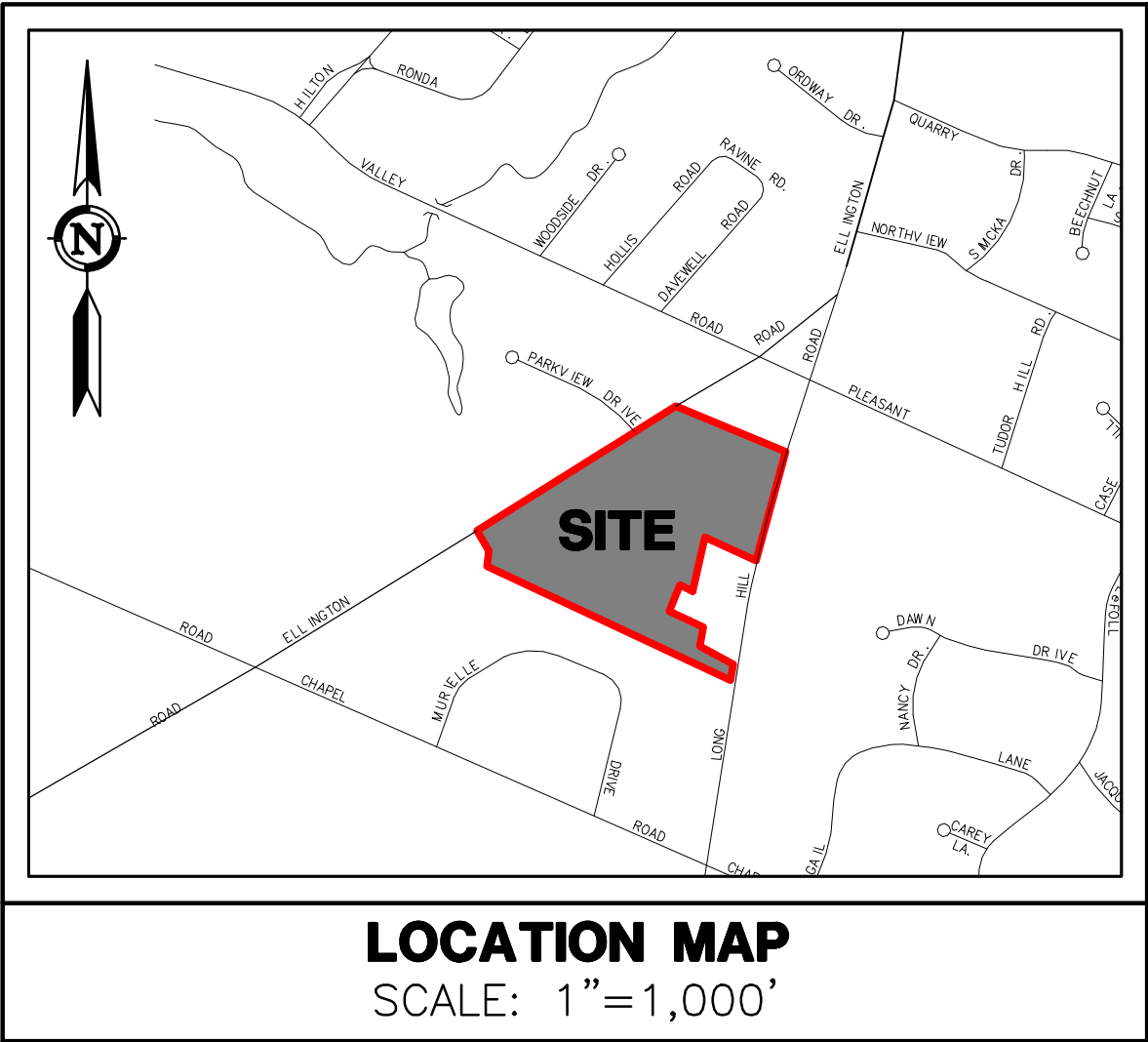


PLEASANT VALLEY ELEMENTARY SCHOOL

SITE PLAN MODIFICATION / SPECIAL EXCEPTION

591 ELLINGTON ROAD ~ SOUTH WINDSOR ~ CT

GIS No. 30300591, 30300623, & 30300647



SHEET INDEX	
C-T1	COVER SHEET
C-T2	KEY MAP
C-GD1	GRADING PLAN
C-DR1	DRAINAGE PLAN
C-UT1	UTILITY PLAN
LA-1	SITE PLAN - LAYOUT AND LANDSCAPING (BY OTHERS)
SPM-1	SITE PLAN - SIGNAGE, PAVEMENT AND MARKINGS (BY OTHERS)
V-1 TO V-3	PROPERTY & TOPOGRAPHIC SURVEY
A2.1	CLASSROOM ADDITION ELEVATION & FLOOR PLAN (BY OTHERS)

