLEAR DISTANCE BETWEEN PIPES IS GREATER THAN 18".
2. PIPES MUST BE PLACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATING DURING PLACEMENT OF CONCRETE.
3. ALL CONCRETE ENCASEMENTS SHALL BE KEPT 12" BELOW THE BOTTOM OF ASPHALT PAVEMENT.
4. CONCRETE SHALL EXTEND 1.5' IN EITHER DIRECTION OF CROSSING EXCEPT FOR WATER/SEWER CROSSINGS WHICH SHALL EXTEND 10' IN EITHER DIRECTION OF CROSSING.

11 STORM & SEWER CROSSING CONCRETE ENCASEMENT Not to Scale



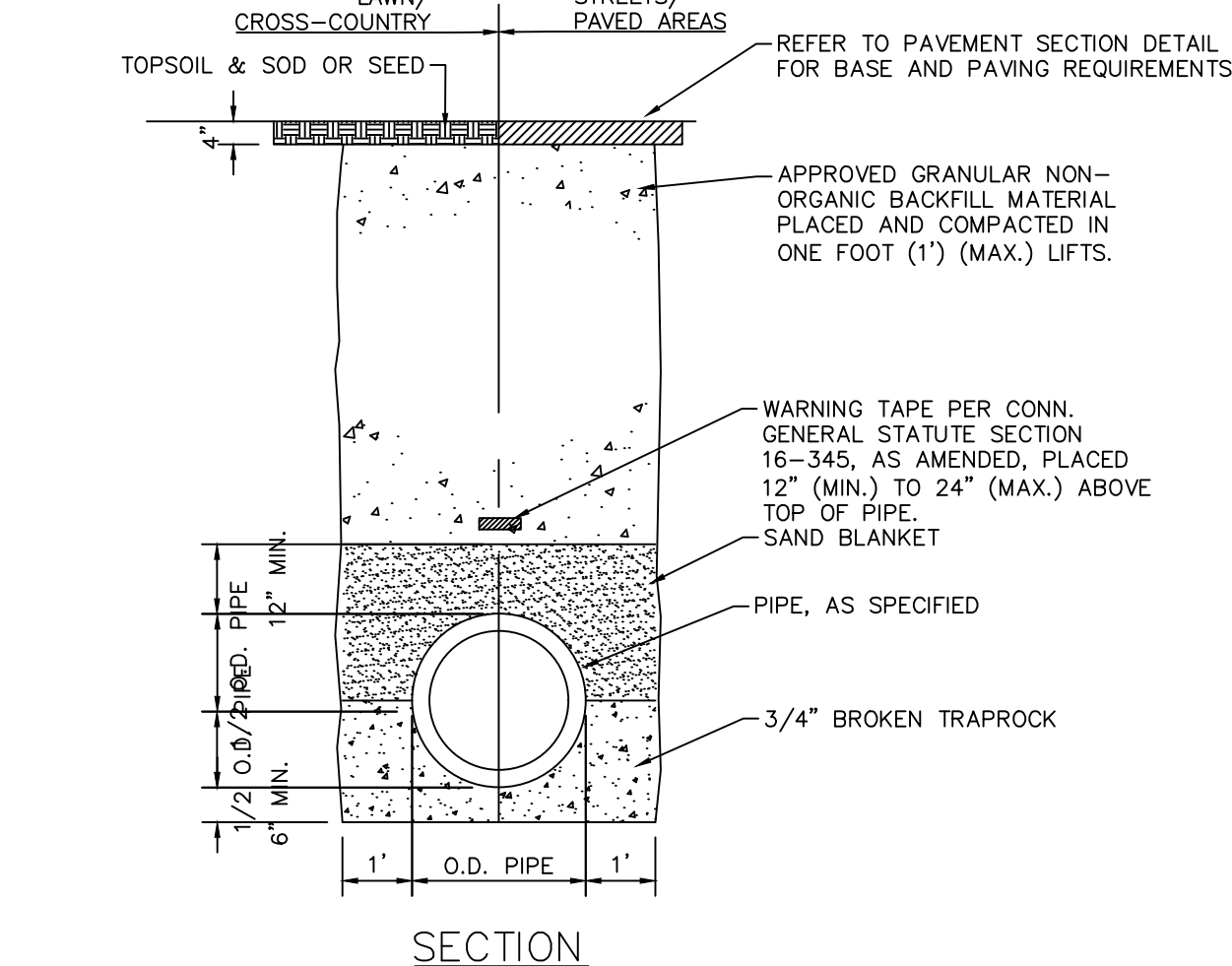
NOTES:
INSTALLATION OF DOMESTIC WATER SUPPLY AND FIRE SERVICE MAINS SHALL BE COORDINATED WITH THE WATER COMPANY

12 WATER TRENCH SECTION Not to Scale



NOTES:
1. TOP STEP TO BE A MAXIMUM OF 24" BELOW TOP OF MANHOLE FRAME & COVER ELEVATION.
2. SEAL ALL LIFTING HOLES INSIDE AND OUTSIDE OF RISER SECTION.

