

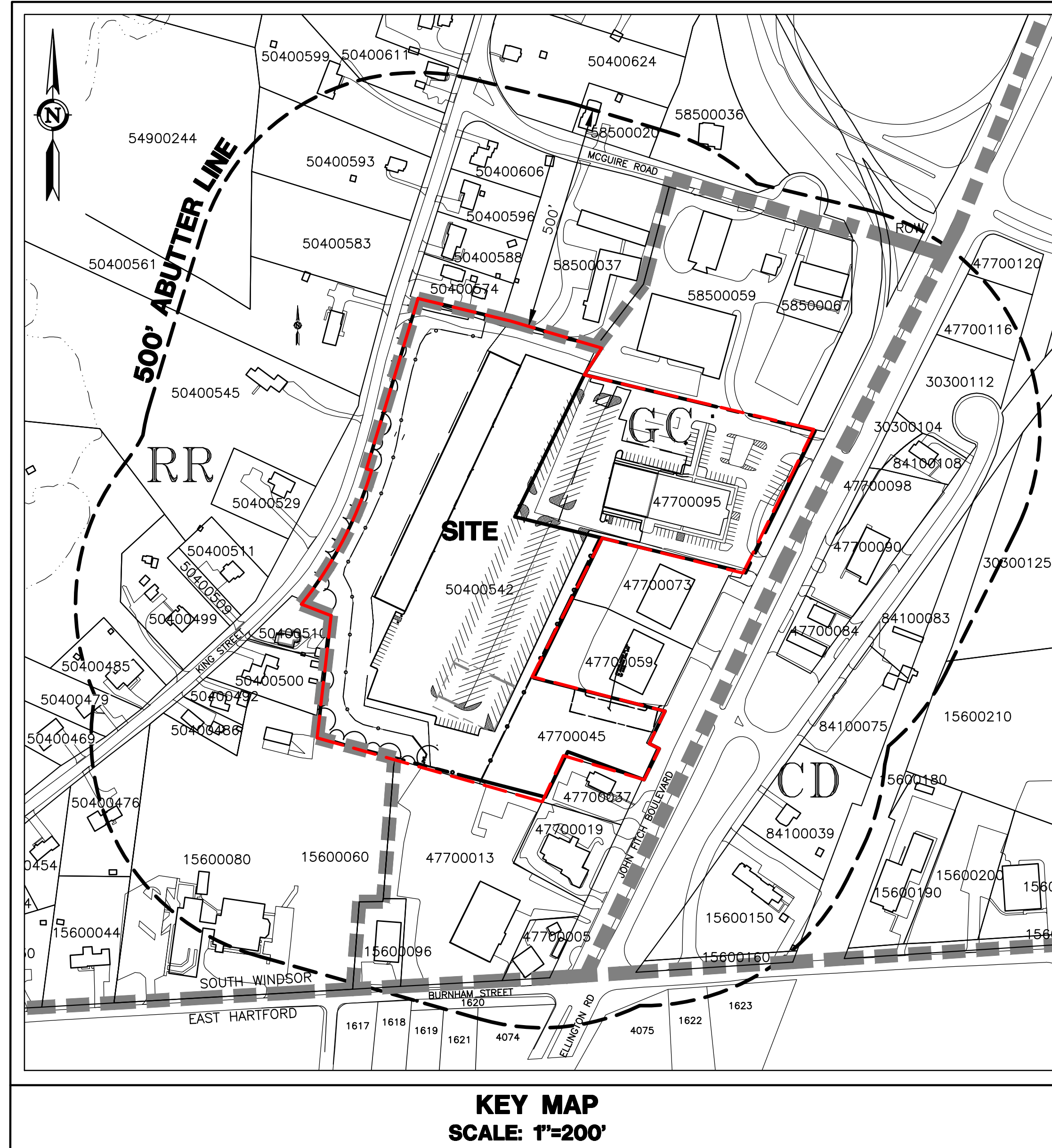
# HARTFORD TRUCK EQUIPMENT

## SITE PLAN MODIFICATION

45, 95 JOHN FITCH BOULEVARD & 542 KING STREET ~ SOUTH WINDSOR ~ CT

GIS #: 50400542, 47700095, 47700045

N/F 500' ABUTTERS		
PARCEL ID	STREET ADDRESS	OWNER
1620	105 BURNHAM STREET	TOWN OF EAST HARTFORD
1621	107 BURNHAM STREET	CHAN ERNESTO CALVERT & LOUISE P
1622	149 BURNHAM STREET	P & Z ELLINGTON ROAD REALTY LLC
1623	157 BURNHAM STREET	P & Z ELLINGTON ROAD REALTY LLC
4074	400 ELLINGTON ROAD	MUMFORD CHARLES R SR
4075	405 ELLINGTON ROAD	P & Z ELLINGTON ROAD REALTY LLC
15600060	60 BURNHAM STREET	TRUTH BAPTIST CHURCH OF -
15600080	60 BURNHAM STREET	TRUTH BAPTIST CHURCH OF -
15600096	96 BURNHAM STREET	SZUKI GEORGE H & CYNTHIA V
15600096	96 BURNHAM STREET	SZUKI GEORGE H & CYNTHIA V
15600150	150 BURNHAM STREET	KIDS-5 LLC
15600160	160 BURNHAM STREET	CONN STATE OF
15600210	210 BURNHAM STREET	CURRENT RESIDENT
30300104	104 ELLINGTON ROAD	CURRENT RESIDENT
30300112	112 ELLINGTON ROAD	CURRENT RESIDENT
30300125	125 ELLINGTON ROAD	ARG STWINCT001 LLC
47700005	5 JOHN FITCH BLVD	ALLIANCE ENERGY CORP
47700013	13 JOHN FITCH BLVD	CARON DAVID
47700019	19 JOHN FITCH BLVD	19 JOHN FITCH BOULEVARD II LLC
47700037	37 JOHN FITCH BLVD	DBB MANAGEMENT LLC
47700059	59 JOHN FITCH BLVD	CHURILO PETER
47700073	73 JOHN FITCH BLVD	CHURILO PETER
47700084	84 JOHN FITCH BLVD	TONYS TURTLE GAS LLC
47700090	90 JOHN FITCH BLVD	GILL JASON
47700098	98 JOHN FITCH BLVD	CONN STATE OF
47700116	116 JOHN FITCH BLVD	CONN STATE OF
47700120	120 JOHN FITCH BLVD	CONN STATE OF
50400469	469 KING STREET	KELLEY BRITTANY
50400476	476 KING STREET	GRAHAM BRIAN T &
50400479	479 KING STREET	LIVINGSTON STEPHEN P & KIMBERLY
50400485	485 KING STREET	MARSH STEVEN J
50400486	486 KING STREET	SHELDON DAVID B & ELAINE R
50400491	491 KING STREET	SOUTH WINDSOR TOWN OF
50400492	492 KING STREET	MURPHY SHANNON
50400499	499 KING STREET	TEDONE TAMARA
50400500	500 KING STREET	CALABRESE MARK
50400509	509 KING STREET	RUSSAK WALTER O
50400510	510 KING STREET	UCCELLO ROBERT A & JESSICA
50400511	511 KING STREET	RUSSAK WALTER O &
50400529	529 KING STREET	BALTZ FRANK R &
50400545	545 KING STREET	RUSSAK ROBERT
50400561	561 KING STREET	RUSSO THOMAS J & BEATA
50400574	574 KING STREET	ST JARRE STEVEN J
50400583	583 KING STREET	RUSSAK MURIEL
50400588	588 KING STREET	COLTON LISA A
50400593	593 KING STREET	RIOUX NICOLE & DAVID
50400596	596 KING STREET	VAZQUEZ EDWIN & NELIDA
50400599	599 KING STREET	GALUSKA MICHAEL E
50400606	606 KING STREET	BRENNAN JUSTINE
50400611	611 KING STREET	AHLEMAYER WILLIAM F &
50400624	624 KING STREET	WAINIKIEWICZ MARGARET L/U
54900244	244 MAIN STREET	JONES ROBERT E JR &
58500020	20 MCGUIRE ROAD	RAMIREZ PEDRO R
58500036	36 MCGUIRE ROAD	DBB MANAGEMENT LLC
58500037	37 MCGUIRE ROAD	SUNDERLAND EDWARD T III
58500059	59 MCGUIRE ROAD	MCGUIRE ROAD ASSOCIATES LLC
58500067	67 MCGUIRE ROAD	DBB MANAGEMENT LLC
84100039	39 SPIELMAN ROAD	DUNTZ KATHY L
84100075	75 SPIELMAN ROAD	TONUCCI RICHARD L & BERNICE A
84100083	83 SPIELMAN ROAD	TONUCCI RICHARD L & BERNICE A
84100108	108 SPIELMAN ROAD	LATORRE EDA



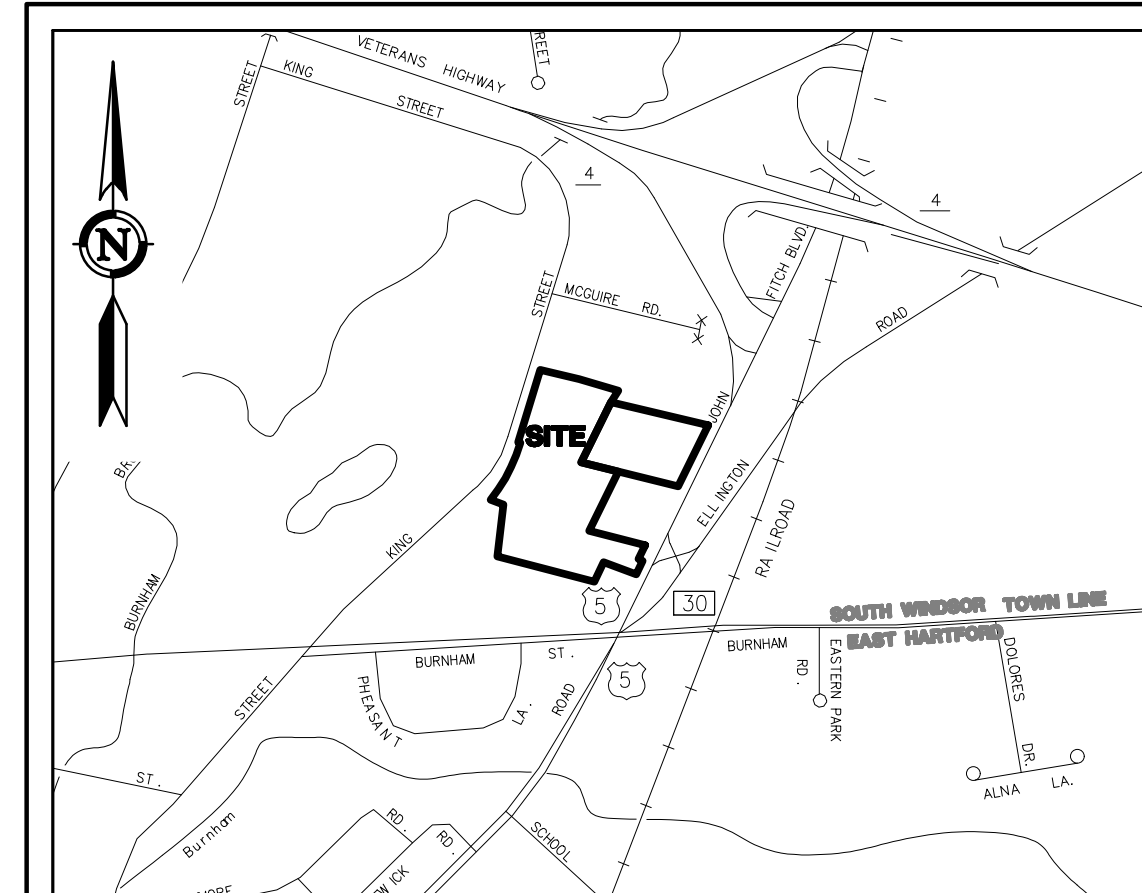
KEY MAP  
SCALE: 1"=200'

CIVIL ENGINEER,  
LANDSCAPE ARCHITECT  
& LAND SURVEYOR:

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LOCATION MAP  
SCALE: 1"=1,000'

### ZONING TABLE

ZONE: GC ZONE (GENERAL COMMERCIAL)			
ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	30,000 SF	677,719 SF(1)	677,719 SF(1)
LOT FRONTAGE	100'	350'(2)	350'(2)
LOT DEPTH	150'	536'	536'
FRONT YARD	50'	87.9'	87.9'
SIDE YARD	10'	67.7'	67.7'
REAR YARD	15'	-	-
BUILDING HEIGHT	40'	<40'	<40'
STORIES	2	1	1
LOT COVERAGE	30%	2.8%	10.6%
IMPERVIOUS COVERAGE	65%	18.9%	59.3%
PARKING	108	51	108*
PARKING LOT LANDSCAPING	10%	16%	10.6%

(1) 542 KING STREET, 45 AND 95 JOHN FITCH BOULEVARD COMBINED  
(2) 95 JOHN FITCH BLVD. FRONTAGE

#### PARKING NOTES:

\* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLE

6.4.39

#### PARKING CALCULATION:

EXISTING OFFICE SPACE: 7,000 SF  
4.5 SPACES REQUIRED PER 1,000 SF OF GFA  
7,000 SF X 4.5/1000 = 31.5 SPACES REQUIRED FOR OFFICE SPACE

EXISTING INDUSTRIAL/MANUFACTURING SPACE: 9,500 SF  
1 SPACE PER 700 SF OF GFA REQUIRED  
9,500 X 1/700 = 13.6 SPACES REQUIRED

PROPOSED INDUSTRIAL/MANUFACTURING SPACE: 10,000 SF  
10,000 X 1/700 = 14.3 SPACES REQUIRED

PROPOSED STORAGE BUILDING: 45,000 SF  
1 SPACE PER 1,250 SF REQUIRED PLUS 1 SPACE PER EMPLOYEE  
45,000 X 1/1250 = 36 + 4 EMPLOYEE SPACES = 40 SPACES REQUIRED

PROPOSED MEZZANINE SPACE WITHIN STORAGE BUILDING: 8,396 SF  
8,396 SF X 1/1250 = 6.72 SPACES REQUIRED

TOTAL SPACES REQUIRED: 31.5 + 13.6 + 14.3 + 40 + 6.72 = 106.12  
51 EXISTING SPACES + 57 PROPOSED SPACES = 108 SPACES PROVIDED

ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES ARE PROVIDED AS LEVEL 2 EV INSTALLED AND LEVEL 2 EV READY.

10% OF PROPOSED SPACES MUST BE LEVEL 2 EV READY

57 PROPOSED SPACES X .10 = 5.7  
6 LEVEL 2 EV READY SPACES ARE REQUIRED, 6 PROVIDED

3% OF PROPOSED SPACES MUST BE LEVEL 2 EV INSTALLED SPACES

57 PROPOSED SPACES X .03 = 1.71 LEVEL 2 EV INSTALLED SPACES REQUIRED, 2 PROVIDED.

ALSO, OF THE 2 LEVEL 2 EV INSTALLED SPACES, 1 IS RESTRICTED VAN ACCESSIBLE.

### PRELIMINARY

### NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

### GENERAL NOTES:

\* THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.

\* REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.

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**PROPERTY OWNER:**  
MCGUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
MCGUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

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PREPARED FOR:  
Hartford Truck  
Equipment, Inc.  
C/o Mr. Blake Brannon  
95 John Fitch Boulevard  
South Windsor, CT 06074  
860-290-9324 T

PROJECT NO.  
2182/H  
DATE  
4/13/22  
DRAWN BY  
CHKD BY  
SCALE  
CROSS BY  
PREP/DPI

**HARTFORD TRUCK  
EQUIPMENT**  
45, 95 JOHN FITCH BOULEVARD & 542 KING STREET  
SOUTH WINDSOR, CONNECTICUT  
GIS Nos. 50400542, 47700095 & 47700045

NO. DATE BY REVISIONS

TITLE

SHEET  
**C-T1**  
SHEET 1 OF 15

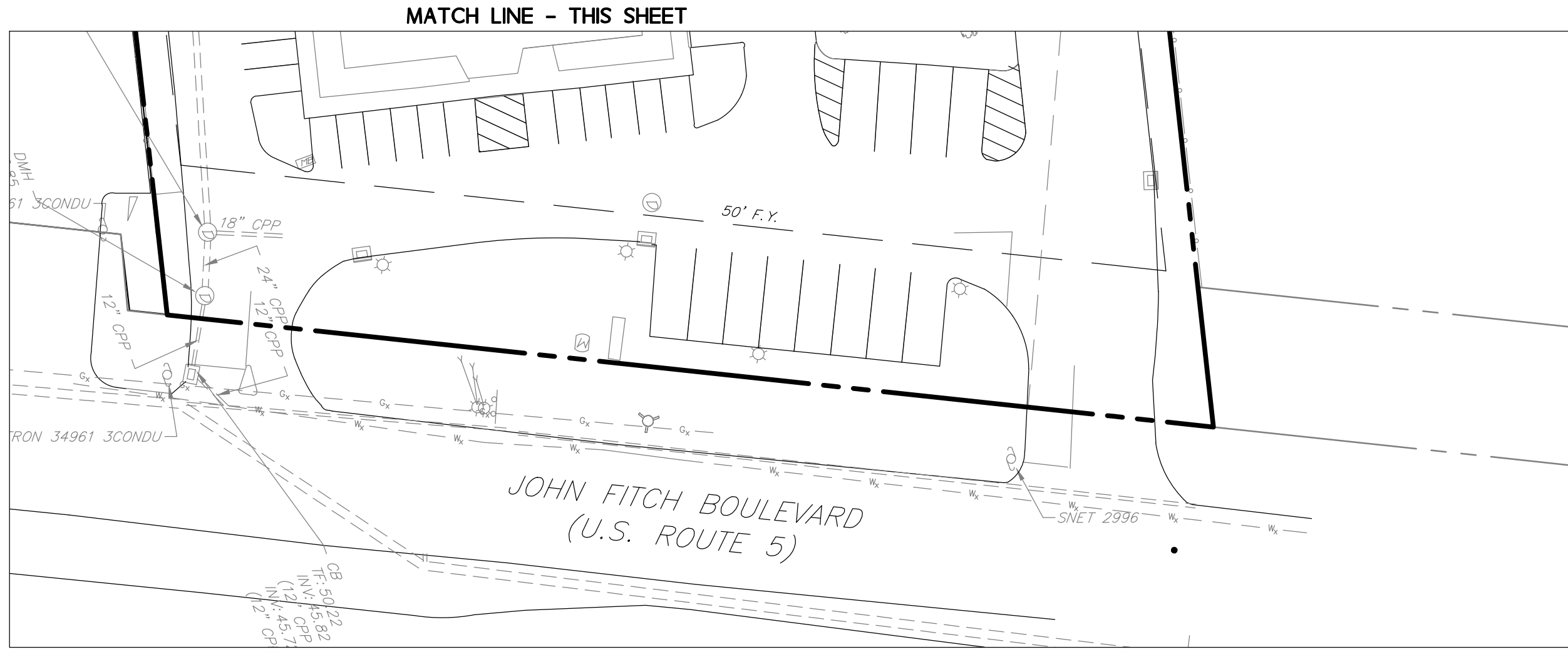
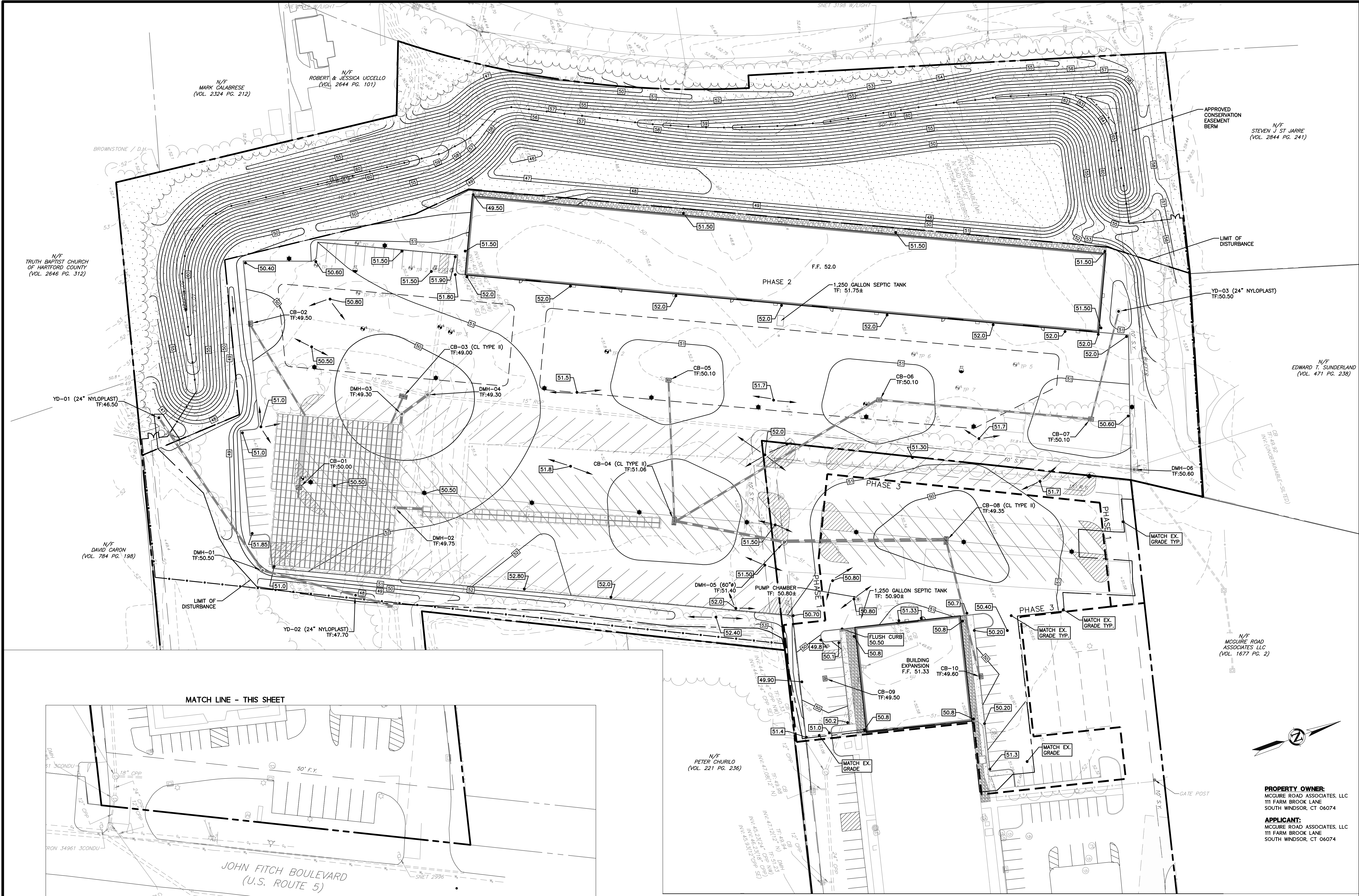












**GRADING PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. ALL PROPOSED PAVEMENT SPOT ELEVATIONS INDICATE TOP OF PAVEMENT. TOP OF CURB ELEVATIONS SHALL BE SIX INCHES ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.  
3. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY  
4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLANS ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, HARTFORD TRUCK, 45 & 95 JOHN FITCH BOULEVARD & 542 KING STREET, SOUTH WINDSOR, CONNECTICUT" DATED REVISED 5/24/22 PREPARED BY DESIGN PROFESSIONALS, INC.