ZONING TABLE			
ZONE: RR - RURAL RESIDENTIAL			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	1,085,130 SF (24.911 ACRES)	1,085,130 SF (24.911 ACRES)
LOT FRONTAGE	175'	1,262'	1,262'
FRONT YARD	50'	112.7'	286.7'
SIDE YARD	20'	70.0'	150.8'
REAR YARD	50'	524.0'	N/A
BUILDING HEIGHT	70'*	24'±	36'±
PARKING	409**	88±	241 (256 FUTURE)***
INTERIOR LANDSCAPING	10%	21.2%±	14.4%
LOT COVERAGE	15%	4.8%±	5.8%
IMPERVIOUS COVERAGE	50%****	13.6%±	31.0%

NOTES:
* - BUILDING HEIGHT PER RR ZONE ALLOWS FOR MAXIMUM 30 FEET, SECTION 3.1.2D ALLOWS FOR BUILDING HEIGHT TO BE INCREASED BY 1 FOOT FOR EVERY 2 FEET BY WHICH SUCH BUILDING OR SUCH PORTION THEREOF LIES INSED THE NEAREST LIMITING LINE OF ANY FRONT, SIDE OR REAR YARD.
80' FROM CLOSEST LIMITING LINE / 2 = 40' INCREASE ALLOWED
40' INCREASE + 30' BUILDING HEIGHT = 70' BUILDING HEIGHT ALLOWED
** - 103,450 GSF x 1 SPACE / 250 GSF = 414 SPACES REQUIRED
*** - 181 SPACES PROVIDED AROUND NEW SCHOOL
60± SPACES TO REMAIN NEAR EXISTING SCHOOL
75 SPACES TO BE BUILT WITH FUTURE BALLFIELDS
**** - 50% IMPERVIOUS COVERAGE ALLOWED IN RR ZONE PER TABLE 3.1.1A
PARKING MODIFICATION REQUEST
PER SECTION 6.4.9 OF ZONING REGULATIONS, A MODIFICATION OF MINIMUM REQUIRED PARKING SPACES IS REQUESTED.
414 SPACES REQUIRED - 241 PROVIDED = 173 SPACE REDUCTION REQUESTED

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.



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South Windsor, CT 06074

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CIVIL ENGINEER & LAND SURVEYOR:

ARCHITECT:



Drumney Rosane
Anderson, Inc.
225 Oakland Road
South Windsor, CT 06074
860-644-8300
www.draws.com

LANDSCAPE ARCHITECT:



SLR International Corporation
99 Realty Drive
Cheshire, CT 06410
203-271-1773
www.slrconsulting.com

PROPERTY OWNER & APPLICANT:

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074
860-644-2511

21 JEFFREY DRIVE
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design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074
860-644-2511

