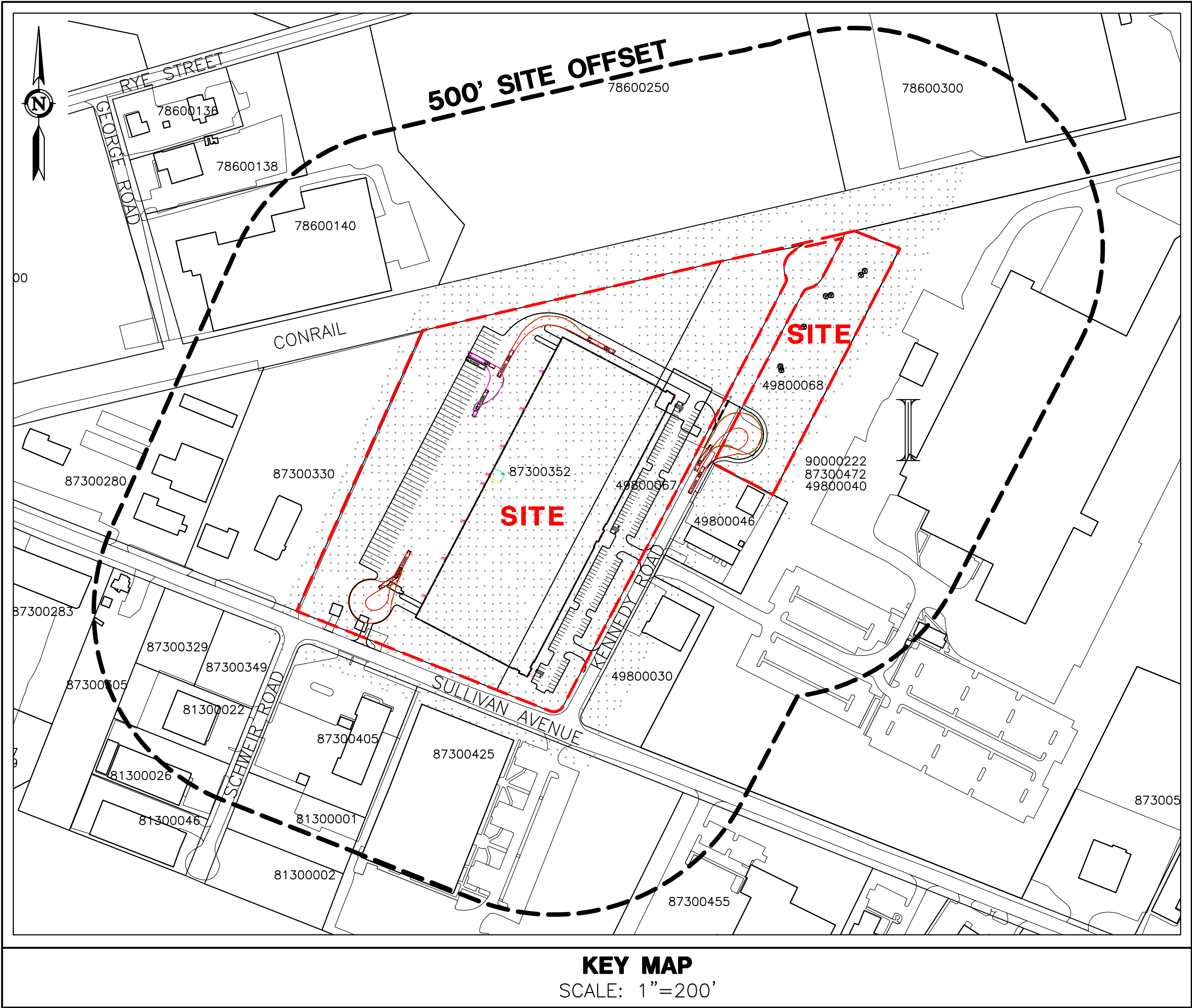
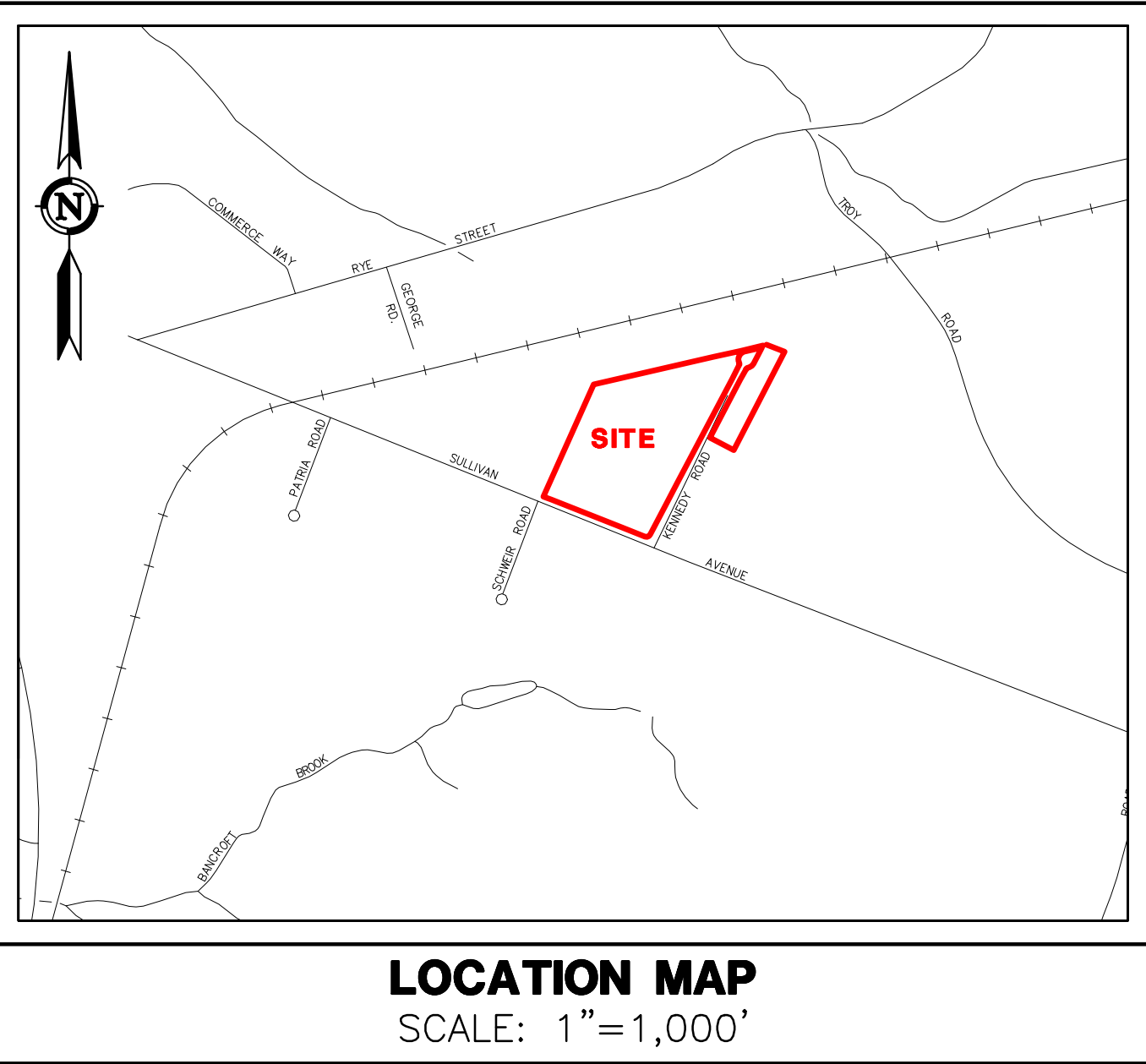


67 KENNEDY ROAD WAREHOUSE & DISTRIBUTION CENTER

SITE PLAN

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD ~ SOUTH WINDSOR ~ CT
GIS NOs. 87300352, 49800067, & 49800068

N/F 500' ABUTTERS		
STREET ADDRESS	OWNER	PARCEL ID
30 KENNEDY ROAD	WOODCOCK JOHN J JR TR	49800030
40 KENNEDY ROAD	456 SULLIVAN AVE LLC	49800040
46 KENNEDY ROAD	LAWSON'S PROPERTIES LLC	49800046
138 RYE STREET	SHEPARD POLA INC	78600138
140 RYE STREET	SHEPARD POLA INC	78600140
250 RYE STREET	ALTATWO REALTY COMPANY LLC	78600250
300 RYE STREET	ALTA REALTY COMPANY LLC	78600300
1 SCHWEIR ROAD	KUHNS FAMILY PROPERTIES LLC	81300001
22 SCHWEIR ROAD	WOLF & GUERRA LLC	81300022
26 SCHWEIR ROAD	MISCELLANEOUS STEEL & RAIL LLC	81300026
280 SULLIVAN AVENUE	280 SULLIVAN AVENUE LLC	87300280
283 SULLIVAN AVENUE	DELLA N LLC/LEGACY VENTURES LLC	87300283
305 SULLIVAN AVENUE	WOLF HELMAR	87300305
329 SULLIVAN AVENUE	WOLF & GUERRA LLC	87300329
330 SULLIVAN AVENUE	JKLN LLC	87300330
349 SULLIVAN AVENUE	WOLF & GUERRA LLC	87300349
405 SULLIVAN AVENUE	KUHNS FAMILY PROPERTIES LLC	87300405
425 SULLIVAN AVENUE	CONDOR PROPERTIES LLC	87300425
455 SULLIVAN AVENUE	PARKSITE INC	87300455
472 SULLIVAN AVENUE	CURRENT RESIDENT	87300472
222 TROY ROAD	CURRENT RESIDENT	90000222



SHEET INDEX		
C-T1	COVER SHEET	1 of 24
C-OS1	OVERALL SITE PLAN	2 of 24
C-SP1 - C-SP2	SITE PLAN	3-4 of 24
C-GD1 - C-GD2	GRADING PLAN	5-6 of 24
C-DR1 - C-DR2	DRAINAGE PLAN	7-8 of 24
C-UT1 - C-UT2	UTILITY PLAN	9-10 of 24
C-ES1 - C-ES2	EROSION & SEDIMENTATION PLAN	11-12 of 24
C-ES3	EROSION & SEDIMENTATION NOTES & DETAILS	13 of 24
C-LS1 - C-LS2	LANDSCAPE PLAN	14-15 of 24
C-LS3	LANDSCAPE NOTES & DETAILS	16 of 24
C-LT1 - C-LT2	LIGHTING PLAN	17-18 of 24
C-D1	NOTES, DETAILS, & LEGEND	19 of 24
C-D2 - C-D6	DETAILS	20-24 of 24
V-1 TO V-2	PROPERTY & TOPOGRAPHIC SURVEY	1-2 of 2
PROPOSED OFFICE/WAREHOUSE FLOOR PLAN & ELEVATIONS		

PRELIMINARY
NOT FOR CONSTRUCTION
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
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21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
www.designprofessionalsinc.com

TRAFFIC ENGINEER:

Langan
555 Long Wharf Drive
New Haven, CT 06511-6107
203-563-5771
www.langan.com

PROPERTY OWNER:

FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

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P.O. BOX 1167
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PROJECT NO.
4670

DATE
3/30/2022

DESIGNED BY
DHI/BPW

REVIEWED BY
DHI/BPW

DATE
3/30/2022

PROJECT NO.
4670

67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOs. 87300352, 49800067, & 49800068

NO.

DATE

REVISIONS

BY

1

4/7/22

EAS PLAN UPDATES

DHI

2

4/20/22

P2C SUBMISSION

DHI

3

5/4/22

IMA/CC COMMENTS

DHI

4

6/23/22

REVISION PER TOWN COMMENT

BM

TITLE

C-T1

SHEET

C-T1

SHEET 1 OF 24

ZONING TABLE		
ZONE: INDUSTRIAL ZONE (I)		
ITEM	REQUIRED/ ALLOWED	PROPOSED
LOT AREA	30,000 SF	838,308 SF (19.245 AC)
LOT FRONTAGE	100'	1,989.6'
LOT DEPTH	150'	691.7'
FRONT YARD	50' / 35' (1)	60.0'
SIDE YARD	10'	91.4'
REAR YARD	25'	N/A
BUILDING HEIGHT	40'/2 STORIES	<40'
PARKING	SEE TABLE	SEE TABLE
INTERIOR LANDSCAPING	10%	10.2%
LOT COVERAGE	50%	28.8%
IMPERVIOUS COVERAGE	65%	54.7%

NOTES:
(1) 50' ALONG SULLIVAN AVENUE AND 35' ALONG KENNEDY ROAD

PARKING REQUIREMENTS*				
USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
OFFICE	4.5 SP/1,000 GSF	6,000 GSF	N/A	27
WAREHOUSE	1 SP/1,250 GSF + 1 PER EMPLOYEE	235,800 GSF	55**	244
TOTAL				271

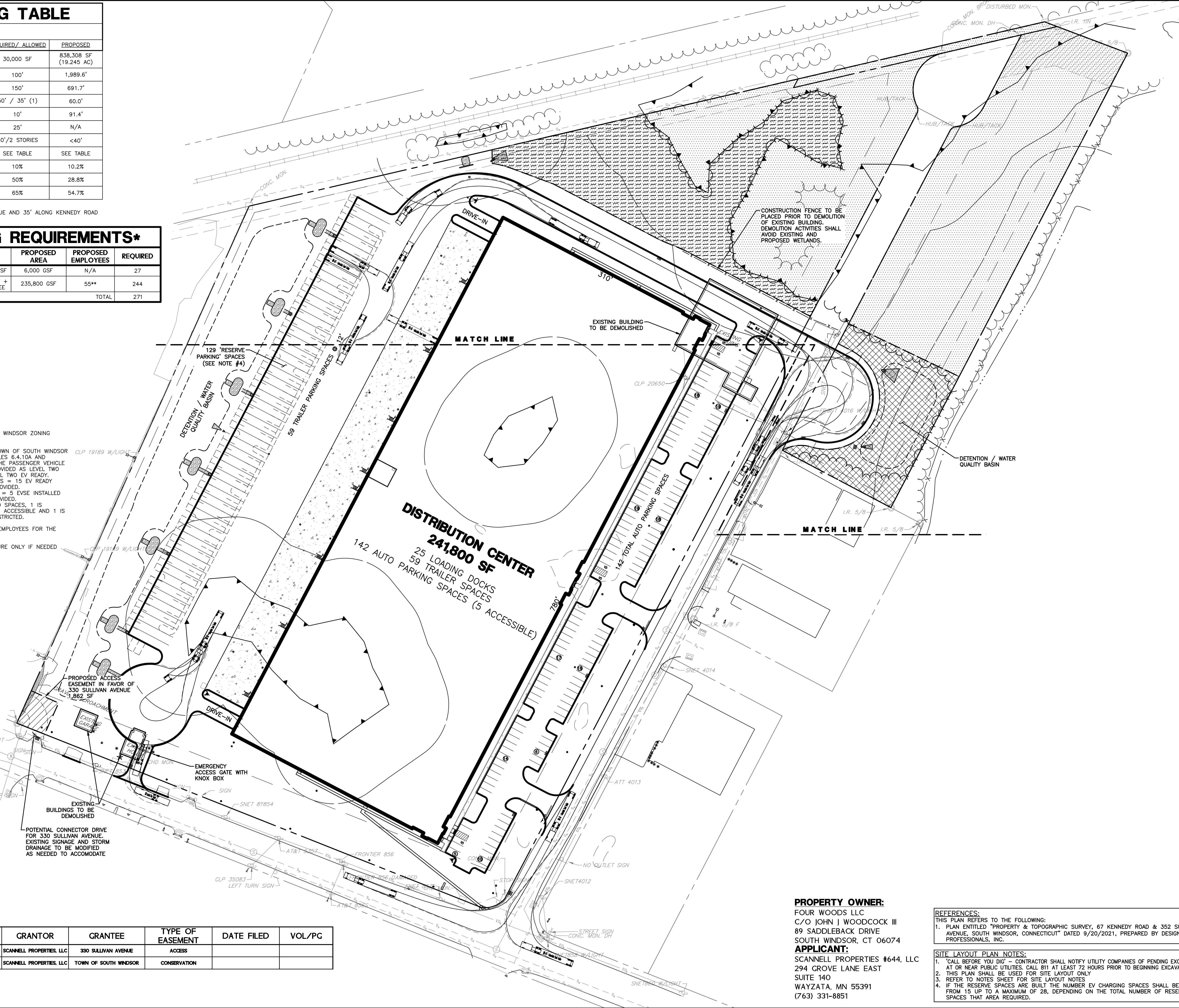
PARKING PROVIDED	
LOCATION	QUANTITY
AUTO PARKING	142
'RESERVE PARKING'***	129
TOTAL	271

PARKING NOTES:
* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLE 6.4.3B

ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES ARE PROVIDED AS LEVEL TWO EVSE INSTALLED AND LEVEL TWO EV READY. 10% OF PROPOSED SPACES = 15 EV READY SPACES REQUIRED, 15 PROVIDED. 3% OF REQUIRED SPACES = 5 EVSE INSTALLED SPACES REQUIRED, 5 PROVIDED. OF THE 5 EVSE INSTALLED SPACES, 1 IS HANDICAP RESTRICTED VAN ACCESSIBLE AND 1 IS VAN ACCESSIBLE NON-RESTRICTED.

** NUMBER OF WAREHOUSE EMPLOYEES FOR THE LARGEST SHIFT
*** TO BE BUILT IN THE FUTURE ONLY IF NEEDED

EASEMENT NUMBER	GRANTOR	GRANTEE	TYPE OF EASEMENT	DATE FILED	VOL/PG
1	SCANNELL PROPERTIES, LLC	330 SULLIVAN AVENUE	ACCESS		
2	SCANNELL PROPERTIES, LLC	TOWN OF SOUTH WINDSOR	CONSERVATION		



PROPERTY OWNER:
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C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
SITE LAYOUT PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES
4. IF THE RESERVE SPACES ARE BUILT THE NUMBER EV CHARGING SPACES SHALL BE EXPANDED FROM 15 UP TO A MAXIMUM OF 28, DEPENDING ON THE TOTAL NUMBER OF RESERVE SPACES THAT AREA REQUIRED.

OVERALL SITE PLAN

SCALE: 0 30' 60' 120'
T = 60'

SHEET 2 OF 24

REVISIONS

NO.	DATE	BY	REVISIONS
1	4/7/22	DHJ	EAS PLAN UPDATES
2	4/20/22	DHJ	PZC SUBMISSION
3	5/4/22	DHJ	IMA/CC COMMENTS
4	6/23/22	BMK	REVISION PER TOWN COMMENT

PREPARED FOR

Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

DESIGN PROFESSIONALS

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PROJECT NO.

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DRAWN BY

BMK

CHECKED BY

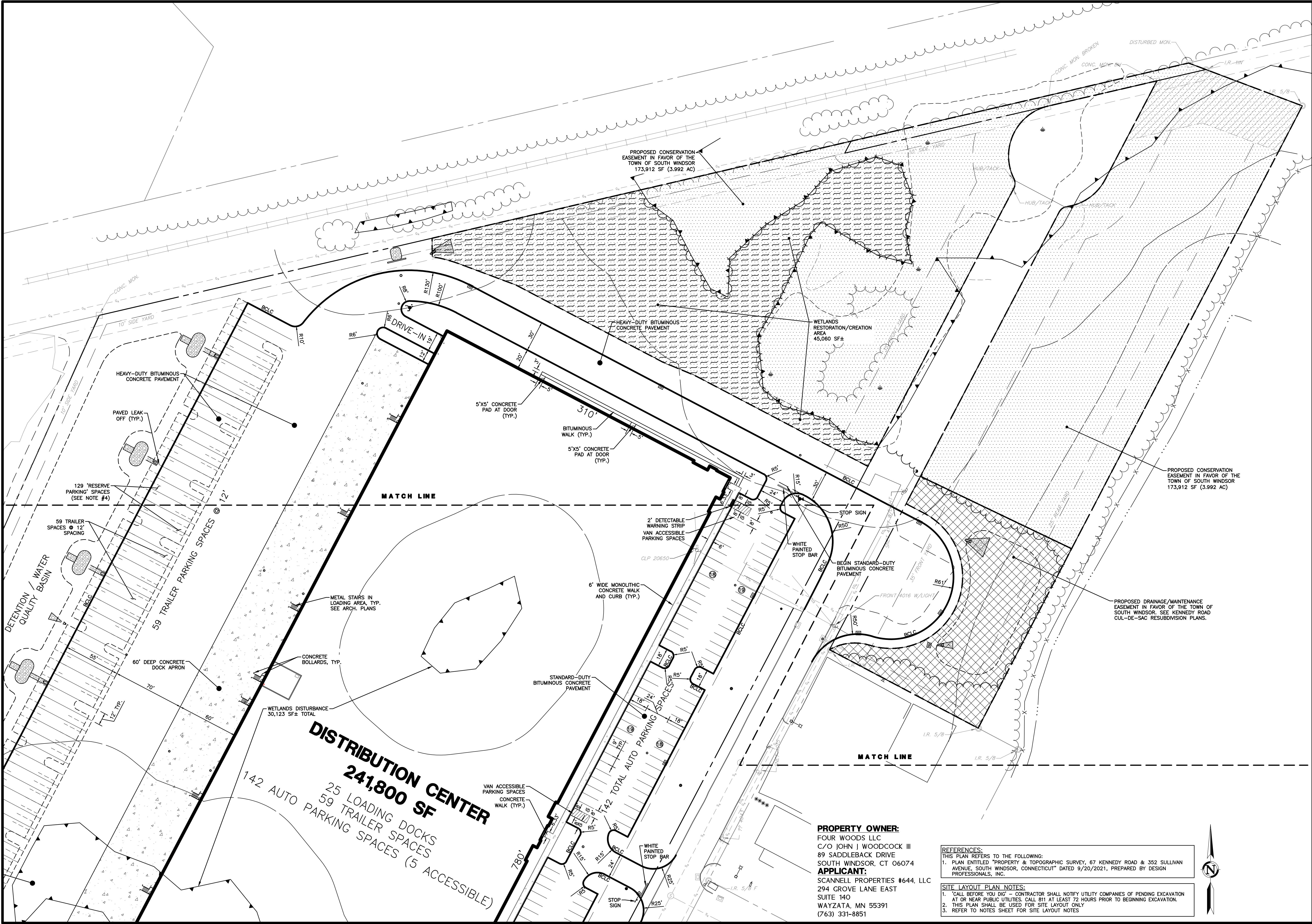
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BPW