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**APPLICANT:**  
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2482-H  
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6/13/22  
SCALE BY:  
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DRAWN BY:  
CHAM  
CHECKED BY:  
CHAM  
PRD/CHM

**HARTFORD TRUCK  
EQUIPMENT**

45, 95 JOHN FITCH BOULEVARD & 542 KING STREET  
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**GRADING PLAN**

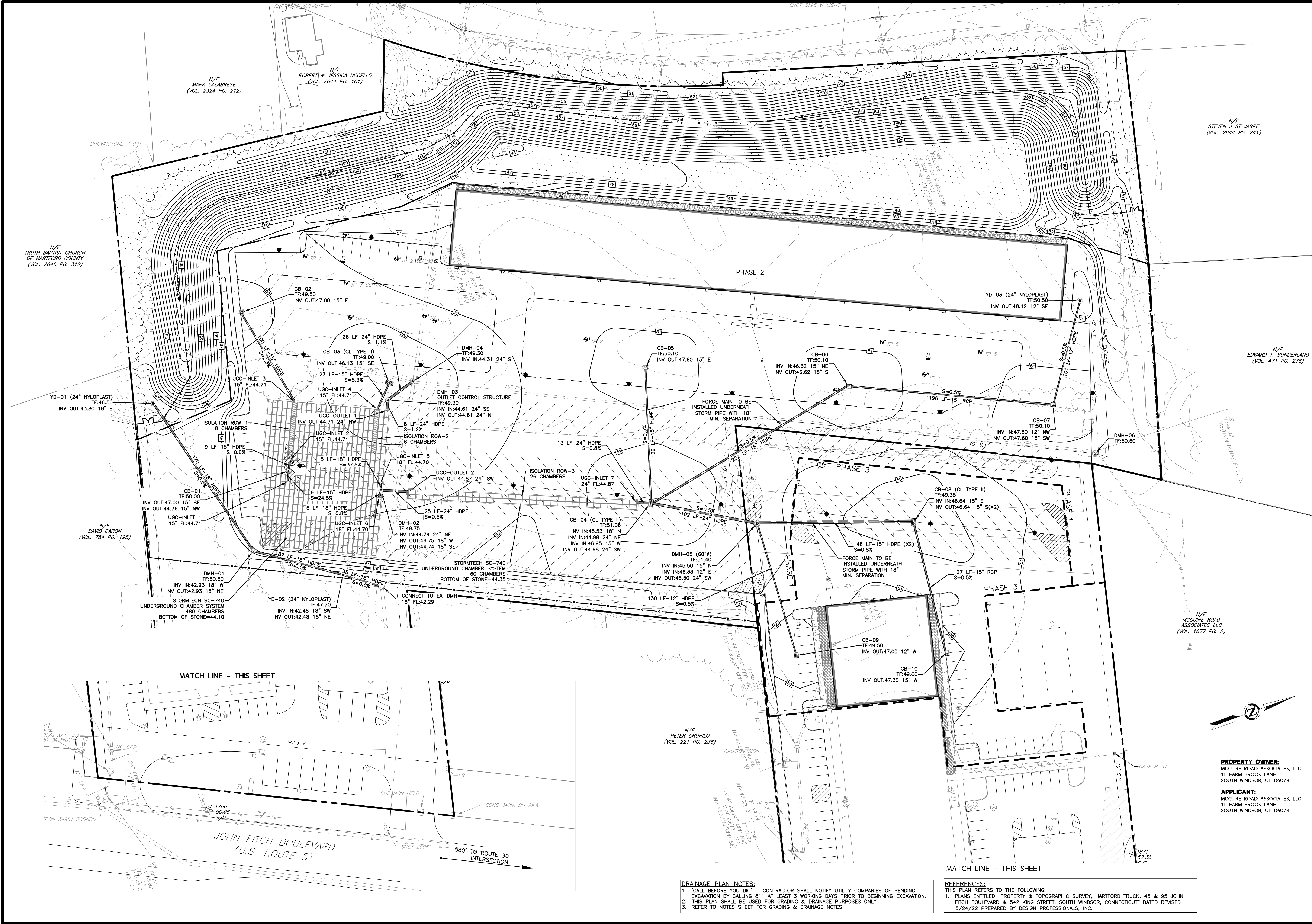
SCALE: 0' 20' 40'  
1" = 40'

SHEET

**C-GD1**

SHEET 4 OF 16





**DRAINAGE PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY  
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

**REFERENCES:**  
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SOUTH WINDSOR, CT 06074

DRAINAGE PLAN

SHEET

C-DR1

NO.

DATE

BY

REVISIONS

1

6/13/22

DAVID JAMISON

SCALE: 0' 20' 40' 80'

T = 40'

HARTFORD TRUCK EQUIPMENT

45, 95 JOHN FITCH BOULEVARD & 542 KING STREET  
SOUTH WINDSOR, CONNECTICUT  
GIS Nos. 50400542, 47700095 & 47700045

PREPARED FOR:  
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C/o Mr. Blake Brannon  
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860-290-9324 T

DESIGNED BY:  
DAVID JAMISON

CHECKED BY:  
DAVID JAMISON

DATE:  
6/13/22

PROJECT NO.  
2482.H

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6/13/22

SCALE:  
AS SHOWN

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6/13/22

BY:  
DAVID JAMISON

DATE:  
6/13/22

BY:  
DAVID JAMISON

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LANDSCAPE ARCHITECTS

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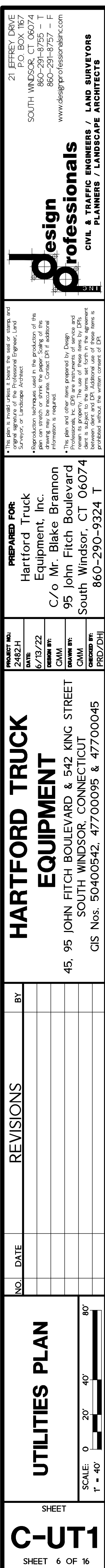
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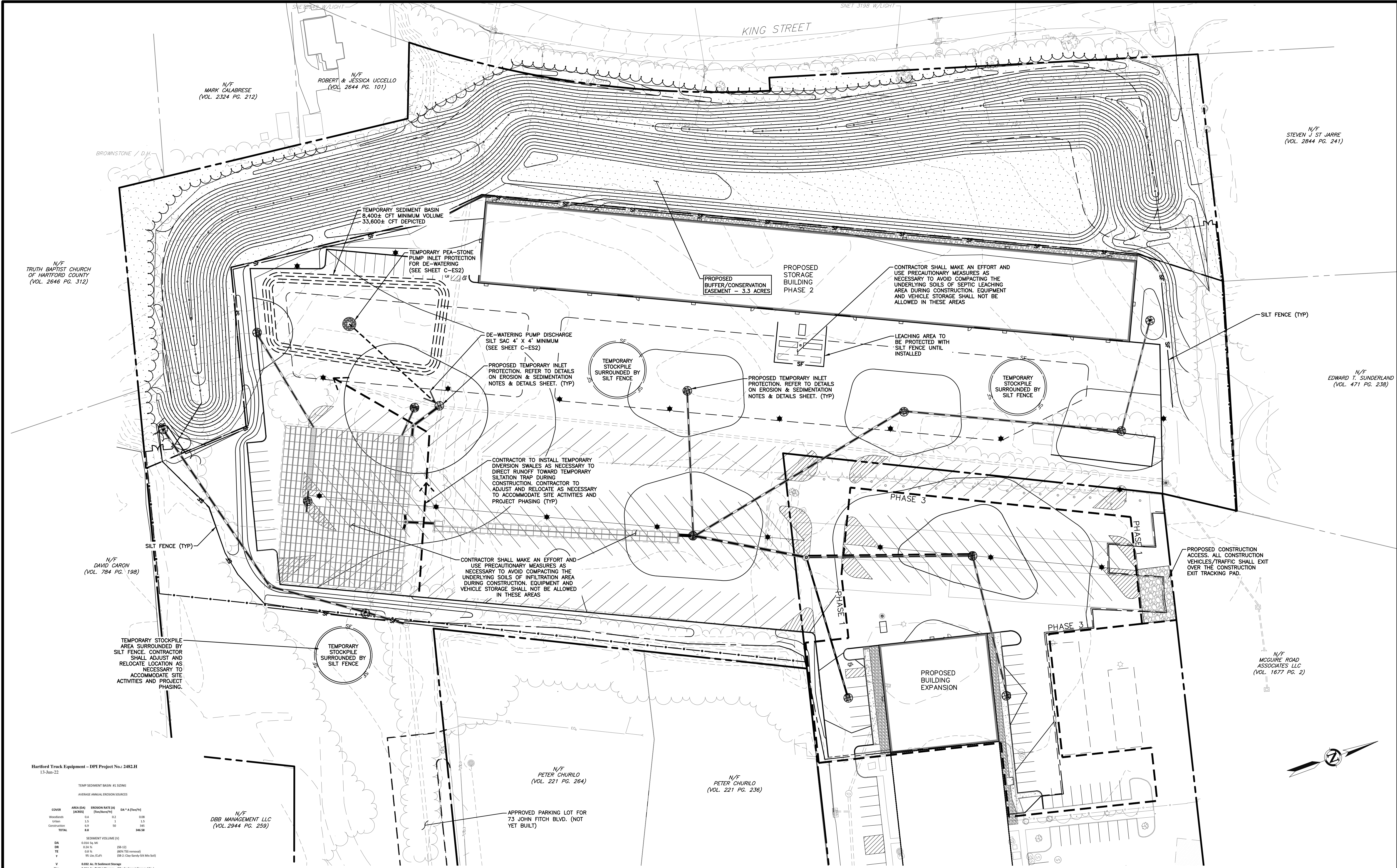
LANDSCAPE ARCHITECTS

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Hartford Truck Equipment - DPI Project No: 2482.H  
13-Jun-22

TEMP SEDIMENT BASIN #1 SIZING			
AVERAGE ANNUAL EROSION SOURCES			
COVER	AREA (DA) (ACRES)	EROSION RATE (T/yr/acre/ft)	DA * A * (T/yr/ft)
Woodlands	0.4	0.2	0.08
Urban	1.5	1	1.5
Construction	6.5	50	325
TOTAL	8.4		346.58
SEDIMENT VOLUME (V)			
DA	0.004 T/yr/ft	(50-12)	
DR	0.24 %	(50-12)	
TE	0.8 %	(50-12) (50-12) (50-12)	
Y	95 Lbs /CUYD	(50-12) (50-12) (50-12)	
V	8,082 Cu. Yd Sediment Storage		
WV	0.284 Ac. Ft Wet Storage	(72 x Sediment Storage Min.)	
WT	0.291 Ac. Ft Storage		
Sediment Vol.	4252.71	CuYd	
Wet Volume	8425.48	CuYd	

$V = (DA * A * R * T) / (24 * 60 * 60)$   
where:

V = the volume of sediment trapped in ac. ft. (cu. ft.)  
DA = the total drainage area in acres  
A = the average annual erosion in tons per acre per year using either values from the Universal Soil Loss Equation, the Revised Universal Soil Loss Equation or the values in Figure SB-1 for the listed land use  
DR = the delivery ratio determined from Figure SB-12  
TE = the trap efficiency as given above (Use 0.65)  
Y = the estimated sediment density in the sediment basin in lbs/cu. yd. from Figure SB-21

TEMP SEDIMENT BASIN STAGE STORAGE TABLE						
ELEV.	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
47.00	9,266.65	N/A	N/A	0.00	N/A	0.00
48.00	10,531.78	1.00	9899.21	9899.21	9892.47	9892.47
49.00	11,853.46	1.00	11192.62	21091.83	11186.11	21078.58
50.00	13,231.68	1.00	12542.57	33634.40	12536.26	33614.83

REFERENCES:  
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SOUTH WINDSOR, CT 06074

APPLICANT:  
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EROSION & SEDIMENTATION CONTROL PLAN NOTES:  
1. CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.  
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.  
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

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CHM  
PROJECT ENGINEER:  
CHM

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SOUTH WINDSOR, CONNECTICUT  
GIS Nos: 50400542, 47700095 & 47700045

NO. DATE REVISIONS BY

**EROSION &  
SEDIMENTATION  
CONTROL PLAN**  
SHEET  
**C-ES1**  
SHEET 7 OF 16











LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDBED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL (EXCEPT INFILTRATION BASIN), SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK." PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE.
- BARE-ROOT PLANTS: DUG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORMLY THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- A. CONTAINER STOCK SHALL NOT BE POT BOUND.
- B.B.B. CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
- C. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE "HEALTHY", VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE OWNER.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
  - BARK MULCH/COMPOST 40-45%
  - COARSE SAND 40-50%
  - TOPSOIL 10-15%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIME SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MAXIMUM OF 60% OXIDE, (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE FORMULA WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND PLANTS.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT HEATING AND DETERIORATION.
- DELAY FIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF PERENNIALS OR OWNER SELECTED ANNUALS.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUTTINGS, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES WITH RECOMMENDATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS. MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR TRANSHIPMENT THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
- INSPECTION CERTIFICATES REQUIRED BY LAH SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL, THE CERTIFICATE SHALL BE FILED WITH THE OWNER'S RECORDS.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES, PERMEABLE TO PERMIT TRANSPARATION, MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
  - REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
  - MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
  - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
  - ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
  - MULCH TO BE APPLIED AS FOLLOWS:
    - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
    - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
    - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
    - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST.
    - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS.
    - MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
    - MAINTENANCE SHALL INCLUDE PRUNING, NEEDLING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
    - RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
    - CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
    - WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
    - REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF WARRANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
    - LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
    - LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4465 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
    - LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
    - CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
    - ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
    - LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSSED OR LANDSCAPED MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
    - TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
    - THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
  - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
  - CHICKENING RED FESCUE 30% OF MIXTURE
  - PERENNIAL RYEGRASS 20% OF MIXTURE
  - APPLICATION RATE: 4.50LBS. PER 1000 S.F.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDBED AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

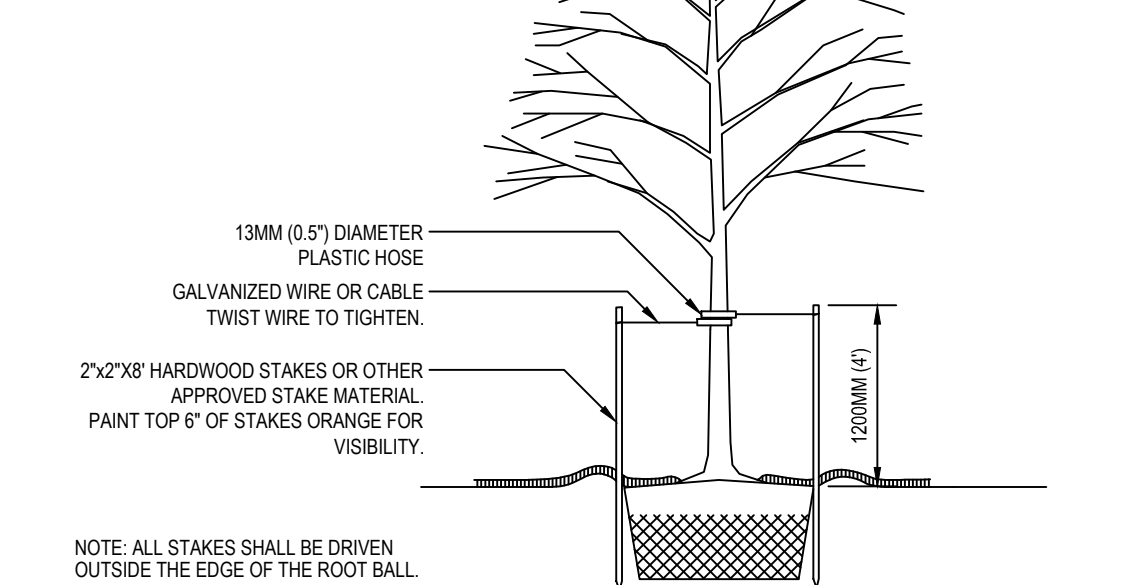
1 SOIL IMPROVEMENT DETAIL

Not to Scale

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:  
TREES UP TO 65 MM (2.5 IN.) CALIPER - 14 GAUGE  
TREES 65 MM (2.5 IN.) TO 75 MM (3 IN.) CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35MM (1.5 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.



ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN.).

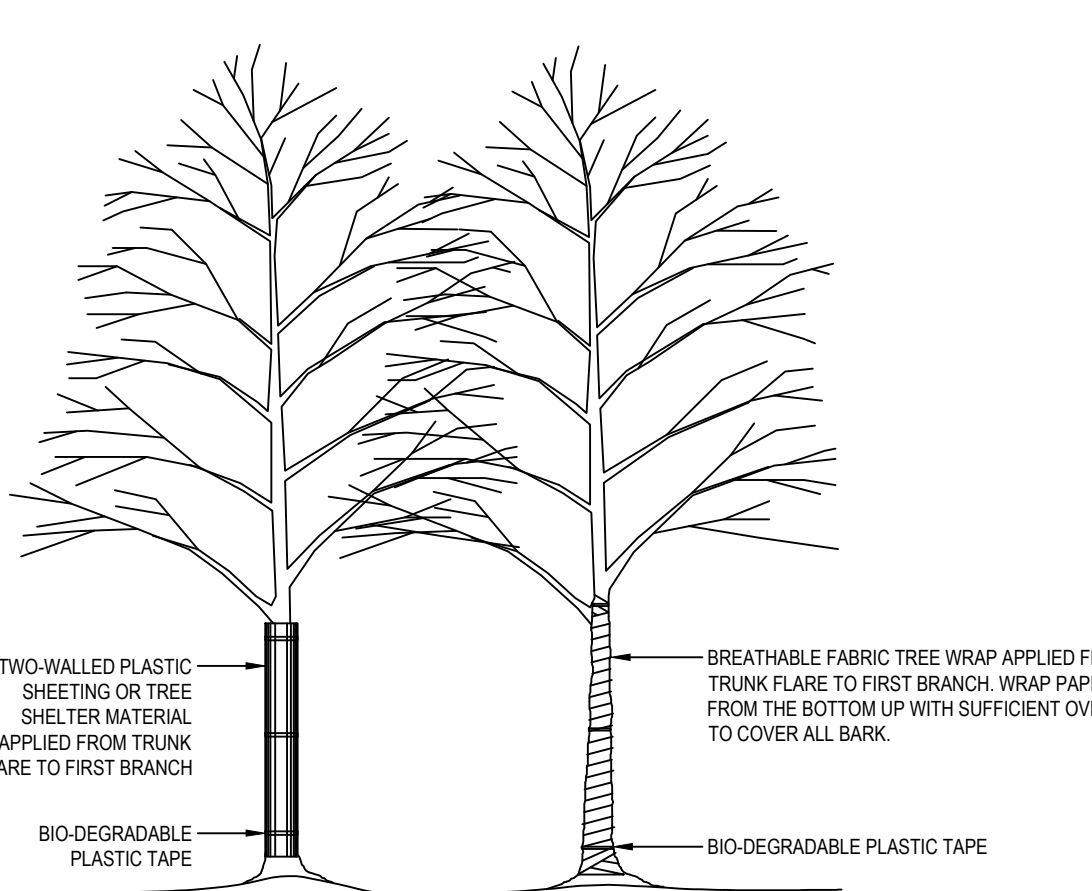
REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

4 TREE STAKING DETAIL (3" CAL. OR SMALLER)

Not to Scale

2 TREE PLANTING DETAIL

Not to Scale



APPLY THE PLASTIC SHEETING LOOSELY AROUND THE TRUNK TO LEAVE A 12MM (0.5") GAP BETWEEN THE TRUNK AND THE SHEETING.