13 SANITARY MANHOLE Not to Scale



14 SANITARY SEWER TRENCH SECTION Not to Scale

PROPERTY OWNERS:
G & S SCRAP REALTY, LLC
99 EAST RIVER DRIVE
EAST HARTFORD, CT 06108

APPLICANT:
PRIME MATERIALS RECOVERY
444 NUTMEG ROAD
SOUTH WINDSOR, CT 06074
860-622-7626

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860-259-8757 - F
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PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Prime Materials Recovery
444 Nutmeg Road
South Windsor, CT 06074
860-622-7626 T

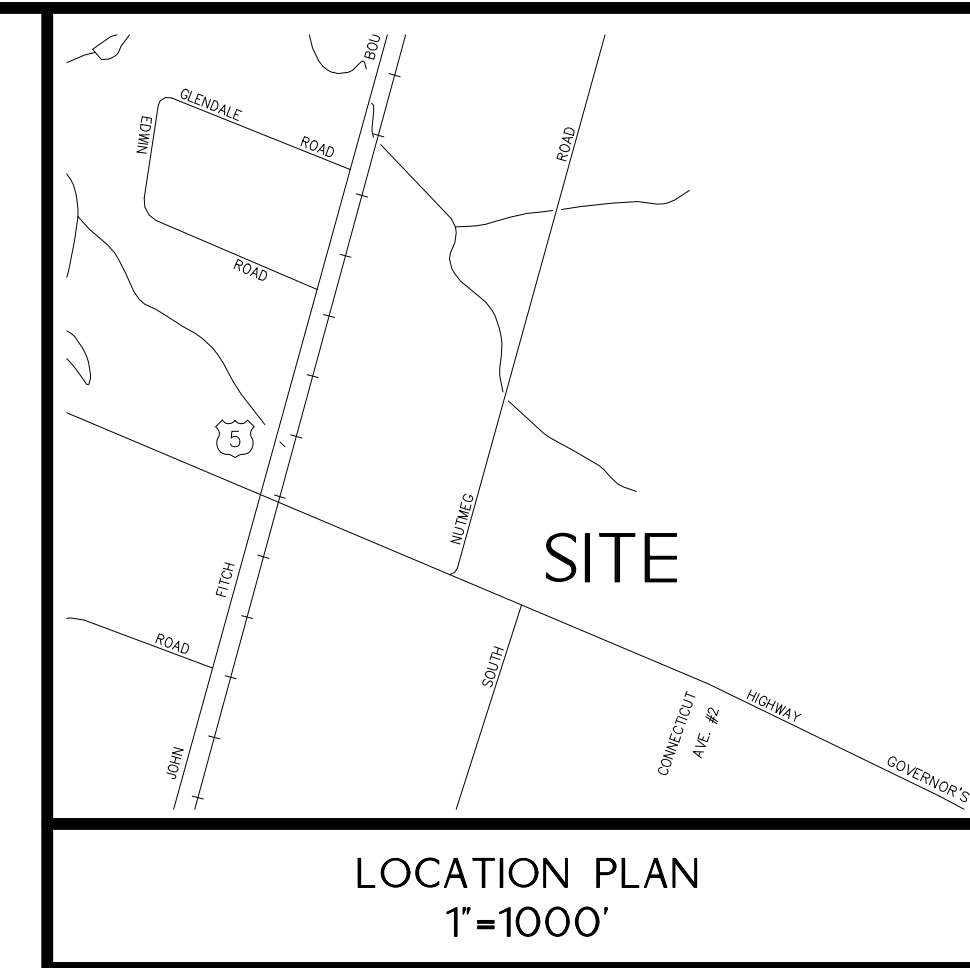
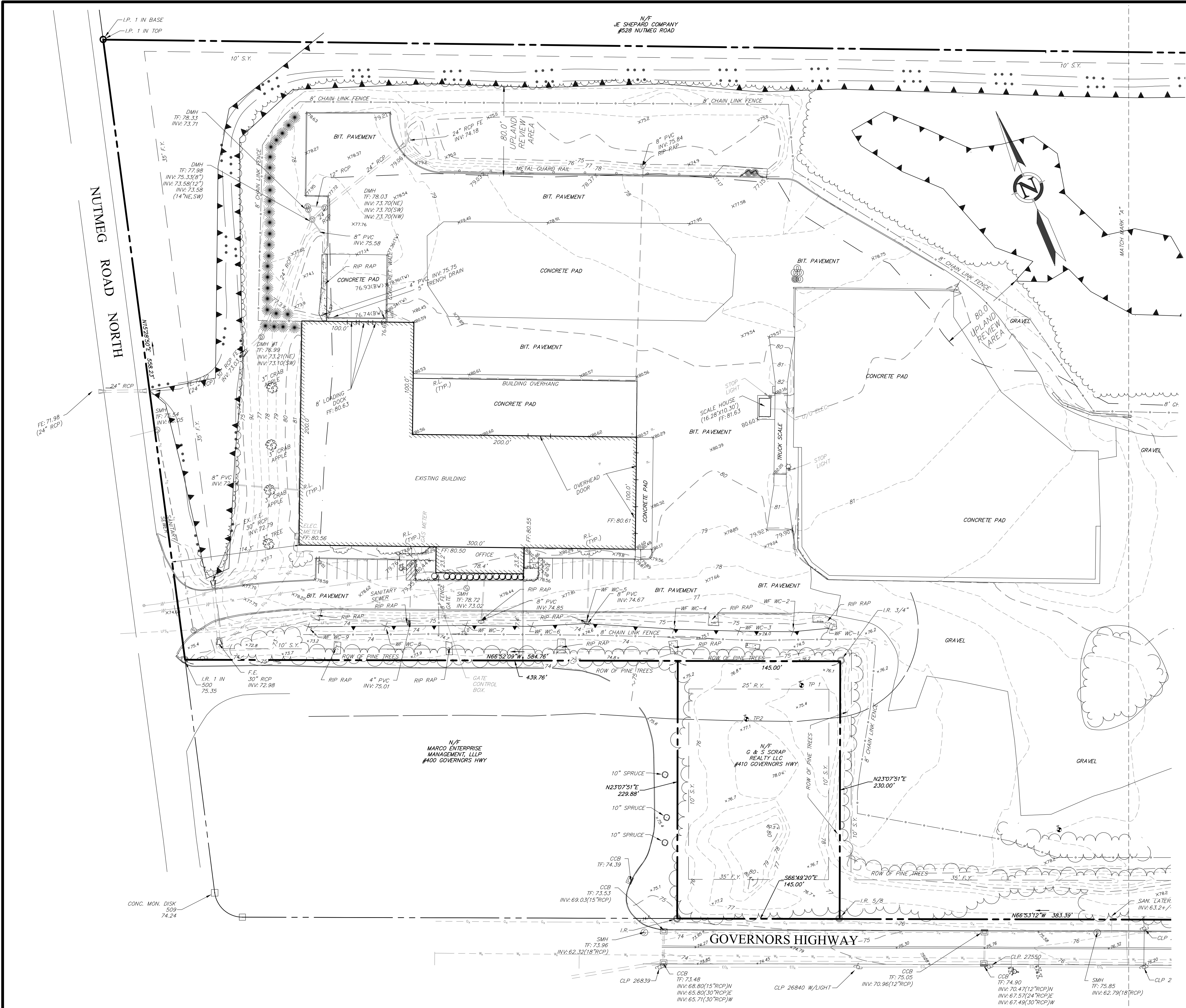
PROJECT NO.: 2509P
DATE: 10/03/22
SCALE: SFC
DRAWN BY: JDA
CHECKED BY: JDA