21 JEFFREY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
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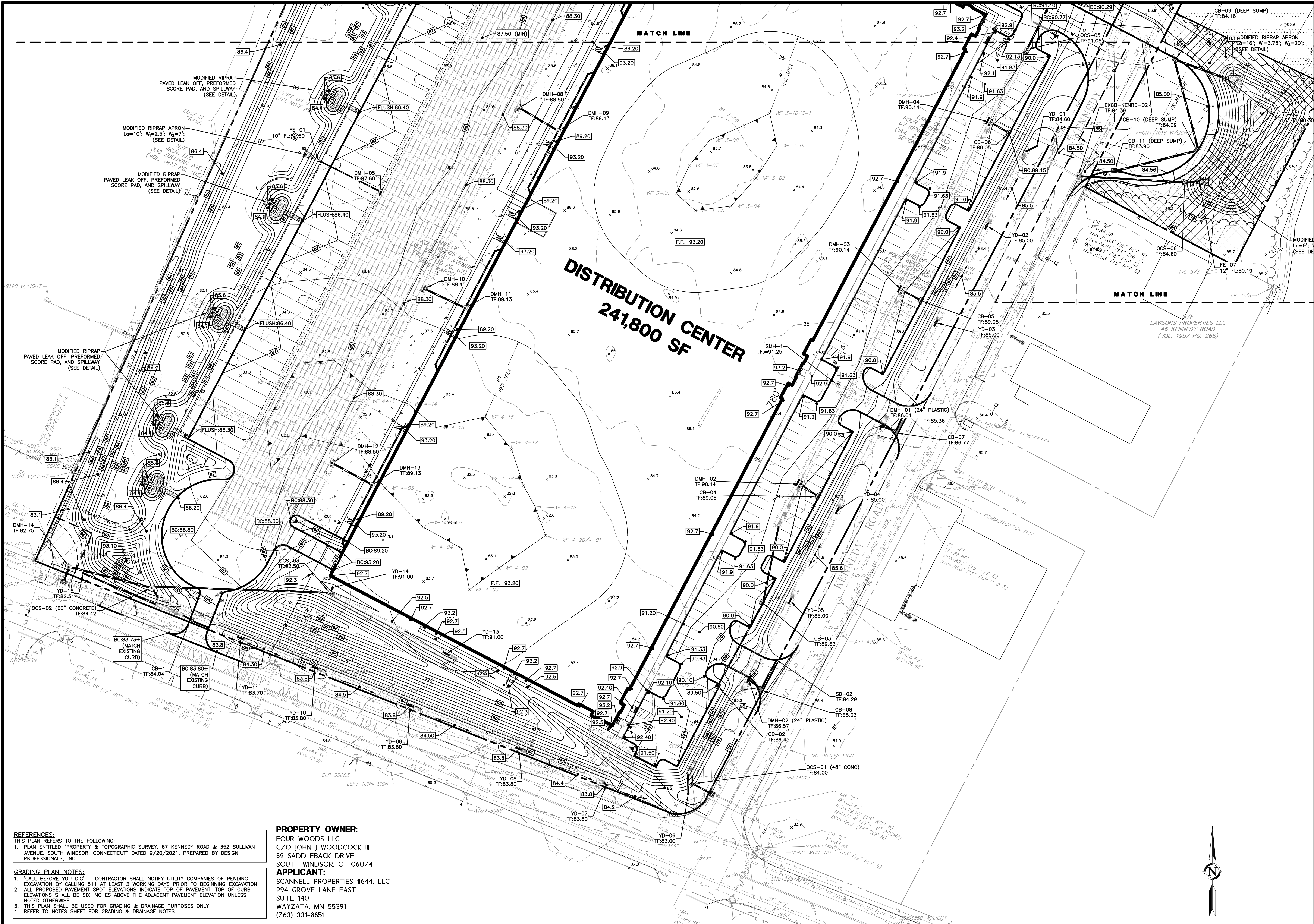
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67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOS: 87300352, 49800067, & 49800068

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3	5/4/22	IMA/CC COMMENTS	DHL
4	6/23/22	REVISION PER TOWN COMMENT	BM

SITE PLAN

SHEET
C-SP2
SHEET 4 OF 24



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GRADING PLAN NOTES:
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2. ALL PROPOSED PAVEMENT SPOT ELEVATIONS INDICATE TOP OF PAVEMENT. TOP OF CURB ELEVATIONS SHALL BE SIX INCHES ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.
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4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

PROPERTY OWNER:
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C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074

APPLICANT:
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(763) 331-8851

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DHL/BPW

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CONCURRED BY:

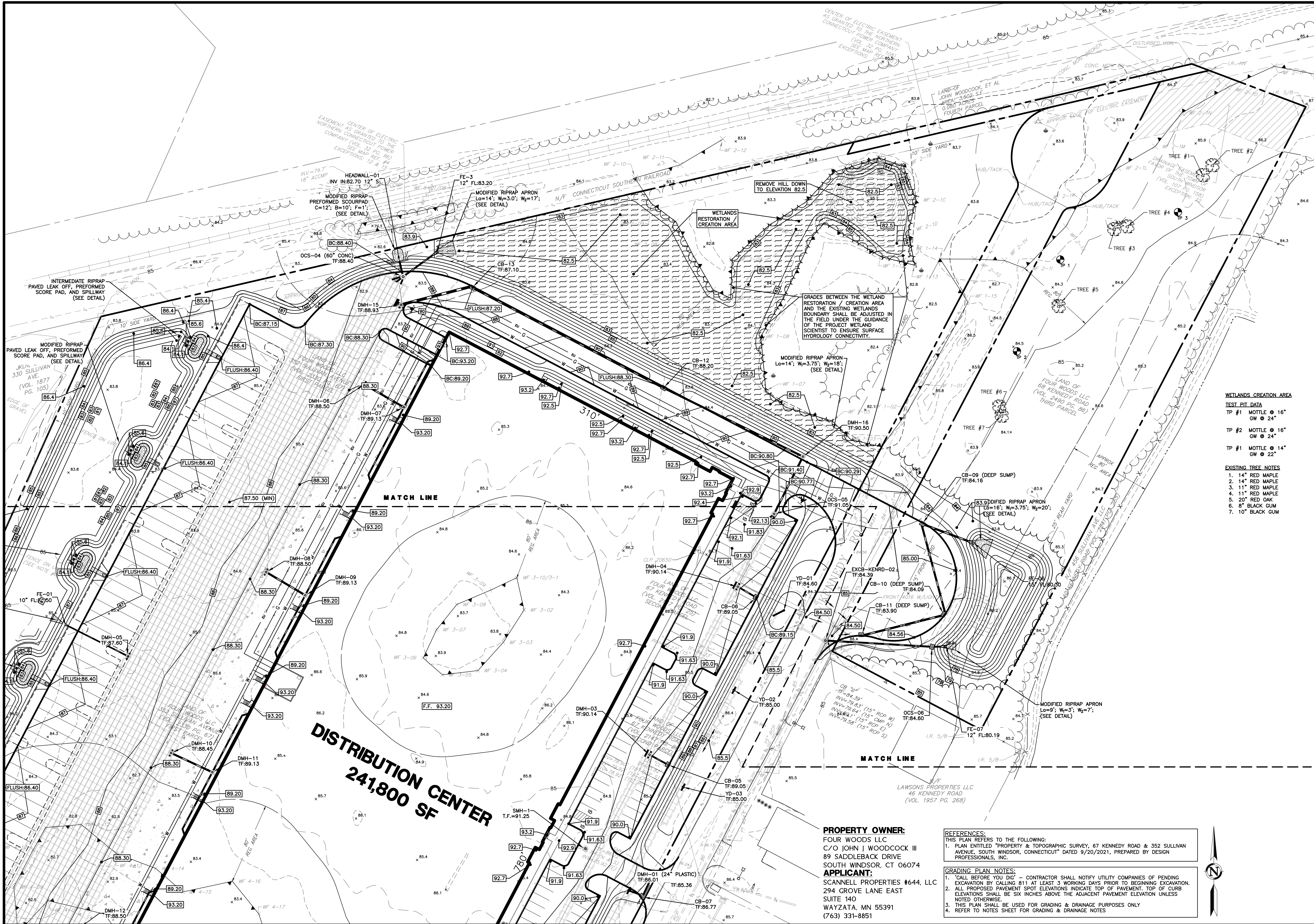
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SCALE: 0' 20' 40'
T = 40'

SHEET
C-GD1
SHEET 5 OF 24



PROPERTY OWNER:
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WETLANDS CREATION AREA
TEST PIT DATA
TP #1 MOTTLE @ 16"
GW @ 24"
TP #2 MOTTLE @ 16"
GW @ 24"
TP #1 MOTTLE @ 14"
GW @ 22"
EXISTING TREE NOTES
1. 14" RED MAPLE
2. 14" RED MAPLE
3. 11" RED MAPLE
4. 11" RED MAPLE
5. 20" RED OAK
6. 8" BLACK GUM
7. 10" BLACK GUM

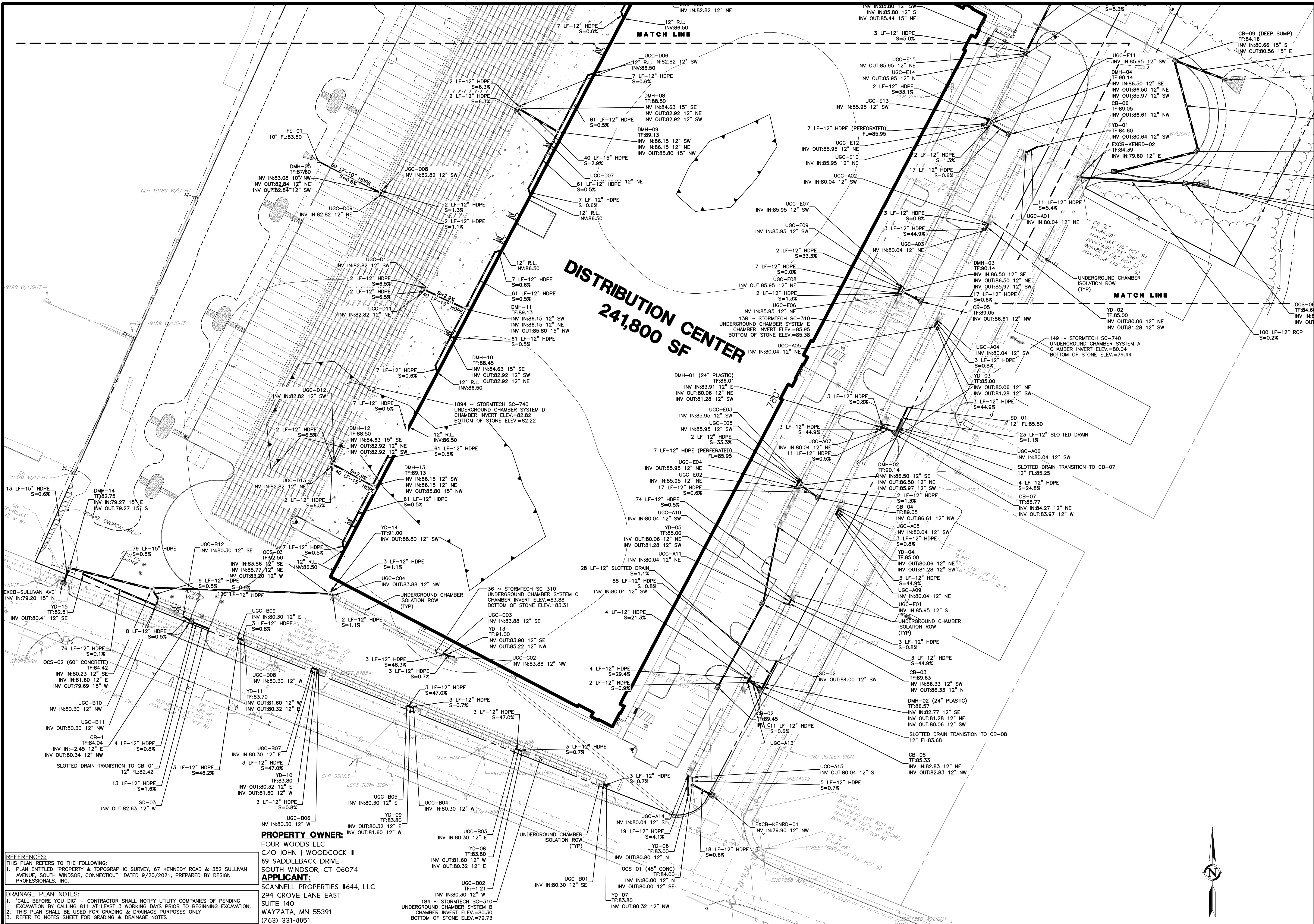
GRADING PLAN

SHEET
C-GD2
SHEET 6 OF 24

67 KENNEDY ROAD
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PLANNERS / LANDSCAPE ARCHITECTS
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P.O. BOX 167
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DRAINAGE PLAN NOTES:
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PROJECT NO.:
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DATE:
3/30/2022

DESIGNER:
DJI/BPW

DRAWN BY:
DJI/BPW

CHECKED BY:
DJI/BPW

**67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER**

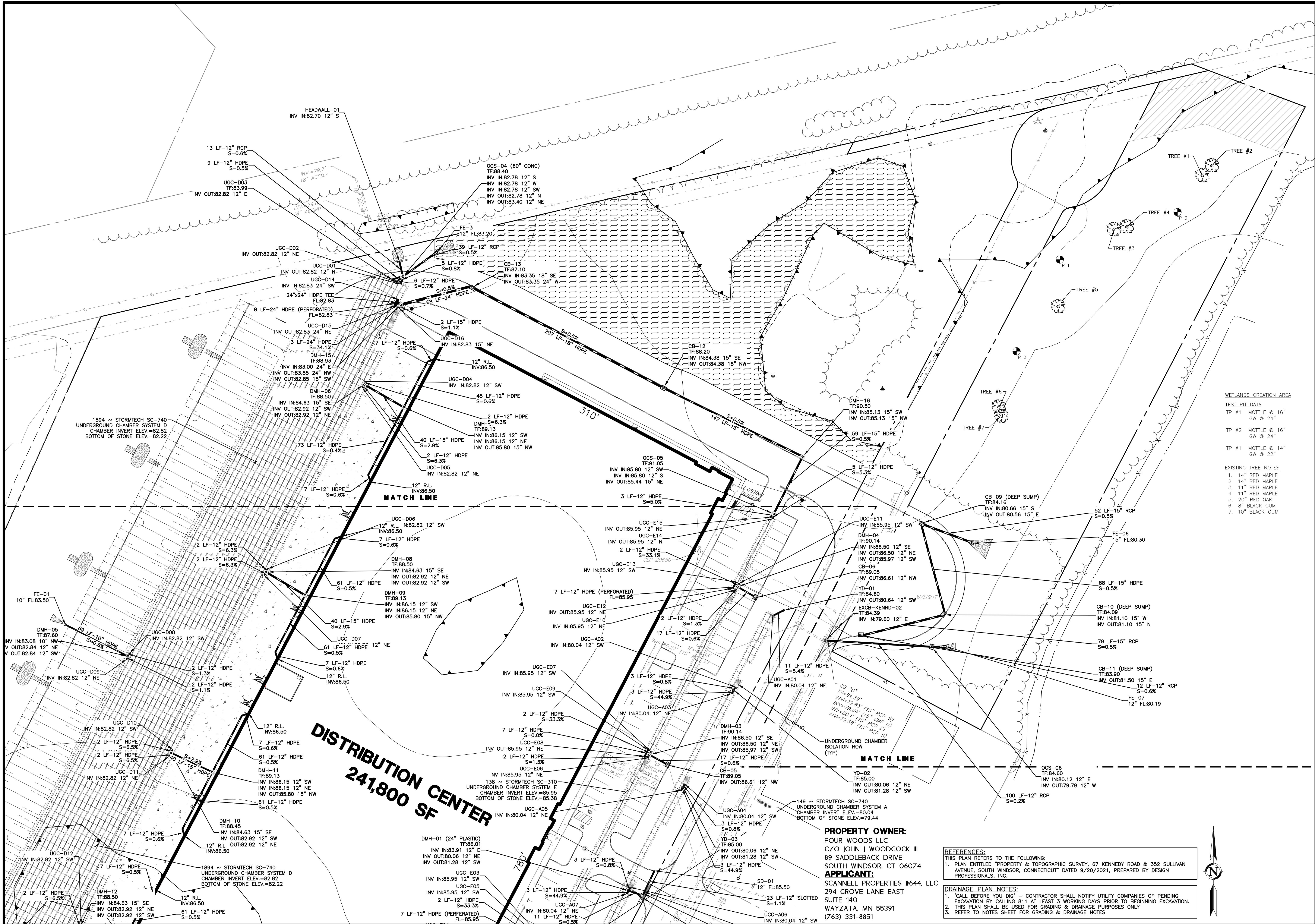
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4	6/23/22	REVISION PER TOWN COMMENT	BM

DRAINAGE PLAN

SHEET 7 OF 24

C-DR1



PROPERTY OWNER:
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3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

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860-298-8737 - F
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DESIGN BY:
DJI/BPW

REVIEW BY:
DJI/BPW

DATE:
6/23/2022

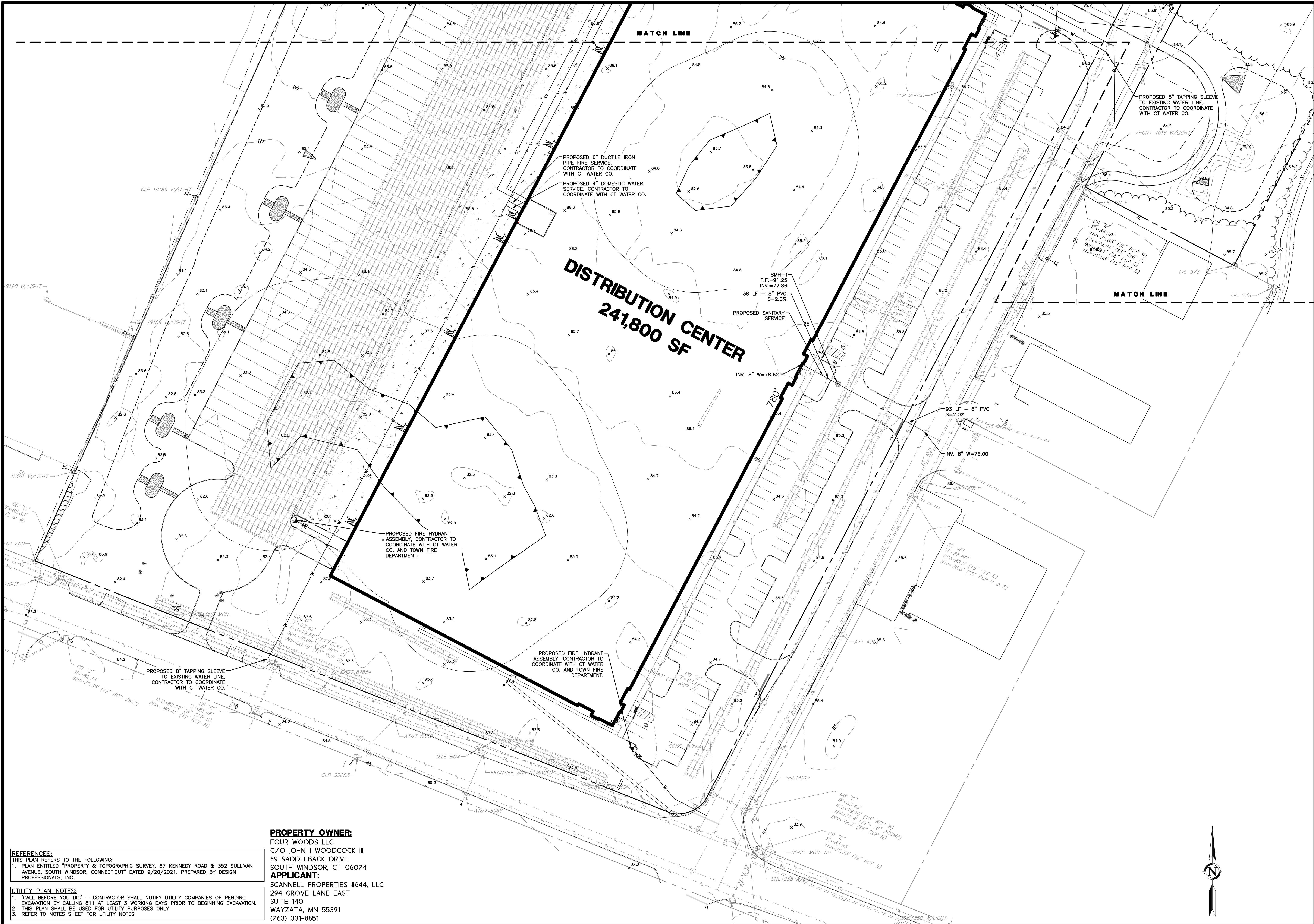
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1	4/7/22	EAS PLAN UPDATES	DJI
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3	5/4/22	IMA/COC COMMENTS	DJI
4	6/23/22	REVISION PER TOWN COMMENT	BMK

DRAINAGE PLAN

SHEET
C-DR2
SHEET 8 OF 24



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UTILITY PLAN NOTES:
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2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY
3. REFER TO NOTES SHEET FOR UTILITY NOTES

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C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074

APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

REVISIONS

NO.	DATE	BY
1	4/7/22	DHJ
2	4/20/22	DHJ
3	5/4/22	DHJ
4	6/23/22	BM

UTILITY PLAN

C-UT1

REVISIONS

NO.	DATE	BY	REVISIONS
1	4/7/22	DHJ	EAS PLAN UPDATES
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3	5/4/22	DHJ	IMA/CC COMMENTS
4	6/23/22	BM	REVISION PER TOWN COMMENT

PROJECT NO.

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DATE

3/30/2022

DESIGNED BY

DHJ/BPW

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BPW

PREPARED FOR

Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

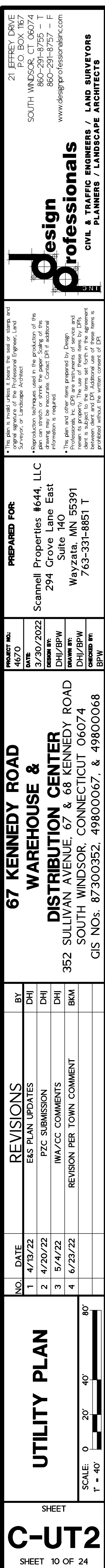
67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER

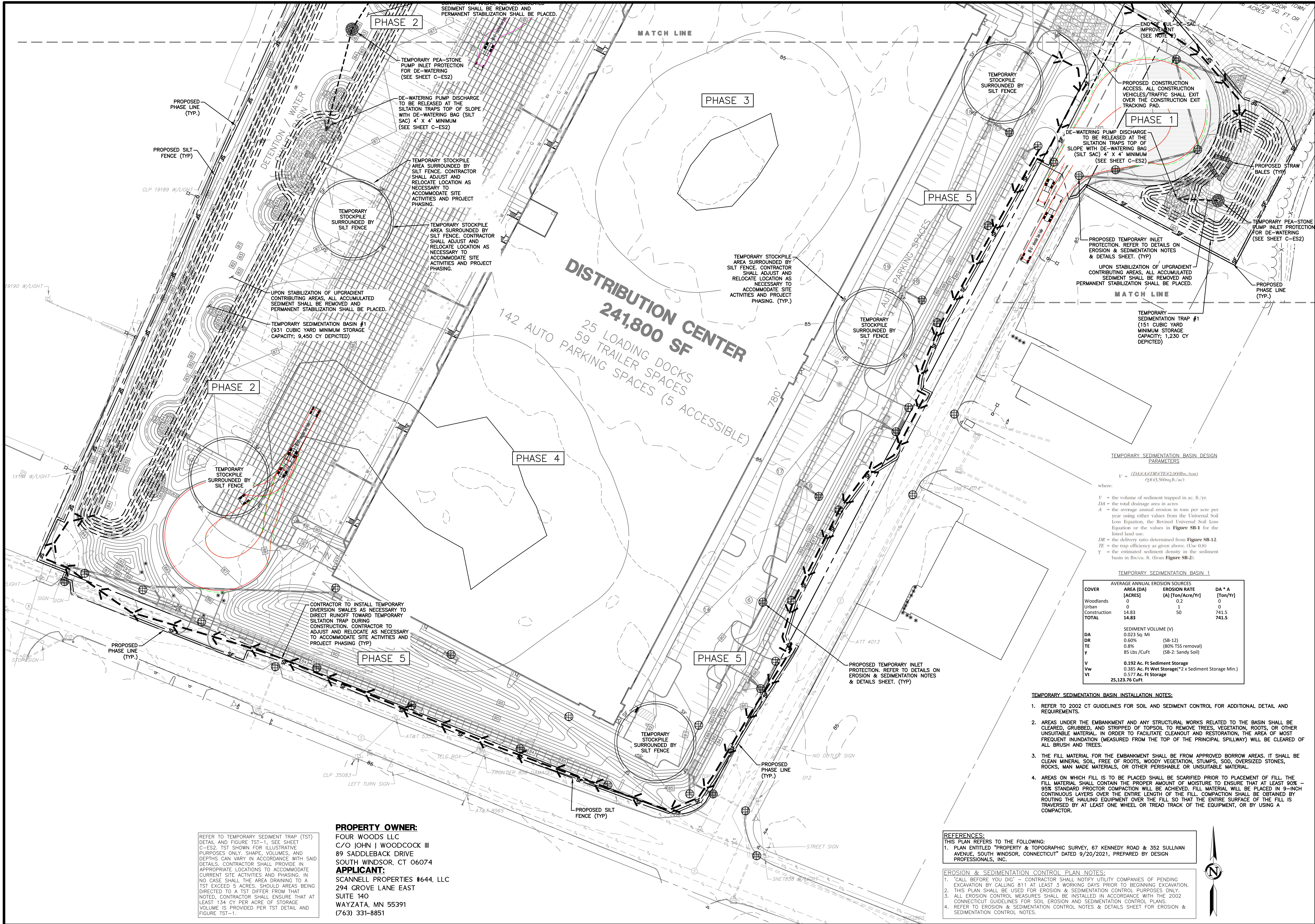
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOS: 87300352, 49800067, & 49800068

DESIGN PROFESSIONALS

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 JEFFREY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-9797 - F
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REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1, SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 134 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.