OPTION 1

OPTION 2

TREE WRAP SHOULD BE INSTALLED AT TIME OF PLANTING AND BE REMOVED WHEN DIRECTED BY THE LANDSCAPE ARCHITECT, BUT NO LATER THAN 12 MONTHS AFTER PLANTING.

TREES WHOSE NORTH ORIENTATION IS NOT CHANGED FROM THE NURSERY DO NOT NEED TO BE WRAPPED EXCEPT TREES WITH VERY THIN BARK, SUCH AS RED MAPLE, SHOULD BE WRAPPED IF APPROVED BY THE LANDSCAPE ARCHITECT.

5 TREE WRAPPING DETAIL

Not to Scale

LANDSCAPE PLANTING SCHEDULE

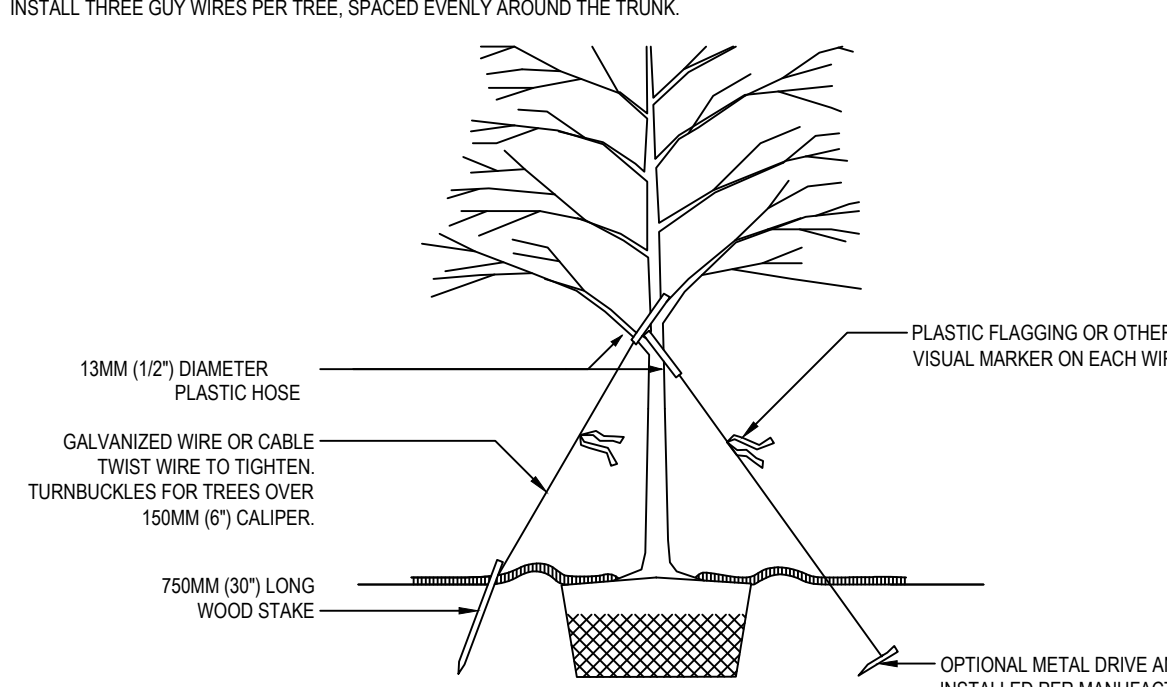
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
ACFR	4	Acer x. freemanii 'Jeffer's Red'	Autumn Blaze Maple	3" cal.	B&B	PLANT AS SHOWN
AMGR	1	Amelanchier x. grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" cal.	B&B	PLANT AS SHOWN
TCGR	4	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	3" cal.	B&B	PLANT AS SHOWN

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:  
TREES UP TO 65 MM (2.5 IN.) CALIPER - 14 GAUGE  
TREES 65 MM (2.5 IN.) TO 75 MM (3 IN.) CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35MM (1.5 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

INSTALL THREE GUY WIRES PER TREE, SPACED EVENLY AROUND THE TRUNK.



ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN.).

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF.

THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:

- o TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
- o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- o PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL CORRECT THE PLANTING PROCEDURE.
- o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
- o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.

PROPERTY OWNER:  
MCGUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

APPLICANT:  
MCGUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

REVISIONS

NO.	DATE	BY

LANDSCAPE DETAILS & NOTES

SHEET

C-Ls2  
SHEET 10 OF 16

HARTFORD TRUCK EQUIPMENT

45, 95 JOHN FITCH BOULEVARD & 542 KING STREET  
SOUTH WINDSOR, CONNECTICUT  
GIS Nos.: 504000542, 477000095 & 477000045

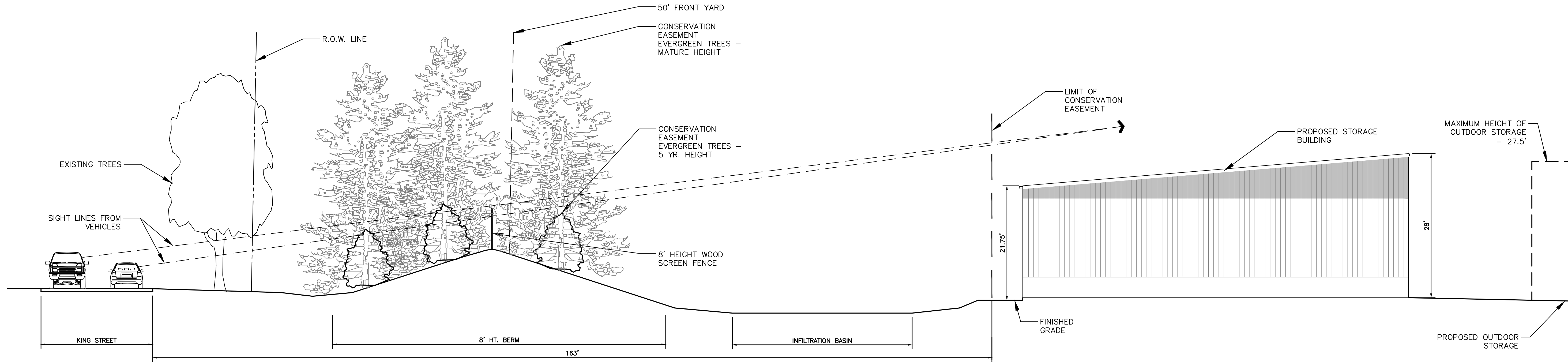
PREPARED FOR:  
Hartford Truck Equipment, Inc.  
C/o Mr. Blake Brannon  
95 John Fitch Boulevard  
South Windsor, CT 06074  
860-290-9324 T

PROJECT NO.: 2482-H  
DATE: 6/13/22  
DRAWN BY: JSH  
CHECKED BY: JSH  
DATE: 6/13/22

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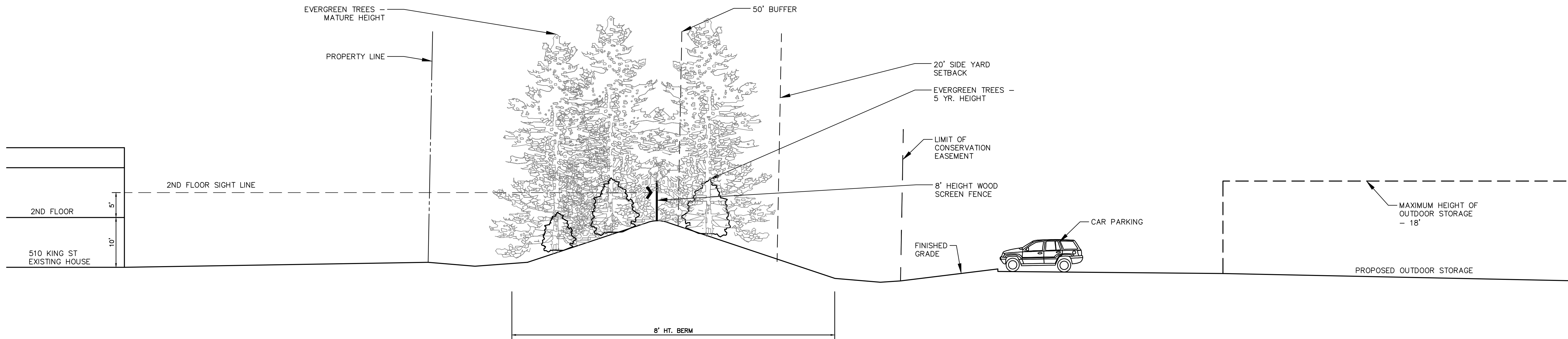
21 EFFEY DRIVE  
P.O. BOX 167  
SOUTH WINDSOR, CT 06074  
TEL: 860-290-9324  
FAX: 860-290-9327  
WWW.DESIGNPROFESSIONALS.COM





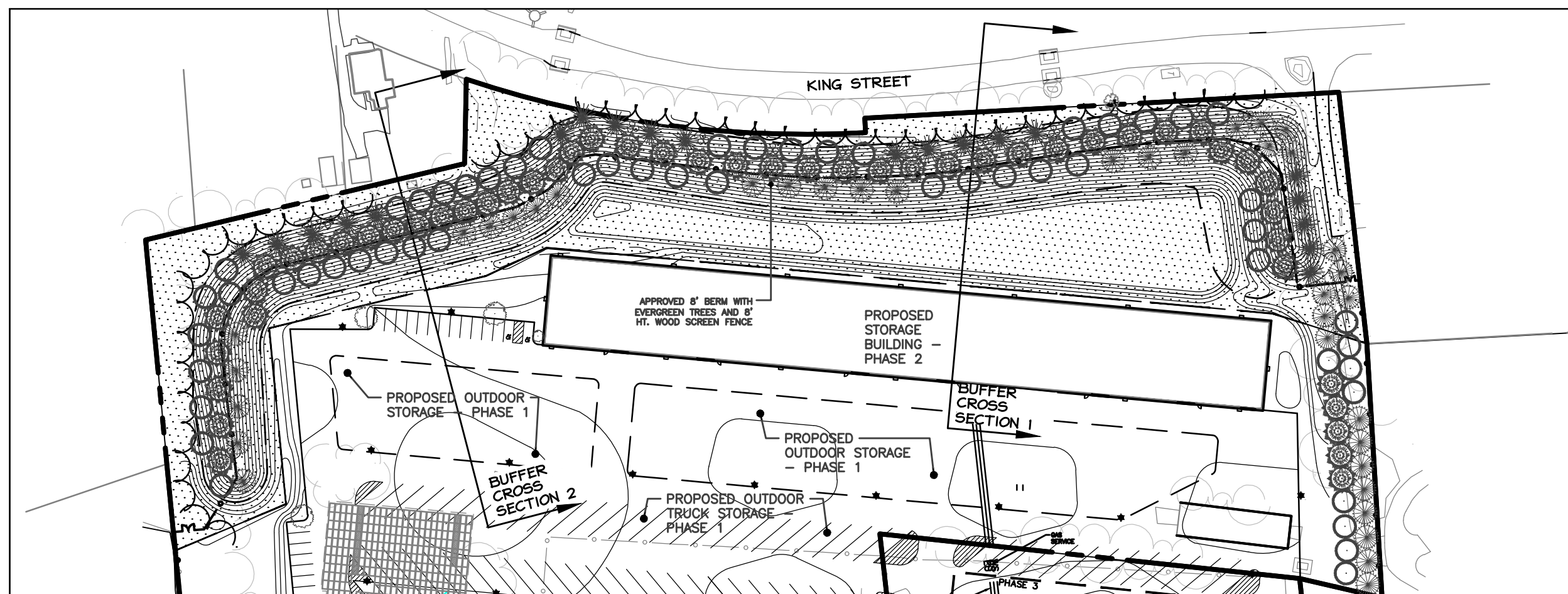
1 BUFFER CROSS SECTION 1

1" = 10'



2 BUFFER CROSS SECTION 2

1" = 10'



3 KEY MAP

1" = 100'

**PROPERTY OWNER:**  
MCGUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
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PROJECT NO.  
2482-H

DATE  
4/13/22

DESIGN BY  
CHM

REVIEW BY

APPROVED BY  
PRD/CHM

**HARTFORD TRUCK  
EQUIPMENT**

45, 95 JOHN FITCH BOULEVARD & 542 KING STREET  
SOUTH WINDSOR, CONNECTICUT  
GIS Nos. 50400542, 47700095 & 47700045

NO.

DATE

REVISIONS

BY

**LANDSCAPE  
SECTIONS**

SCALE: 0 5' 10' 20'  
1" = 10'

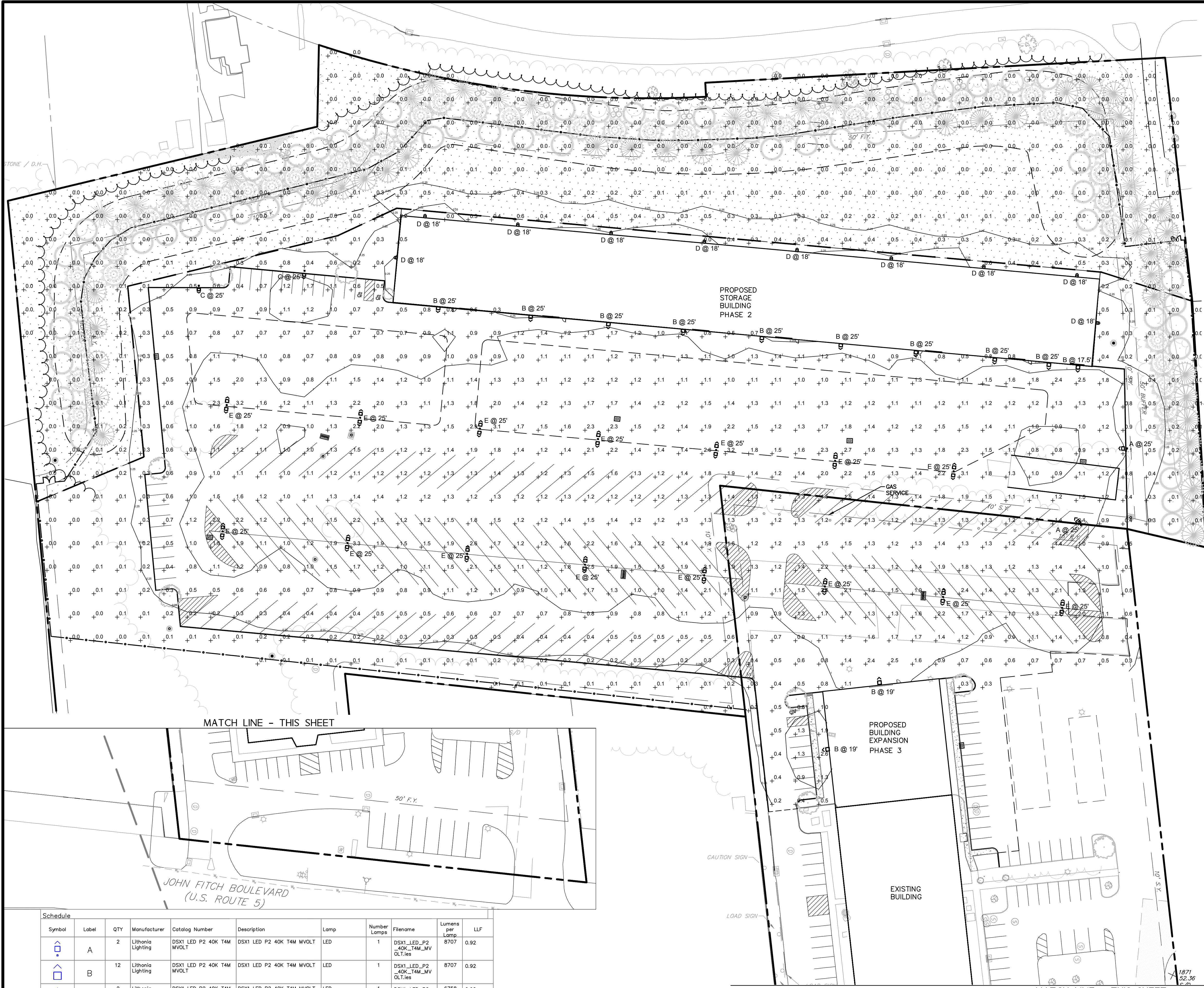
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**C-LS3**

SHEET 11 OF 16





Schedule									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp
	A	2	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	LED	1	DSX1_LED_P2_40K_T4M_MV_OLT.ies	8707
	B	12	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	LED	1	DSX1_LED_P2_40K_T4M_MV_OLT.ies	8707
	C	2	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT HS	DSX1 LED P2 40K T4M MVOLT with houseshield	LED	1	DSX1_LED_P2_40K_T4M_MV_OLT_HS.ies	6758
	D	10	Lithonia Lighting	DSXW1 LED 10C 350 40K T2M MVOLT	DSXW1 LED WITH (11) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 350mA.	LED	1	DSXW1_LED_10C_350_40K_T2M_MVOLT.ies	1448
	E	15	Lithonia Lighting	DSX1 LED P2 40K T4M MVOLT	DSX1 LED P2 40K T4M MVOLT	LED	1	DSX1_LED_P2_40K_T4M_MV_OLT.ies	8707

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1	+	0.7 fc	3.3 fc	0.0 fc	N/A	N/A

**PROPERTY OWNER:**  
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SOUTH WINDSOR, CT 06074

- SITE LIGHTING PLAN NOTES:**
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
  2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY.

- REFERENCES:**
- THIS PLAN REFERS TO THE FOLLOWING:
1. PLANS ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, HARTFORD TRUCK, 45 & 95 JOHN FITCH BOULEVARD & 542 KING STREET, SOUTH WINDSOR, CONNECTICUT" DATED REVISION 5/24/22 PREPARED BY DESIGN PROFESSIONALS, INC.

**D-Series Size 1 LED Area Luminaire**

**Specifications**

Length: 33" (843mm)  
Width: 13 1/4" (337mm)  
Height: 7 1/2" (190mm)  
Weight (max): 27 lbs (12kg)

**Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL controls, marked by a shaded background.
- DTL equipped luminaires meet the A+ specification for luminaire to photocell interoperability.

To learn more about A+, visit [www.acuitybrands.com/a+](http://www.acuitybrands.com/a+).

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold separately. Link to ROAM Link to DTL.

**Ordering Information**

Series	LTs	Order Current	Color Temperature	Substrate	Voltage	Mounting	Control Options
DSX1LED	10C 10L2Ls (1000lm)	350 350mA	30K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K HS	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K HS	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included

**Ordering Information**

Series	LTs	Order Current	Color Temperature	Substrate	Voltage	Mounting	Control Options
DSXW1LED	10C 10L2Ls (1000lm)	350 350mA	30K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K HS	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K HS	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included

**Accessories**

Series	LTs	Order Current	Color Temperature	Substrate	Voltage	Mounting	Control Options
DSX1LED	10C 10L2Ls (1000lm)	350 350mA	30K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K HS	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
	10C 350 40K HS	350 350mA	40K 4000K	T2S Type II Short	120V	Shipped included	Shipped included

**Ordering Information**

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DSXW1LED	10C 10L2Ls (1000lm)	350 350mA	30K 4000K	T2S Type II Short	120V	Shipped included	Shipped included
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
























- At least two (2) business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the relevant utility companies or governmental agencies. From parcel testimony, and from other sources. These locations may be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all construction activities and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

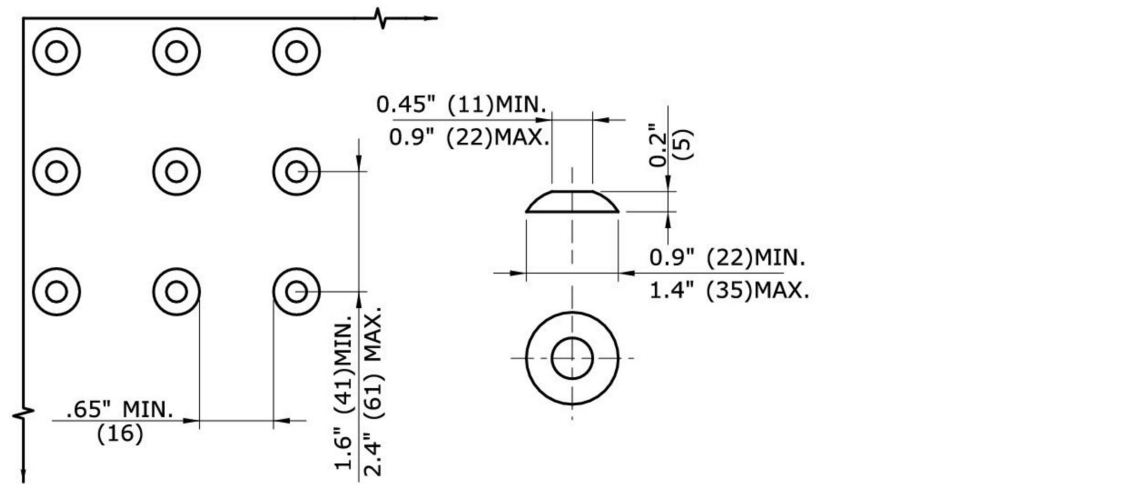
- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21. Contractor must prepare record drawings depicting the location of existing utilities that are copied, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-existing condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is being performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
30. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
31. The tops of existing manholes, inlet structures, and sanitary cleannout tops must be adjusted as necessary, to match proposed grades.
32. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
33. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
- Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
- Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
34. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
35. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
36. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or other other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
37. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.

38. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
39. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
40. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
41. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the grade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal regulations, regulations and ordinances.
42. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
43. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
44. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
45. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
46. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
47. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
48. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps- shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing driveways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

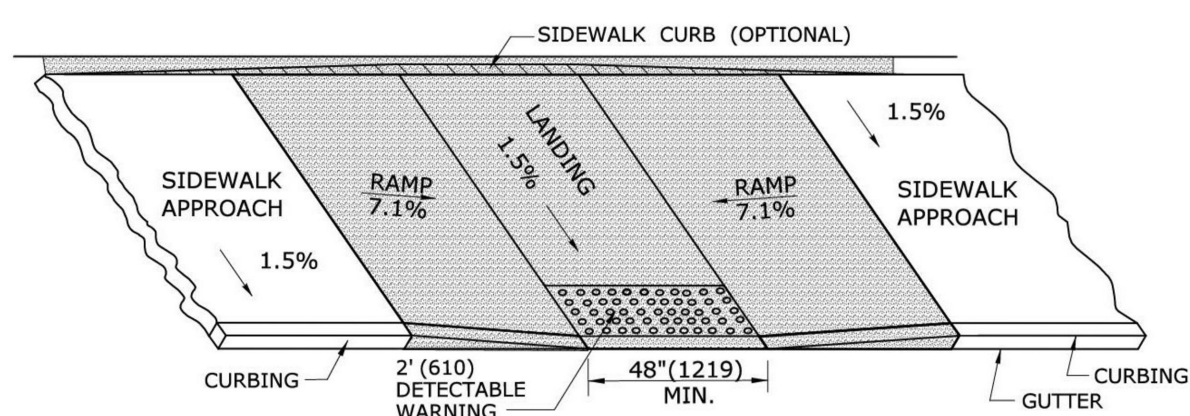
LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
	BORING / TEST PIT LOCATION	
COMMUNICATION		
— — — — C <sub>x</sub> — — — — C <sub>x</sub> — —	UNDERGROUND COMMUNICATION LINES	— — — — C — — — —
DOMESTIC WATER		
— — — — W <sub>x</sub> — — — — W <sub>x</sub> — —	WATER MAIN	— — — — W — — — —
— — — — WS <sub>x</sub> — — — — WS <sub>x</sub> — —	WATER SERVICE	— — — — WS — — — —
— — — — F <sub>x</sub> — — — — F <sub>x</sub> — —	FIRE SERVICE LINE	— — — — F — — — —
— — — — NPW <sub>x</sub> — — — — NPW <sub>x</sub> — —	NON-POTABLE WATER LINE	— — — — NPW — — — —
 	WATER VALVE / FIXTURES	  
	FIRE HYDRANT	
LIQUID FUEL		
— — — — LF <sub>x</sub> — — — — LF <sub>x</sub> — —	MAIN LIQUID FUEL LINE	— — — — LF — — — —
— — — — LFS <sub>x</sub> — — — — LFS <sub>x</sub> — —	LIQUID FUEL SERVICE LINE	— — — — LFS — — — —
— — — — LF <sub>0</sub> — — — — LF <sub>0</sub> — —	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
— — — — I <sub>x</sub> — — — — I <sub>x</sub> — —	IRRIGATION LINES	— — — — I — — — —
LIGHTING		
 / 	POLE / GROUND MOUNTED LIGHT	 / 
NATURAL GAS		
— — — — G <sub>x</sub> — — — — G <sub>x</sub> — —	GAS MAIN	— — — — G — — — —
— — — — GS <sub>x</sub> — — — — GS <sub>x</sub> — —	GAS SERVICE LINE	— — — — GS — — — —
POWER		
— — — — EO <sub>x</sub> — — — — EO <sub>x</sub> — —	ELECTRICAL LINES, OVERHEAD	— — — — EO — — — —
— — — — EU <sub>x</sub> — — — — EU <sub>x</sub> — —	ELECTRICAL LINES, UNDERGROUND	— — — — EU — — — —
	UTILITY POLE	
PROPERTY		
— — — — — — — — — —	PROPERTY LINE	— — — — — — — — — —
— — — — — — — — — —	EASEMENT LINE	— — — — — — — — — —
	IRON PIPE	
	IRON ROD	
	MONUMENT	
ROADS		
— — — — R — — — — R — — — —	GUARD RAIL	— — — — ● — — — — ● — — — —
EROSION CONTROL		
— — — — — — — — — —	SILT FENCE	— — — — SF — — — —
SITE FEATURES		
— — — — — — — — — —	4" DOUBLE SOLID YELLOW LINE	— — — — DSYL — — — —
— — — — — — — — — —	4" SINGLE SOLID WHITE LINE	— — — — SSWL — — — —
— — — — — — — — — —	BIT. CONC. U/P CURB	— — — — BCCL — — — —
— — — — — — — — — —	PRECAST CONCRETE CURB	— — — — PCC — — — —
SANITARY SEWER		
— — — — S <sub>x</sub> — — — — S <sub>x</sub> — —	SANITARY SEWER MAIN	— — — — S — — — —
— — — — SS <sub>x</sub> — — — — SS <sub>x</sub> — —	SANITARY SEWER SERVICE LINE	— — — — SS — — — —
	SANITARY SEWER MANHOLE	
STORM SEWER		
— — — — — — — — — —	STORM DRAIN PIPE	— — — — — — — — — —
— — — — RL <sub>x</sub> — — — — RL <sub>x</sub> — —	ROOF LEADER	— — — — RL — — — —
— — — — UD — — — — UD — —	UNDERDRAIN	— — — — UD — — — — UD — —
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
— — — — 95 — — — —	CONTOUR	— — — — 95 — — — —
— — — — X 61.95 — — — —	SPOT ELEVATION	 95
OTHER		
— — — — — — — — — —	RAMP	— — — — R — — — —
— — — — — — — — — —	LANDSCAPE AREA	— — — — LSA — — — —



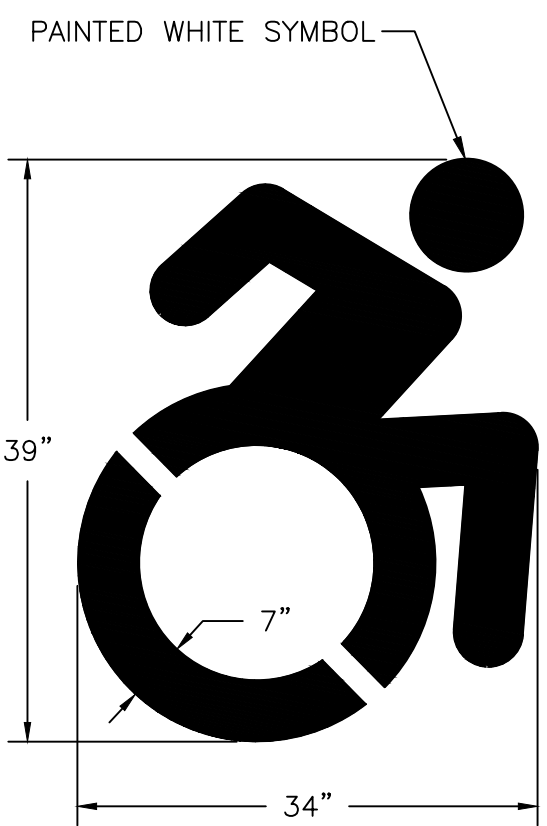
### **STANDARD DOME ON DETECTABLE WARNING TILES**

NOTES:

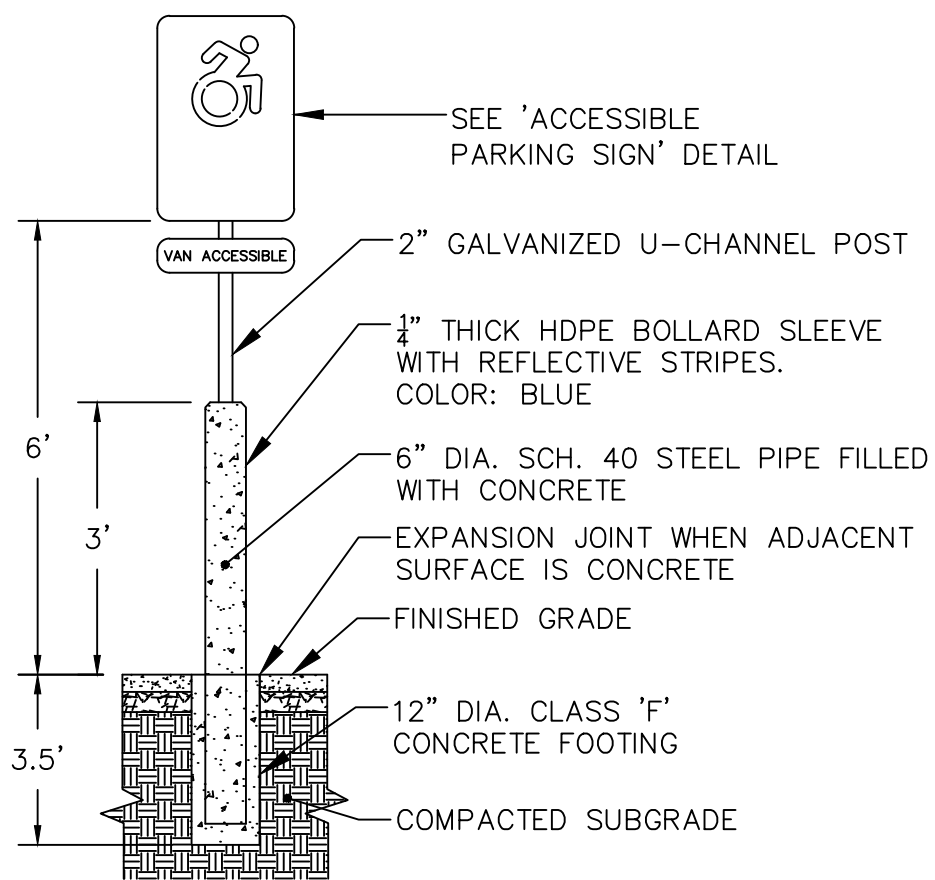
1. DETECTABLE WARNINGS AT CURB RAMP SHALL MEET ADAAG GUIDELINES TO DETECT BOUNDARY BETWEEN SIDEWALK AND VEHICLE SPACE.
2. DETECTABLE WARNINGS SHALL BE CAST IN PLACE.
3. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES.



Not to Scale



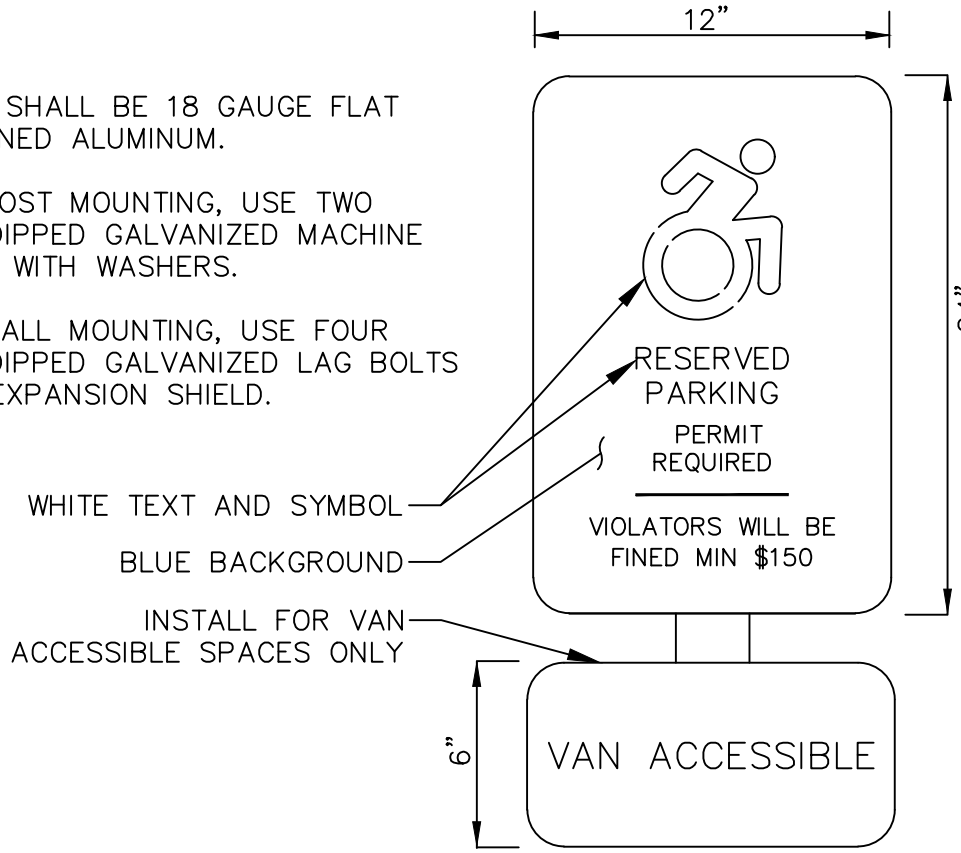
Not to Scale



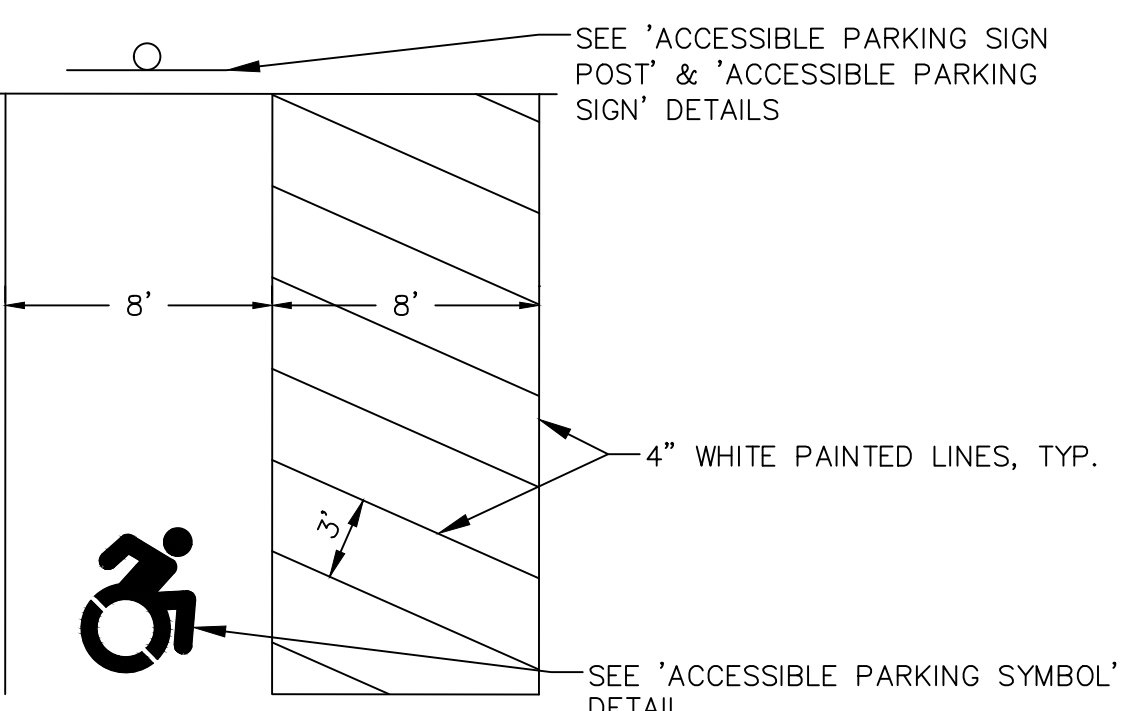
Not to Scale

NOTES:

1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.
3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



Not to Scale

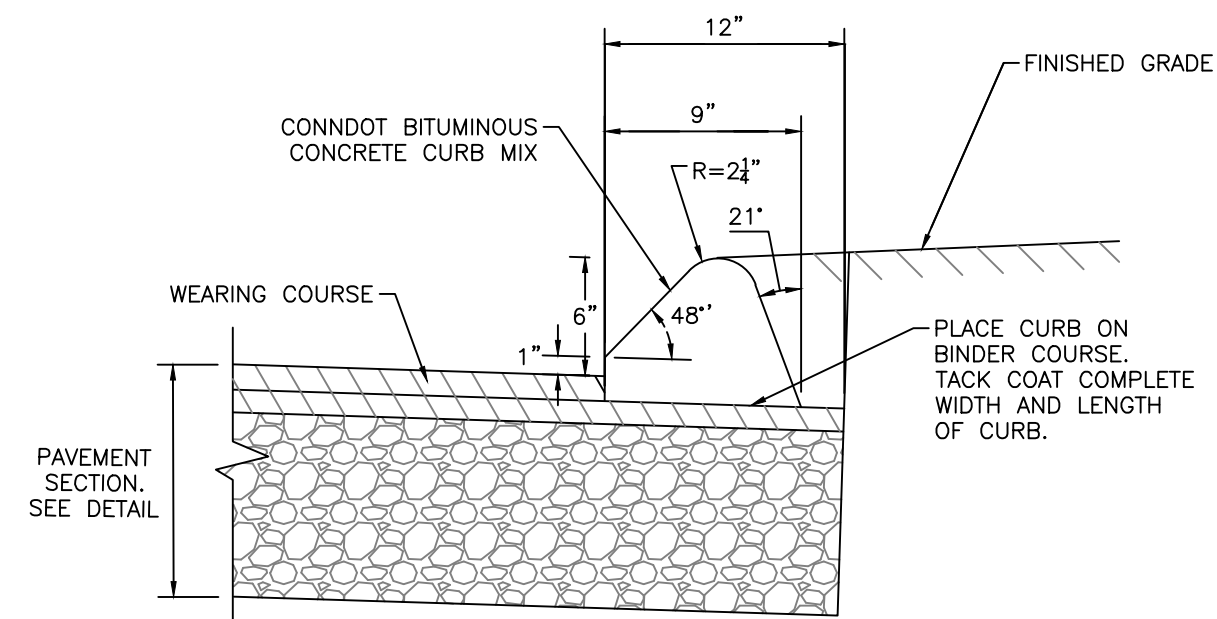


NOTES:

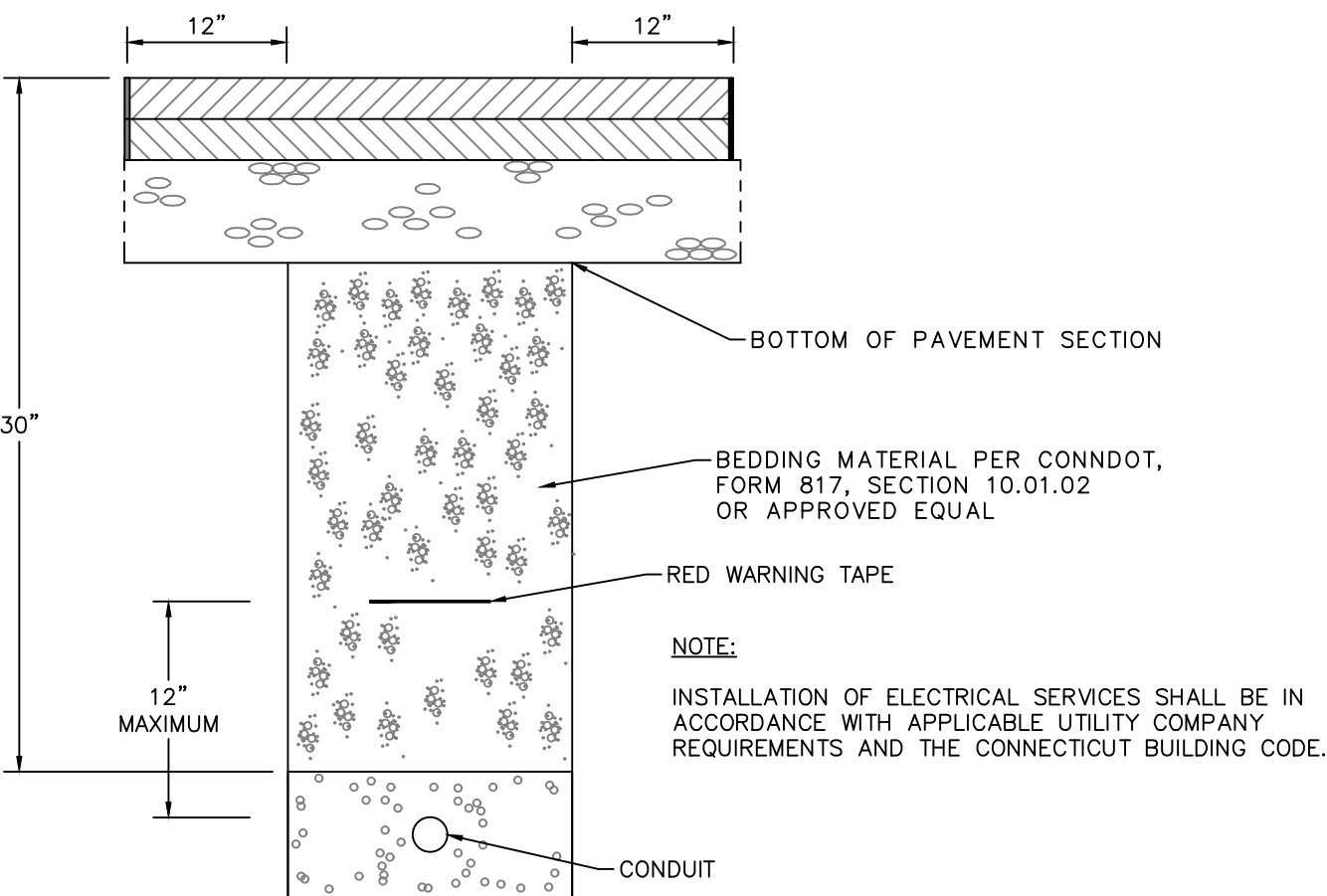
1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

Not to Scale

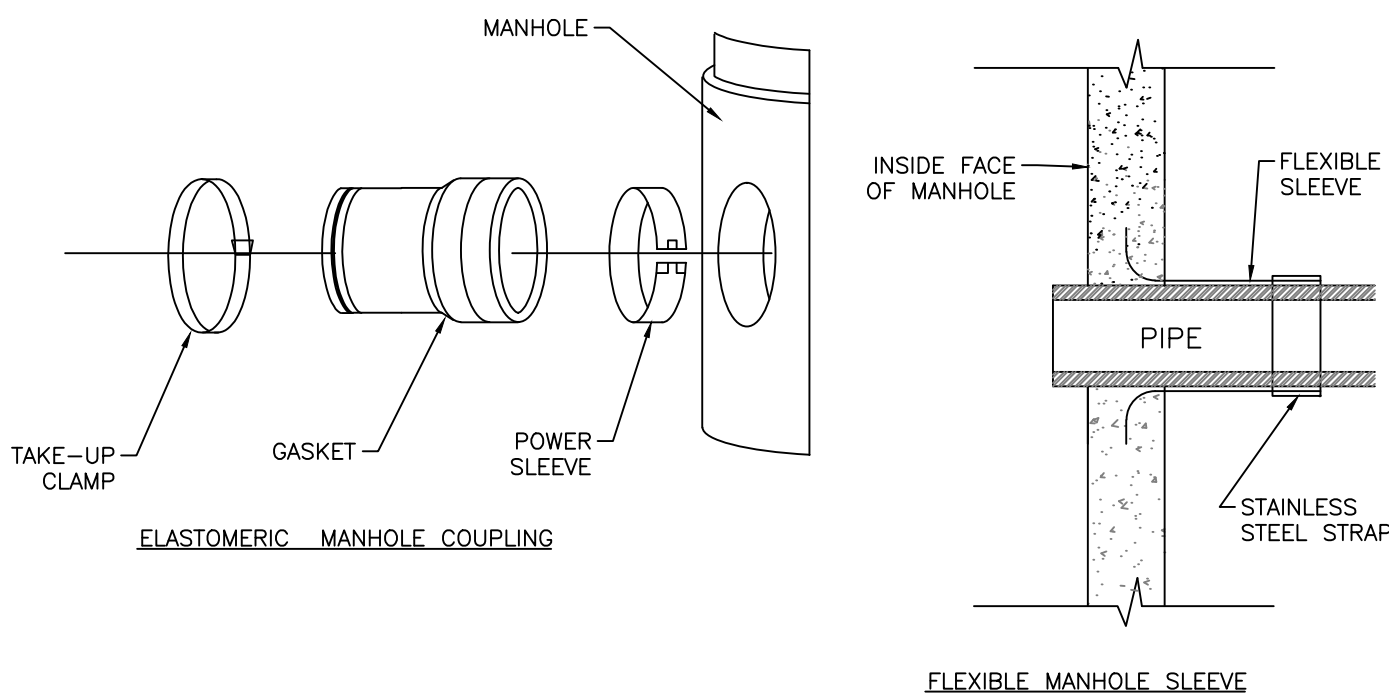




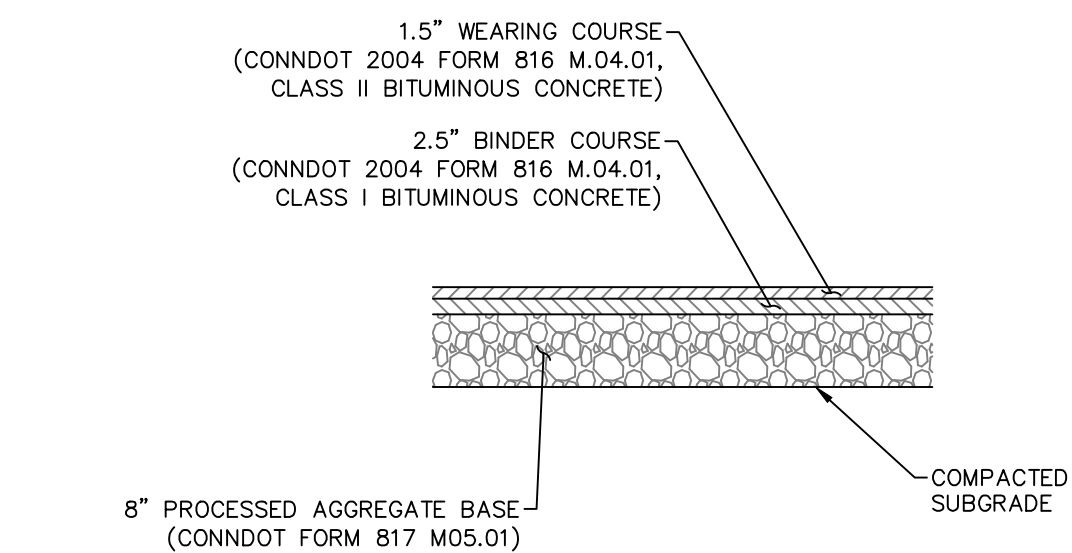
**1 BITUMINOUS CONCRETE LIP CURB**  
Not to Scale



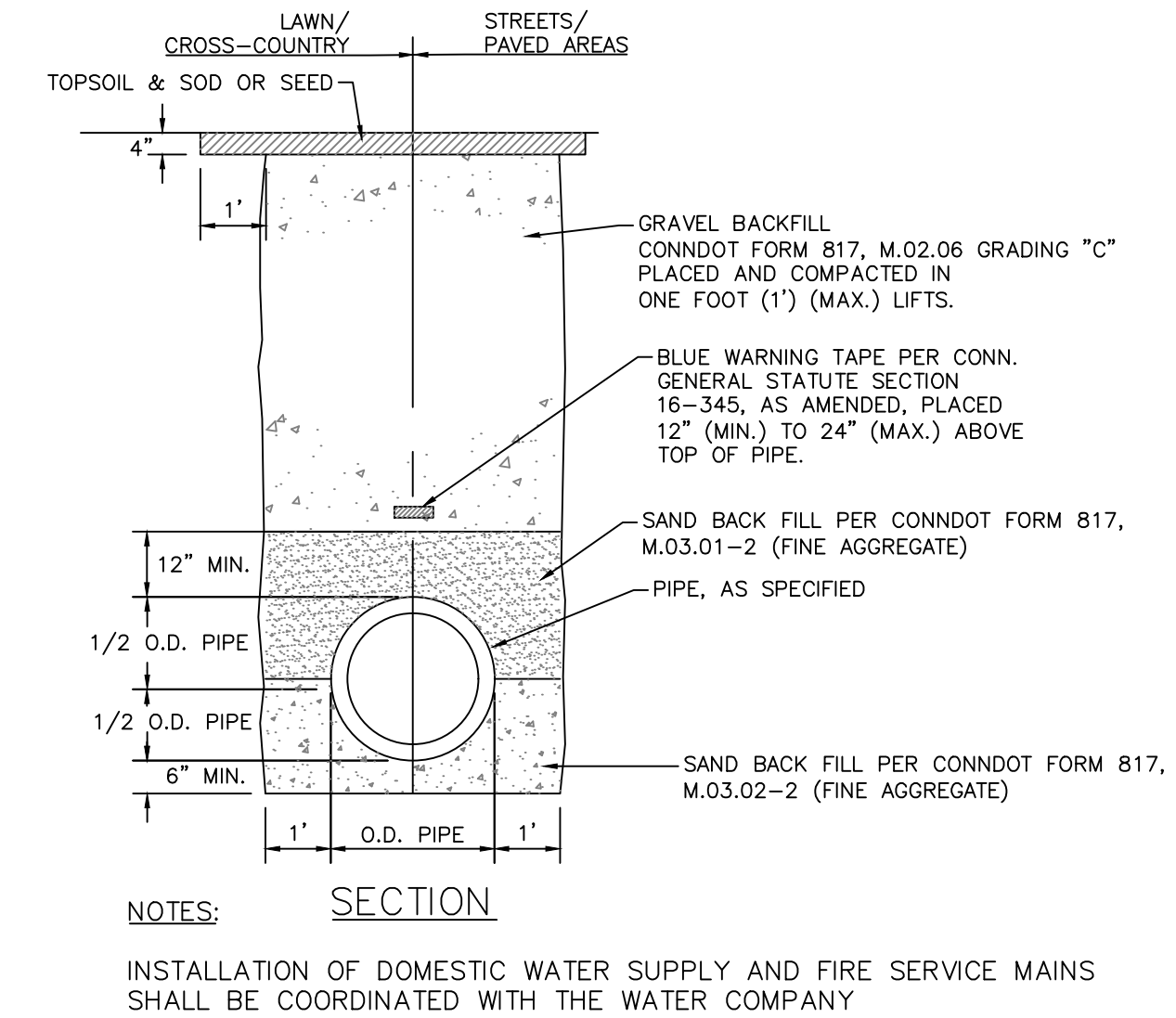
**5 ELECTRIC TRENCH SECTION**  
Not to Scale



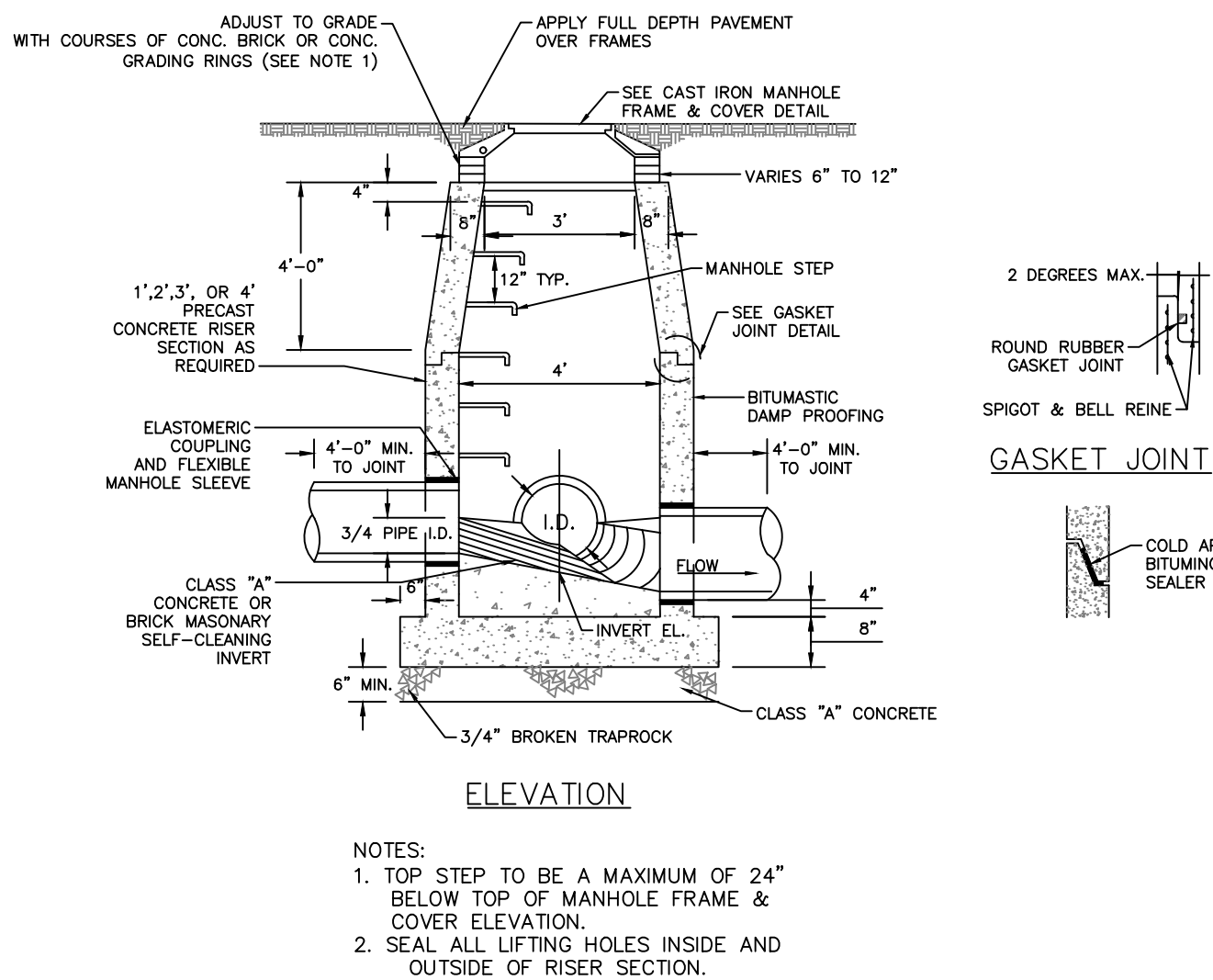
**9 SANITARY LATERAL CONNECTION TO MANHOLE**  
Not to Scale



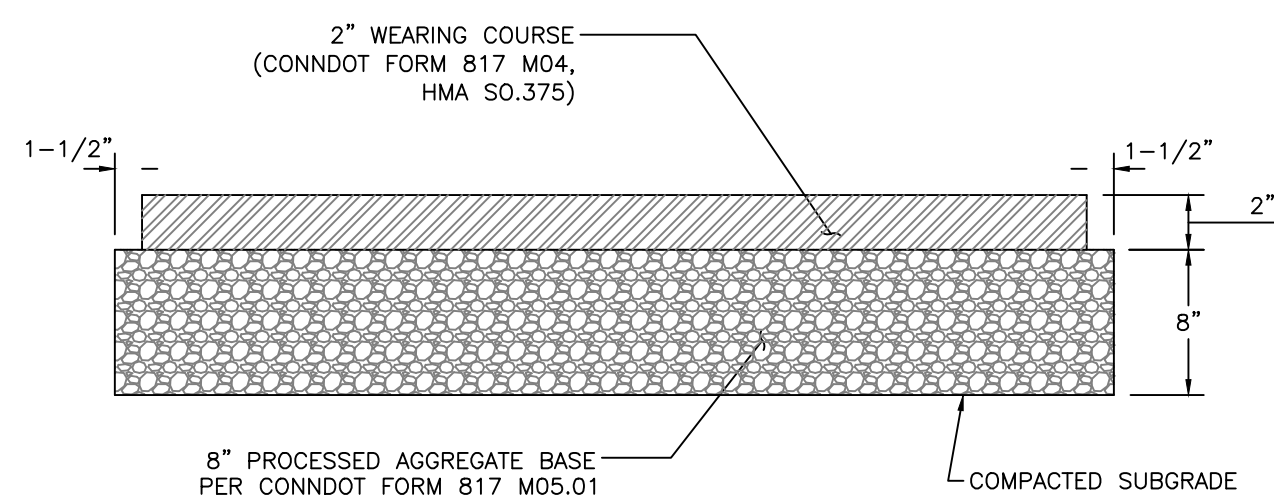
**2 BITUMINOUS CONCRETE PAVEMENT SECTION**  
Not to Scale



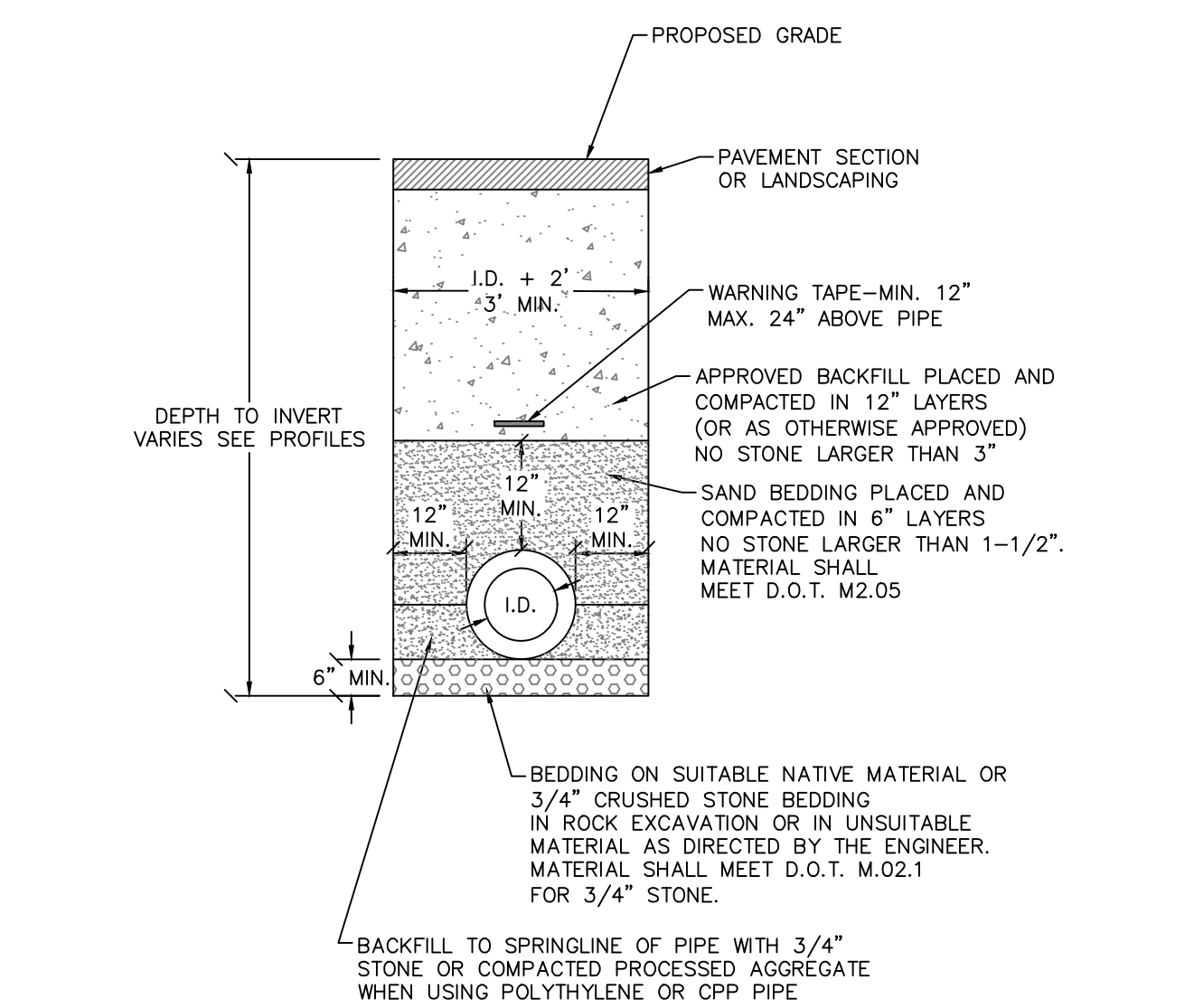
**6 WATER TRENCH SECTION**  
Not to Scale