PRIME MATERIALS RECOVERY
410 GOVERNOR'S HIGHWAY & 444 NUTMEG ROAD
SOUTH WINDSOR, CT
GIS #36900410 & 65100444

NO.	DATE	REVISIONS	BY

DETAILS

SHEET
C-D2
SHEET 13 OF 14



- NOTES:**
1. PROPERTY IS IN THE INDUSTRIAL (I) ZONE.
 2. PARCEL CONTAINS 1,550,691 SQUARE FEET OR 35.599 ACRES.
 3. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD29.
 4. PROPERTY DOES IS LOCATED IN FLOOD ZONE "X" AND DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0378F TOWN OF SOUTH WINDSOR, STATE OF CONNECTICUT EFFECTIVE DATE: 9-26-08 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 5. WETLANDS DEPICTED EAST OF POND WITH FLAG NUMBERS WERE FLAGGED BY JMM WETLANDS ON 2/12 & 2/16/2020 AND FIELD LOCATED BY DESIGN PROFESSIONALS, INC. ON 2/21/2020. WETLANDS FLAGS DEPICTED WEST OF POND AND UN-NUMBERED WERE DELINEATED BY REMA ECOLOGICAL SERVICES, LLC ON OR BEFORE 9-21-99 AND FIELD LOCATED BY DESIGN PROFESSIONALS, INC.
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 7. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

- MAP REFERENCES:**
1. PLOT PLAN PREPARED FOR G&S SCRAP METAL, LLC 444 NUTMEG ROAD NORTH SOUTH WINDSOR, CONNECTICUT BY: DESIGN PROFESSIONALS DATED: 2-5-08 REV. THROUGH 6-09-08
 2. PLOT PLAN / SUBDIVISION PLAN PREPARED FRO JMJ CONSTRUCTION CO, INC. 400 GOVERNORS HIGHWAY SOUTH WINDSOR CONNECTICUT BY: DESIGN PROFESSIONALS DATED: 8-20-93 REV. THROUGH 9-9-93 SCALE: 1"=40'
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SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON MAP REFERENCE #1.
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TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S. 12327 LIC. NO.

21 BEFREY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-9257 • F
www.designprofessionalsinc.com

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GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
BRYAN SCHILBERG
PRIME MATERIAL RECOVERY
444 NUTMEG ROAD NORTH
SOUTH WINDSOR, CT
060744