PROPERTY OWNER:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.

EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

- TEMPORARY SEDIMENTATION BASIN INSTALLATION NOTES:**
- REFER TO 2002 CT GUIDELINES FOR SOIL AND SEDIMENT CONTROL FOR ADDITIONAL DETAIL AND REQUIREMENTS.
 - AREAS UNDER THE EMBANKMENT AND ANY STRUCTURAL WORKS RELATED TO THE BASIN SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER UNSUITABLE MATERIAL. IN ORDER TO FACILITATE CLEANOUT AND RESTORATION, THE AREA OF MOST FREQUENT INUNDATION (MEASURED FROM THE TOP OF THE PRINCIPAL SPILLWAY) WILL BE CLEARED OF ALL BRUSH AND TREES.
 - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, STUMPS, SOD, OVERSIZED STONES, ROCKS, MAN MADE MATERIALS, OR OTHER PERISHABLE OR UNSUITABLE MATERIAL.
 - AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN THE PROPER AMOUNT OF MOISTURE TO ENSURE THAT AT LEAST 90% - 95% STANDARD PROCTOR COMPACTION WILL BE ACHIEVED. FILL MATERIAL WILL BE PLACED IN 9-INCH CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION SHALL BE OBTAINED BY ROUTING THE HAULING EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT, OR BY USING A COMPACTOR.

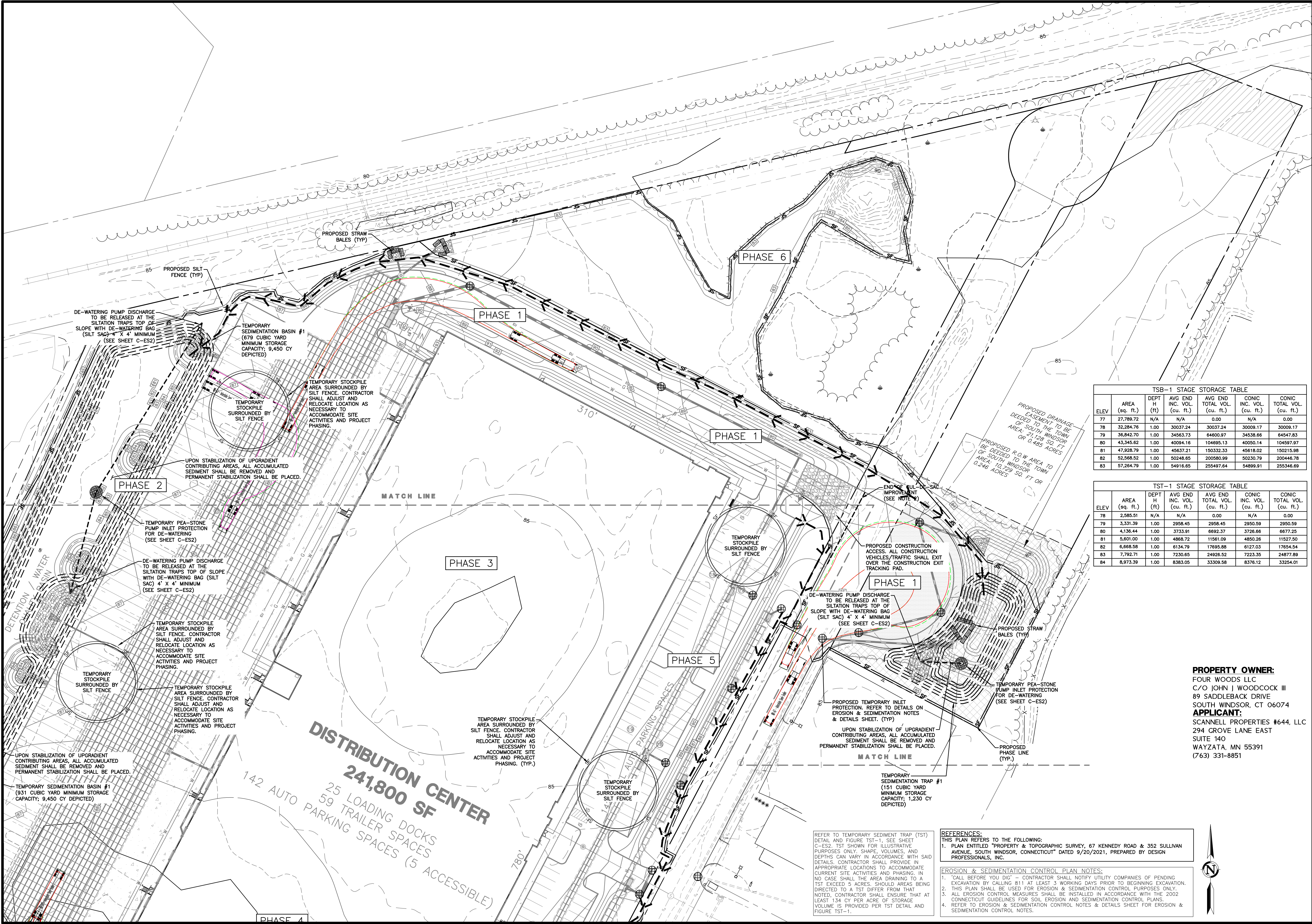
TEMPORARY SEDIMENTATION BASIN DESIGN PARAMETERS

$$V = \frac{(DA)(A)(DR)(TE)(2,000 \text{ lbs./ton})}{(14.83)(43,500 \text{ lbs./cu. ft.})}$$

where:

- V = the volume of sediment trapped in ac. ft./yr.
- DA = the total drainage area in acres
- A = the average annual erosion in tons per acre per year using either values from the Universal Soil Loss Equation, the Revised Universal Soil Loss Equation or the values in Figure SB-1 for the listed land use.
- DR = the delivery ratio determined from Figure SB-12.
- TE = the trap efficiency as given above. (Use 0.8)
- γ = the estimated sediment density in the sediment basin in lbs/cu. ft. (from Figure SB-2).

TEMPORARY SEDIMENTATION BASIN #1			
AVERAGE ANNUAL EROSION SOURCES			
COVER	AREA (DA) [ACRES]	EROSION RATE (A) [Ton/Acre/Yr]	DA * A [Ton/Yr]
Woodlands	0	0.2	0
Urban	0	1	0
Construction	14.83	50	741.5
TOTAL	14.83		741.5
SEDIMENT VOLUME (V)			
DA	0.023 Sq. Mi		
DR	0.60%	(SB-12)	
TE	0.8%	(80% TSS removal)	
V	85 Lbs./CuFt	(SB-2: Sandy Soil)	
V	0.192 Ac. Ft Sediment Storage		
Vw	0.385 Ac. Ft Wet Storage	(2 x Sediment Storage Min.)	
Vt	0.577 Ac. Ft Storage		
	25,123.76 CuFt		



TSB-1 STAGE STORAGE TABLE							
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	
77	27,789.72	N/A	N/A	0.00	N/A	0.00	
78	32,284.76	1.00	30037.24	30037.24	30009.17	30009.17	
79	36,842.70	1.00	34563.73	64600.97	34538.66	64547.83	
80	43,345.62	1.00	40094.16	104695.13	40050.14	104597.97	
81	47,928.79	1.00	45637.21	150332.33	45618.02	150215.98	
82	52,568.52	1.00	50248.65	200580.99	50230.79	200446.78	
83	57,264.79	1.00	54916.65	255497.64	54899.91	255346.69	

TST-1 STAGE STORAGE TABLE							
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)	
78	2,585.51	N/A	N/A	0.00	N/A	0.00	
79	3,331.39	1.00	2958.45	2958.45	2950.59	2950.59	
80	4,136.44	1.00	3733.91	6692.37	3726.66	6677.25	
81	5,601.00	1.00	4868.72	11561.09	4850.26	11527.50	
82	6,668.58	1.00	6134.79	17695.88	6127.03	17654.54	
83	7,792.71	1.00	7230.65	24926.52	7223.35	24877.89	
84	8,973.39	1.00	8363.05	33309.58	8376.12	33254.01	

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294 GROVE LANE EAST
SUITE 140
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4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

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P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8737 - F
860-291-8737 - M
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PREPARED FOR:
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

PROJECT NO.:
4670

DATE:
3/30/2022

DESIGNED BY:
DHL/BPW

DRAWN BY:
DHL/BPW

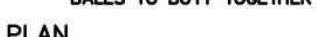
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67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOS: 87300352, 49800667, & 49800668

NO.	DATE	BY	REVISIONS
1	4/18/22	DHL	E-S PLAN UPDATES
2	4/20/22	DHL	P2C SUBMISSION
3	5/4/22	DHL	IMV/ACC COMMENTS
4	6/23/22	BM	REVISION PER TOWN COMMENT

SCALE: 0' 20' 40' 80'
T = 40'

SHEET
C-ES2
SHEET 12 OF 24



- N.T.S.

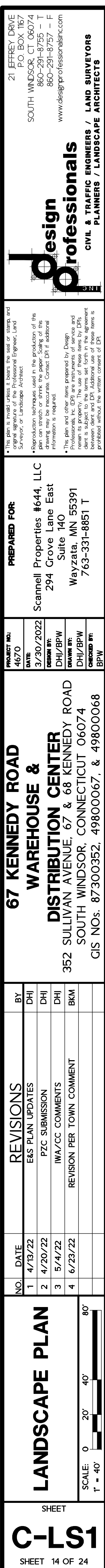


N.T.S.



- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT

APPLICANT:
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QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES				
90	Acer rubrum	Red Maple	4'-6' ht.	10' O.C.
90	Nyssa sylvatica	Black Gum	4'-6' ht.	10' O.C.
90	Quercus palustris	Pin Oak	4'-6' ht.	10' O.C.
SHRUBS				
51	Cornus amomum	Silky Dogwood	3'-4' sp.	5' O.C.
51	Ilex verticillata	Winterberry	3'-4' sp.	5' O.C. (1 MALE PER GROUPING)
51	Viburnum dentatum	Northern Arrowwood	3'-4' sp.	5' O.C.

1. ALL CONSTRUCTION EQUIPMENT UTILIZED IN THIS AREA SHALL MINIMIZE COMPACTION AS MUCH AS POSSIBLE.

2. EXCAVATE AREA TO A DEPTH 12" BELOW FINISH GRADE WITH TOPSOIL STOCKPILED BEYOND THE LIMITS OF WETLANDS.

3. TECHNICALLY MIX TOPSOIL WITH A MINIMUM 30% ORGANIC CONTENT SOURCE OF THE WETLANDS CREATION AREA. USE TOPSOIL FROM WETLANDS TO BE DISTURBED.

4. TOPSOIL ORGANIC SOIL MIXTURE IN WETLANDS CREATION AREA TO A MINIMUM DEPTH OF 12". NO FERTILIZER OR LIMESHALL BE APPLIED.

5. PLANTS TO BE PLACED IN FIELD WITH SPACING AS SPECIFIED. EVENLY DISTRIBUTE ALL SPECIES THROUGHOUT ENTIRE PLANTING AREA.

6. PLANT AND DISTRIBUTE PLANTS TO SIMULATE NATURAL ECOLOGICAL COMMUNITIES.

7. ORDERED BY: WETLANDS CREATION AREA

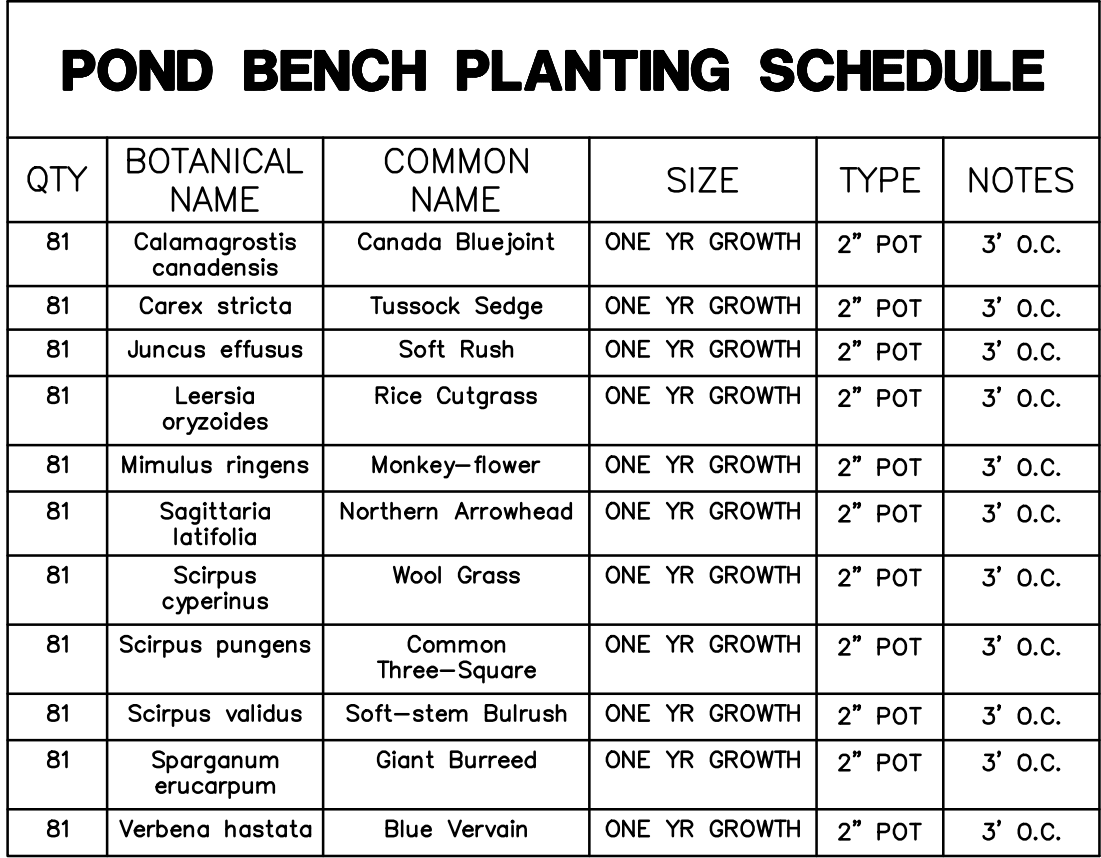
8. OBL WETLAND MIX (ERNK13-B3)

By Ernst Conservation Seeds, 9006 Mercator Place, Meadville, PA 16335, (800) 879-8731
APPLICATION RATE: 050 LBS PER 1,000 SQ. FT., 20 LBS PER ACRE

9. COVER WITH WHEED-FREE STRAW MULCH OR APPROVED EQUIVALENT.

10. COVER AND MAINTAIN PER MANUFACTURER'S INSTRUCTIONS.

11. GRADES BETWEEN THE WETLAND RESTORATION / CREATION AREA AND THE EXISTING WETLANDS SHALL BE ADJUSTED IN FIELD TO ENSURE SURFACE HYDROLOGY CONNECTIVITY. THE PROJECT WETLAND SCIENTIST SHALL ENSURE SURFACE HYDROLOGY CONNECTIVITY.



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1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY
3. REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

67 KENNEDY ROAD

WAREHOUSE & DISTRIBUTION CENTER

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOS: 87300352, 49800067, & 49800068

PROJECT NO:

412/0

3/30/2022

DH/BPW

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PREPARED FOR:

Scannell Properties #644, LLC

294 Grove Lane East, Suite 140

Wayzata, MN 55391

763-731-8851 T

21 EFFREY DRIVE
P.O. BOX 1867
SOUTH WINDSOR, CT 06074
860-291-8727
www.designprofessionals.com

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LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE RECEIVED FOUR (4) INCHES OF TOPSOIL, SOIL ADJUSTMENTS AND MULCH, WATER AND MAINTAIN LAND AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK," PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES, FIBROUS ROOT SYSTEMS, PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED LEAF OR NEEDLE COVER.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DEPTH TO ENCOMPASS THE FIBROUS ROOT SYSTEM. SUBSTITUTION OF PLANTS IS NECESSARY FOR FULL RECOVERY OF PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK," CRACKED OR MUDDERED BALLS ARE NOT ACCEPTABLE. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM, 1" THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT.
- CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TOGETHER, FIRM AND WHOLE.
- CONTAINER STOCK SHALL NOT BE POT DOUND.
- CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO MAINTAIN PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEATHS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED PLANTING TIMES. PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. SPECIAL CONDITIONS TO REQUIRE PLANTING OUTSIDE OF THE ABOVE SPECIFIED DATES: THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS, IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF UNAVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
- ROOT TYPES: PLANTS MUST BE PLANTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES FOR A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
 - BARK MULCH/COMPOST 40-45%
 - TOPSOIL 55%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL ADJUSTMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- ALL AREAS OF THE SITE MUST BE FERTILIZED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MINIMUM OF 60% OXIDE (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- CONTRACTOR RESPONSIBLE TO OBTAIN FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR RESPONSIBLE TO OBTAIN MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER, STORE IN PLANTER TO PREVENT WETTING AND DETEIORATION.
- DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, ARBES AND PERENNIALS SHALL BE INSTALLED AT 18" O.C. UNLESS NOTED OTHERWISE. NO PLANT, EXCEPT GRASS COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRAIGHT, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MATERIALS TO BE SHIPPED WITH CERTIFICATES OF ANALYSIS FOR FERTILIZER MATERIALS, MOVING AND STORAGE OF PLANT MATERIALS. CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKSMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTIRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DESICCATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY.
- PLANTING PROCEDURES: PLANTS SHALL BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MATERIALS TO BE SHIPPED WITH CERTIFICATES OF ANALYSIS FOR FERTILIZER MATERIALS, MOVING AND STORAGE OF PLANT MATERIALS. CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKSMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL DISCREPANCIES OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- STOCKING: PLANTS SHALL BE STOCKED AT A MINIMUM OF 12" INCHES FROM THE TRUNK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST. SHRUBS AND SPRAWL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTIRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES. HERBICIDE TO BE APPLIED TO TRANSPORTATION, FIELD AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS NECESSARY.
- REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
- CUT BRANCHES: PLANTS TO BE CENTERED IN THE CENTER OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
- PRUNE NEEDLE LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
- ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
- MULCH TO BE APPLIED AS FOLLOWS:
 - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
 - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH 50MM AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
 - BARK BARKS: MULCH TO BE APPLIED TO A UNIFORM DEPTH OF 2 INCHES.
 - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN THICKNESS, FREE OF MOISTURE, AND FREE OF DISEASE.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS.
 - MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
 - RESET SETTLED PLANTS TO PROPER SAUCER AND POSITION. SAUCERS AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
 - CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
 - WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL DRAINAGE DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
 - REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF WARRANTY, SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
 - LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL CALL BEFORE YOU DIG 1-800-422-4465 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
 - CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
 - CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
 - ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRADED OR LANDSCAPED. GRADING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
 - TOPSOIL SHALL NOT BE SPREAD UNDER PROTECTIVE OR TUDDY CONDITIONS.
 - THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
 - BULGARIAN BLUEGRASS (3 VARIETIES) 50% OF MIXTURE
 - CHESTNUT RED FESCUE 30% OF MIXTURE
 - PERENNIAL RYEGRASS 20% OF MIXTURE
 - APPLICATION RATE: 4.50 LBS PER 1000 S.F.
- SEEDING MIXTURE TYPE II (BASIN SLOPES):
 - RETENTION BASIN WILDLIFE MIX - ERNPKX-127
 - BY Ernst Conservation Seeds, 9006 Mercer Pike, Heidelberg, PA 16335 (800) 873-3531
 - APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- SEEDING MIXTURE TYPE III (NETLAND CREATION/RESTORATION AREAS):
 - SEL WETLAND MIX
 - BY Ernst Conservation Seeds, 9006 Mercer Pike, Heidelberg, PA 16335 (800) 873-3531
 - APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- SEEDING MIXTURE TYPE IV:
 - SHOXT NORTHEAST NATIVE WILDOFLOWER MIX - ERNPKX-153-1
 - BY Ernst Conservation Seeds, 9006 Mercer Pike, Heidelberg, PA 16335 (800) 873-3531
 - APPLICATION RATE: 0.50 LBS PER 1,000 S.F.
- BASIN SIDE SLOPES SHALL HAVE A MINIMUM OF 4" OF "CRACKED" TOPSOIL UNLESS OTHERWISE NOTED.
- SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.
- SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING. ADD AN ADDITIONAL 1/2" TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUAL TO COMBED 2000 AND APPLIED AT THE RATE OF 1400 LBS PER ACRE.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

WETLAND MITIGATION NOTES:

WETLAND MITIGATION GOALS

- COMPENSATE FOR THE LOSS WETLAND AREA BY PROVIDING A COMPREHENSIVE WETLAND MITIGATION PLAN THAT INCLUDES CREATING A NEW WETLAND AREA, RESTORING A PREVIOUSLY LOST WETLAND AREA, OR PROVIDING A COMPREHENSIVE WETLAND MITIGATION PLAN THAT ENCOMPASSES BOTH AREAS AND FORESTED UPLAND BUFFER AREAS WHICH WILL PROVIDE HIGHER FUNCTIONS AND VALUES THAN THAT PROVIDED BY THE TOW HIGHEST WETLANDS BEING IMPACTED.
- LOCATE WETLAND MITIGATION AREAS ADJACENT TO EXISTING WETLANDS TO ENSURE WETLAND HYDROLOGY CAN BE DEVELOPED WITHIN MITIGATION AREAS AND PROVIDE ECOLOGICAL CONNECTIVITY TO EXISTING WETLAND SYSTEM LOCATED IN THE NORTHERN PORTION OF THE PROJECT SITE.
- PLANT WETLAND MITIGATION AREAS WITH A SUFFICIENT DENSITY AND DIVERSITY OF NATIVE PLANTS, WITH A FOCUS OF CREATING A FORESTED WETLAND COVER TYPE TO COMPENSATE FOR IMPACTED FORESTED WETLANDS, PROVIDING ENHANCED FUNCTIONS AND VALUES WITH A PARTICULAR FOCUS ON ENHANCING WILDLIFE HABITAT FUNCTION.