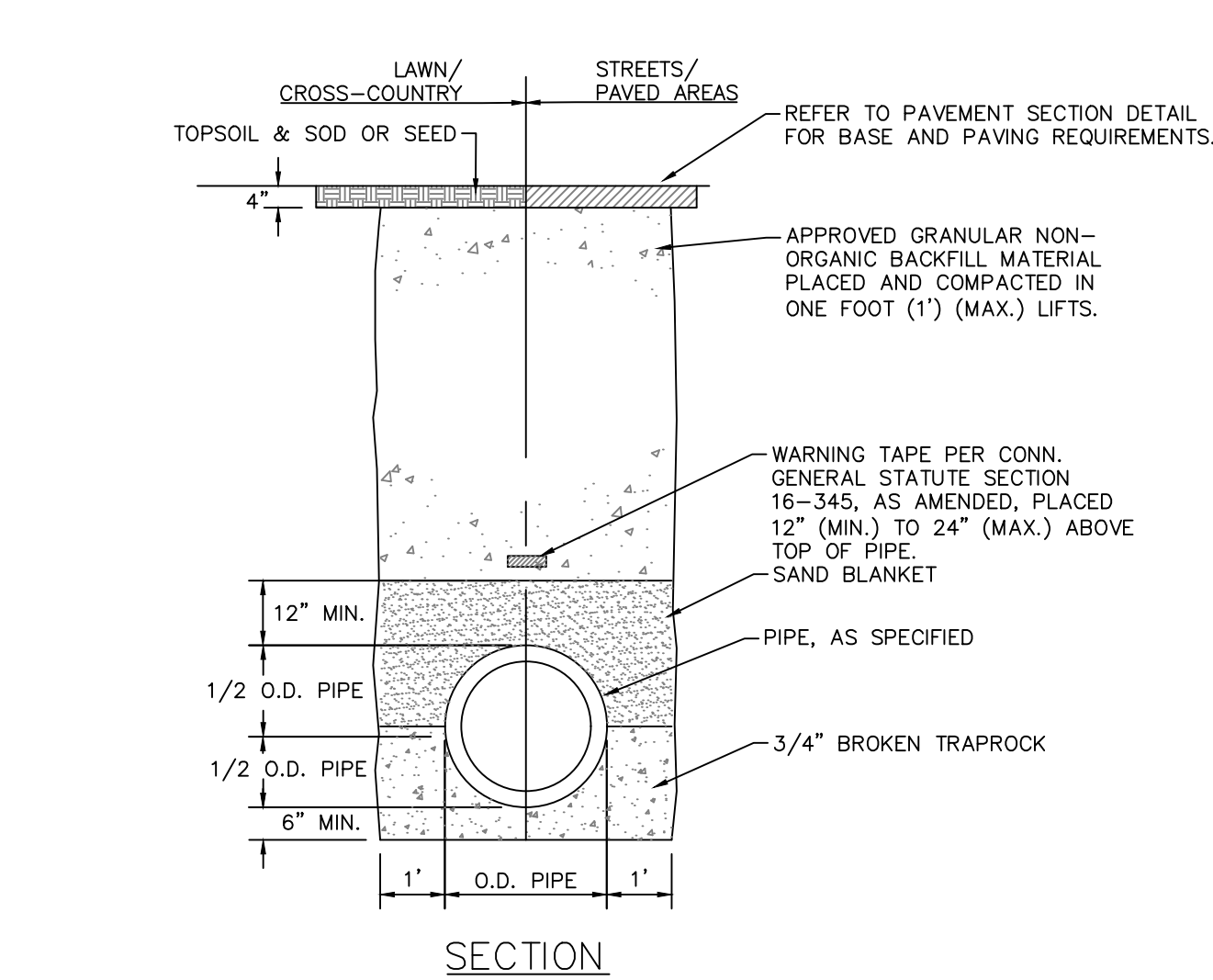
**10 SANITARY MANHOLE**  
Not to Scale



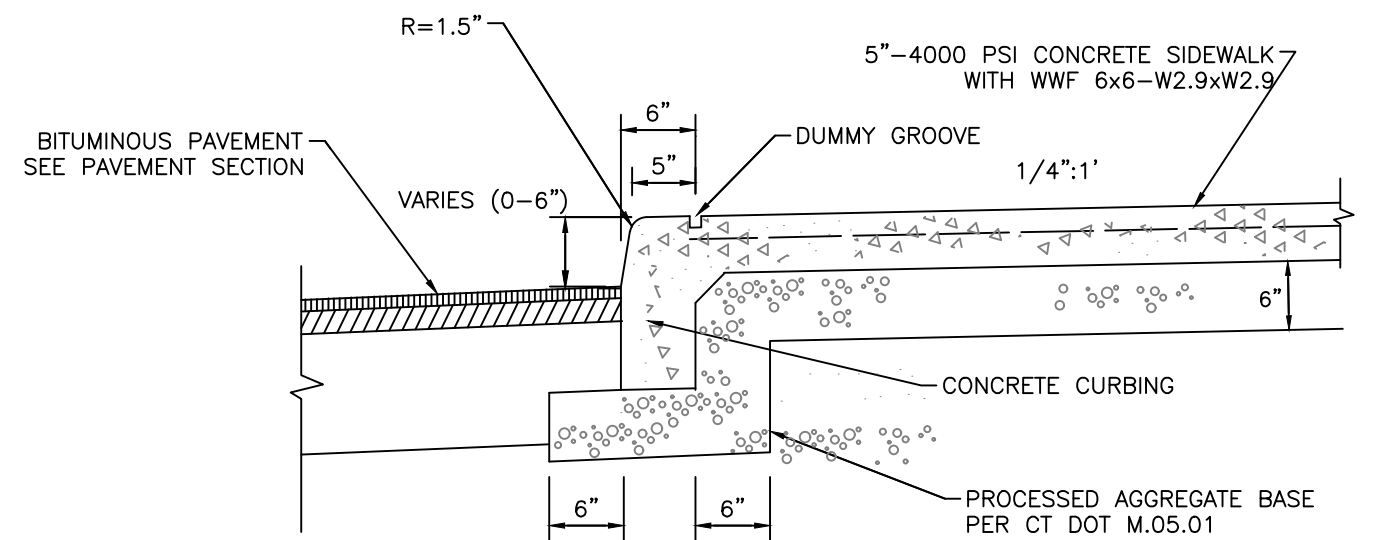
**3 BITUMINOUS CONCRETE SIDEWALK SECTION**  
Not to Scale



**7 STORM SEWER TRENCH SECTION**  
Not to Scale

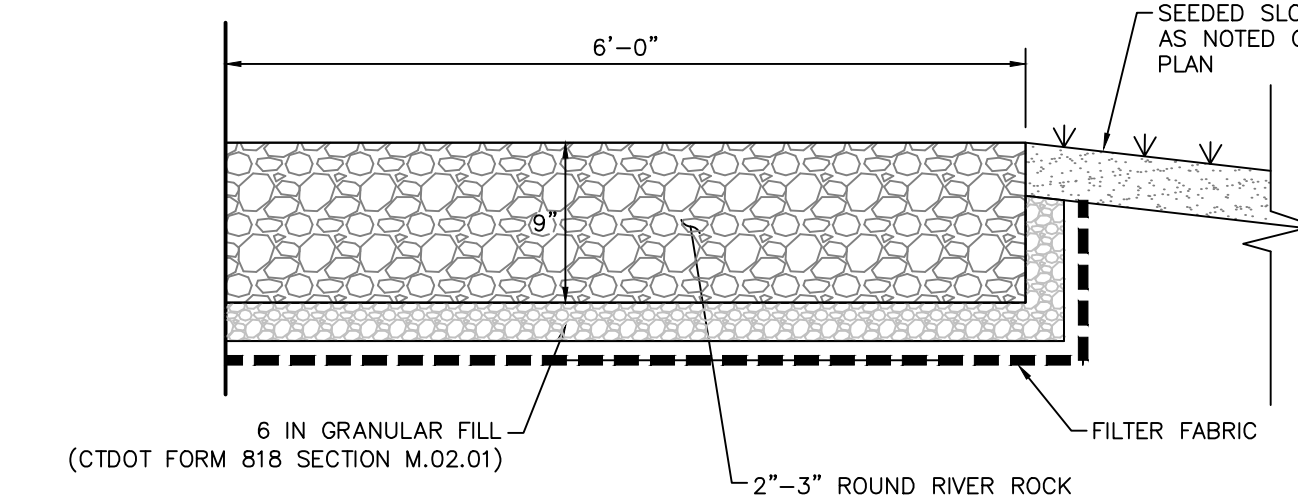


**11 SANITARY SEWER TRENCH SECTION**  
Not to Scale

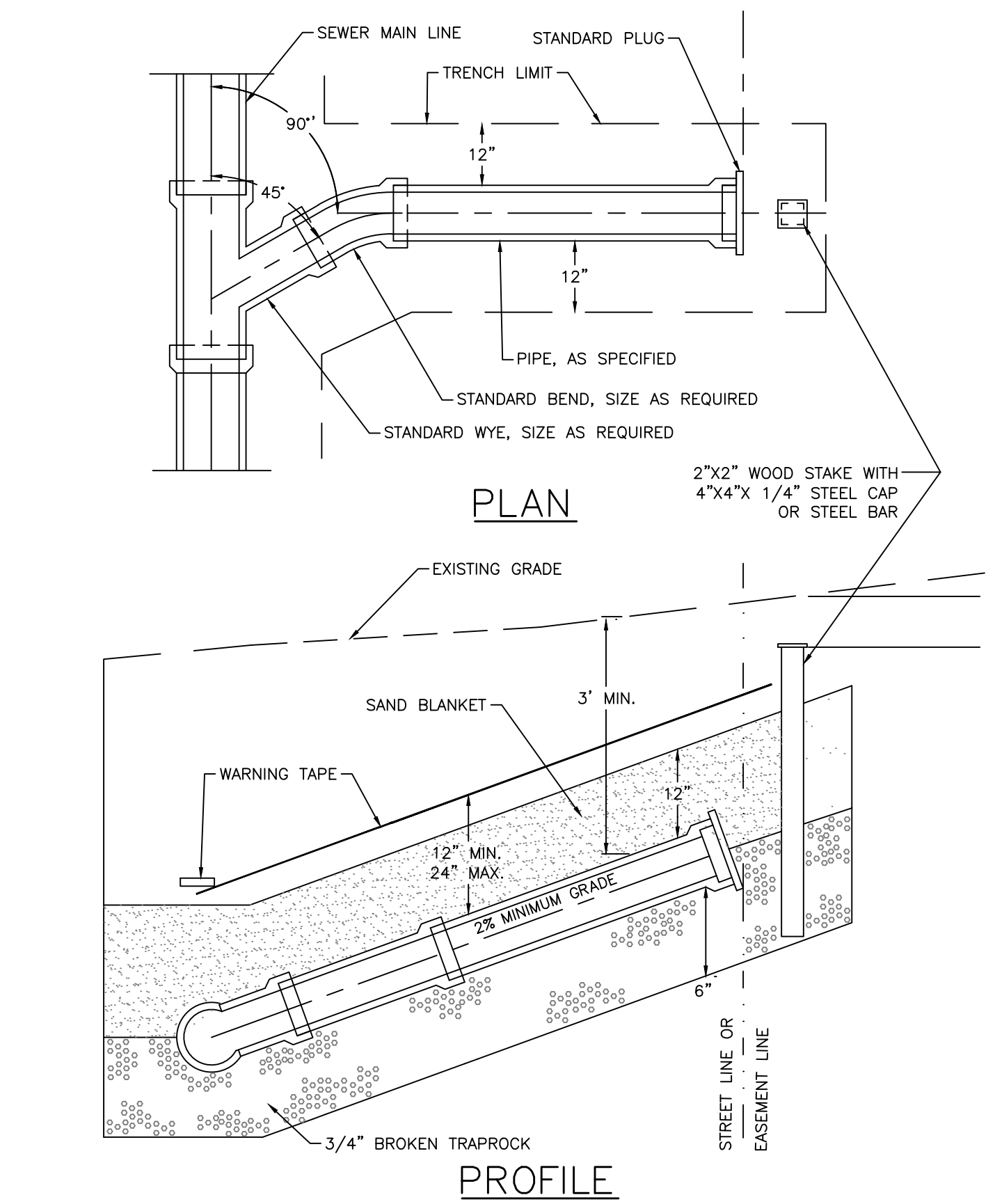


- NOTES:**
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
  2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
  3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
  4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH.

**4 MONOLITHIC CONCRETE WALK AND CURB**  
Not to Scale



**8 DRIP EDGE STONE SPLASH STRIP**  
Not to Scale



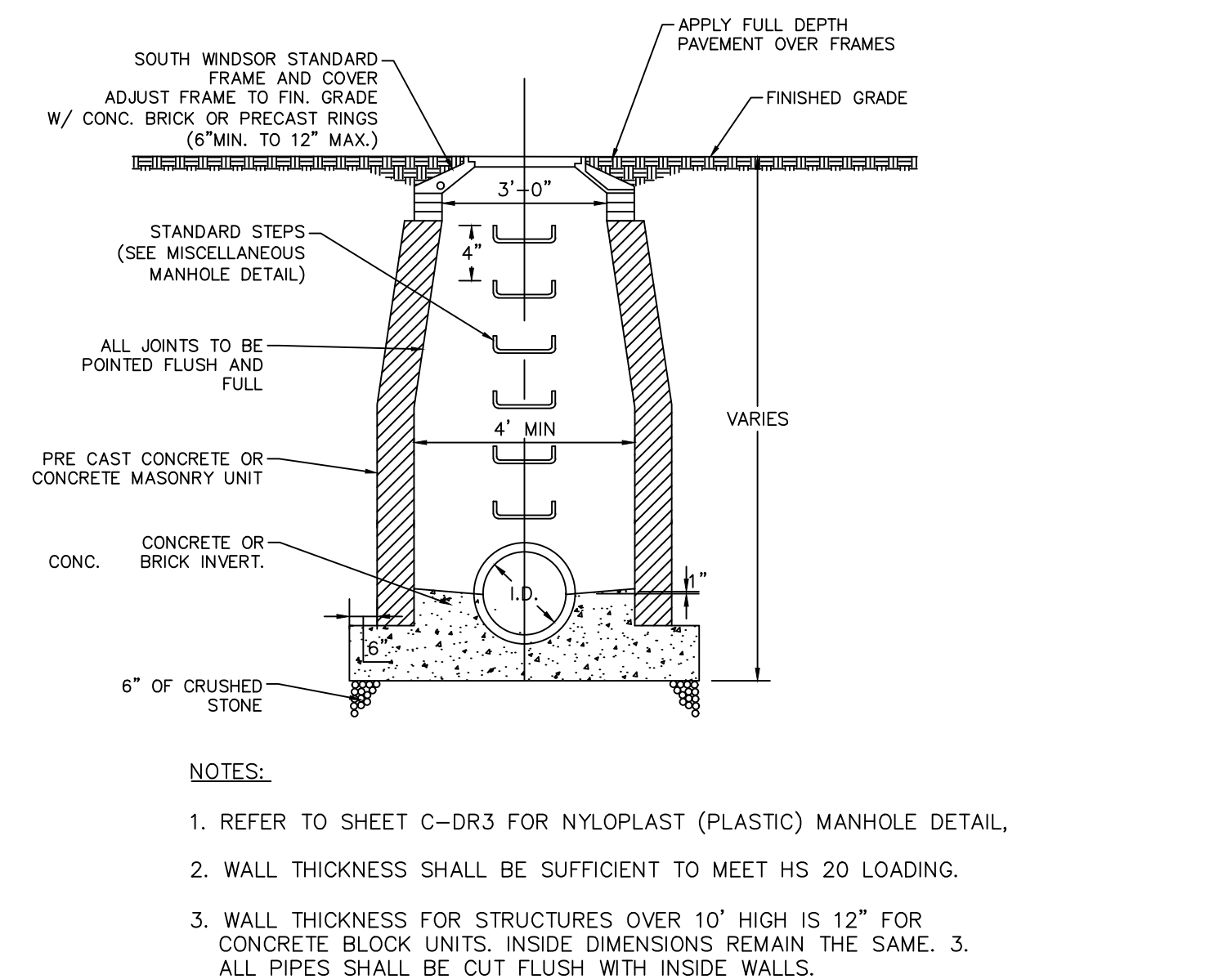
**12 BUILDING SEWER**  
Not to Scale

**PROPERTY OWNER:**  
MCQUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
MCQUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