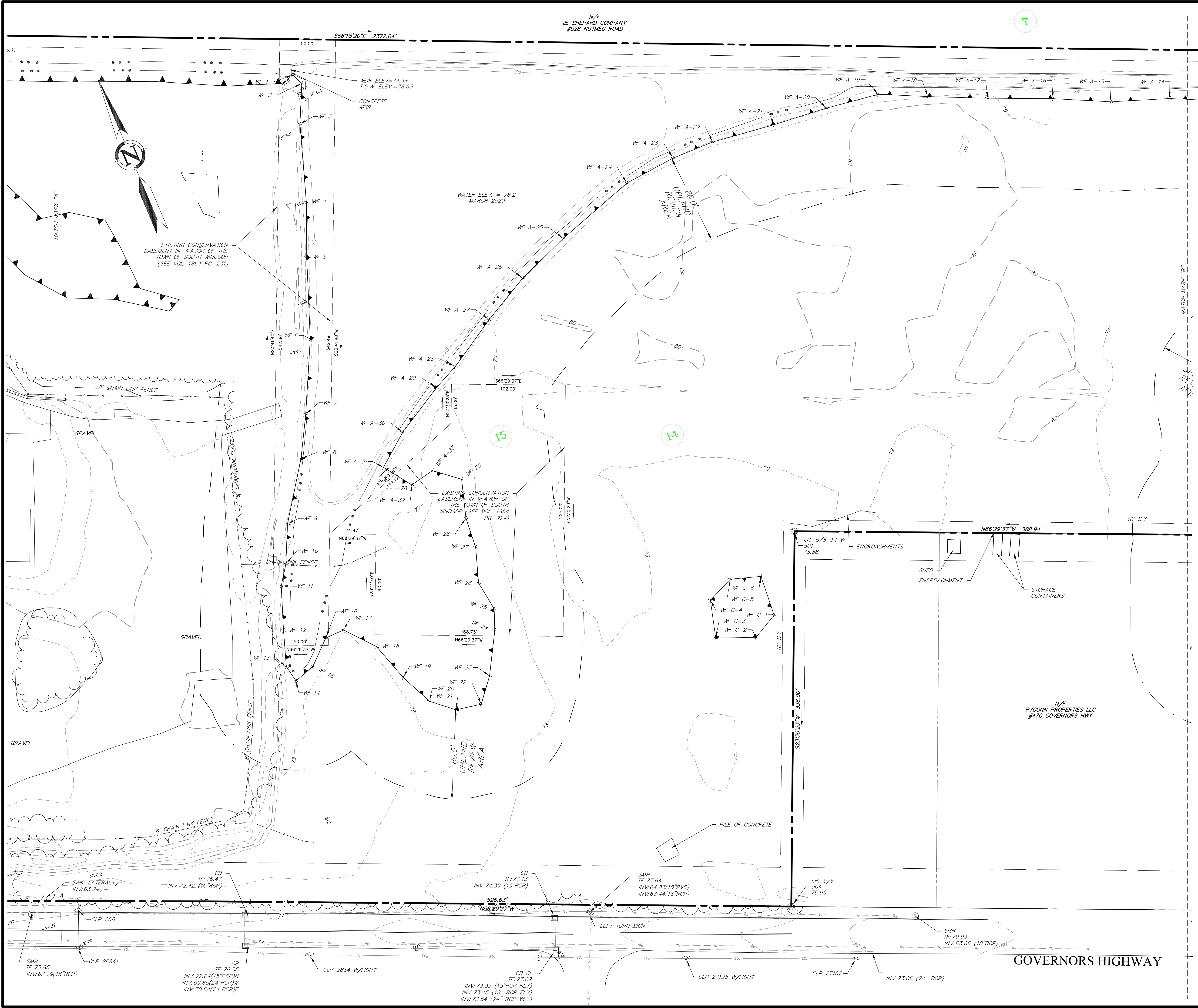
PROJECT NO:
2509P
DATE:
2-5-2020
DESIGN BY:
LM
CHECKED BY:
LM
SCALE:
AS SHOWN
DATE:
10/3/2022

PROPERTY & TOPOGRAPHIC SURVEY

REVISIONS

NO.	DATE	REVISIONS
1	9/26/22	UPDATE TOPO & ADD 40 GOVERNORS HWY

V-1



NOTES:

1. PROPERTY IS IN THE INDUSTRIAL (I) ZONE.
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SURVEY NOTES:

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LAWRENCE R. GEISSLER, JR., L.S.

12327
LIC. NO.

21 JEFFREY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-9757 - F
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PREPARED FOR:
BRYAN SCHILBERG
PRIME MATERIAL RECOVERY
444 NUTMEG ROAD NORTH
SOUTH WINDSOR, CT 060744