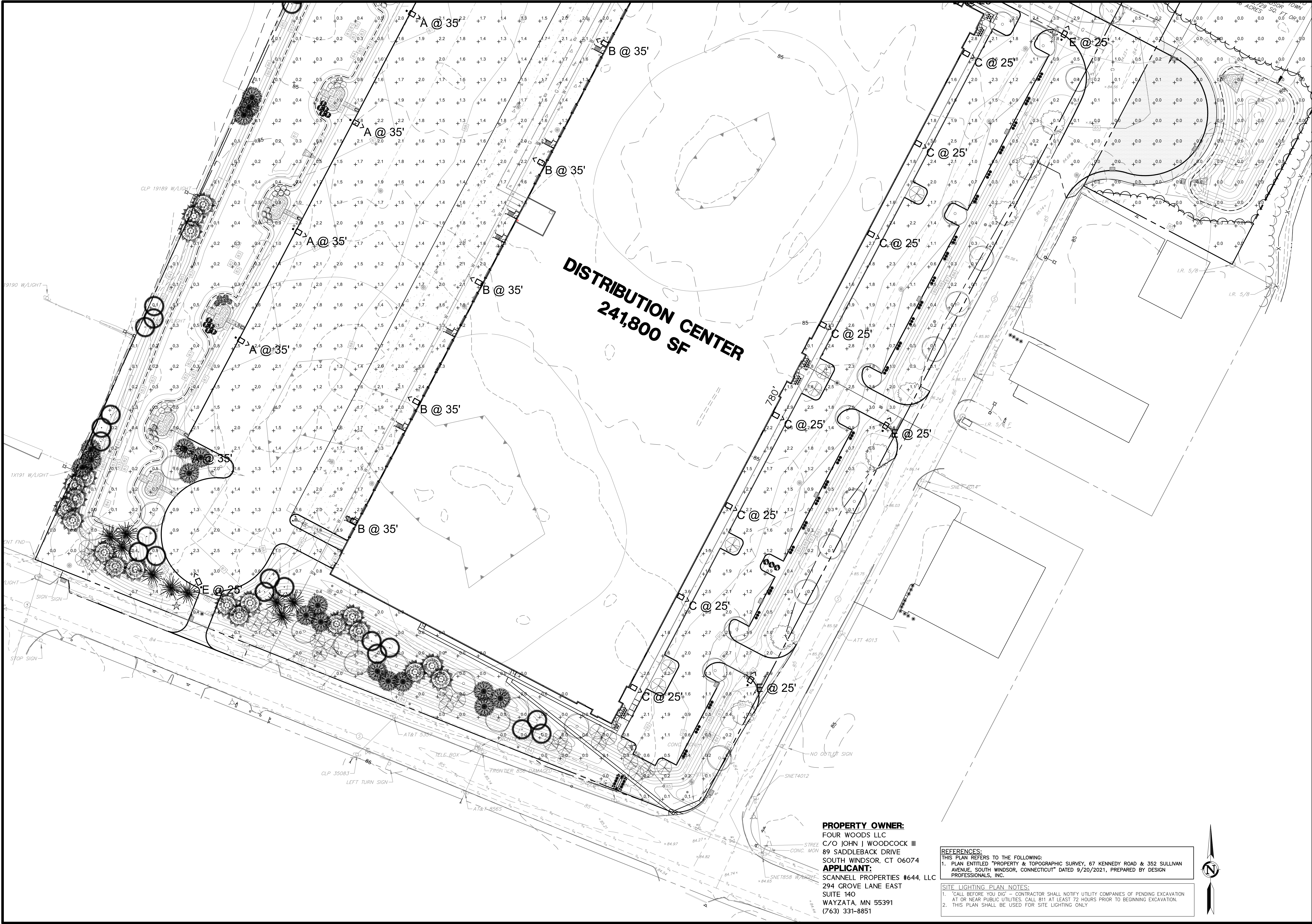
GENERAL MITIGATION NOTES

- THE PROJECT WETLAND SCIENTIST WITH EXPERTISE IN WETLAND CREATION, RESTORATION AND ENHANCEMENT WILL SUPERVISE ALL ELEMENTS OF THE MITIGATION PLAN.
- PLASTIC MESH SLEEVES, TREE SHELTERS AND DEER REPELLANTS WILL BE USED AS NECESSARY TO PROTECT PLANTED TREES AND SHRUBS FROM EXCESSIVE DEER DAMAGE. PLANTS WITH EXCESSIVE DAMAGE WILL BE REPLACED.
- A PRE-CONSTRUCTION MEETING WILL BE HELD ON SITE BETWEEN THE PROJECT WETLAND SCIENTIST AND CONTRACTOR(S) PERFORMING ALL ASPECTS OF THE WETLAND MITIGATION PLAN (E.G., WETLAND CREATION, WETLAND RESTORATION, ETC.). THE PRIMARY INTENT OF THE PRE-CONSTRUCTION MEETING IS TO DISCUSS THE WETLAND CREATION PLAN AND WILDLIFE HABITAT VALUE. PROPOSED SOIL DISTURBANCES DURING CONSTRUCTION PROVIDE AN OPPORTUNITY FOR INVASIVE PLANTS TO GAIN A FOOTHOLD AND SPREAD INTO THE WETLANDS. THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER SHALL BE PROVIDED NOTICE OF THIS MEETING A MINIMUM OF 3 BUSINESS DAYS PRIOR TO THE MEETING WITH AN INVITATION TO ATTEND.
- THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF ANY PHASE OF THE MITIGATION PROJECT.

PROPOSED WETLAND CREATION AND RESTORATION AREAS

- THE WETLAND CREATION AND RESTORATION AREAS, COLLECTIVELY REFERRED TO AS WETLAND MITIGATION AREAS, ARE PROPOSED IN CLOSE PROXIMITY TO EXISTING WETLANDS TO THE NORTH AND WEST, WITHIN THE NORTHERN PORTION OF THE PROJECT SITE THAT IS CURRENTLY DOMINATED BY MODERATELY WELL DRAINED SANDY GLACIOFLUVIAL (OUTWASH) SOILS. THE WETLAND CREATION AND RESTORATION AREAS WILL INCLUDE FORESTED, SCRUB/SHRUB, AND EMERGENT COVER TYPES TO PROMOTE A DIVERSE VARIETY OF WETLAND HABITATS THAT WILL SUPPORT SEVERAL WETLAND FUNCTIONS AND VALUES AT PRINCIPAL OR SECONDARY LEVELS. CONSTRUCTION OF THE WETLAND CREATION AND RESTORATION AREAS HAS BEEN DESIGNED TO MINIMIZE EROSION, PREVENT SEDIMENT FROM ENTERING ADJACENT WETLANDS, AND TO MAXIMIZE THE ESTABLISHMENT OF PLANTED NATIVE VEGETATION. THIS OVERALL MITIGATION AREA WILL PROVIDE SIGNIFICANTLY HIGHER WETLAND FUNCTIONS AND VALUES THAN THE TWO ISOLATED WETLANDS PROPOSED TO BE IMPROVED. THIS WETLAND MITIGATION PLAN HAS BEEN DEVELOPED UTILIZING CERTAIN ASPECTS CONTAINED WITHIN THE U.S. ARMY CORPS OF ENGINEERS NEW ENGLAND DISTRICT COMPENSATORY MITIGATION STANDARD OPERATING PROCEDURES (DECEMBER 20, 2020) AS GUIDANCE. THE WETLAND CREATION AND RESTORATION AREAS WILL BE CONSTRUCTED PER THE FOLLOWING:
- PRIOR TO ANY EARTHWORK, A SILT FENCE AND/OR COMPOST FILTER SOCK EROSION CONTROL BARRIER WILL BE INSTALLED BETWEEN THE EXISTING WETLAND AND PROPOSED WETLAND CREATION AREA.
- THE PROJECT WETLAND SCIENTIST SHALL BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF SEVEN (7) BUSINESS DAYS PRIOR TO ANY PHASE OF THE MITIGATION PROJECT INCLUDING EXCAVATION, TRANSFER AND/OR REMOVAL OF EROSION CONTROLS AND AGAIN BEFORE THE COMMENCEMENT OF EXCAVATION WORK.
- THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE INSTALLATION OF EROSION CONTROLS AND AGAIN BEFORE THE COMMENCEMENT OF EXCAVATION WORK.
- MATURE TREES IMMEDIATELY ADJACENT TO THE WETLAND CREATION AREA WHICH ARE AT OR NEAR THE FINAL DESIGN ELEVATIONS OF THE AREA, WILL BE IDENTIFIED AND PRESERVED (WHERE POSSIBLE). IN ADDITION, SELECT MATURE MATRE TREES WITHIN THE INTERIOR OF THE WETLAND CREATION AREA WILL BE IDENTIFIED AND PRESERVED TO RETAIN SOME EXISTING OVERSTORY FOREST COVER.
- LARGER DBH RED MAPLE TREES WITHIN THE TWO IMPACTED ISOLATED WETLANDS WILL BE SELECTED FOR REUSE IN THE WETLAND CREATION AND RESTORATION AREAS AS RED MAPLES ARE ADEPT AT RESPRUTING. SELECTED RED MAPLE TREES WILL BE CUT WITH A 4 FOOT STUMP RETAINED AND EXCAVATED TO INCLUDE SOME OF THE ROOT BALL. RED MAPLE STUMPS WILL BE PLANT WITHIN THE WETLAND CREATION AND RESTORATION AREAS.

- WETLAND TOPSOIL FROM THE TWO IMPACTED ISOLATED WETLANDS WILL BE REMOVED, SEGREGATED AND STOCKPILED IN THE WETLAND CREATION AREA OR USE IN THE WETLAND CREATION AREA. STOCKPILED WETLAND TOPSOIL SHALL NOT BE SCREENED SO IT RETAINS ROOT MATTER AND SEED STOCK OF NATIVE WETLAND PLANT SPECIES THAT WILL AID IN NATURALLY ATTENUATING THE WETLAND CREATION AREA WITH NATIVE VEGETATION.
- AS THE WETLAND CREATION AREA CONSISTS OF NATIVE MODERATELY WELL DRAINED SANDY GLACIOFLUVIAL SOILS WITH A LOW TEXTURAL CLAY CONTENT, THE EXCAVATED TOPSOIL SHALL BE RETAINED FOR REUSE IN THE WETLAND CREATION AREA FOLLOWING ORGANIC MATTER ADJUSTMENTS AS NECESSARY. TO REPLACE WETLAND TOPSOIL, APPROXIMATELY 1 TO 2 FEET OF SANDY SUBSOIL WILL BE REMOVED IN ORDER TO INTERCEPT THE LOCAL SEASONAL HIGH GROUNDWATER TABLE AND CREATE VARIOUS LEVELS OF WETLAND HYDROLOGY. WETLAND TOPSOIL SHALL BE STOCKPILED IN THE WETLAND CREATION AREA. THE EXCAVATED TOPSOIL SHALL BE RETAINED FOR REUSE IN THE WETLAND CREATION AREA FOLLOWING ORGANIC MATTER ADJUSTMENTS AS NECESSARY. TO REPLACE WETLAND TOPSOIL, APPROXIMATELY 1 TO 2 FEET OF SANDY SUBSOIL WILL BE REMOVED IN ORDER TO INTERCEPT THE LOCAL SEASONAL HIGH GROUNDWATER TABLE AND CREATE VARIOUS LEVELS OF WETLAND HYDROLOGY. WETLAND TOPSOIL SHALL BE STOCKPILED IN THE WETLAND CREATION AREA. 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PROPERTY OWNER:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LIGHTING PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY.



SITE LIGHTING PLAN

NO.	DATE	REVISIONS	BY
1	4/18/22	EAS PLAN UPDATES	DHJ
2	4/20/22	P2C SUBMISSION	DHJ
3	5/4/22	IMV/CC COMMENTS	DHJ
4	6/23/22	REVISION PER TOWN COMMENT	BMK

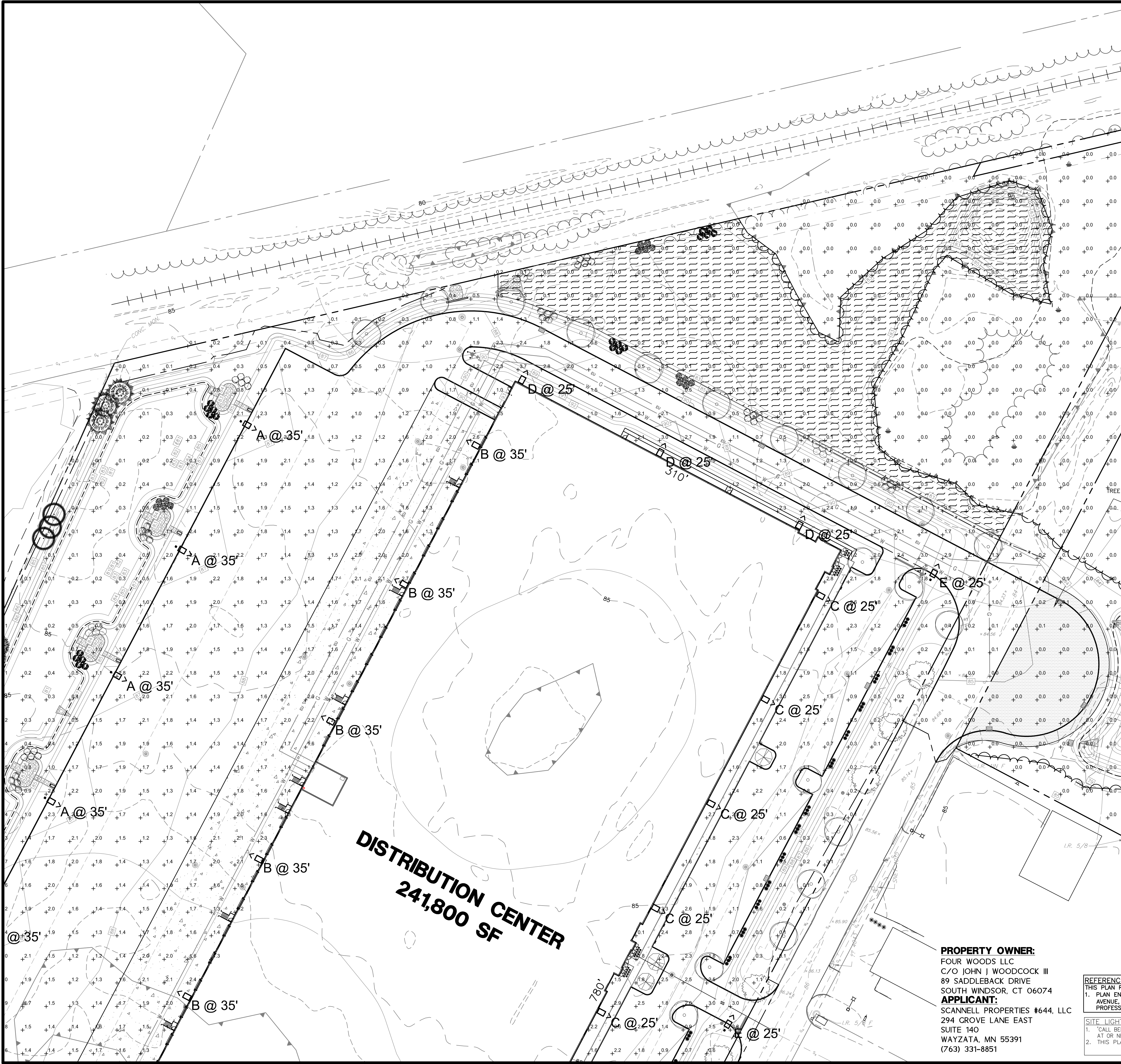
**67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER**
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOs: 87300352, 49800067, & 49800068

PROJECT NO.
4670
DATE
3/30/2022
DESIGN BY
DHJ/BRW
REVIEW BY
BRW
DATE
6/23/22

PREPARED FOR:
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS
21 JEFFREY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8737 - F
www.designprofessionalsinc.com

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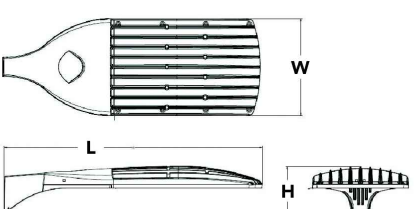
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	LLF	Wattage	Notes
	A	6	Lithonia Lighting	DSX2 LED P3 40K TFM	DSX2 LED P3 40K TFM MVOLT	0.91	217	Pole Mount
	B	6	Lithonia Lighting	DSX2 LED P3 40K TFM	DSX2 LED P3 40K TFM MVOLT	0.91	217	Wall Mount
	C	8	Lithonia Lighting	DSX2 LED P1 40K TFM	DSX2 LED P1 40K TFM MVOLT	0.91	140	Wall Mount
	D	3	Lithonia Lighting	DSX2 LED P1 40K TFM	DSX2 LED P1 40K TFM MVOLT	0.91	140	Wall Mount
	E	4	Lithonia Lighting	DSX2 LED P1 40K TFM	DSX2 LED P1 40K TFM MVOLT	0.91	140	Pole Mount

Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
Calc Zone #1	+	0.7 fd	3.9 fd	0.0 fd	N/A

- SITE LIGHTING NOTES:
- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER. CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
 - MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
 - LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
 - ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
 - LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
 - INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



D-Series Size 2 LED Area Luminaire



Specifications

EPK: 11.5 ft
40"
(10.4 ft)

Length: 11.5 ft
(10.4 ft)

Width: 11.5 ft
(10.4 ft)

Height: 7.1 ft
(6.8 ft)

Weight (each): 36 lbs
(16.3 kg)

Capable Luminaire

This luminaire is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL controls marked by a **shaded background**. DTL DLI equipped luminaires meet the A+ specification for luminaire to photocell interoperability.
- This luminaire is part of an A+ Certified solution for ROAM or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit www.acuitybrands.com/aaplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to ROAM Link to DTL DLI](#).

Ordering Information				EXAMPLE: DSX2 LED P7 T3M MVOLT SPA DB8XD	
Series	LEDs	Color Temperature	Configuration	Value	Options
DSX2 LED	Forward optics	35K	4000K	T35	Type I Short
		40K	4000K	T35	Type I Short
		50K	5000K	T35	Type I Short
		50K	5000K	T35	Type I Short
	Retro-reflective optics	35K	4000K	T35	Type I Short
		40K	4000K	T35	Type I Short
		50K	5000K	T35	Type I Short
		50K	5000K	T35	Type I Short
	Shaded optics	35K	4000K	T35	Type I Short
		40K	4000K	T35	Type I Short
DSX2 LED	Forward optics	35K	4000K	T35	Type I Short
		40K	4000K	T35	Type I Short
		50K	5000K	T35	Type I Short
		50K	5000K	T35	Type I Short
	Retro-reflective optics	35K	4000K	T35	Type I Short
		40K	4000K	T35	Type I Short
		50K	5000K	T35	Type I Short
		50K	5000K	T35	Type I Short
	Shaded optics	35K	4000K	T35	Type I Short
		40K	4000K	T35	Type I Short

































1. At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2. All work shall comply with all requirements specified in the latest edition of the Buckeye Partner, L.P., and Affiliates "Right-of-Way Use Restrictions Specification." Contractor shall be solely responsible for compliance, including any notification requirements for work within the vicinity of the gas pipeline within the railroad right-of-way.
3. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
4. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
5. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
6. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
7. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
8. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
9. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/details, door access, and exterior grading. Contractor must immediately notify the Engineer in writing if there are any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
10. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. The contractor shall obtain all permits and approvals shall be obtained in site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
11. The contractor is responsible for independently verifying all existing onsite utility locations within the limits of the project activities. The contractor shall verify all underground utility, structure and facility locations depicted and noted on the plans have been complied, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
12. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
13. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
14. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
15. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No compensation will be paid for any conflict or for work which has to be redone or repaired or site to dimensions or grades shown incorrectly on the plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
16. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site design, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
17. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetlands commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
18. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
19. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.

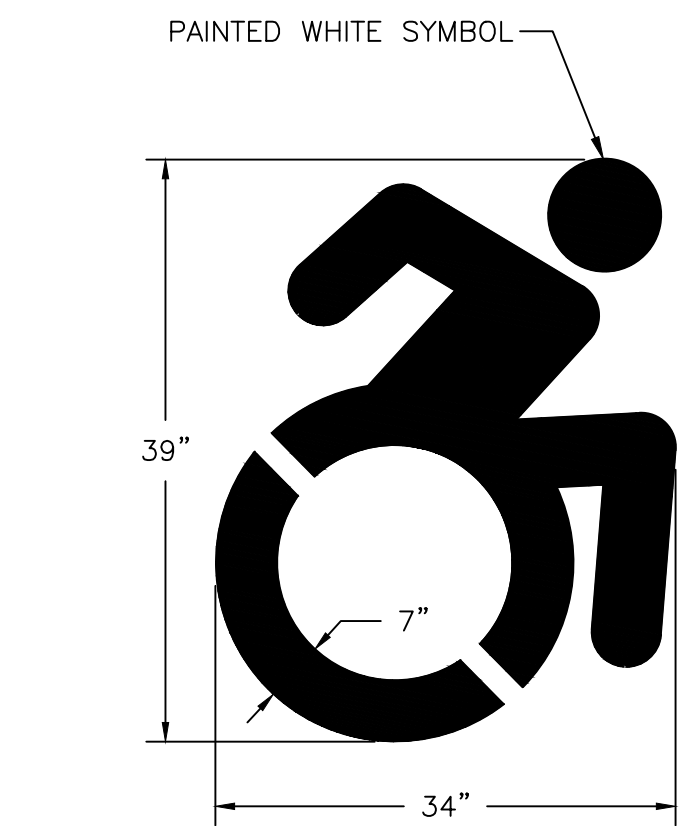
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the effected end users to minimize impact and service interruption.
21. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
22. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
23. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
24. The contractor is responsible for preventing movement, settlement, damage or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
25. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
26. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
27. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
28. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
29. All earthwork activities must be performed in accordance with these plans and specifications and recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereof. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
30. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curbs, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
31. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
32. The tops of existing manholes, inlet structures, and sanitary cleantop tops must be adjusted as necessary, to match proposed grades.
33. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
34. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
- Reinforced Concrete pipe (RCP) shall meet the requirements of ASHTO M 170 Class IV with slit tight joints.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for slit tight joints.
- Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
35. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
36. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
37. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
38. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.

- Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DI) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the water service application.
40. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
41. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
42. For single and multi-family residential projects, spot elevations (s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be established based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
43. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
44. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
45. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
46. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
47. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
48. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
49. The contractor shall install and/or construct all aspects of the project in strict conformance with and accordance with manufacturer's written installation standards, recommendations and specifications.