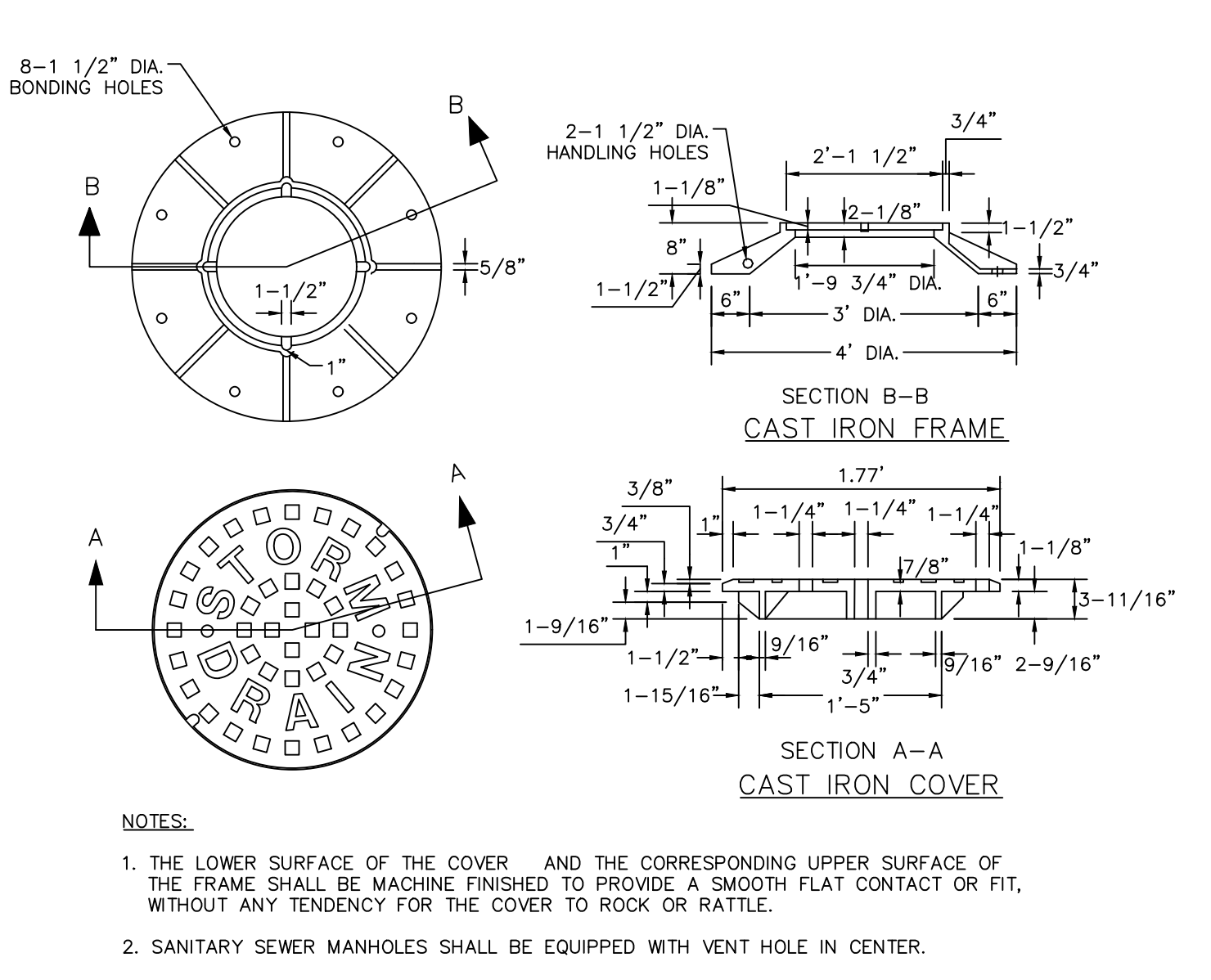


3 TYPE C & CL CATCH BASIN Not to Scale

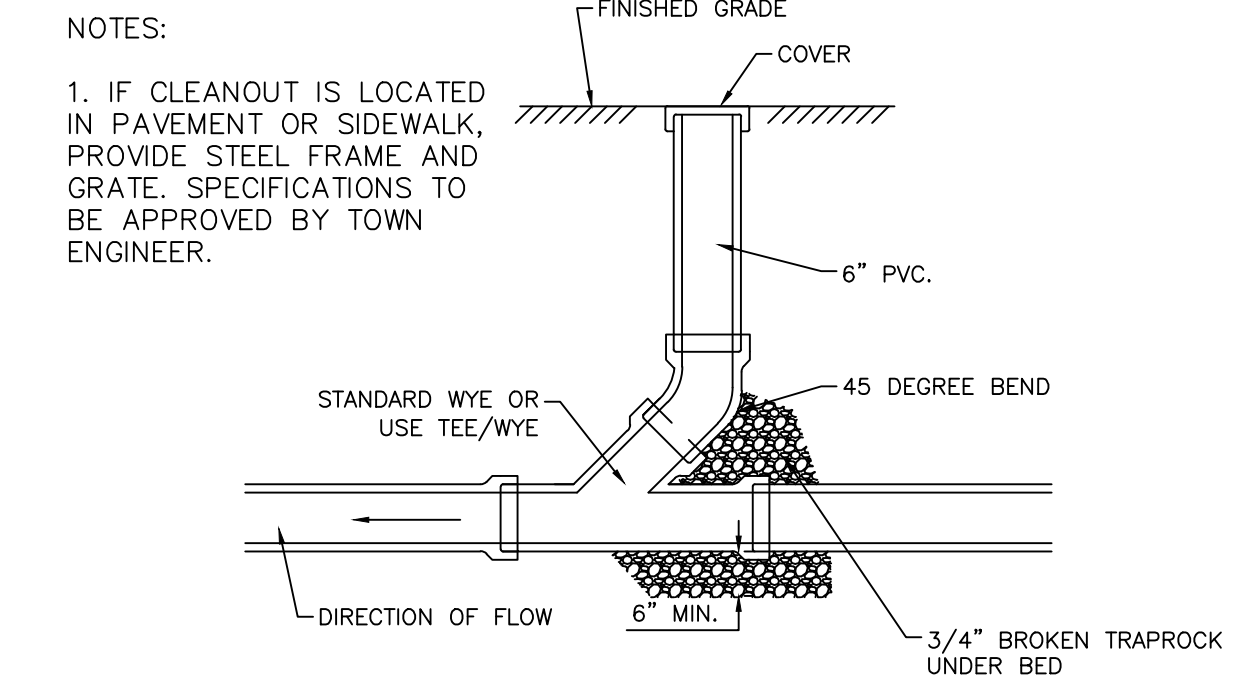


7 STORM DRAIN MANHOLE Not to Scale

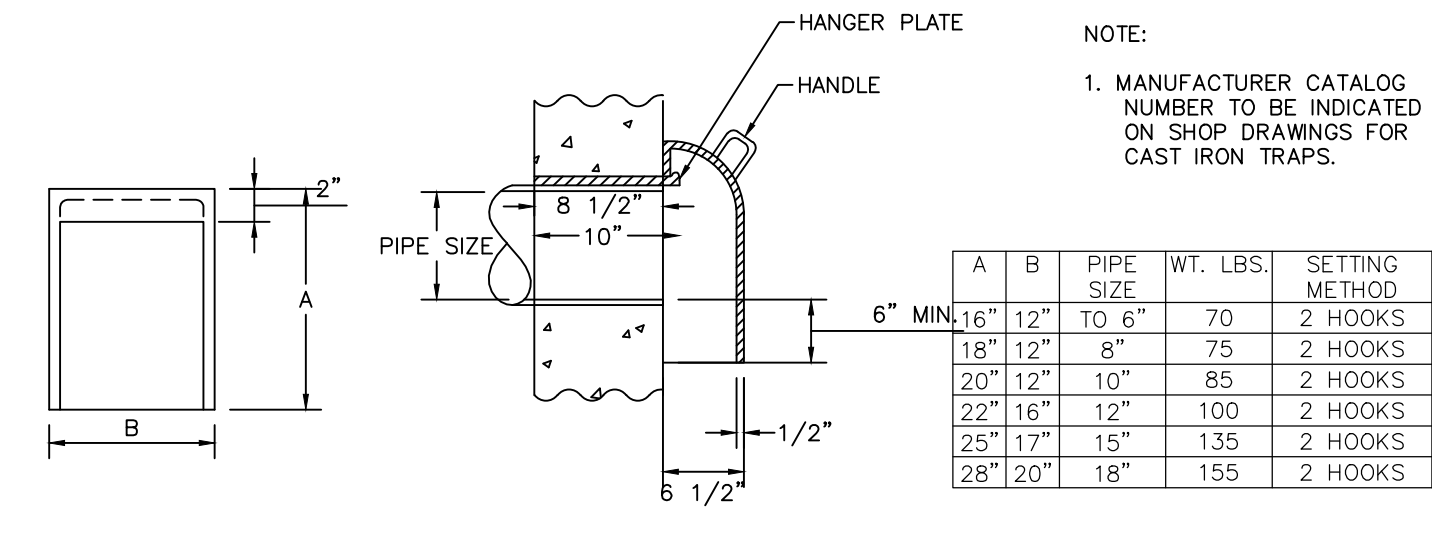
4 TYPE C & CL CATCH BASIN - TYPE II Not to Scale



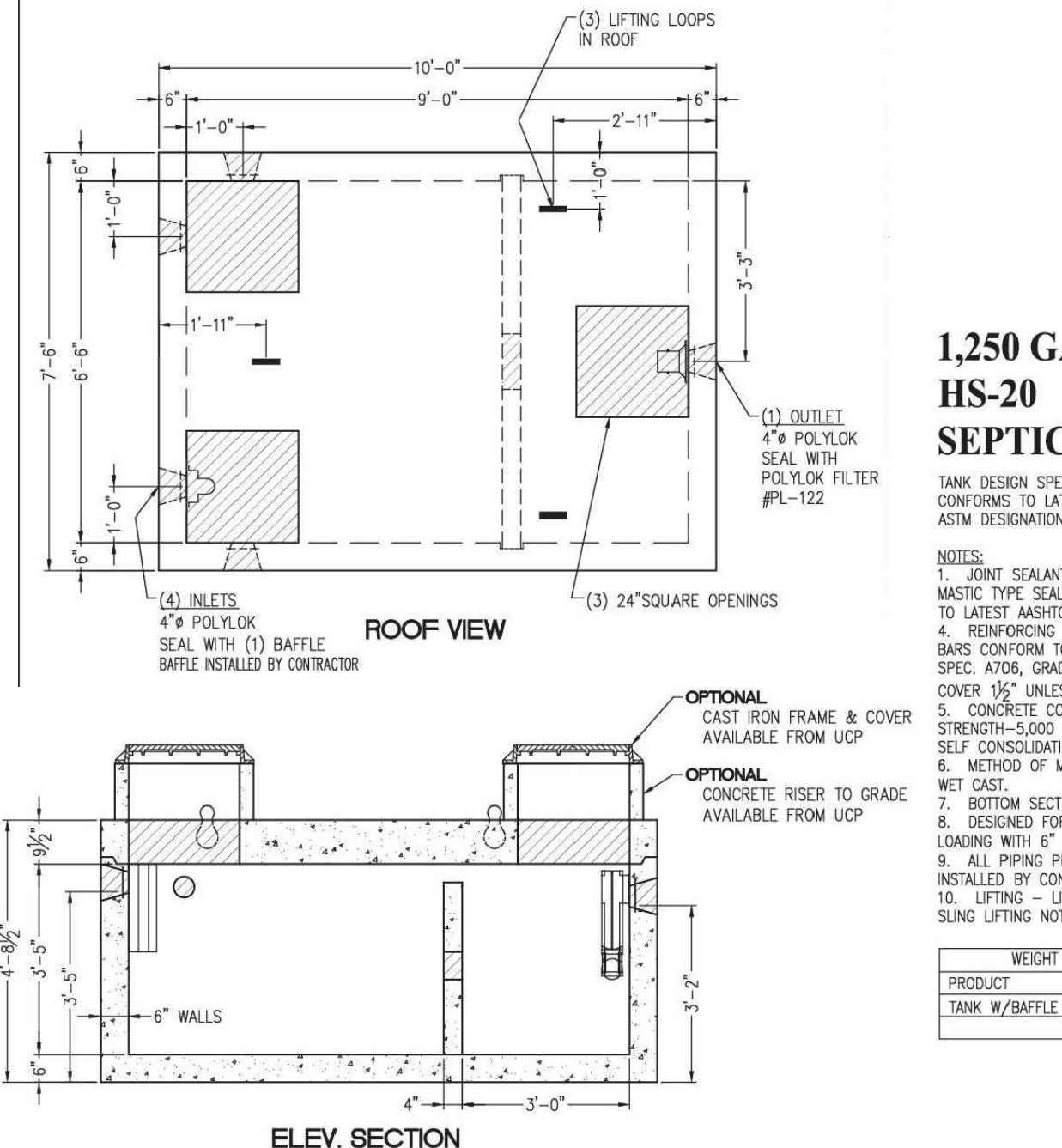
8 MANHOLE FRAME AND COVER Not to Scale



1 CLEAN OUT Not to Scale

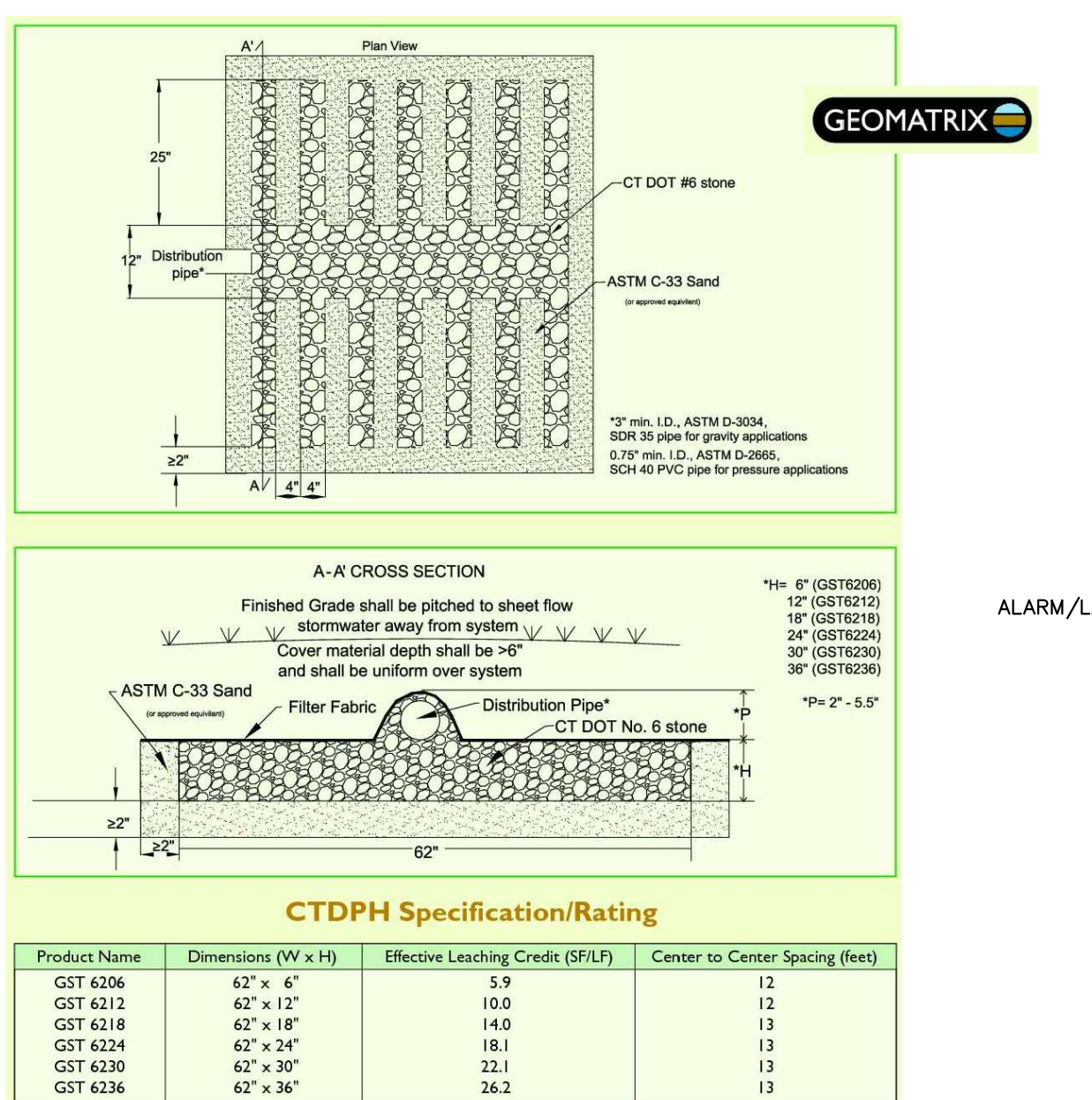


2 CATCH BASIN TRAP HOOD Not to Scale



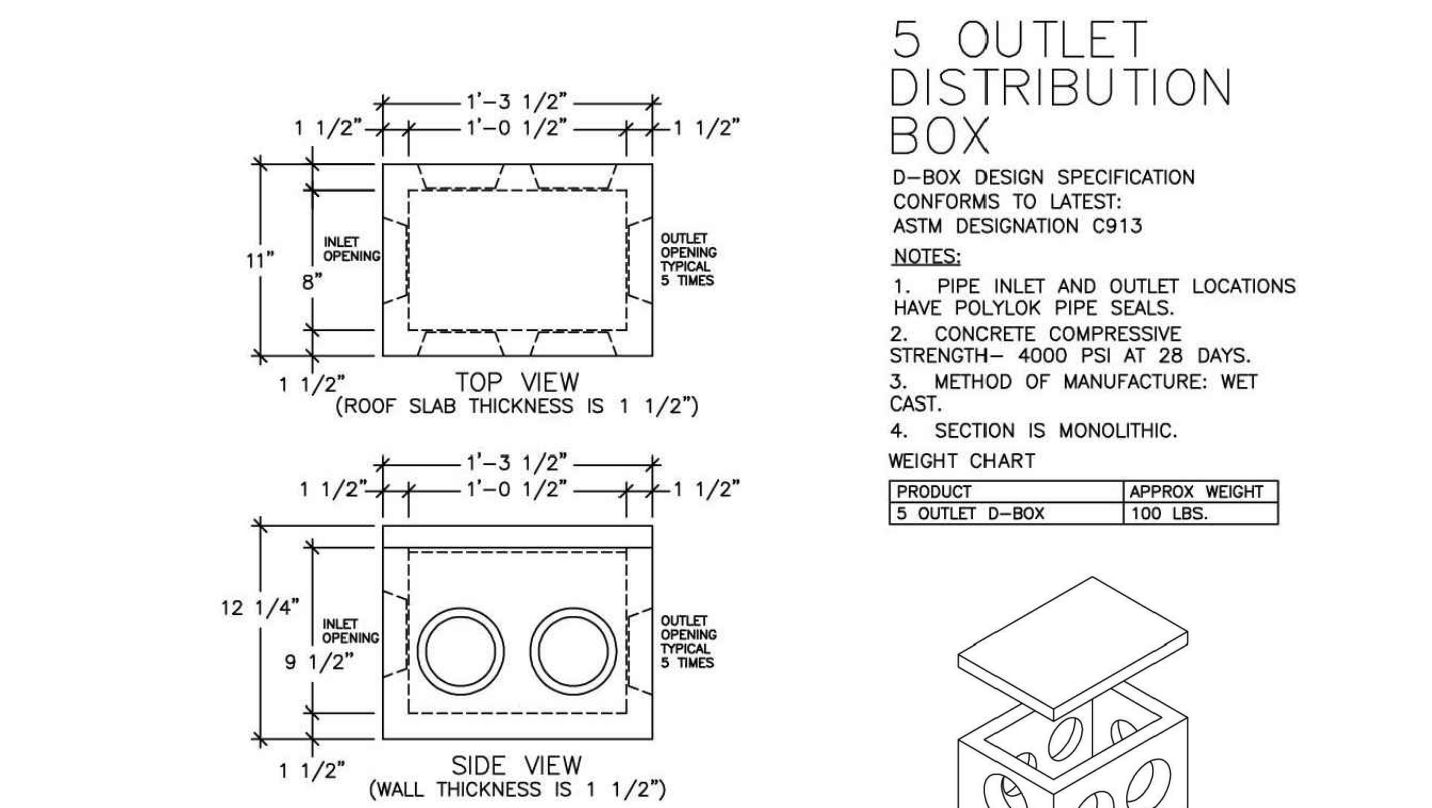
- NOTE:
- UNITED CONCRETE PRODUCTS, INC. HS-20 1,250 GALLON SEPTIC TANK SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR SHALL USE THIS PRODUCT OR APPROVED EQUAL.
  - IF EVIDENCE OF HIGH GROUNDWATER CONDITIONS EXIST DURING EXCAVATION OF SEPTIC TANK, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO INSTALLATION. ADDITIONAL BALLAST MAY BE NECESSARY TO COUNTERACT BUOYANCY FORCES.

5 1,250 GALLON SEPTIC TANK Not to Scale



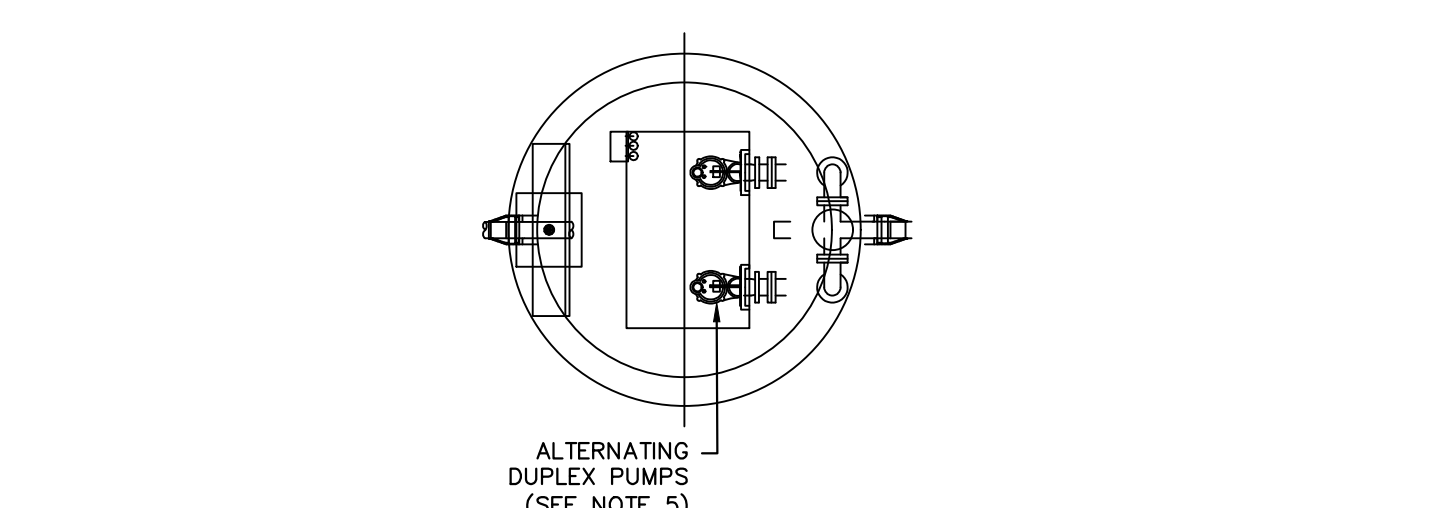
- NOTE:
- GEOMATRIX SYSTEM GST 6212 SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR SHALL USE THIS PRODUCT OR APPROVED EQUAL.

9 GEOMATRIX SYSTEMS GST STANDARD CHAMBER DETAIL Not to Scale



- NOTE:
- UNITED CONCRETE PRODUCTS, INC. 5-OUTLET DISTRIBUTION BOX SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR SHALL USE THIS PRODUCT OR APPROVED EQUAL.

6 CONCRETE DISTRIBUTION BOX Not to Scale



- PUMP STATION TO BE DESIGNED BASED ON THE FOLLOWING:
- DESIGN FLOW: 500 GALLONS PER DAY
  - INVERT INTO PUMP STATION = 48.30'
  - 258LF PIPE RUN OF 2" FORCE MAIN TO LEACHFIELD D-BOX.

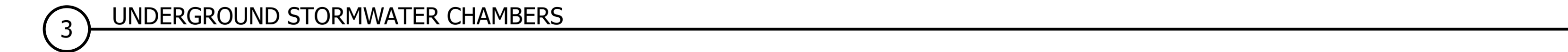
- FINAL MANUFACTURES DESIGN AND SHOP DRAWINGS SHALL BE PROVIDED TO DESIGN ENGINEER AND THE NORTH CENTRAL DISTRICT HEALTH DEPARTMENT FOR FINAL REVIEW AND APPROVAL.
- NOTES:
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS
  - STRUCTURE SHALL BE WATERTIGHT AND HAVE BALLAST PROTECTION.
  - REINFORCED STEEL CONFORMS TO LATEST ASTM A185.
  - BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C990 SPECIFICATION.
  - PUMP OFF ELEV. TO BE COORDINATED WITH PUMP & WET WELL MANUFACTURE TO ASSURE ADEQUATE PRIMING IS PROVIDED.
  - ALTERNATING DUPLEX PUMPS SHALL BE PROVIDED.
  - FLAT SWITCHES TO BE PRESSURE TRANSDUCERS, MECHANICAL FLOAT SWITCHES, OR OTHER ACCEPTABLE CONTROLS PER THE CT PUBLIC HEALTH CODE STANDARDS. MINIMUM EMERGENCY STORAGE VOLUME NOT REQUIRED WITH IMPLEMENTATION OF DUPLICATE ALTERNATING PUMPS PER SECTION 6.C OF THE CT PUBLIC HEALTH CODE TECHNICAL STANDARDS.
  - CONTRACTOR TO COORDINATE POWER REQUIREMENTS WITH PUMP MANUFACTURER.