PROJECT NO:
2509P
DESIGN BY:
2-1-2020
DRAWN BY:
CHECKED BY:
DATE:
LEG

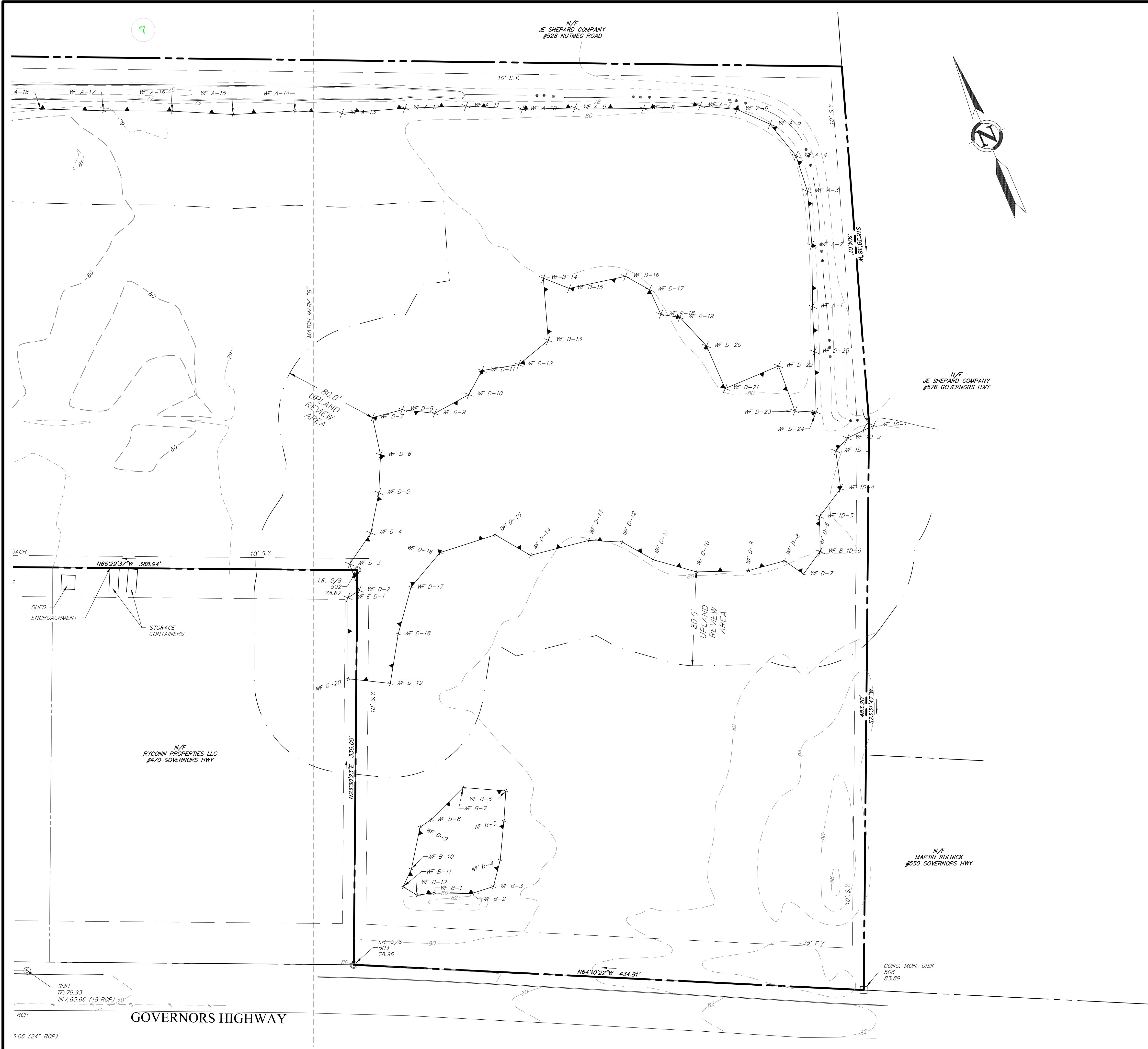
PRIME MATERIAL RECOVERY
RECOVERY
410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD NORTH
SOUTH WINDSOR, CONNECTICUT

BY: MHA
DATE: 9/26/22
NO. 1
REVISIONS
UPDATE TPO & ADD 410 GOVERNORS HIGHWAY

PROPERTY & TOPOGRAPHIC SURVEY

SCALE: 0 20' 40'
1" = 40'