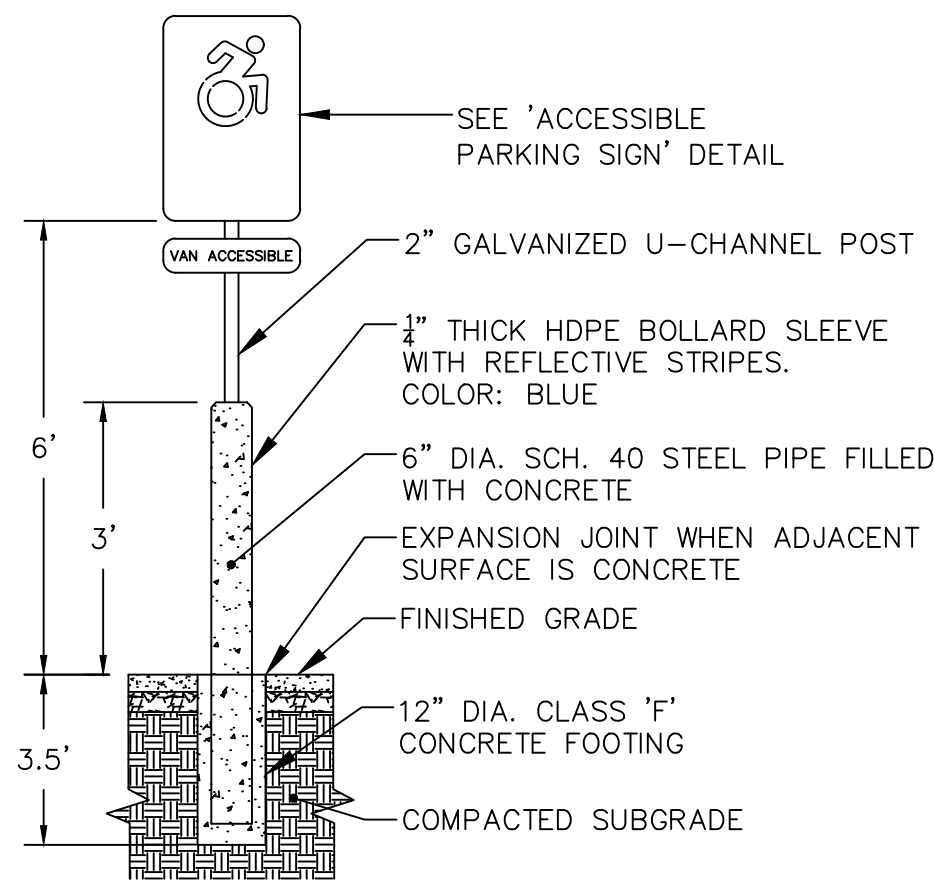
The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
	BORING / TEST PIT LOCATION	
COMMUNICATION		
— — — — C _x — — — — C _x — —	UNDERGROUND COMMUNICATION LINES	— — — — C — — — —
DOMESTIC WATER		
— — — — W _x — — — — W _x — —	WATER MAIN	— — — — W — — — —
— — — — WS _x — — — —	WATER SERVICE	— — — — WS — — — —
— — — — F _x — — — — F _x — —	FIRE SERVICE LINE	— — — — f — — — —
— — — — NPW _x — — — —	NON-POTABLE WATER LINE	— — — — NPW — — — —
 	WATER VALVE / FIXTURES	 
	FIRE HYDRANT	
LIQUID FUEL		
— — — — LF _x — — — —	MAIN LIQUID FUEL LINE	— — — — LF — — — —
— — — — LFS _x — — — —	LIQUID FUEL SERVICE LINE	— — — — LFS — — — —
— — — — LF ₀ — — — —	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
— — — — I _x — — — — I _x — —	IRRIGATION LINES	— — — — I — — — —
LIGHTING		
 / 	POLE / GROUND MOUNTED LIGHT	 / 
NATURAL GAS		
— — — — G _x — — — — G _x — —	GAS MAIN	— — — — G — — — —
— — — — GS _x — — — —	GAS SERVICE LINE	— — — — GS — — — —
POWER		
— — — — EO _x — — — —	ELECTRICAL LINES, OVERHEAD	— — — — EO — — — —
— — — — EU _x — — — —	ELECTRICAL LINES, UNDERGROUND	— — — — EU — — — —
	UTILITY POLE	
PROPERTY		
— — — — — — — — — —	PROPERTY LINE	— — — — — — — — — —
— — — — — — — — — —	EASEMENT LINE	— — — — — — — — — —
	IRON PIPE	
	IRON ROD	
	MONUMENT	
ROADS		
— — — — R — — — — R — — — —	GUARD RAIL	 
EROSION CONTROL		
— — — — — — — — — —	SILT FENCE	— — — — SF — — — —
SITE FEATURES		
— — — — — — — — — —	4" DOUBLE SOLID YELLOW LINE	— — — — DSYL — — — —
— — — — — — — — — —	4" SINGLE SOLID WHITE LINE	— — — — SSWL — — — —
— — — — — — — — — —	BIT. CONC. LIP CURB	— — — — BCCL — — — —
— — — — — — — — — —	PRECAST CONCRETE CURB	— — — — PCC — — — —
SANITARY SEWER		
— — — — S _x — — — — S _x — —	SANITARY SEWER MAIN	— — — — S — — — —
— — — — SS _x — — — — SS _x — —	SANITARY SEWER SERVICE LINE	— — — — SS — — — —
	SANITARY SEWER MANHOLE	
STORM SEWER		
— — — — — — — — — —	STORM DRAIN PIPE	— — — — — — — — — —
— — — — RL _x — — — — RL _x — —	ROOF LEADER	— — — — RL — — — —
— — — — UD — — — — UD — —	UNDERDRAIN	— — — — UD — — — — UD — —
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
— — — — 95 — — — —	CONTOUR	— — — — 95 — — — —
— — — — X61.95 — — — —	SPOT ELEVATION	 95
OTHER		
— — — — — — — — — —	RAMP	— — — — R — — — —
— — — — — — — — — —	LANDSCAPE AREA	— — — — LSA — — — —

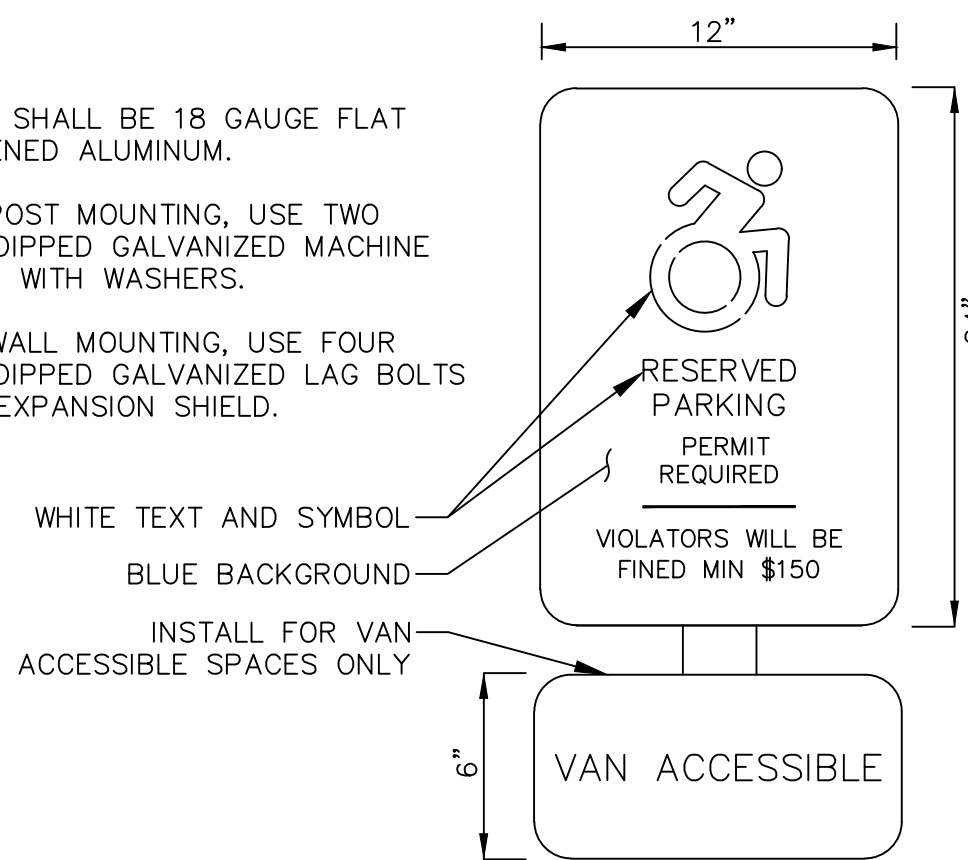


Not to Scale

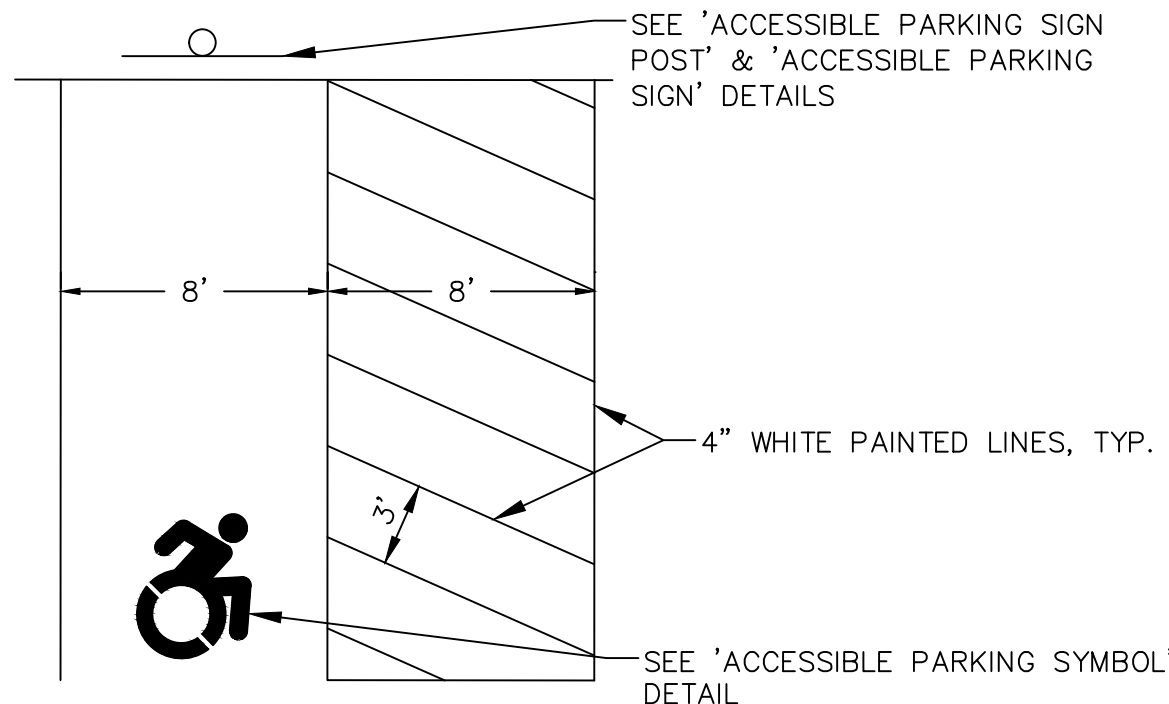


Not to Scale

1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.
3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



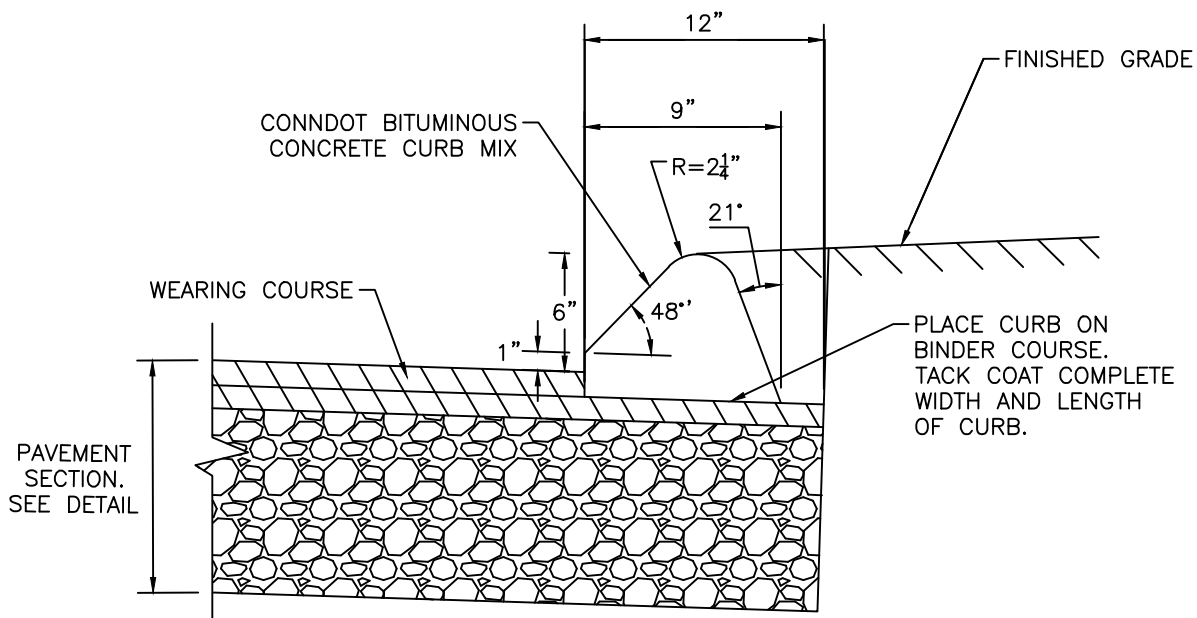
Not to Scale



1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

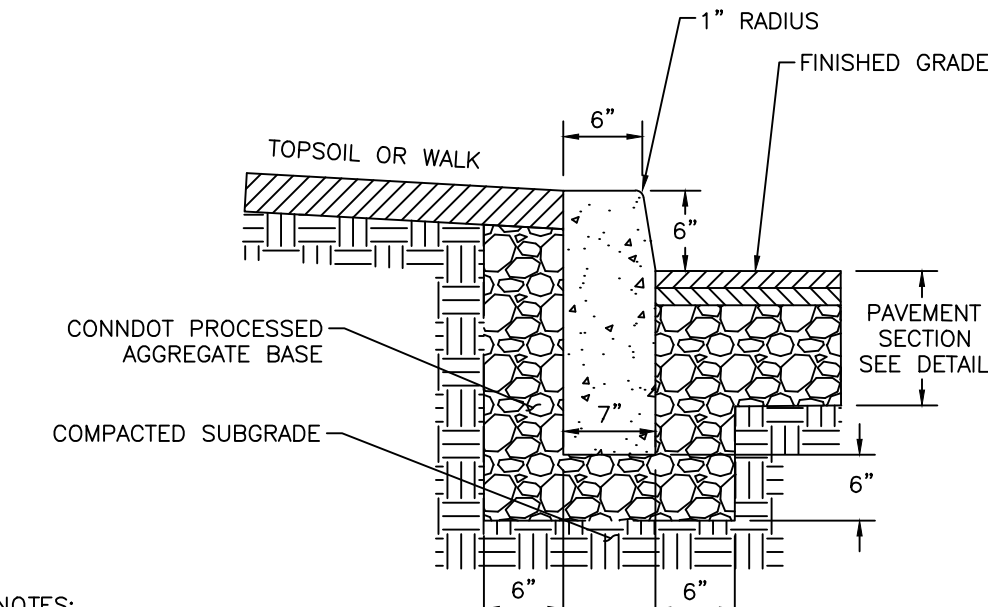
Not to Scale

PROPERTY OWNER:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851



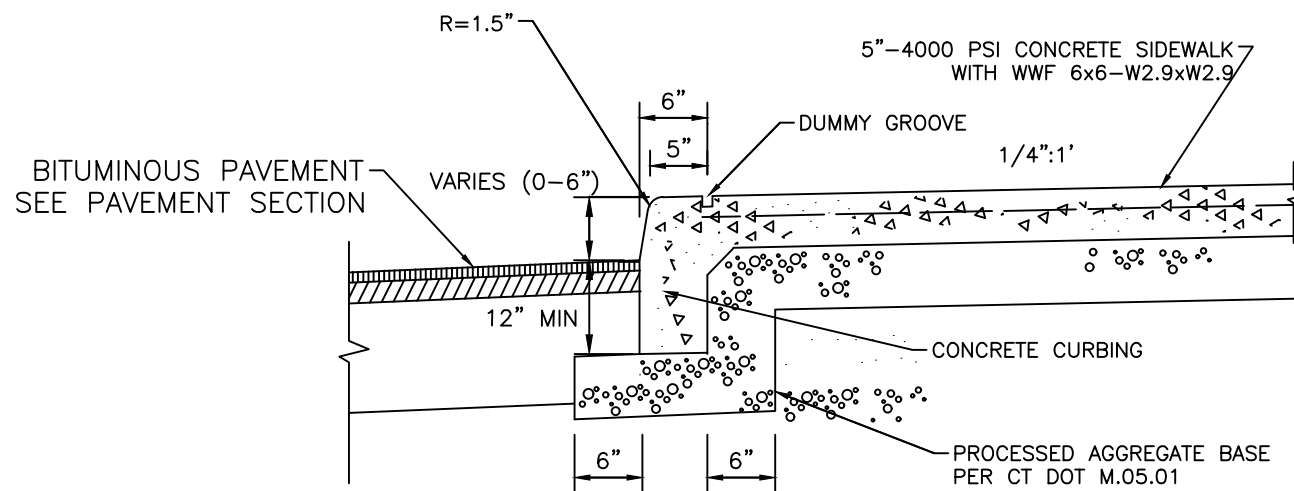
NOTE:
BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CONNDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

1 BITUMINOUS CONCRETE LIP CURB Not to Scale



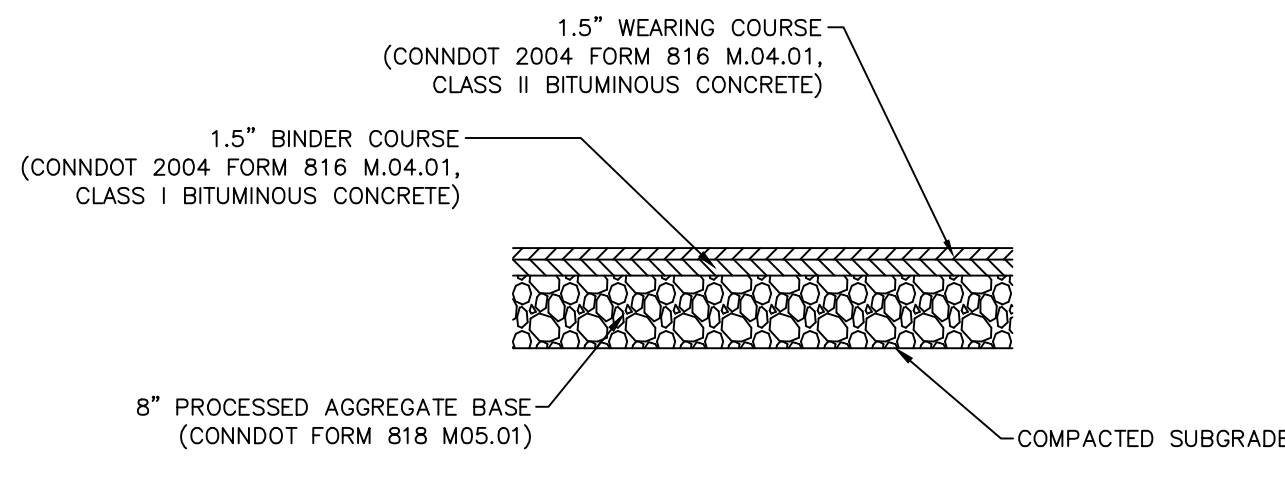
NOTES:
1. ALL CONCRETE SHALL BE CONNDOT CLASS 'F' OR EQUIVALENT.
2. THE END OF CURB SECTIONS SHALL BE CHAMFERED $\frac{1}{4}$ ".
3. CURB, CURB CORNERS OR EDGING SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.
4. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.
5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF 20 FEET ON CENTER USING PREFORMED EXPANSIONS JOINT FILLER HAVING A THICKNESS OF $\frac{1}{2}$ ".
6. WHEN ABUTTING CONCRETE WALKS, INSTALL PREFORMED EXPANSIONS JOINT FILLER HAVING A THICKNESS OF $\frac{1}{2}$ " ALONG LENGTH OF WALK.
7. CONCRETE CURBING SHALL BE INSTALLED PER CONNDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

2 PRECAST CONCRETE CURB Not to Scale



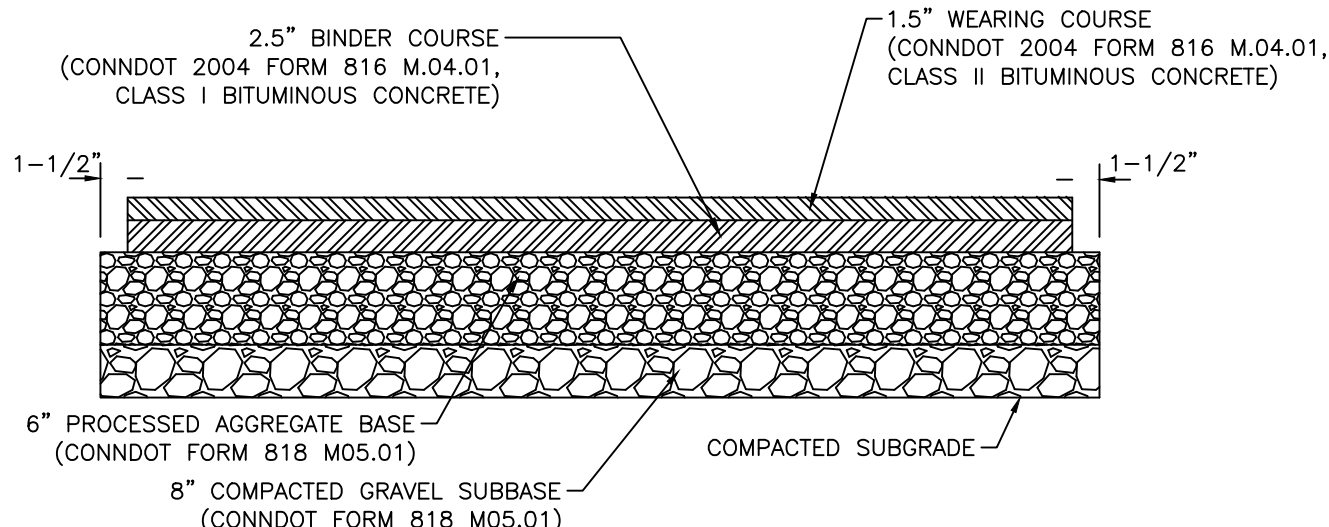
NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH

3 MONOLITHIC CONCRETE WALK AND CURB Not to Scale



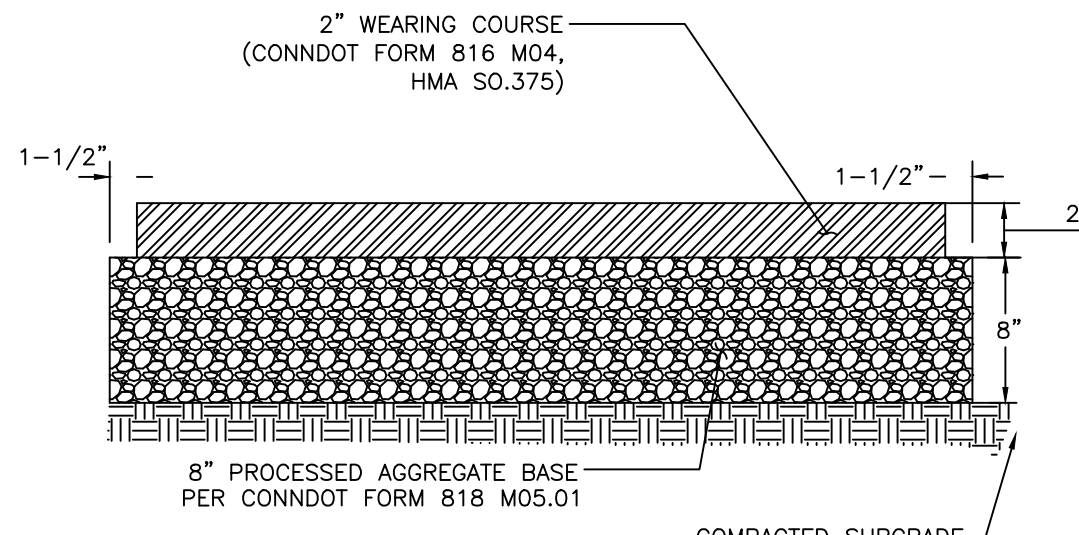
NOTES:
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

4 BITUMINOUS CONCRETE STANDARD DUTY PAVEMENT Not to Scale



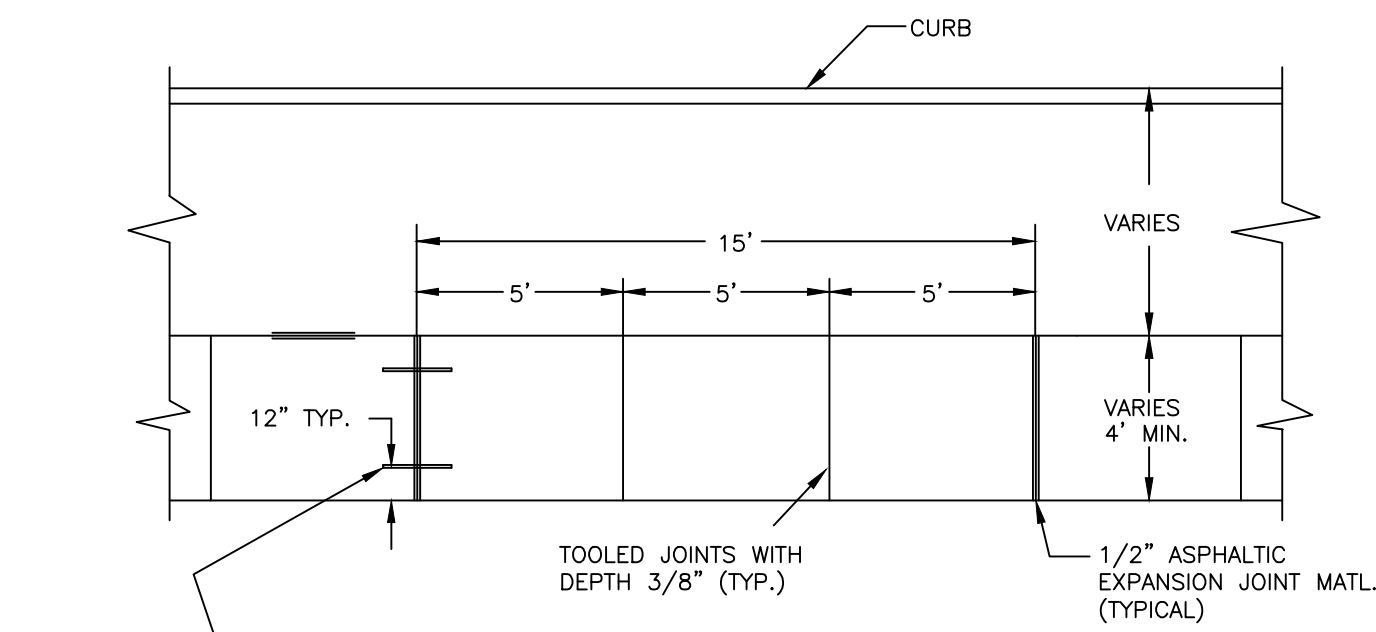
NOTES:
1. HEAVY DUTY PAVEMENT AREA NOTED ON SITE PLAN. ALL OTHER PAVEMENT AREAS TO BE STANDARD DUTY.
2. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