10 DUPLEX SANITARY PUMP DETAIL Not to Scale

PROPERTY OWNER:  
MCQUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074

APPLICANT:  
MCQUIRE ROAD ASSOCIATES, LLC  
111 FARM BROOK LANE  
SOUTH WINDSOR, CT 06074





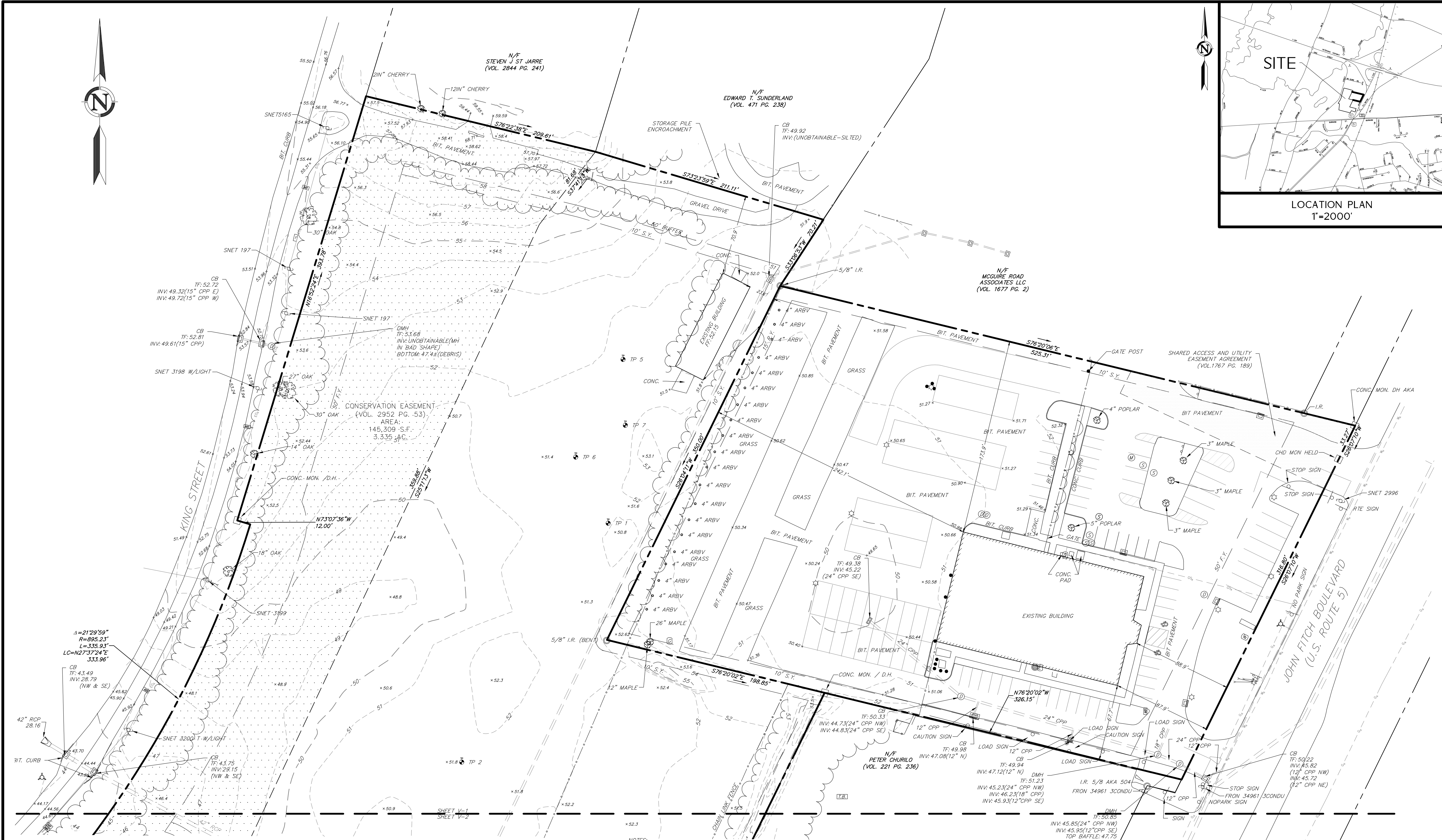
- ### ISOLATION ROW INSPECTION & MAINTENANCE

- ## NOTES

- NOTES:

1. STORMTECH UNDERGROUND CHAMBERS SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR TO USE THIS PRODUCT OR APPROVED EQUAL.
2. REFER TO PRODUCT MANUFACTURE SPECS FOR APPROVED MATERIALS AND INSTALLATION INSTRUCTIONS.





**NOTES:**

1. PROPERTY IS IN THE GC ZONE.
2. 542 KING STREET PARCEL CONTAINS 498,203 SQUARE FEET OR 11.437 ACRES. 95 JOHN FITCH BOULEVARD PARCEL CONTAINS 179,516 SQUARE FEET OR 4.121 ACRES.
3. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
4. PARCEL SUBJECT TO DECLARATION OF RESTRICTIONS AND PROTECTIVE COVENANTS IN FAVOR OF THE TOWN OF SOUTH WINDSOR, SEE VOL. 2952 PG. 58.
5. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: FIRM FLOOD INSURANCE RATE MAP NUMBER 0900303866 TOWN OF SOUTH WINDSOR CONNECTICUT HARTFORD COUNTY PANEL 386 OF 675 COMMUNITY NUMBER 090036 EFFECTIVE DATE: SEPTEMBER 26, 2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
6. UNDERGROUND UTILITY, STRUCTURE, AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.

**MAP REFERENCES:**

1. RESUBDIVISION PLOT PLAN & TOPOGRAPHIC MAP FOR EDWARD SUNDERLAND MCGUIRE ROAD SOUTH WINDSOR, CONNECTICUT DATE: 12-15-88 REVISIONS 2-27-87 SHEETS 1 & 2 OF 2 PREPARED BY FUSSELL & O'NEILL, INC.
2. PLOT PLAN FOR TRUTH BAPTIST CHURCH 60 & 68 BURNHAM STREET & KING STREET SOUTH WINDSOR, CONNECTICUT SCALE: 1" = 40' DECEMBER 11, 1996 SHEET 1 OF 1 PREPARED BY DUBIEL ASSOCIATES.
3. PROPERTY OF HARRY K. GOLF SOUTH WINDSOR CONNECTICUT SCALE: 1"=50' JAN. 1939 PREPARED BY CECIL W. BROOKS.
4. PROPERTY SURVEY SURVEY/RESURVEY PREPARED FOR: MCGUIRE ROAD ASSOCIATES, LLC AT 59 MCGUIRE ROAD & OBB MANAGEMENT, L.L.C. AT 67 MCGUIRE ROAD, SOUTH WINDSOR, CONNECTICUT DATE: 10-6-05 REVISED 11-23-05 SCALE 1" INCH= 40 FT DESIGN PROFESSIONALS, INC.
5. RIGHT OF WAY SURVEY STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR JOHN FITCH BOULEVARD FROM THE EAST HARTFORD TOWN LINE NORTHERLY TO NEWBERRY ROAD SCALE 1"=40' DATE JANUARY 1999 NUMBER 132-05
6. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR EAST HARTFORD-SPRINGFIELD ROAD FROM THE EAST HARTFORD TOWN LINE NORTHERLY TO NEWBERRY ROAD U.S.5 SCALE 1"=40' DATE AUG. 1, 1942
7. TOWN OF S.D. WINDSOR PLAN SHOWING DRAINAGE RIGHT OF WAY ACQUIRED FROM THOMAS H. & AGNES C. BARRY BY THE STATE OF CONNECTICUT HARTFORD-SPRINGFIELD RD. SEC. 4 SCALE 1"=40' NOV. 1939.

**SURVEY NOTES:**

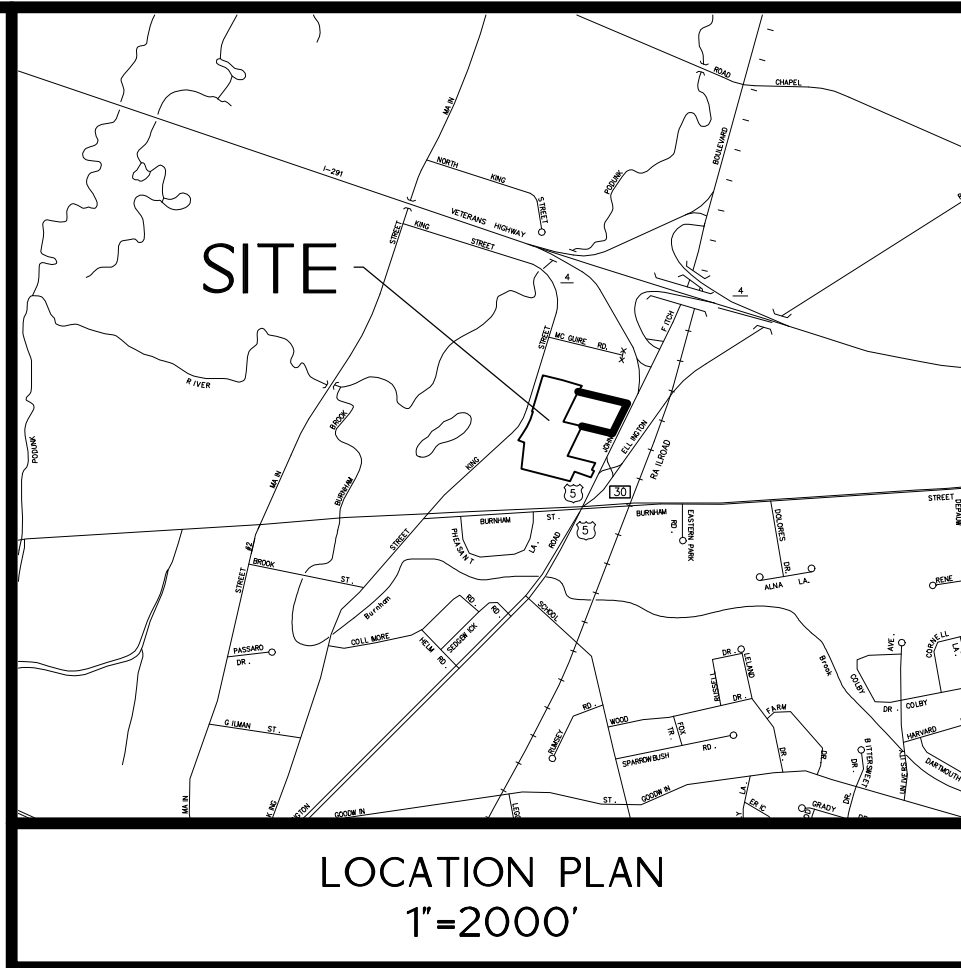
THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-302b-1 THRU 20-302b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON MAP REFERENCE #1.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS 1-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

BARRY D. CLARKE, L.S.

16766  
LIC. NO.



PROPERTY & TOPOGRAPHIC SURVEY		REVISIONS		BY		HARTFORD TRUCK		EQUIPMENT TRUCK		PREPARED FOR:		PROJECT NO.		DATE		DESIGN BY		CHECKED BY		DATE		SCALE		SHEET	
1		5/24/22		MHA		MHA		MHA		Hartford Truck Equipment Inc. c/o Mr. Blake Brennan 95 John Fitch Boulevard South Windsor, CT 06074 860-290-9324		2482H		07/02/21		MHA		MHA		07/02/21		0" = 40'		V-1	

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21 JEFFREY DRIVE  
P.O. BOX 1167  
SOUTH WINDSOR, CT 06074  
860-290-9324  
www.designprofessionals.com

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LEGEND	
EXISTING	DESCRIPTION
BORINGS	
	BORING / TEST PIT LOCATION
COMMUNICATION	
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
	APPROX. UNDERGROUND COMMUNICATION LINES
CONTROL POINTS	
	BENCHMARK
DOMESTIC WATER	
	APPROX. WATER MAIN
	APPROX. WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
LIGHTING	
	POLE MOUNTED LIGHT
NATURAL GAS	
	GAS VALVE
	APPROX. GAS MAIN
	APPROX. GAS SERVICE LINE
POWER	
	ELECTRICAL LINES, OVERHEAD
	APPROX. ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
	UTILITY POLE WITH LIGHT
	UTILITY POLE WITH TRANSFORMER
PROPERTY	
	PROPERTY LINE
	EASEMENT LINE

	IRON PIPE
	IRON ROD
	MONUMENT
ROADS	
	GUARD RAIL
	SIGN
SITE FEATURES	
	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	STONE WALL
	TREE
	TREE LINE
SANITARY SEWER	
	APPROX. SANITARY SEWER MAIN
	APPROX. SANITARY SEWER SERVICE LINE
	SANITARY SEWER MANHOLE
	SEWER CLEAN OUT
STORM SEWER	
	APPROX. STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY	
	CONTOUR
	SPOT ELEVATION
WETLANDS	
	WETLANDS LINE

NOTES:

1. PROPERTY IS IN THE GC ZONE.
2. 542 KING STREET PARCEL CONTAINS 498,203 SQUARE FEET OR 11.437 ACRES. 95 JOHN FITCH BOULEVARD PARCEL CONTAINS 179,916 SQUARE FEET OR 4.121 ACRES.
3. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
4. PARCEL SUBJECT TO DECLARATION OF RESTRICTIONS AND PROTECTIVE COVENANTS IN FAVOR OF THE TOWN OF SOUTH WINDSOR, SEE VOL. 2952 PG. 58.
5. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 0903C0386F TOWN OF SOUTH WINDSOR CONNECTICUT HARTFORD COUNTY PANEL 386 OF 675 COMMUNITY NUMBER 090336 EFFECTIVE DATE: SEPTEMBER 26, 2009 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
6. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION. 1-800-922-4435 OR WWW.CBID.COM.

MAP REFERENCES:

1. RESUBDIVISION PLOT PLAN & TOPOGRAPHIC MAP FOR EDWARD SUNDERLAND MCGUIRE ROAD SOUTH WINDSOR, CONNECTICUT DATE: 12-15-86 REVISIONS 2-27-87 SHEETS 1 & 2 OF 2 PREPARED BY FUSSELL & O'NEILL, INC.
2. PLOT PLAN FOR TRUTH BAPTIST CHURCH 60 & 68 BURNHAM STREET & KING STREET SOUTH WINDSOR, CONNECTICUT SCALE: 1" = 40' DECEMBER 11, 1996 SHEET 1 OF 1 PREPARED BY DUBIEL ASSOCIATES.
3. PROPERTY OF HARRY K GOTT SOUTH WINDSOR CONNECTICUT SCALE: 1"=50' JAN. 1939 PREPARED BY CECIL W. BROOKS.
4. PROPERTY SURVEY PROPERTY SURVEY/RESURVEY PREPARED FOR: MCGUIRE ROAD ASSOCIATES, LLC AT 59 MCGUIRE ROAD & DBB MANAGEMENT, L.L.C. AT 67 MCGUIRE ROAD SOUTH WINDSOR, CONNECTICUT DATE: 10-6-05 REVISED 11-23-05 SCALE 1 INCH= 40 FT DESIGN PROFESSIONALS, INC.
5. RIGHT OF WAY SURVEY STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR JOHN FITCH BOULEVARD FROM THE EAST HARTFORD TOWN LINE NORTHERLY TO NEWBERRY ROAD SCALE 1"=40' DATE JANUARY 1999 NUMBER 132-05
6. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR EAST HARTFORD-SPRINGFIELD ROAD FROM THE EAST HARTFORD TOWN LINE NORTHERLY TO NEWBERRY ROAD ROUTE U.S.9 SCALE 1"=40' DATE AUG. 1, 1942
7. TOWN OF SO. WINDSOR PLAN SHOWING DRAINAGE RIGHT OF WAY ACQUIRED FROM THOMAS H. & AONES C. BARRY BY THE STATE OF CONNECTICUT HARTFORD-SPRINGFIELD RD. SEC. 4 SCALE 1"=40' NOV. 1939.

SURVEY NOTES:

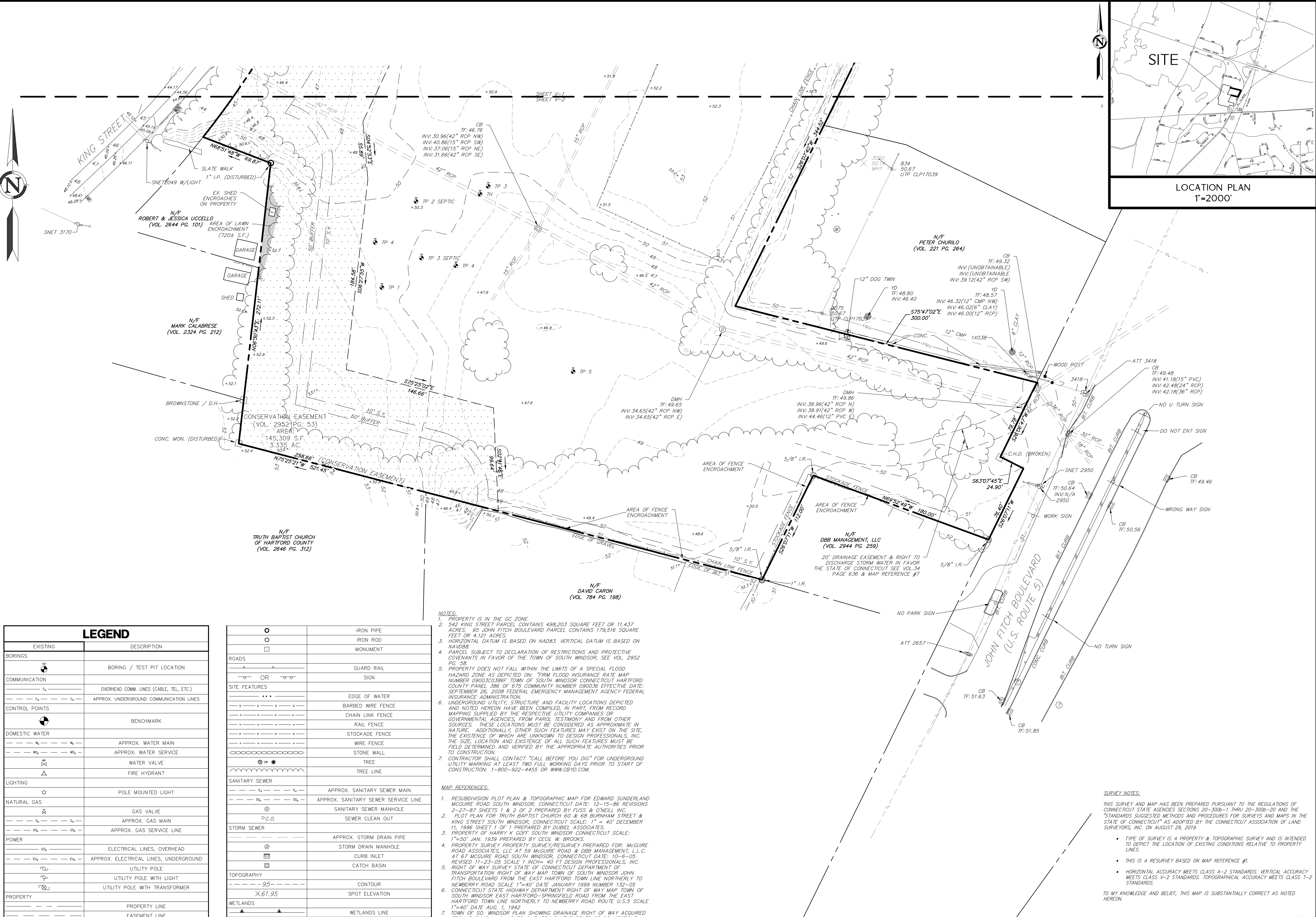
THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-302b-1 THRU 20-302b-10 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON MAP REFERENCE #1.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS 1-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

BARRY D. CLARKE, L.S.

16766  
LIC. NO.



21 JEFFREY DRIVE  
P.O. BOX 1167  
SOUTH WINDSOR, CT 06074  
860-290-9324  
www.designprofessionalsinc.com

**design**  
**professionals**  
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS  
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:  
Hartford Truck  
Equipment, Inc.  
c/o Mr. Blake Brennan  
95 John Fitch Boulevard  
South Windsor, CT 06074  
860-290-9324

PROJECT NO:  
2482H  
DESIGN BY:  
07/02/21  
DRAWN BY:  
BDC  
CHECKED BY:  
BDC

**HARTFORD TRUCK**

45 & 95 JOHN FITCH BOULEVARD &  
542 KING STREET  
SOUTH WINDSOR, CONNECTICUT

PROPERTY &  
TOPOGRAPHIC  
SURVEY

SCALE: 0 20' 40'  
1" = 40'

SHEET  
**V-2**





Storage Building for

**HARTFORD  
TRUCK  
EQUIPMENT**  
45 & 95 John Fitch  
Blvd.  
South Windsor, Ct.

date	description	no.
revisions		

**PROPOSED  
PLAN &  
ELEVATIONS**

**A-1.0**

date 6/10/22  
drawn  
scale AS NOTED  
checked  
project no. 21-44