V-2



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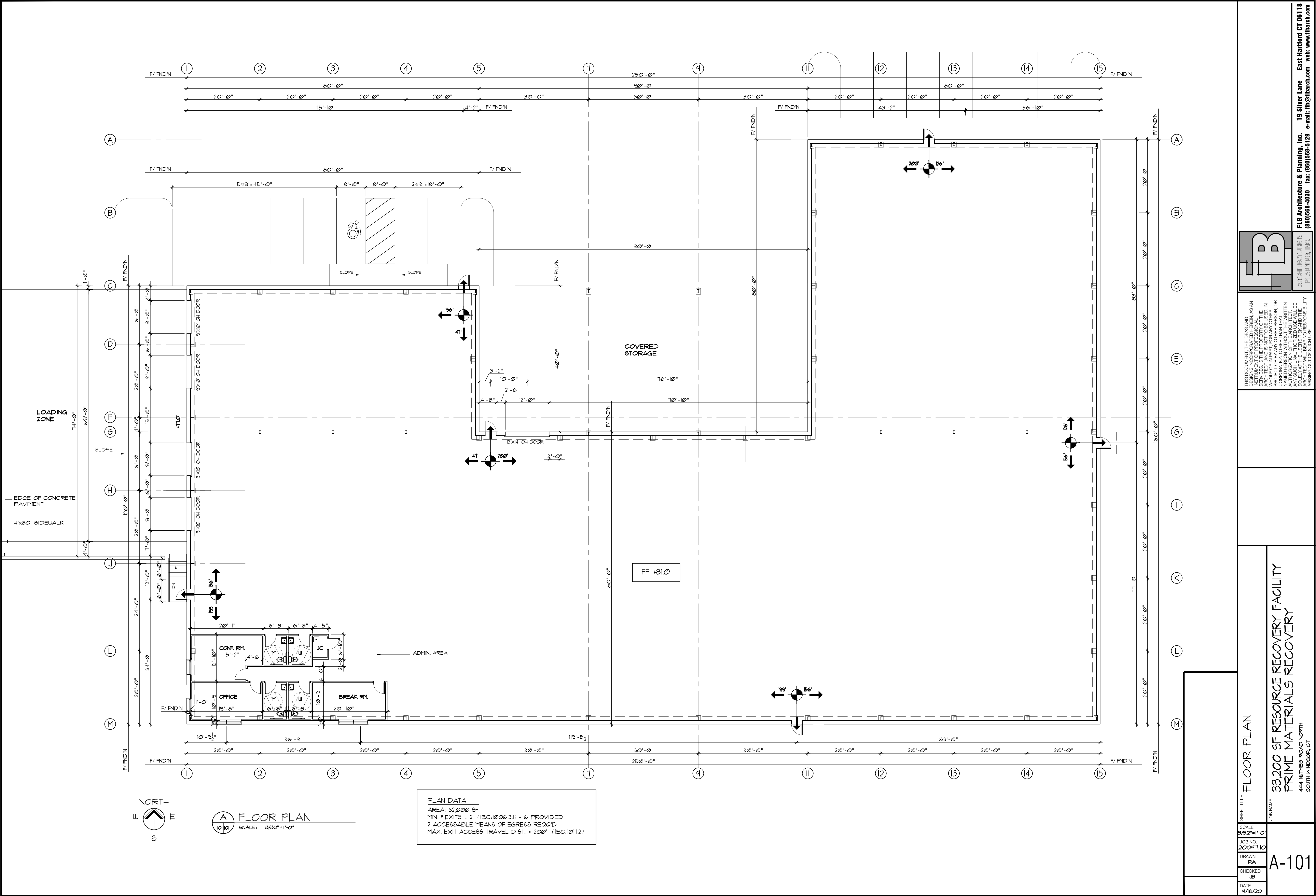
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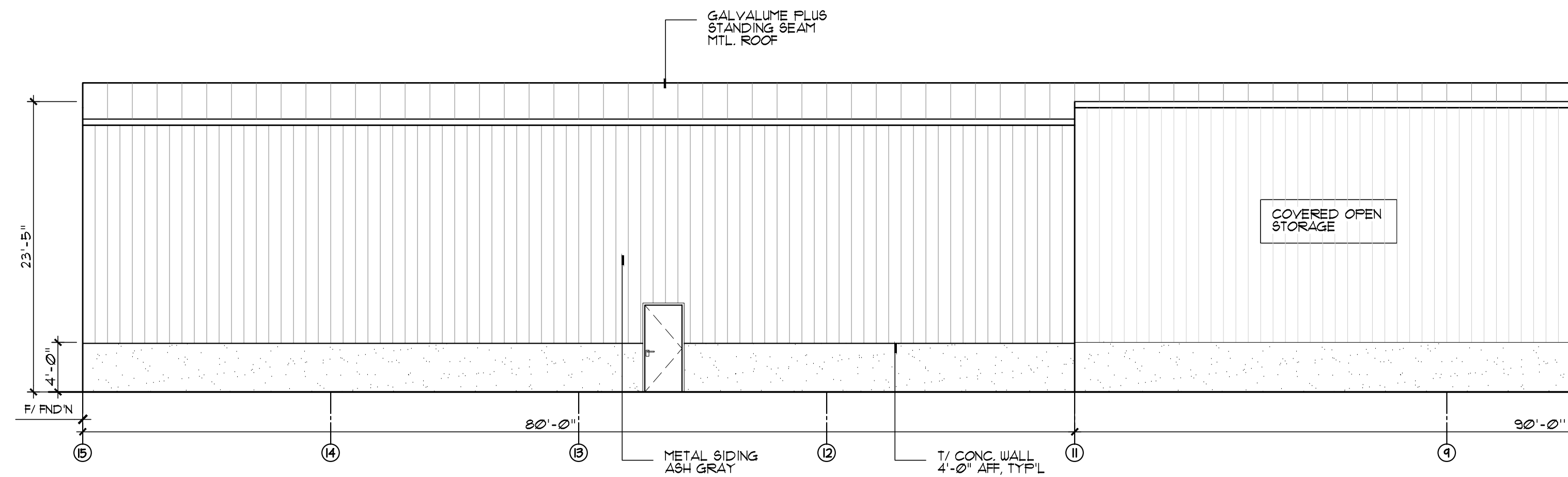
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LAWRENCE R. GEISSLER, JR., L.S.