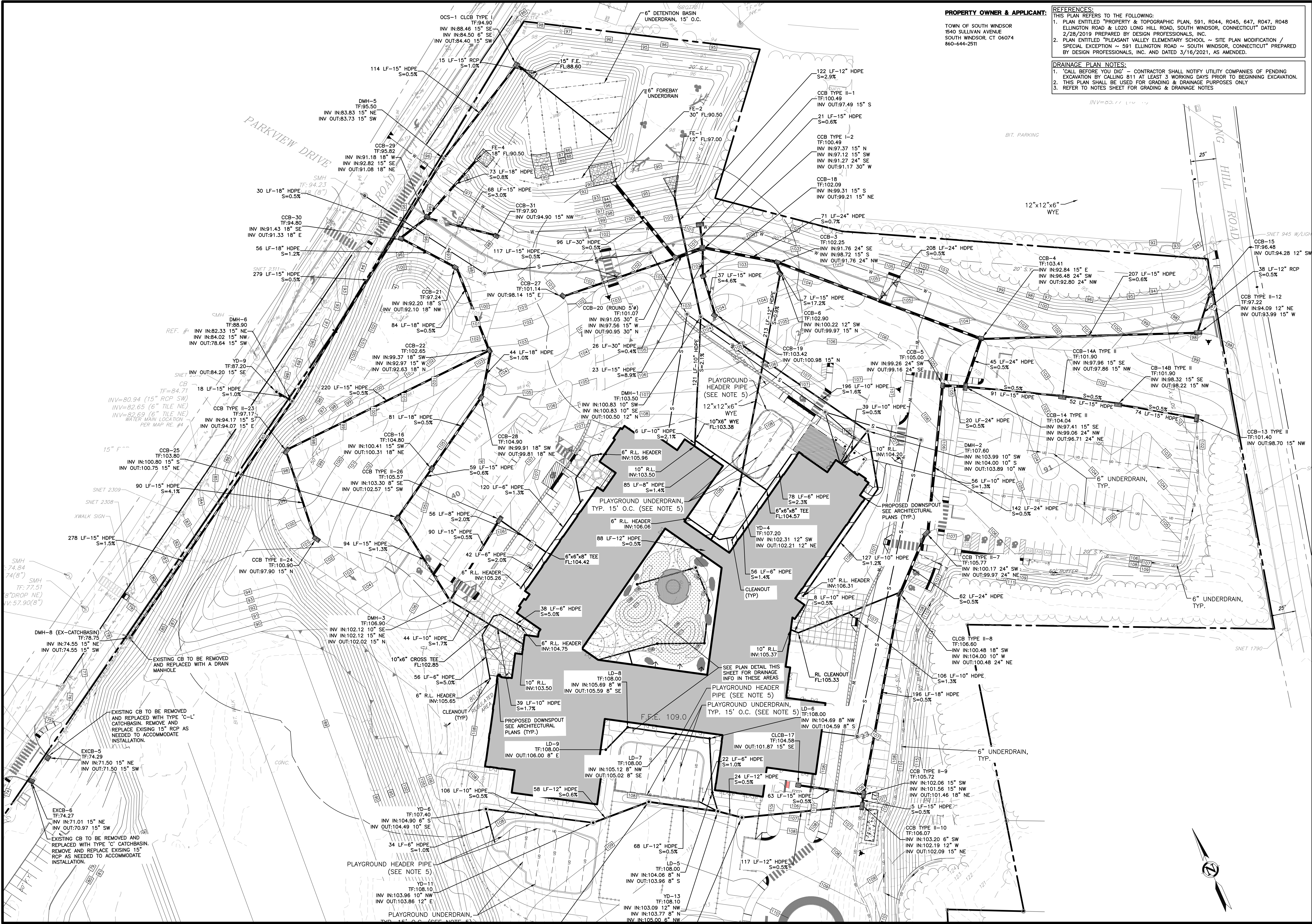
PROJECT NO.
4022D
DATE
9/26/22
DESIGNED BY
DJI
CHECKED BY
DJI

**PLEASANT VALLEY
ELEMENTARY SCHOOL**
591, 623, & 447 ELLINGTON ROAD
(SITE ADDRESS TO REMAIN 591 ELLINGTON ROAD)
SOUTH WINDSOR, CT
GIS NO. 30300591, 30300623, & 30300647

NO. DATE REVISIONS BY

COVER SHEET

SHEET
C-T1



PROPERTY OWNER & APPLICANT:

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074
860-644-2511

REFERENCES:

THIS PLAN REFERS TO THE FOLLOWING:

1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC PLAN, 591, R044, R045, 647, R047, R048 ELLINGTON ROAD & L020 LONG HILL ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 2/28/2019 PREPARED BY DESIGN PROFESSIONALS, INC.
2. PLAN ENTITLED "PLEASANT VALLEY ELEMENTARY SCHOOL ~ SITE PLAN MODIFICATION / SPECIAL EXCEPTION ~ 591 ELLINGTON ROAD ~ SOUTH WINDSOR, CONNECTICUT" PREPARED BY DESIGN PROFESSIONALS, INC. AND DATED 3/16/2021, AS AMENDED.

DRAINAGE PLAN NOTES:

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

PREPARED FOR:

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074
860-644-2511

PLEASANT VALLEY
ELEMENTARY SCHOOL
591 ELLINGTON ROAD
(SITE ADDRESS TO REMAIN 591 ELLINGTON ROAD)
SOUTH WINDSOR, CT

GIS NO. 30300591, 30300623, & 30300647

REVISIONS

NO.	DATE	BY

DRAINAGE PLAN

SHEET

C-DR1

SCALE: 0' 20' 40' 80'