5 BITUMINOUS CONCRETE HEAVY DUTY PAVEMENT Not to Scale

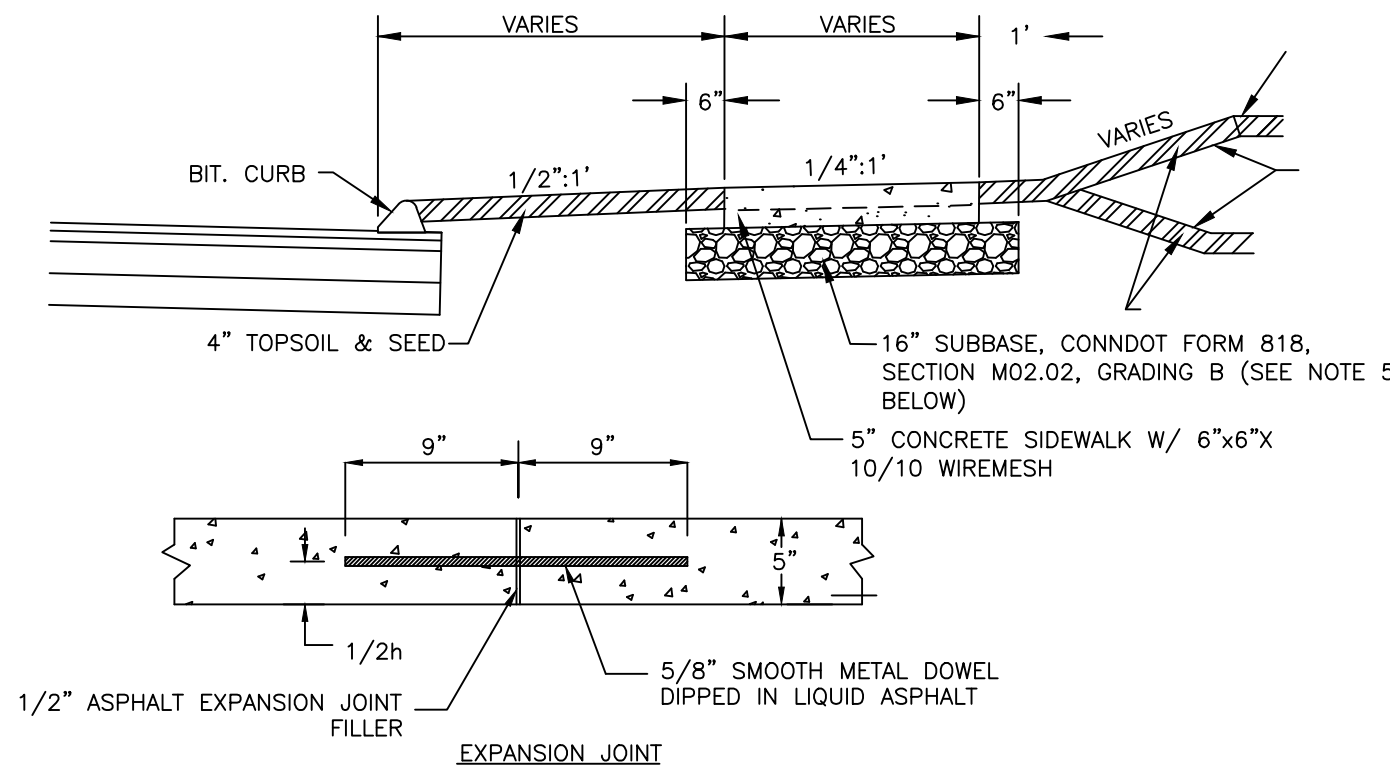


NOTES:
1. SEE SHEET SITE PLANS FOR LAYOUT AND DIMENSIONS.
2. FOR WET SUBGRADE CONDITIONS THERE MAY BE A REQUIREMENT TO PLACE AN INITIAL 10+\"/>

6 BITUMINOUS CONCRETE SIDEWALK Not to Scale

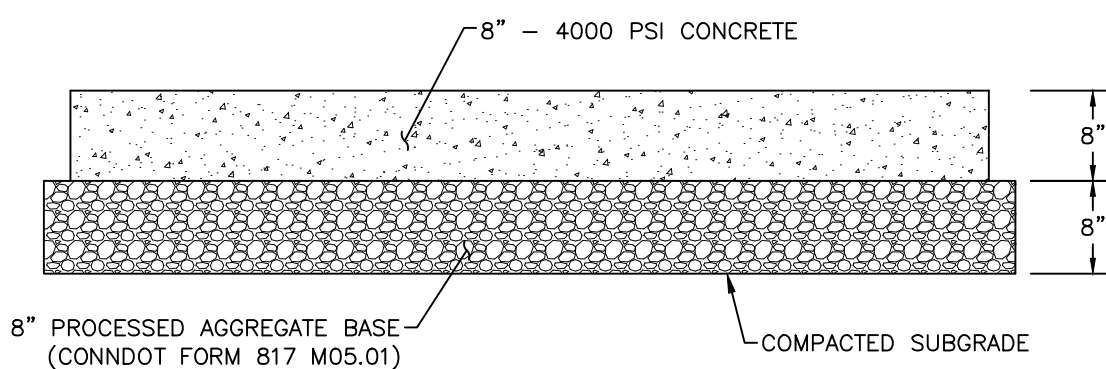


NOTE: DOWELS SHALL BE PLACED AT CONSTRUCTION JOINTS AND WHERE NEW CONCRETE MEETS EXISTING CONCRETE (SEE DETAIL).



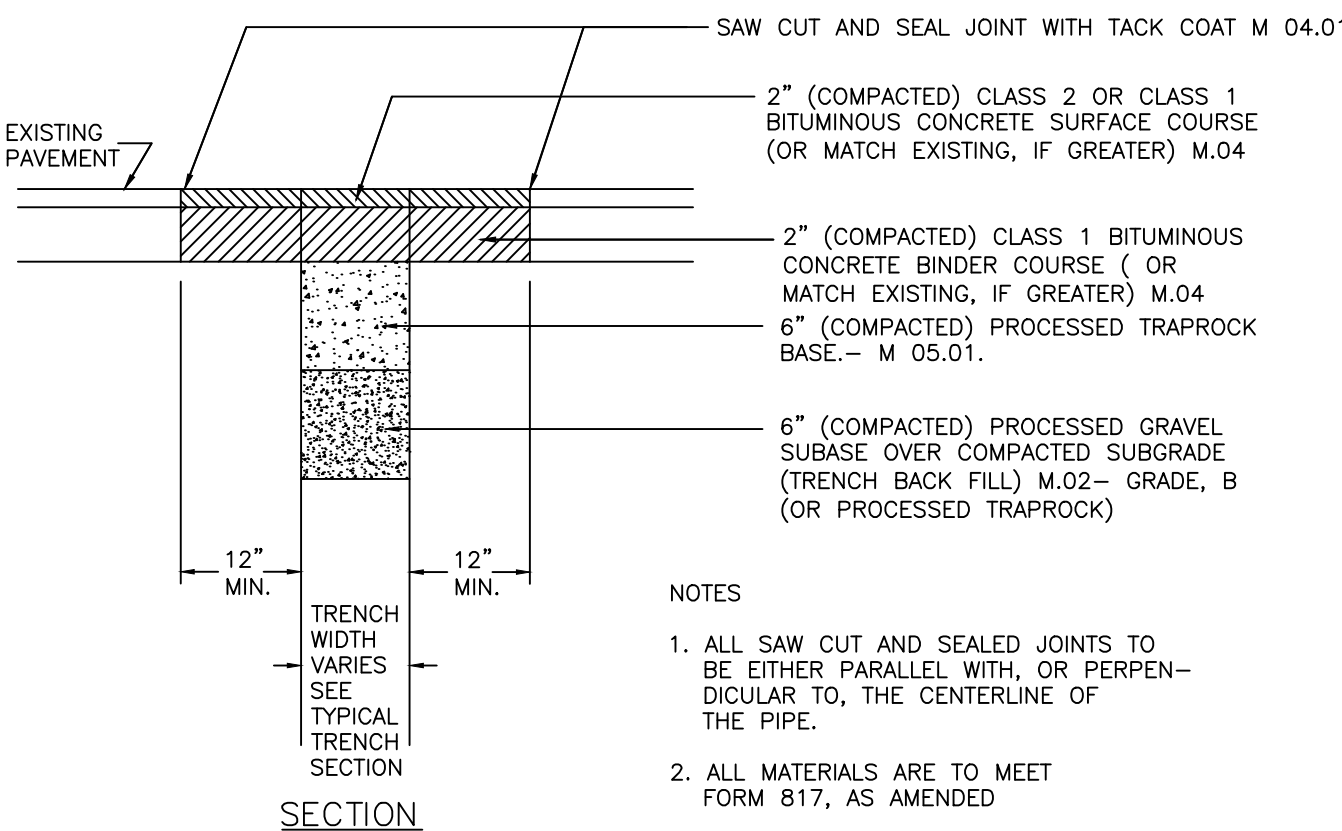
NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 818.
2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH.
5. SUBBASE DEPTH SHALL BE 24\"/>

7 CONCRETE SIDEWALK Not to Scale

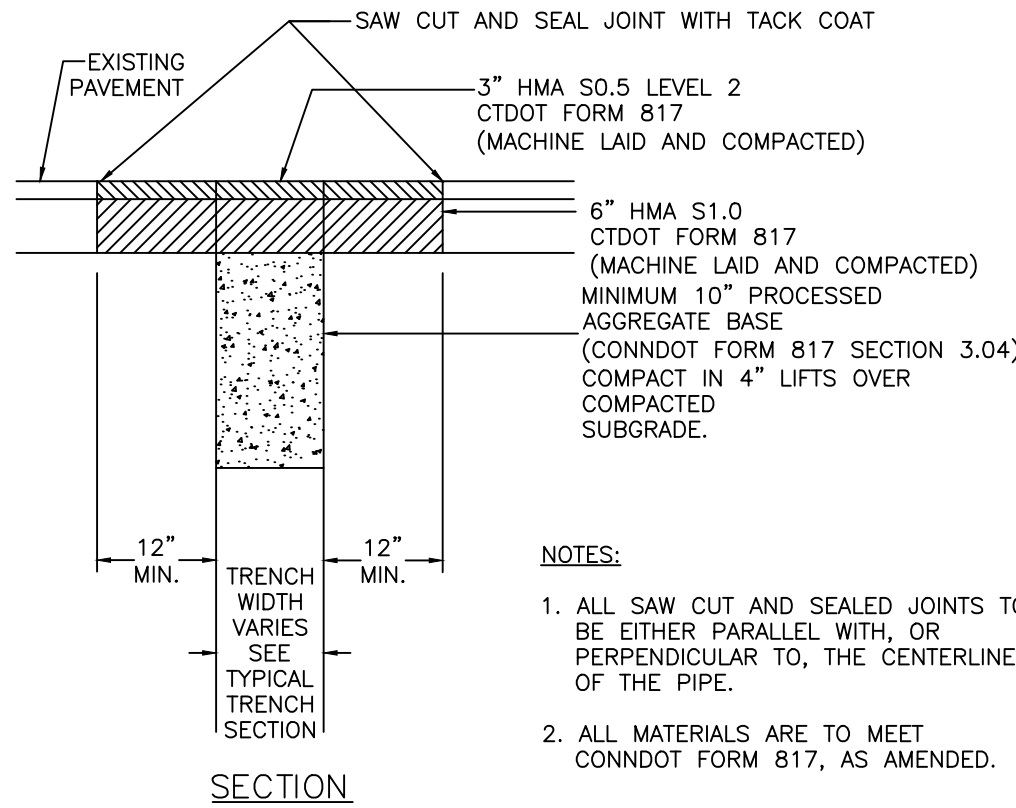


NOTES:
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.
2. CONCRETE SHALL BE MIXED PER SPECIFICATION OUTLINED IN CONNDOT FOR 817 M.03.

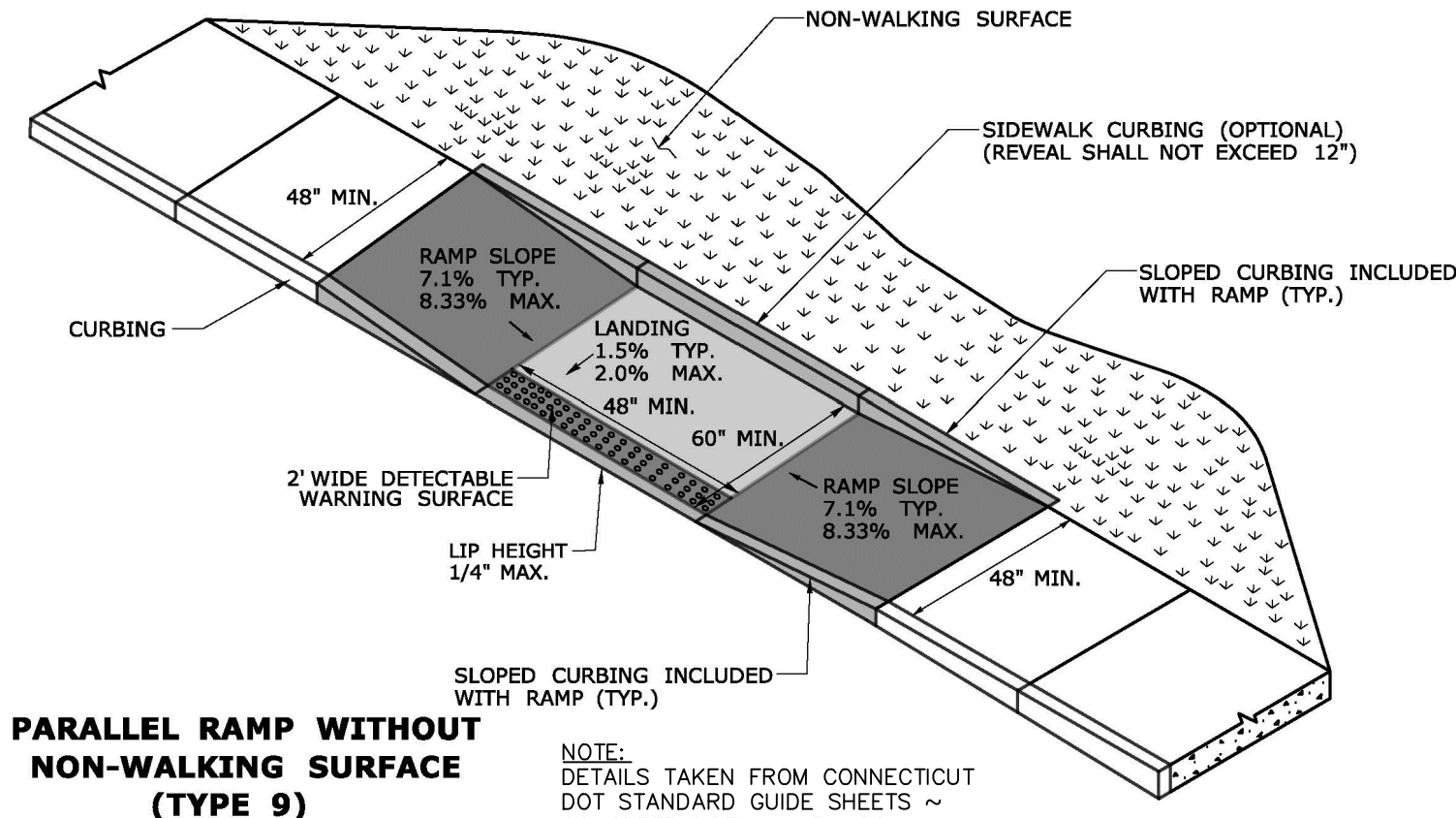
8 CONCRETE DOCK APRON Not to Scale



9 PERMANENT PAVEMENT PATCHING (KENNEDY ROAD) Not to Scale



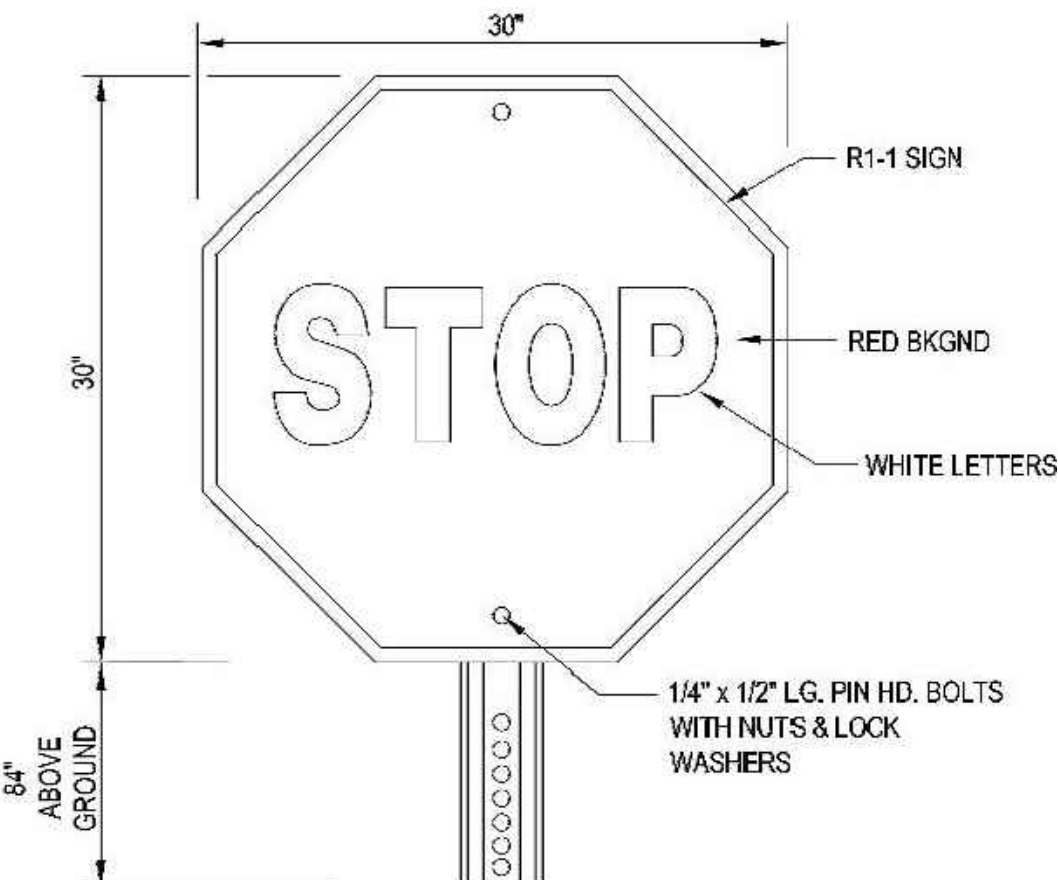
10 ROUTE 30 PERMANENT PAVEMENT PATCHING (SULLIVAN AVE) Not to Scale



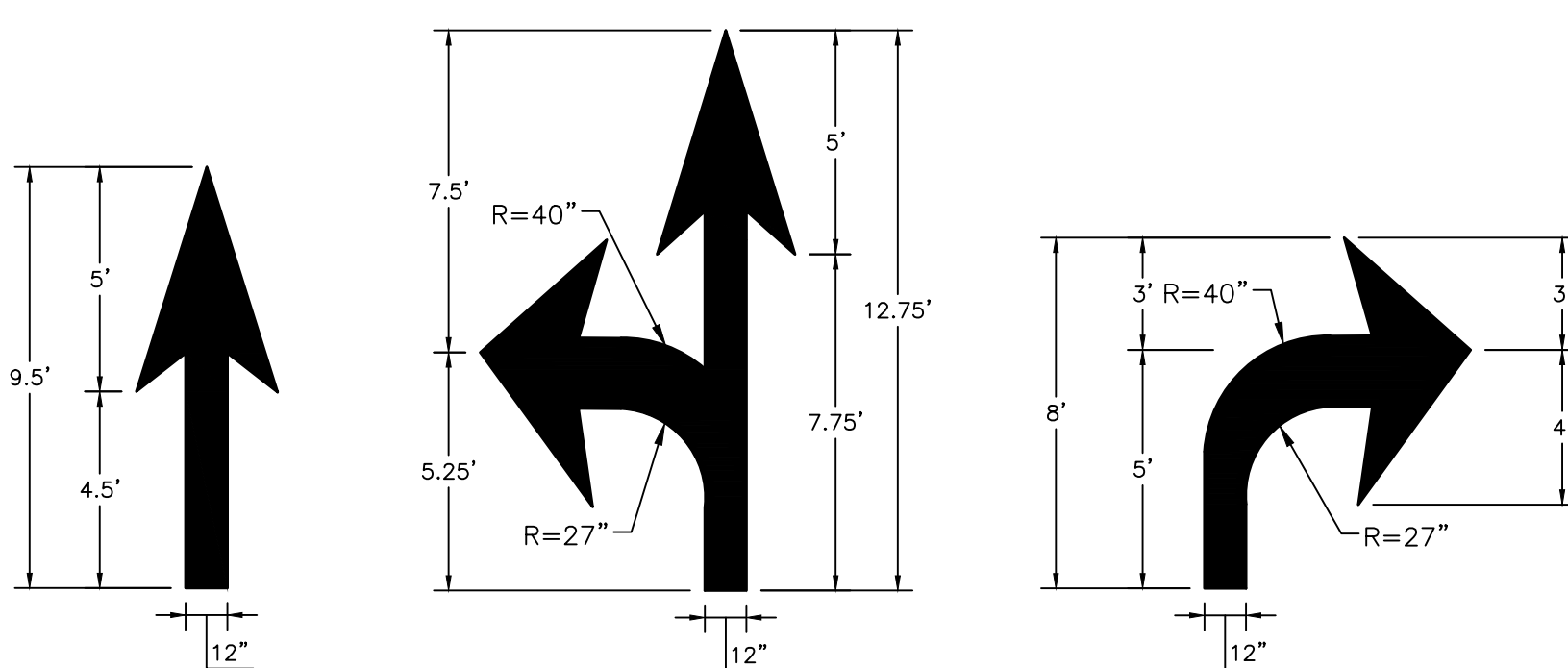
PARALLEL RAMP WITHOUT NON-WALKING SURFACE (TYPE 9)

NOTE:
DETAILS TAKEN FROM CONNECTICUT DOT STANDARD GUIDE SHEETS ~ CONCRETE SIDEWALK RAMPS ~ ISSUED NOVEMBER 22, 2021

11 CONCRETE SIDEWALK RAMP Not to Scale

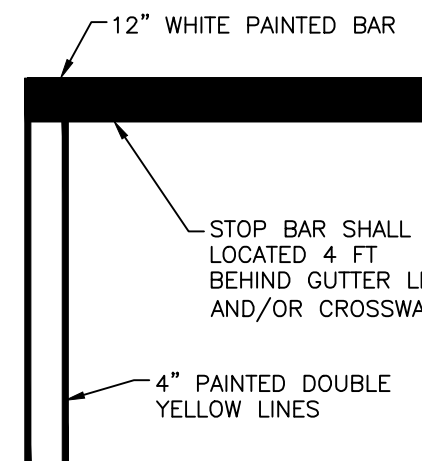


12 STOP SIGN Not to Scale

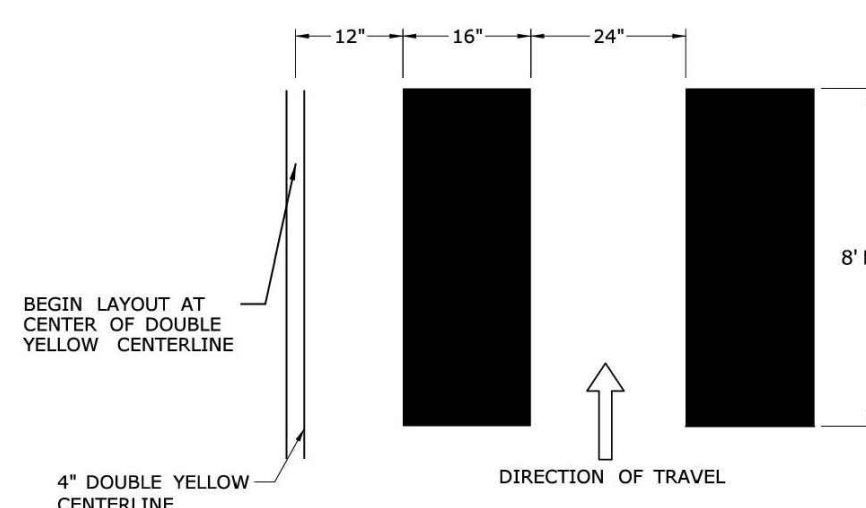


NOTE:
1. PAVEMENT TRAFFIC ARROW DIMENSIONS TAKEN FROM CTDOT STANDARD SHEET "TR-1210_04: PAVEMENT MARKING LINES AND SYMBOLS".