12327
LIC. NO.

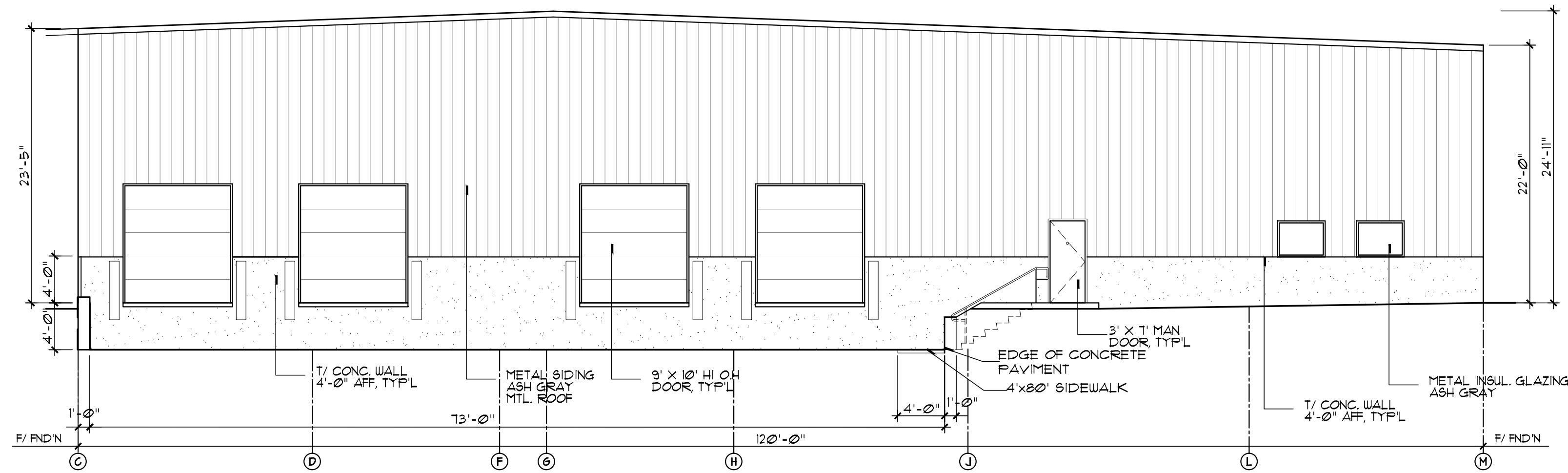
PROPERTY & TOPOGRAPHIC SURVEY	NO.	DATE	REVISIONS		BY
			UPDATE TOPO & ADD 400 GOVERNORS HIGHWAY	MHA	
V-3	1	9/26/22			
PRIME MATERIAL RECOVERY					
410 GOVERNORS HIGHWAY & 444 NUTMEG ROAD NORTH SOUTH WINDSOR, CONNECTICUT					
PROJECT NO. 2509P DESIGN BY: 1-2-2020 CHECK BY: 1-2-2020 DATE: 1-2-2020 DRAWN BY: 1-2-2020 CHECKED BY: 1-2-2020 LEG					
PREPARED FOR: BRYAN SCHILBERG PRIME MATERIAL RECOVERY 444 NUTMEG ROAD NORTH SOUTH WINDSOR, CT 060744					
DESIGN PROFESSIONALS, INC. 21 JEFFREY DRIVE P.O. BOX 1167 SOUTH WINDSOR, CT 06074 860-291-1757 - F www.designprofessionalsinc.com CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS GIS ANALYSTS / LANDSCAPE ARCHITECTS					





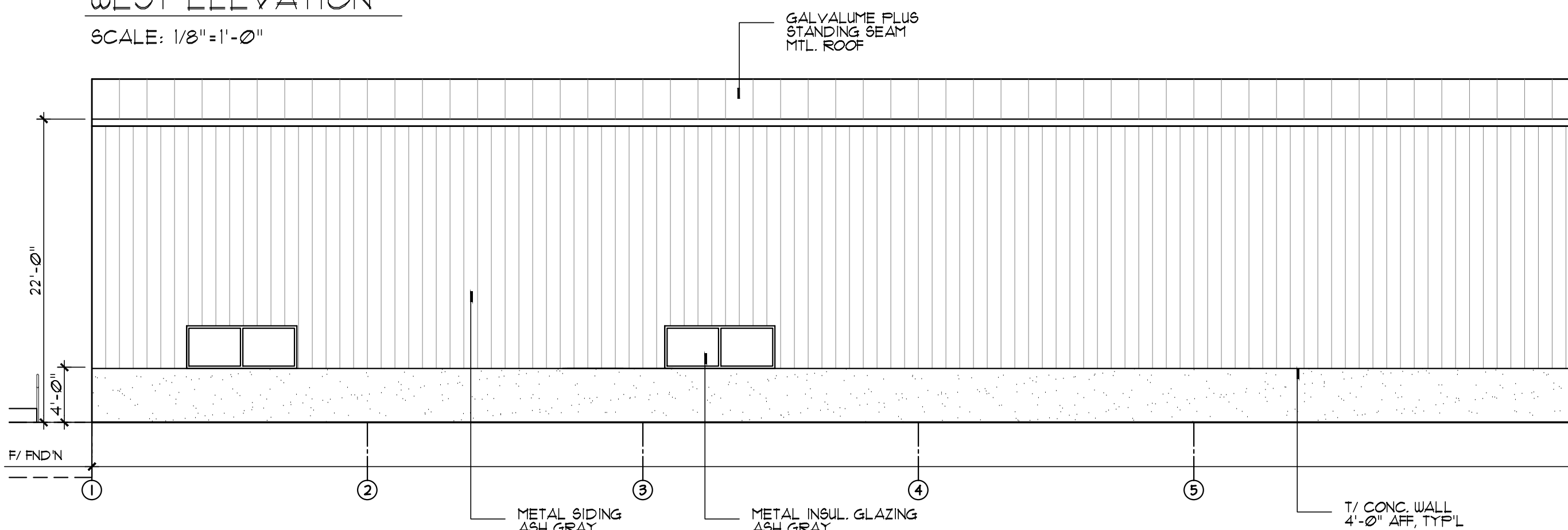
NORTH ELEVATION

SCALE: 1/8"=1'-0"