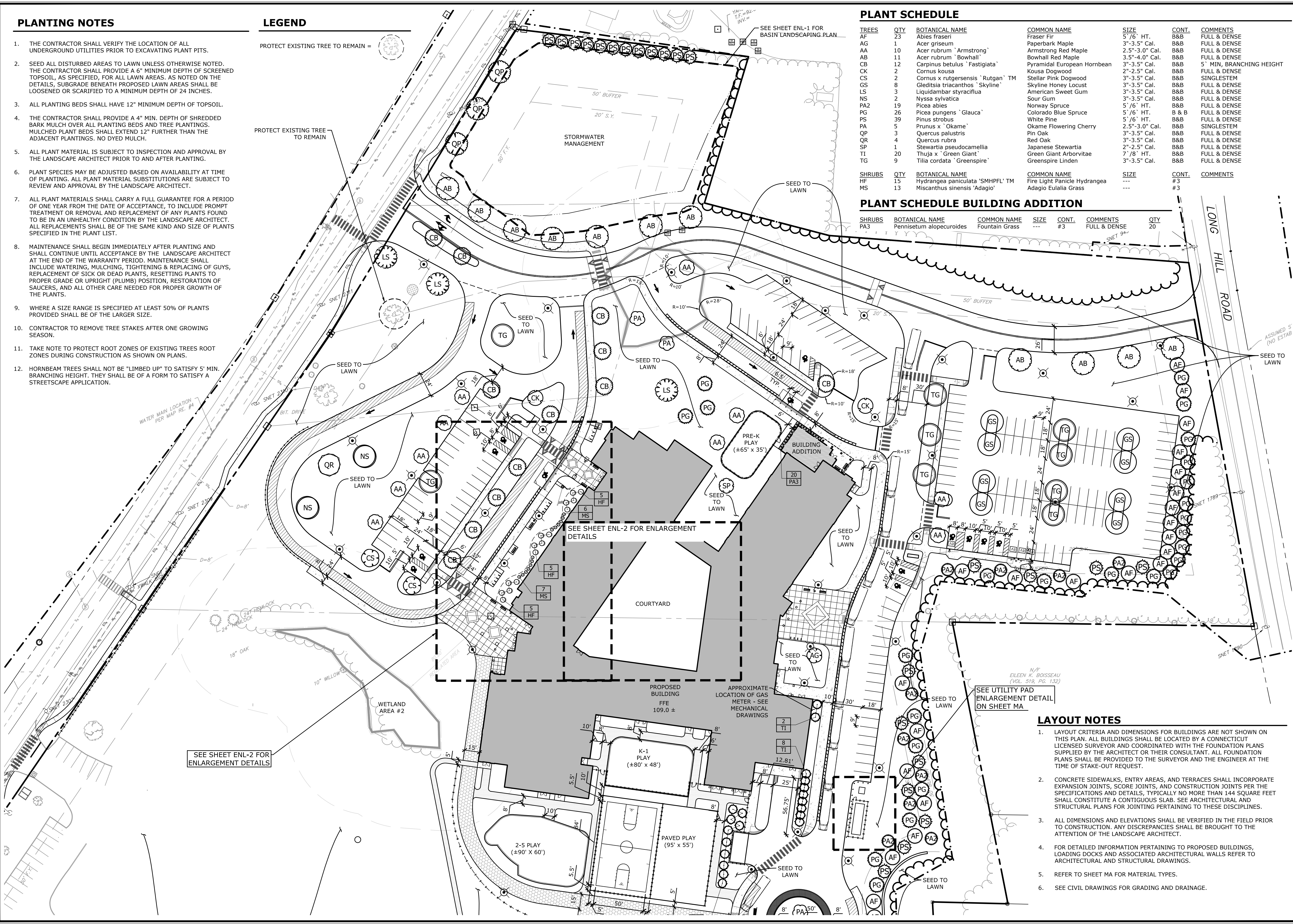
PLANTING NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. SEED ALL DISTURBED AREAS TO LAWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL, AS SPECIFIED, FOR ALL LAWN AREAS. AS NOTED ON THE DETAILS, SUBGRADE BENEATH PROPOSED LAWN AREAS SHALL BE LOOSENEED OR SCARIFIED TO A MINIMUM DEPTH OF 24 INCHES.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED BARK MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS. NO DYED MULCH.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTling PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.
11. TAKE NOTE TO PROTECT ROOT ZONES OF EXISTING TREES ROOT ZONES DURING CONSTRUCTION AS SHOWN ON PLANS.
12. HORNBEAM TREES SHALL NOT BE "LIMBED UP" TO SATISFY 5' MIN. BRANCHING HEIGHT. THEY SHALL BE OF A FORM TO SATISFY A STREETSCAPE APPLICATION.