13 TRAFFIC ARROWS Not to Scale



14 STOP BAR Not to Scale



NOTE:
1. CROSSWALK LINES SHALL BE PARALLEL TO VEHICULAR DIRECTION OF TRAVEL.
2. CROSSWALK DETAIL TAKEN FROM CTDOT STANDARD SHEET "TR-1210_04: PAVEMENT MARKING LINES AND SYMBOLS".

15 CROSSWALK Not to Scale

PROPERTY OWNER:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

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21 EBBEY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-298-8737 - F
www.designprofessionalsinc.com

design Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

PROJECT NO:
4670
DATE:
3/30/2022
DESIGNED BY:
DHL/BPW
CHECKED BY:
CONRAD BT
BFW

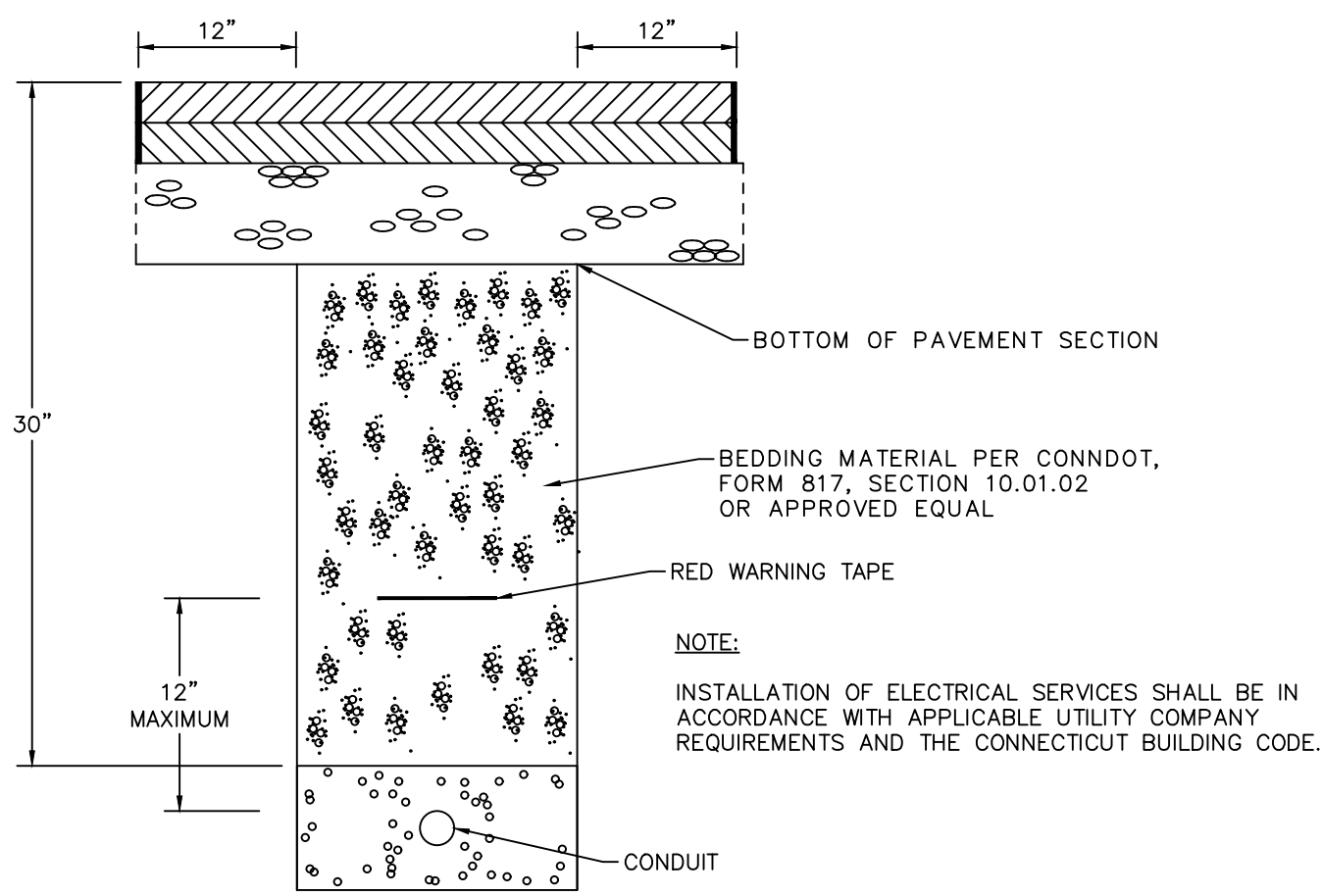
67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOS: 87300352, 49800067, & 49800068

NO.	DATE	REVISIONS
1	4/7/22	EAS PLAN UPDATES
2	4/20/22	P2C SUBMISSION
3	5/4/22	IMA/CC COMMENTS
4	6/23/22	REVISION PER TOWN COMMENT