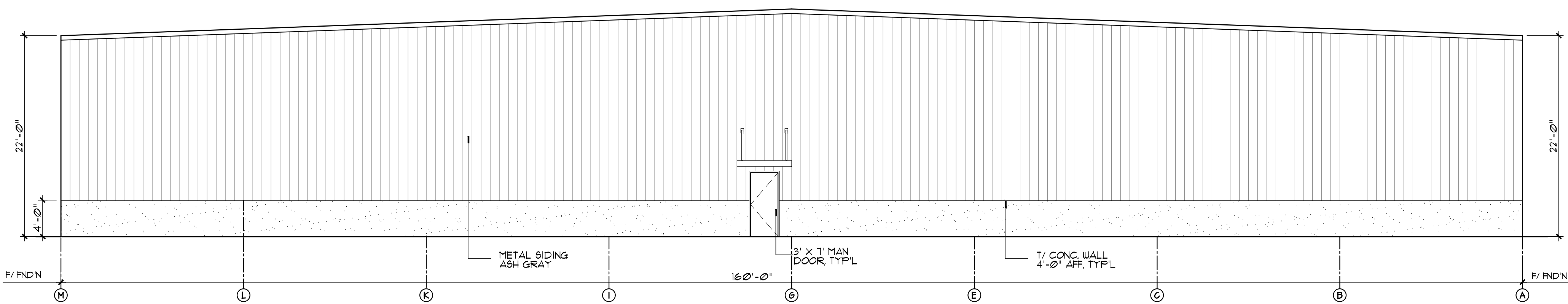
WEST ELEVATION

SCALE: 1/8"=1'-0"



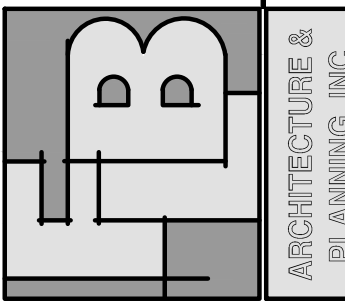
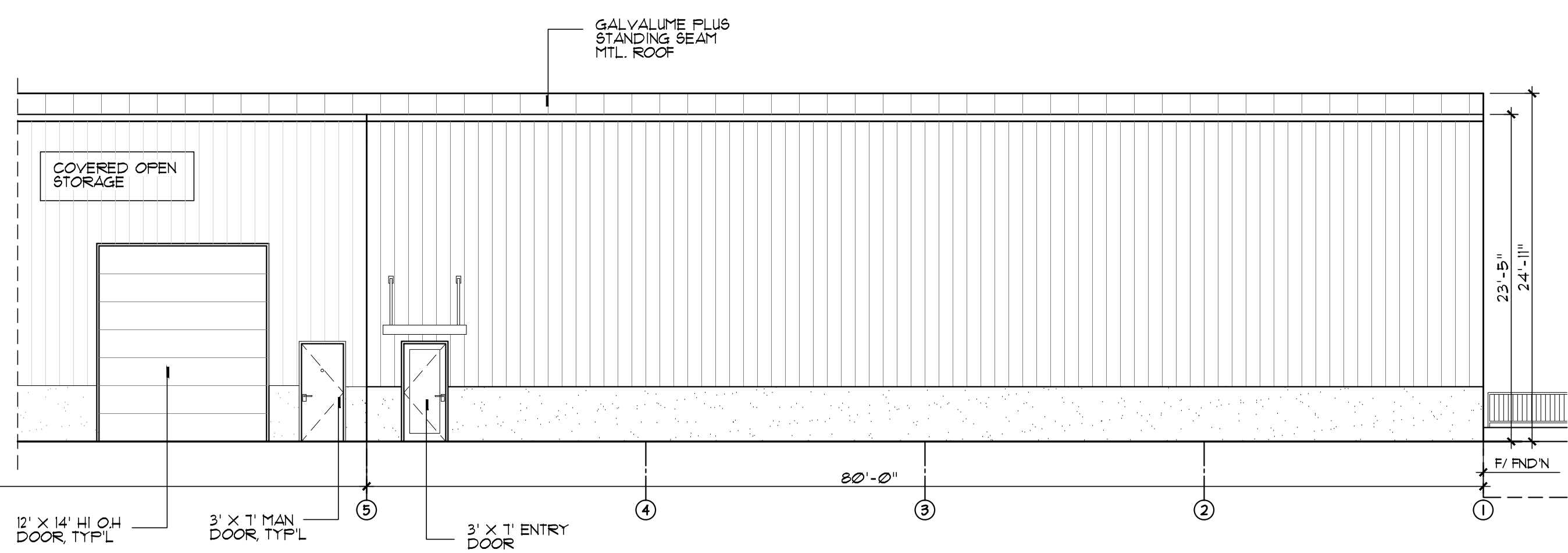
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



EAST ELEVATION

SCALE: 1/8"=1'-0"



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SHEET TITLE
ELEVATIONS

SCALE
1/8"=1'-0"

JOB NO.
200941.10

DRAWN
RA

CHECKED
JB

DATE
9/16/20

A-201

33,200 SF RESOURCE RECOVERY FACILITY
PRIME MATERIALS RECOVERY

444 NUTMEG ROAD NORTH
SOUTH WINDSOR, CT

FLB Architecture & Planning, Inc. 19 Silver Lane East Hartford CT 06118
(860)568-4030 fax: (860)568-5129 e-mail: flb@flbarch.com web: www.flbarch.com