LEGEND

PROTECT EXISTING TREE TO REMAIN =

PROTECT EXISTING TREE TO REMAIN



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
AF	23	Abies fraseri	Fraser Fir	5' / 6' HT.	B & B	FULL & DENSE
AG	1	Acer griseum	Paperbark Maple	3"-3.5" Cal.	B & B	FULL & DENSE
AA	10	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5"-3.0" Cal.	B & B	FULL & DENSE
AB	11	Acer rubrum 'Bowhall'	Bowhall Red Maple	3.5"-4.0" Cal.	B & B	FULL & DENSE
CB	12	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	3"-3.5" Cal.	B & B	5' MIN. BRANCHING HEIGHT
CK	2	Cornus kousa	Kousa Dogwood	2"-2.5" Cal.	B & B	FULL & DENSE
CS	2	Cornus x rutgersensis 'Rutgan' TM	Stellar Pink Dogwood	3"-3.5" Cal.	B & B	SINGLESTEM
GS	8	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	3"-3.5" Cal.	B & B	FULL & DENSE
LS	3	Liquidambar styraciflua	American Sweet Gum	3"-3.5" Cal.	B & B	FULL & DENSE
NS	2	Nyssa sylvatica	Sour Gum	3"-3.5" Cal.	B & B	FULL & DENSE
PA2	19	Picea abies	Norway Spruce	5' / 6' HT.	B & B	FULL & DENSE
PG	26	Picea pungens 'Glaucua'	Colorado Blue Spruce	5' / 6' HT.	B & B	FULL & DENSE
PS	39	Pinus strobus	White Pine	5' / 6' HT.	B & B	FULL & DENSE
PA	5	Prunus x 'Okame'	Okame Flowering Cherry	2.5"-3.0" Cal.	B & B	SINGLESTEM
QP	3	Quercus palustris	Pin Oak	3"-3.5" Cal.	B & B	FULL & DENSE
QR	4	Quercus rubra	Red Oak	3"-3.5" Cal.	B & B	FULL & DENSE
SP	1	Stewartia pseudocamellia	Japanese Stewartia	2"-2.5" Cal.	B & B	FULL & DENSE
TI	20	Thuja x 'Green Giant'	Green Giant Arborvitae	7' / 8' HT.	B & B	FULL & DENSE
TG	9	Tilia cordata 'Greenspire'	Greenspire Linden	3"-3.5" Cal.	B & B	FULL & DENSE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
HF	15	Hydrangea paniculata 'SMHPL' TM	Fire Light Panicle Hydrangea	---	#3	
MS	13	Miscanthus sinensis 'Adagio'	Adagio Eulalia Grass	---	#3	

PLANT SCHEDULE BUILDING ADDITION

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS	QTY
PA3	Pennisetum alopecuroides	Fountain Grass	---	#3	FULL & DENSE	20

LAYOUT NOTES

1. LAYOUT CRITERIA AND DIMENSIONS FOR BUILDINGS ARE NOT SHOWN ON THIS PLAN. ALL BUILDINGS SHALL BE LOCATED BY A CONNECTICUT LICENSED SURVEYOR AND COORDINATED WITH THE FOUNDATION PLANS SUPPLIED BY THE ARCHITECT OR THEIR CONSULTANT. ALL FOUNDATION PLANS SHALL BE PROVIDED TO THE SURVEYOR AND THE ENGINEER AT THE TIME OF STAKE-OUT REQUEST.
2. CONCRETE SIDEWALKS, ENTRY AREAS, AND TERRACES SHALL INCORPORATE EXPANSION JOINTS, SCORE JOINTS, AND CONSTRUCTION JOINTS PER THE SPECIFICATIONS AND DETAILS, TYPICALLY NO MORE THAN 144 SQUARE FEET SHALL CONSTITUTE A CONTIGUOUS SLAB. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR JOINING PERTAINING TO THESE DISCIPLINES.
3. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
4. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDINGS, LOADING DOCKS AND ASSOCIATED ARCHITECTURAL WALLS REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
5. REFER TO SHEET MA FOR MATERIAL TYPES.
6. SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE.

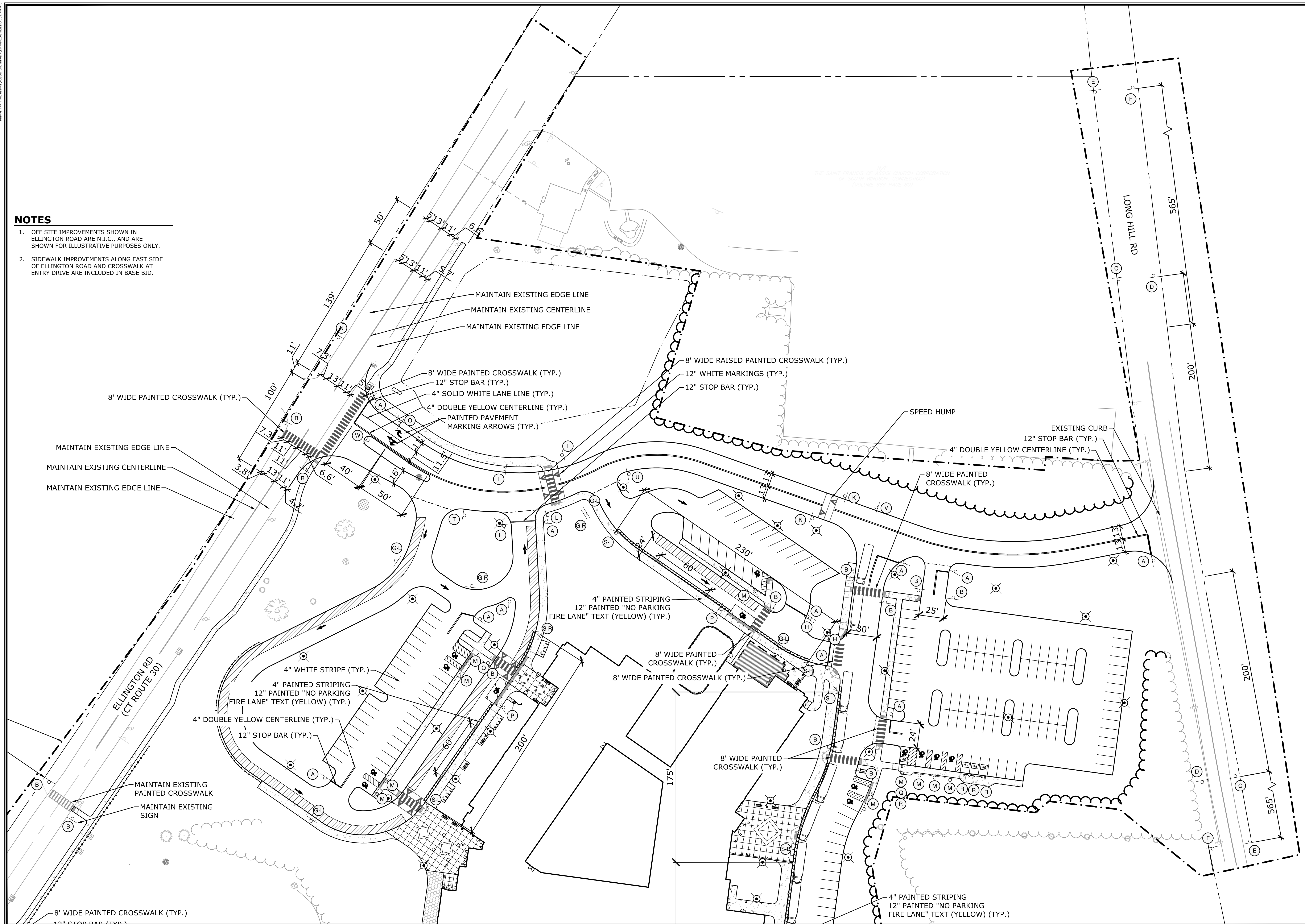


DESCRIPTION	DATE	BY

SITE PLAN - LAYOUT AND LANDSCAPING
PLEASANT VALLEY ELEMENTARY SCHOOL
591 ELLINGTON ROAD
SOUTH WINDSOR, CONNECTICUT

DWD	MEW	DWD
DESIGNED	DRAWN	CHECKED
SCALE 1"=40'		
DATE SEPTEMBER 26, 2022		
PROJECT NO. 3057-104		
SHEET NAME LA		

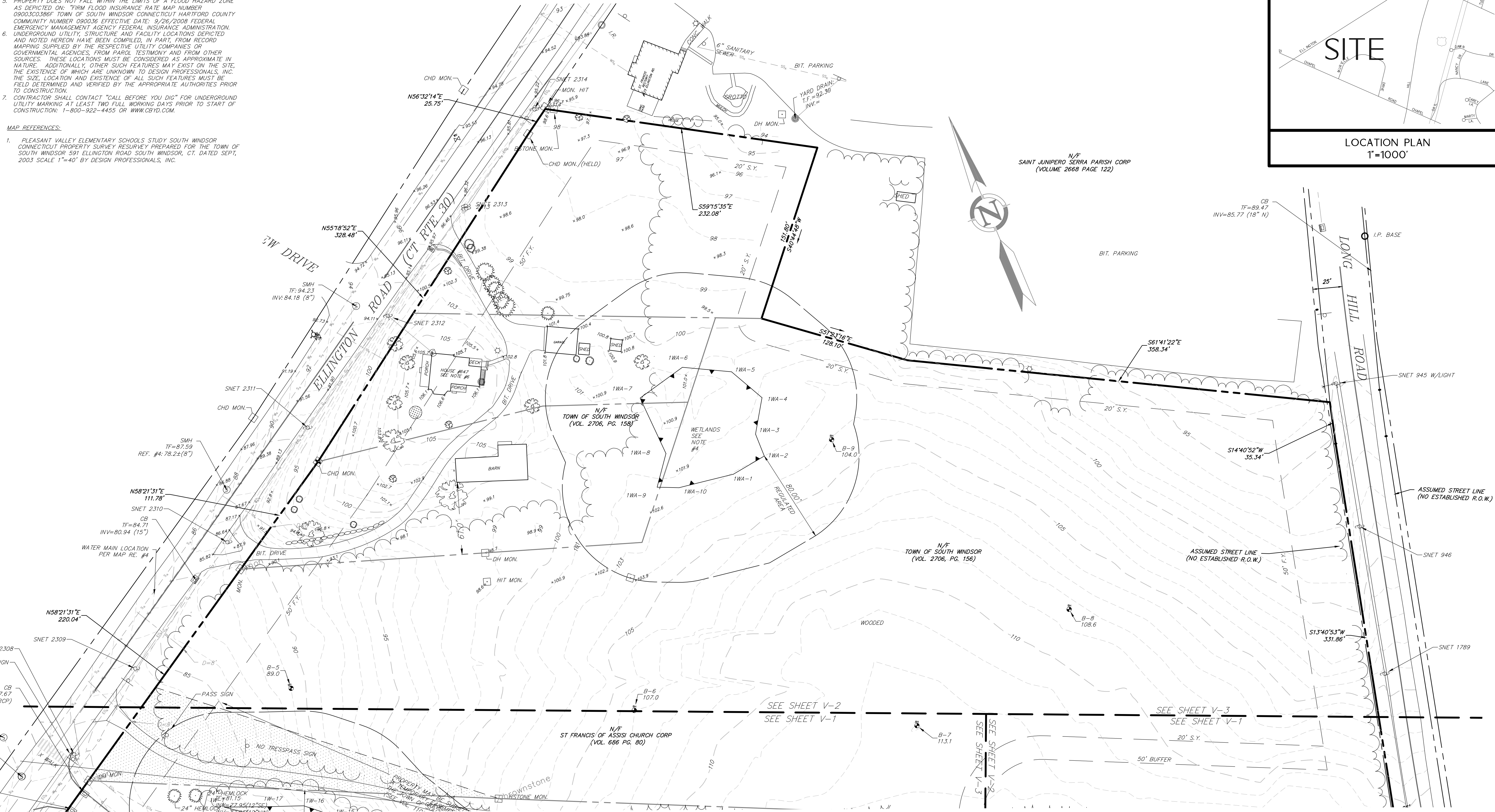
1. OFF SITE IMPROVEMENTS SHOWN IN ELLINGTON ROAD ARE N.I.C., AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
2. SIDEWALK IMPROVEMENTS ALONG EAST SIDE OF ELLINGTON ROAD AND CROSSWALK AT ENTRY DRIVE ARE INCLUDED IN BASE BID.



NOTES:
1. PROPERTY IS IN THE BR ZONE.
2. PARCEL CONTAINS 675,000 SQUARE FEET OR 15.5 ACRES.
3. HORIZONTAL DATUM IS BASED ON NAD83. THE CURRENT ELEVATIONS DEPICTED ABOVE ARE BASED ON VERTICAL DATUM OF NAVD88. ANY PRIOR SURVEY PERFORMED BY DESIGN PROFESSIONALS, INC. TO APRIL 2018 WAS PERFORMED ON A DIFFERENT VERTICAL DATUM.
4. WETLANDS WERE DELINEATED BY HIGHLAND SOILS, LLC.
5. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0386F TOWN OF SOUTH WINDSOR CONNECTICUT HARTFORD COUNTY COMMUNITY NUMBER 090036 EFFECTIVE DATE: 9/26/2008 FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

MAP REFERENCES:

1. PLEASANT VALLEY ELEMENTARY SCHOOLS STUDY SOUTH WINDSOR CONNECTICUT PROPERTY SURVEY RESURVEY PREPARED FOR THE TOWN OF SOUTH WINDSOR 591 ELLINGTON ROAD SOUTH WINDSOR, CT. DATED SEPT, 2003 SCALE 1"=40' BY DESIGN PROFESSIONALS, INC.



SURVEY NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND REVISED ON OCTOBER 26, 2018.
 - TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
 - THIS IS A RESURVEY BASED ON MAPS REFERENCED HEREON.
 - HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S.

12327

LIC. NO.

PROPERTY & TOPOGRAPHIC SURVEY

SHEET V-1

SHEET 1 OF 3

NO.	DATE	REVISIONS	BY
1	8/27/20	REMOVED NORTHERN BUFFER PER TOWN PLANNER	BPW
2	6/2/21	UPDATE OWNERS AND OTHER MINOR UPDATES	BDC

PLEASANT VALLEY SCHOOL

591, R044, R045, 647, R047, R048 ELLINGTON ROAD
LO20 LONG HILL ROAD
SOUTH WINDSOR, CONNECTICUT

PREPARED FOR:
South Windsor Public Schools
1737 Main Street
South Windsor, CT 06074

PROJECT NO. 4022
DATE 2/28/19
DESIGN BY: [Signature]
CHECKED BY: [Signature]
DATE 6/2/21

21 JEFFREY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-9757 - F
www.designprofessionalsinc.com
DESIGN PROFESSIONALS, INC.
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

SURVEY NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE STANDARDS AND PRACTICES CURRENTLY GOVERNING THE PRACTICE FOR SURVEYS AND MAPS* AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND REVISED ON OCTOBER 26, 2018.
- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DETERMINE THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
 - THIS IS A RESURVEY BASED ON MAPS REFERENCED HEREON.
 - HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS F-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED
HEREON.

LAWRENCE R. GEISSLER, JR., L.S.

12327
LIC. NO.

PROPERTY & TOPOGRAPHIC SURVEY

SHEET

V-2

SHEET 2 OF 3

NO.	DATE	REVISIONS	BY
1	8/27/20	REMOVED NORTHERN BUFFER PER TOWN PLANNER	BPW
2	6/2/21	UPDATE OWNERS AND OTHER MINOR UPDATES	BDC

**PLEASANT VALLEY
SCHOOL**
01. RO44, RO45, 647, RO47, RO48 ELLINGTON ROAD
1020 LONG HILL ROAD
SOUTH WINDSOR, CONNECTICUT

591, RO44, RO45, 647, RO47, RO48 ELLINGTON ROAD
LO20 LONG HILL ROAD









































PREPARED FOR:

South Windsor Public
Schools
1737 Main Street
South Windsor, CT 06074

- The plan is valid unless it bears the seal or stamp, and original signature of the Professional Engineer, Land Surveyor, or Landscape Architect
- Existing utility locations depicted hereon are based on available information and should be field verified prior to construction
- Reproduction techniques used in the production of this plan can distort or shrink the paper. Scaling of this drawing may be necessary to ensure that the information is accurate. Additional information is required.
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**PLANNERS / SURVEYORS
CAPE ARCHITECTS**

LEGEND	
EXISTING	DESCRIPTION
	BORING / TEST PIT LOCATION
COMMUNICATION 	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
	UNDERGROUND COMMUNICATION LINES
CONTROL POINTS 	BENCHMARK
DOMESTIC WATER 	WATER MAIN
	WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
LIGHTING 	POLE MOUNTED LIGHT
NATURAL GAS 	GAS MAIN
	GAS SERVICE LINE
POWER 	ELECTRICAL LINES, OVERHEAD
	ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
PROPERTY 	PROPERTY LINE
	EASEMENT LINE
	IRON PIPE
	IRON ROD
	MONUMENT
ROADS 	GUARD RAIL
	SIGN
SITE FEATURES 	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	STONE WALL
	TREE
	TREE LINE
SANITARY SEWER 	SANITARY SEWER MAIN
	SANITARY SEWER SERVICE LINE
	SANITARY SEWER MANHOLE
STORM SEWER 	STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY 	CONTOUR
	SPOT ELEVATION
WETLANDS 	WETLANDS LINE



- NOTES:**
1. PROPERTY IS IN THE RR ZONE.
 2. PARCEL CONTAINS 675,000 SQUARE FEET OR 15.5 ACRES.
 3. HORIZONTAL DATUM IS BASED ON NAD83. THE CURRENT ELEVATIONS DEPICTED ABOVE ARE BASED ON VERTICAL DATUM OF NAVD83. ANY PRIOR SURVEY PERFORMED BY DESIGN PROFESSIONALS, INC. TO APRIL 2018 WAS PERFORMED ON A DIFFERENT VERTICAL DATUM.
 4. WETLANDS WERE DELINEATED BY HIGHLAND SONS & L.
 5. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A FLOOD HAZARD ZONE AS DEPICTED ON: "TIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0386F, TOWN OF SOUTH WINDSOR CONNECTICUT HARFORD COUNTY MARYLAND, EFFECTIVE DATE 2018-01-01".
 6. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD DRAWINGS SUPPLIED BY THE STATE OF CONNECTICUT, THE CONNECTICUT GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, BUT ARE NOT SHOWN HEREON. THE FIELD PROFESSIONAL HAS NOT ASSESSED THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 7. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-222-4455 OR FROM CBYD.COM.

- MAP REFERENCES:
1. PLEASANT VALLEY ELEMENTARY SCHOOLS STUDY SOUTH WINDSOR
CONNECTICUT PROPERTY SURVEY RESURVEY PREPARED FOR THE TOWN OF
SOUTH WINDSOR 591 ELLINGTON ROAD SOUTH WINDSOR, CT. DATED SEPT,
2003 SCALE 1"=40' BY DESIGN PROFESSIONALS, INC.

- SURVEY NOTES:**
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THRU 20-300B-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND REVISED ON OCTOBER 26, 2018.
- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DETERMINE THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
 - THIS IS A RESURVEY BASED ON MAPS REFERENCED HEREON.
 - HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHIC ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED
HEREON.

LAWRENCE R. GEISSLER, JR., L.S. 12327
LIC. NO.