BY:
DHL
DHL
DHL
BKM

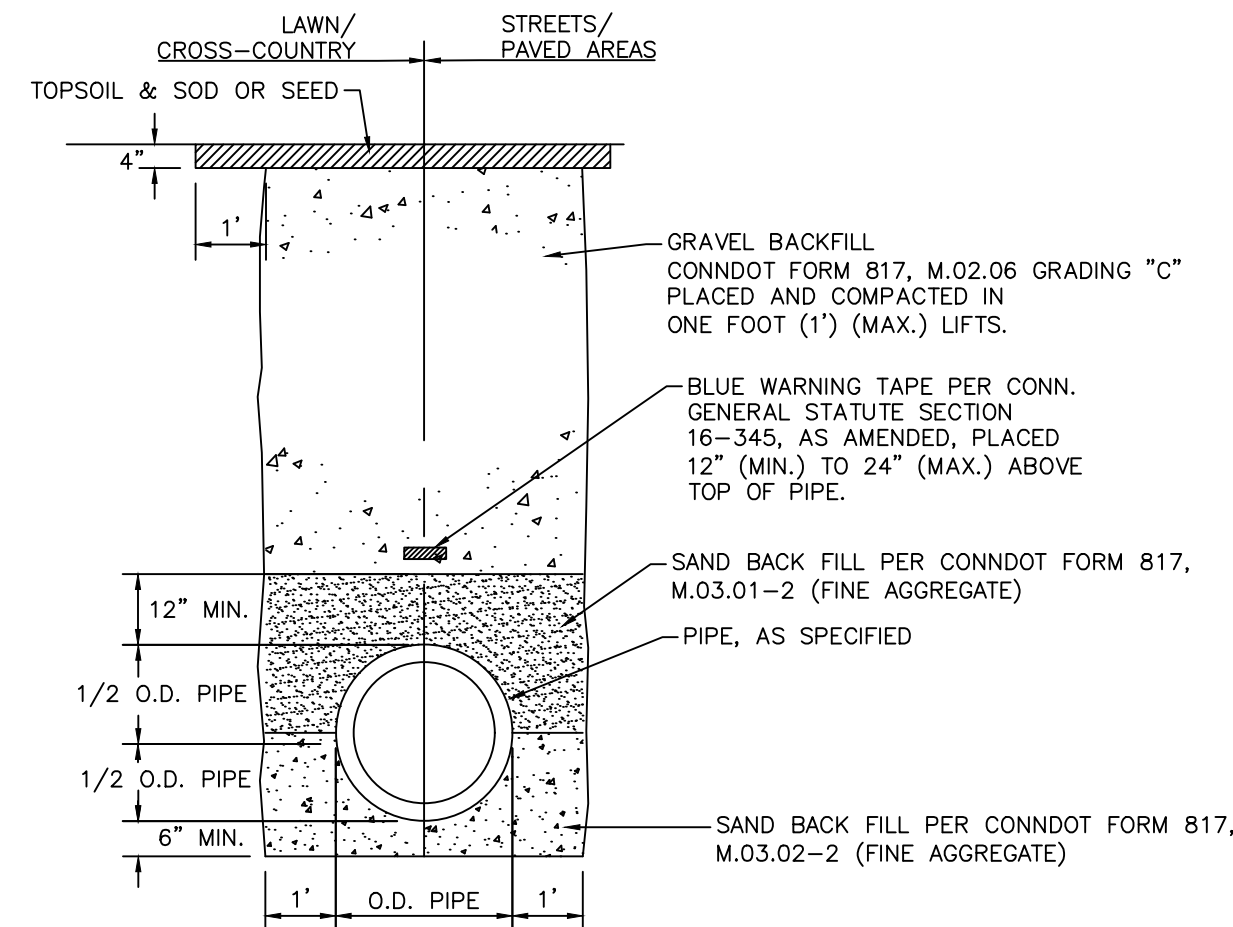
DETAILS

SHEET
C-D2
SHEET 20 OF 24



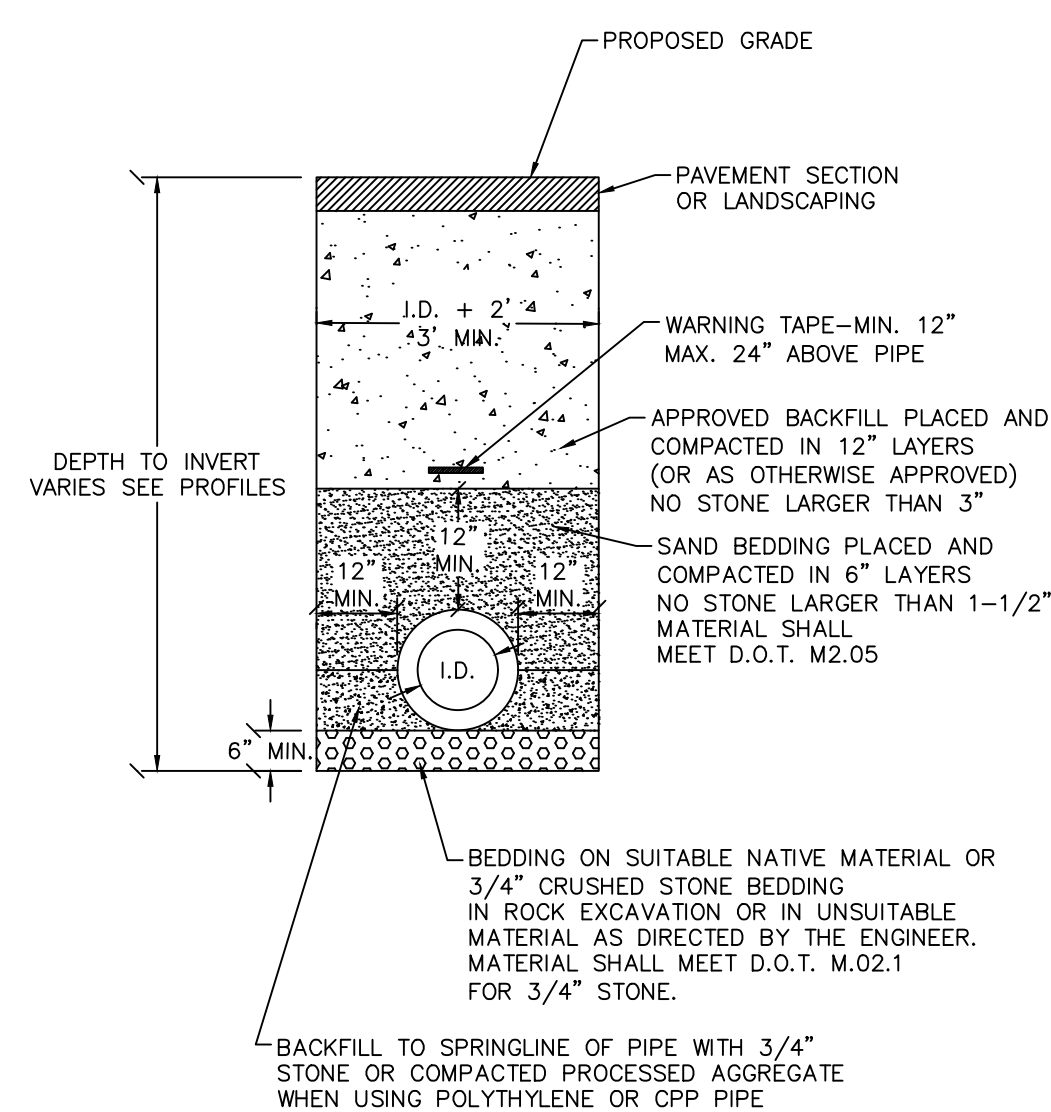
1 ELECTRIC TRENCH SECTION

Not to Scale



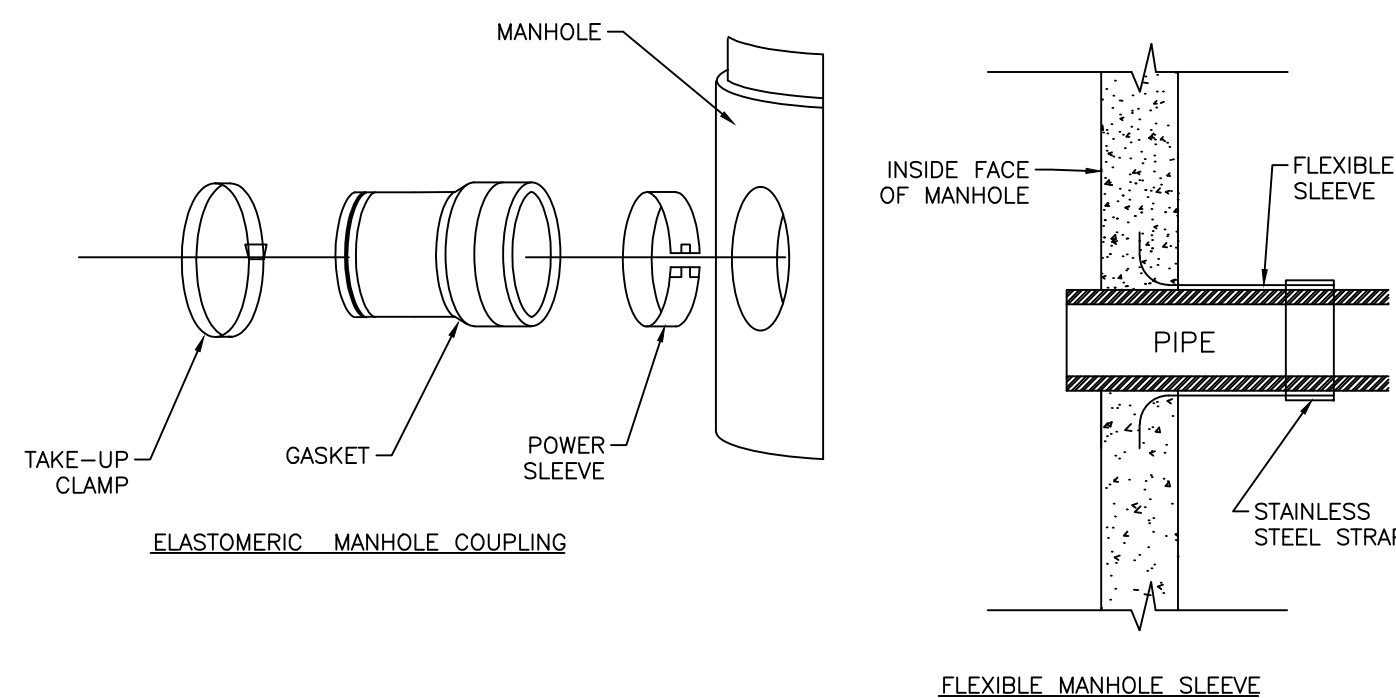
2 WATER TRENCH SECTION

Not to Scale



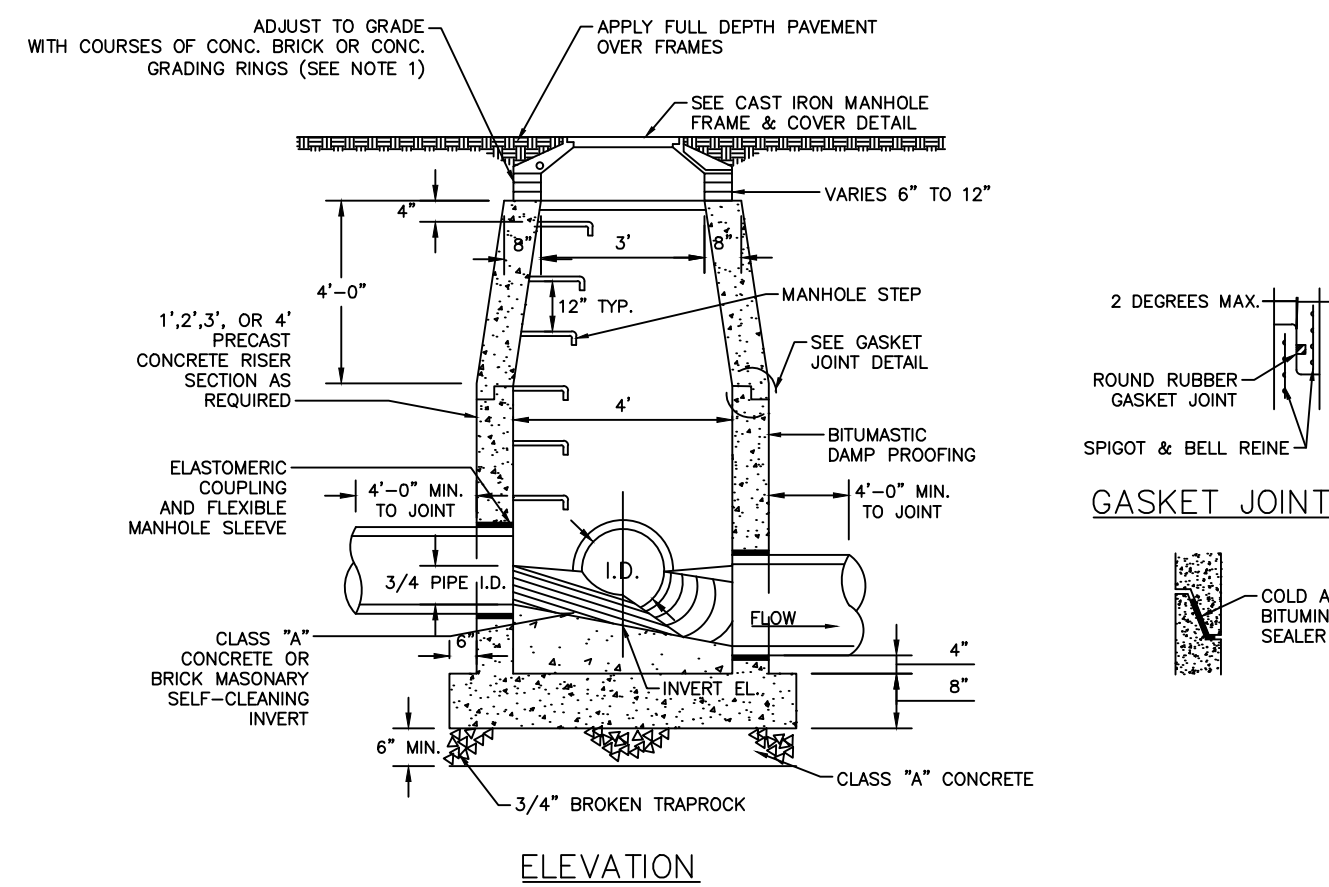
3 STORM SEWER TRENCH SECTION

Not to Scale



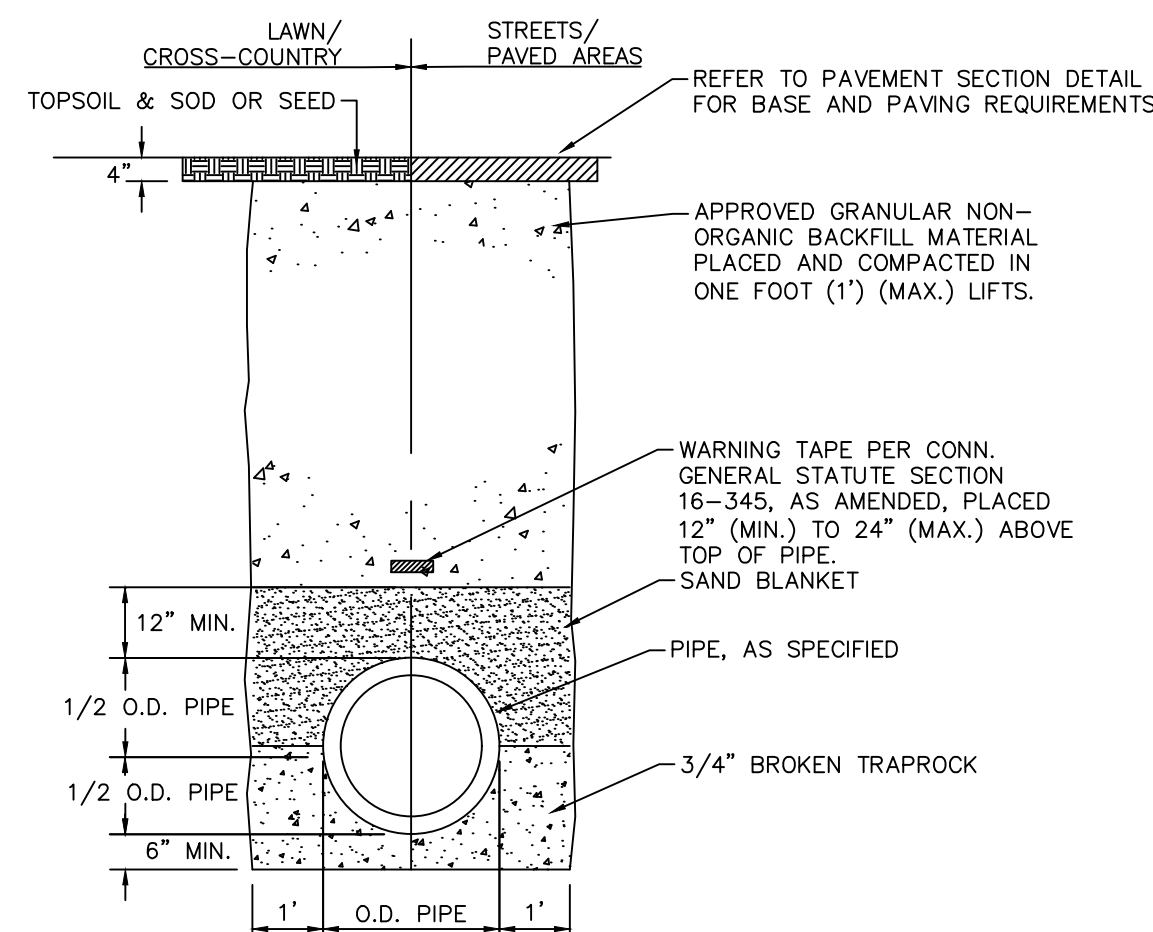
4 SANITARY LATERAL CONNECTION TO MANHOLE

Not to Scale



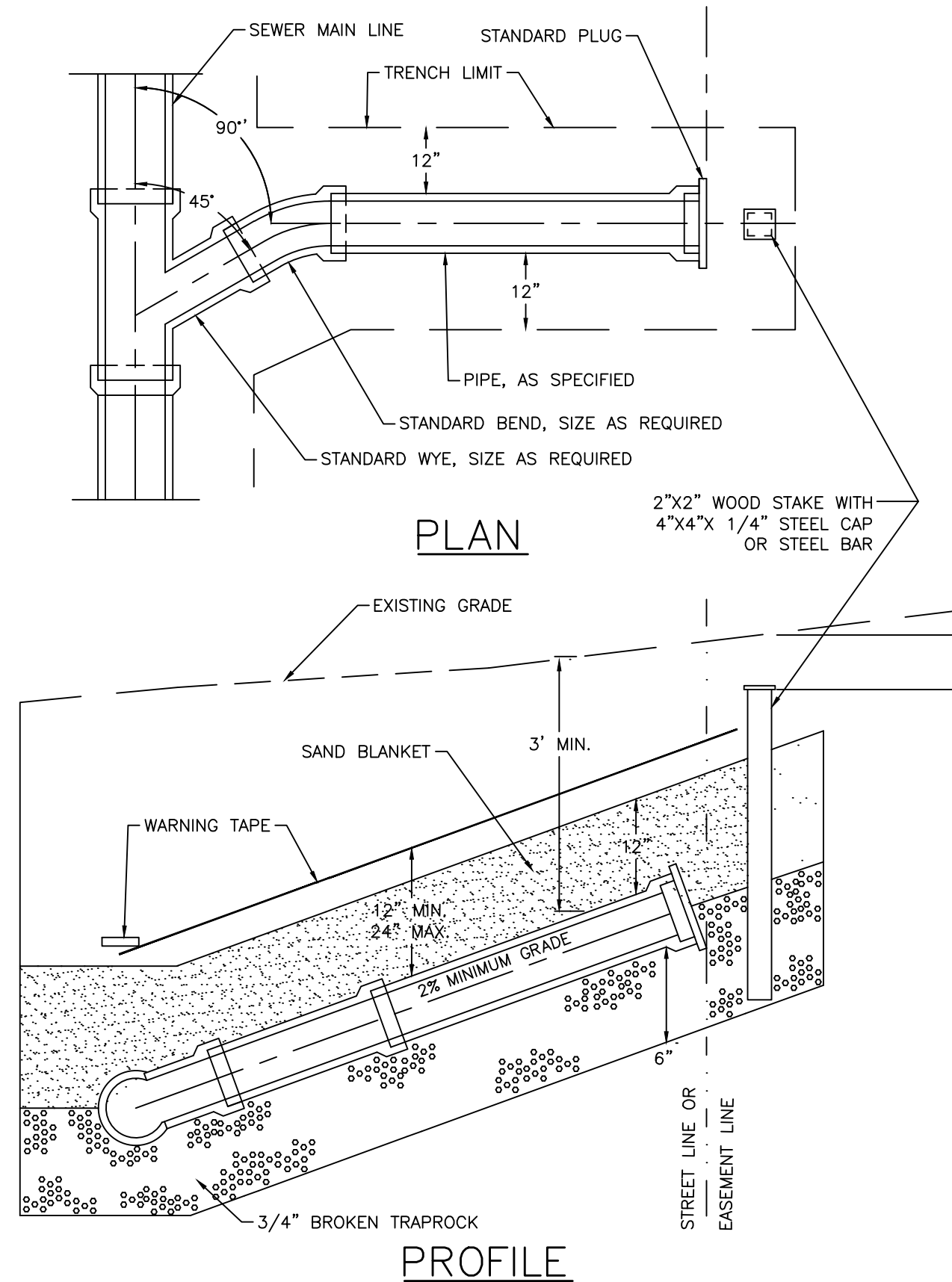
5 SANITARY MANHOLE

Not to Scale



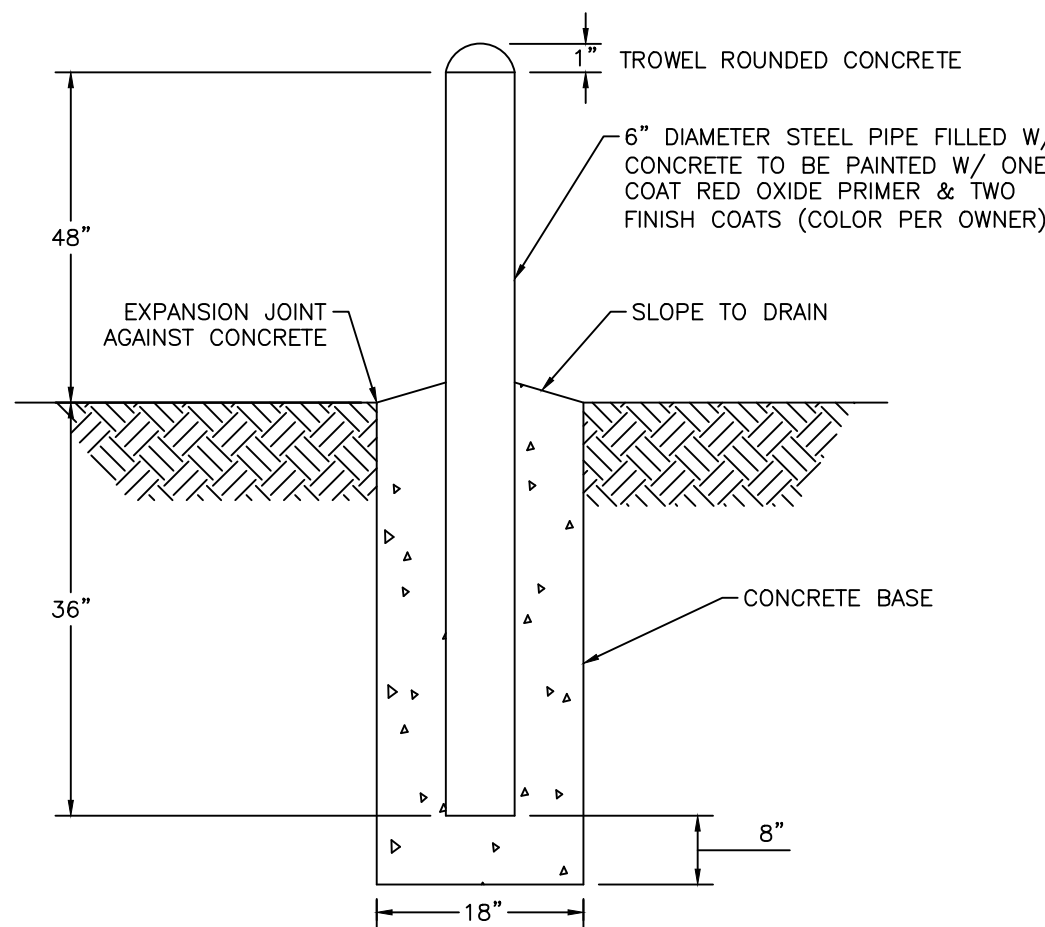
6 SANITARY SEWER TRENCH SECTION

Not to Scale



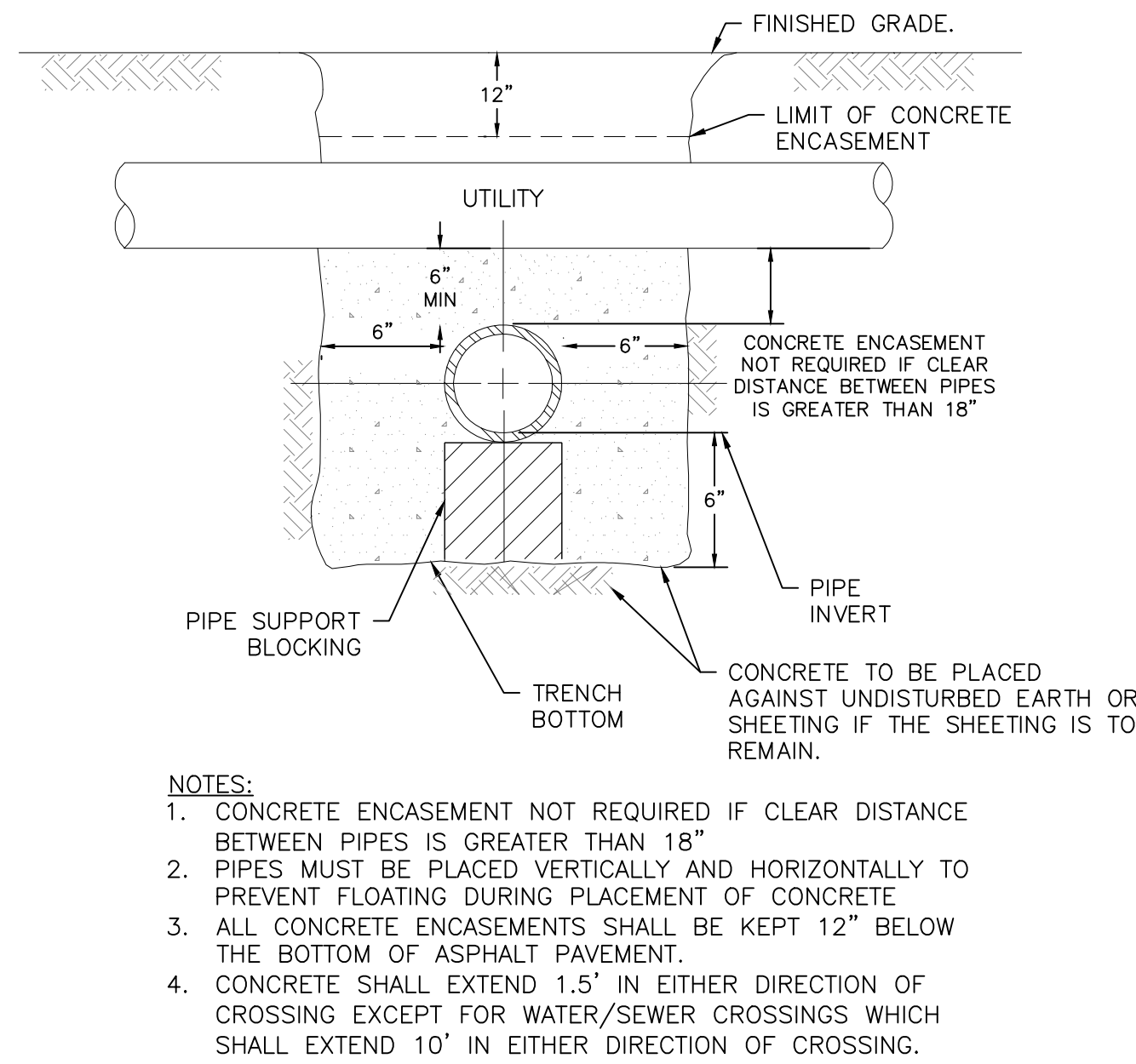
7 BUILDING SEWER

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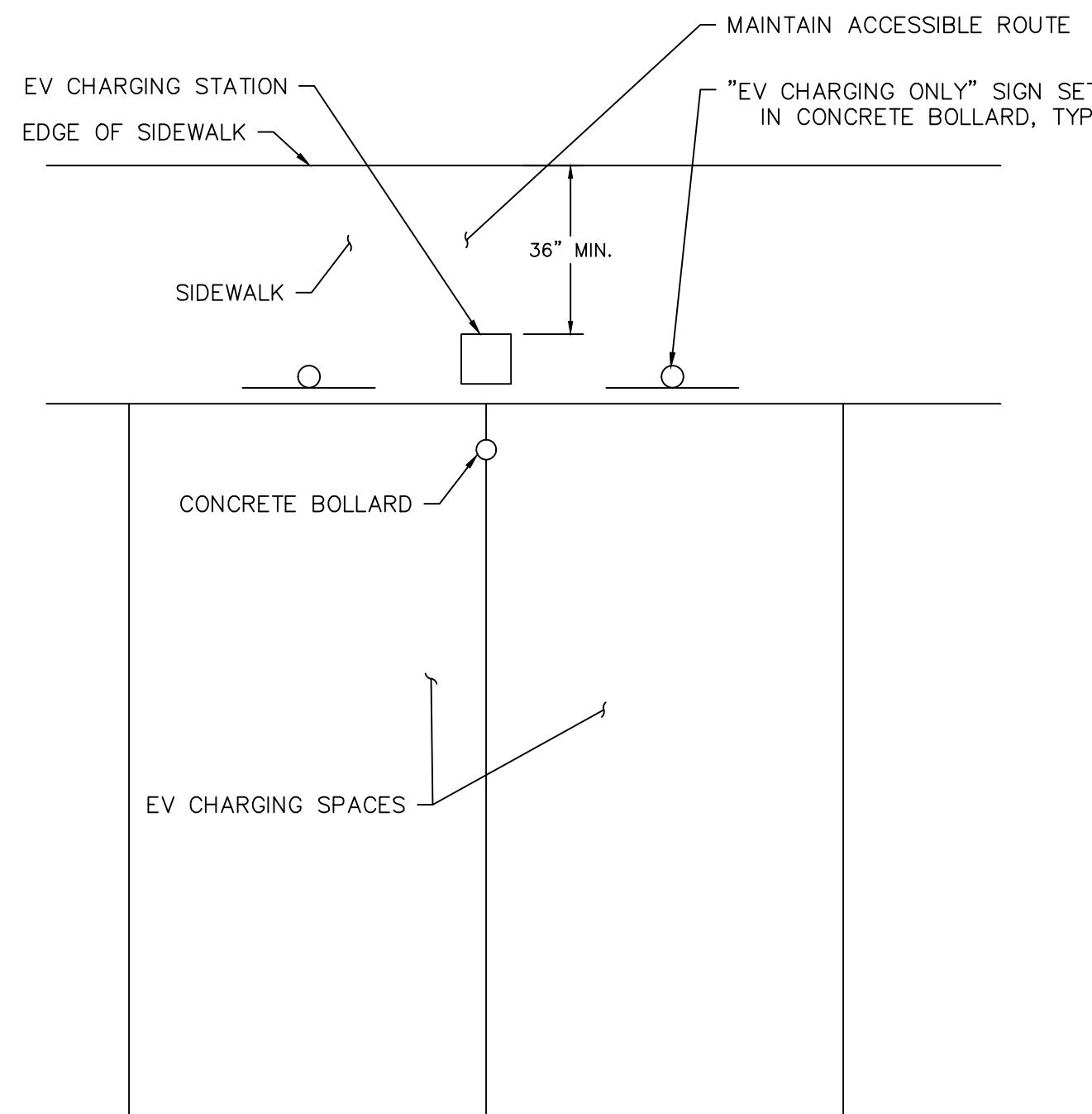
8 CONCRETE BOLLARD

Not to Scale



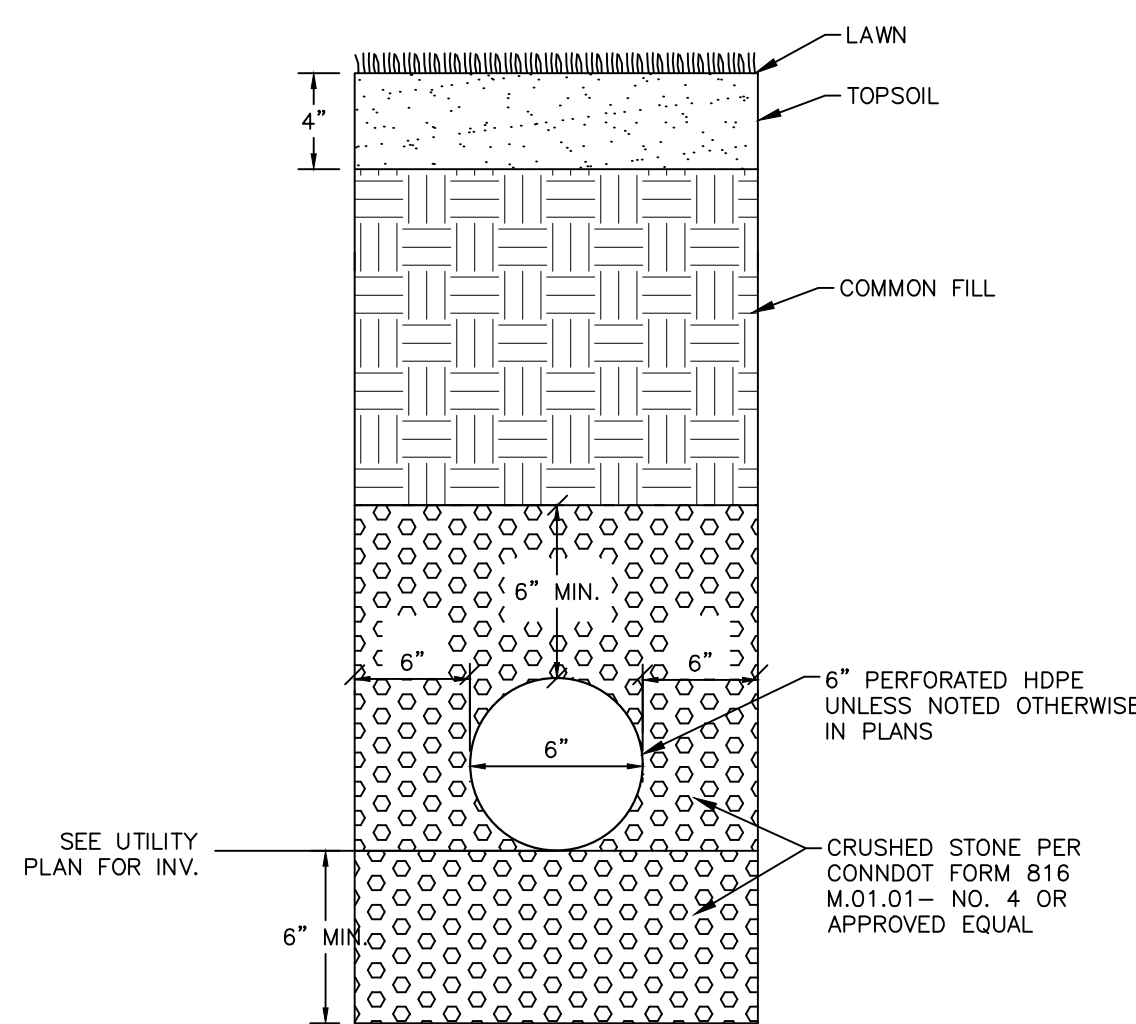
9 STORM & SEWER CROSSING CONCRETE ENCASEMENT

Not to Scale



10 EV CHARGING STATION LAYOUT

Not to Scale



11 UNDERDRAIN

Not to Scale

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SOUTH WINDSOR, CT 06074
860-291-8737 - F
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design
Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

PROJECT NO.
4670
DATE
3/30/2022
DESIGNED BY
DHL/BPW
CHECKED BY
DHL/BPW

67 KENNEDY ROAD
WAREHOUSE &
DISTRIBUTION CENTER
352 SULLIVAN AVENUE, 67
SOUTH WINDSOR, CONNECTICUT 06074
GIS NOS: 87300352, 49800067, & 49800068

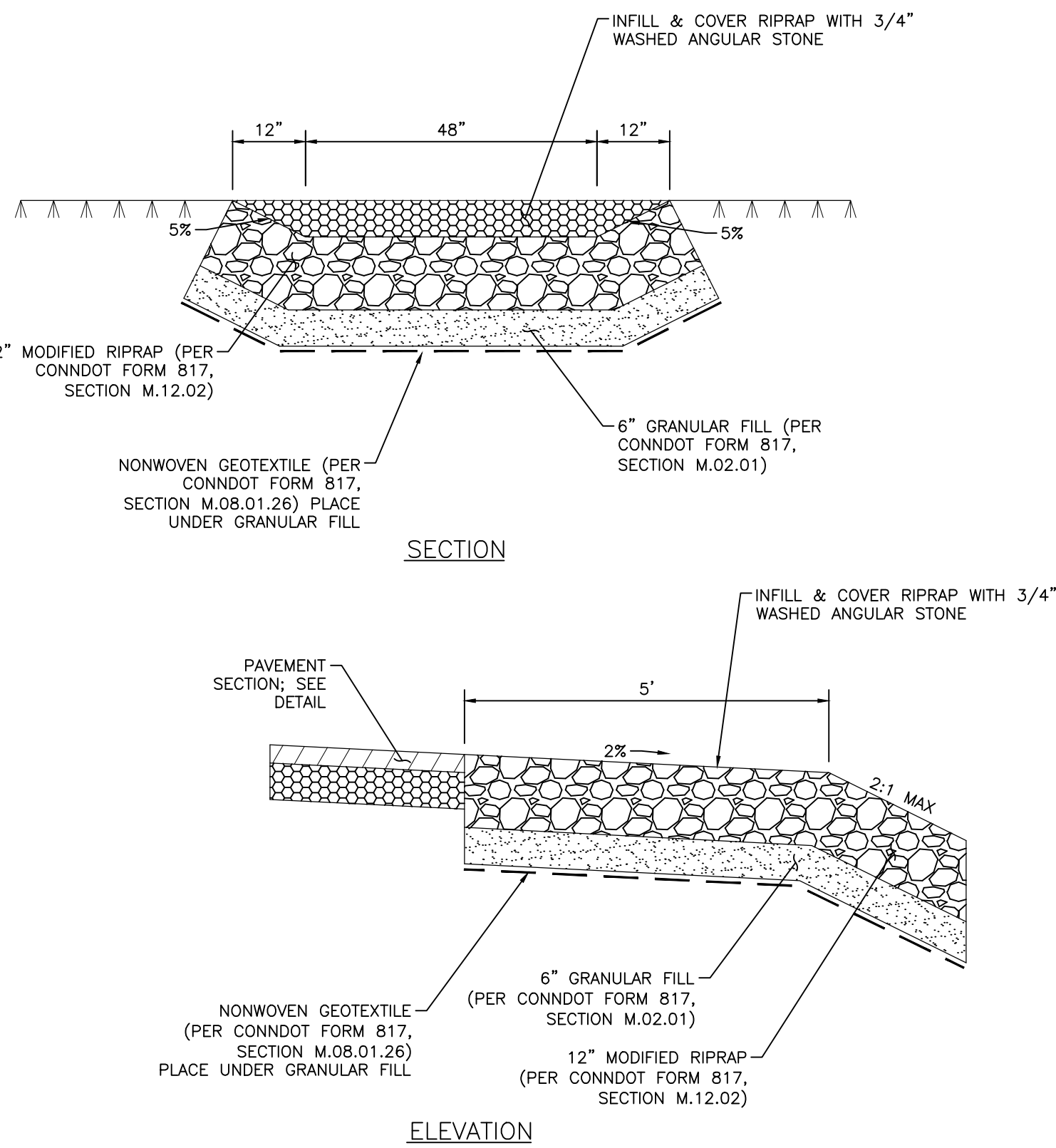
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2	4/20/22	P2C SUBMISSION	DHL
3	5/4/22	IMV/ACC COMMENTS	DHL
4	6/23/22	REVISION PER TOWN COMMENT	BM

PROPERTY OWNER:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

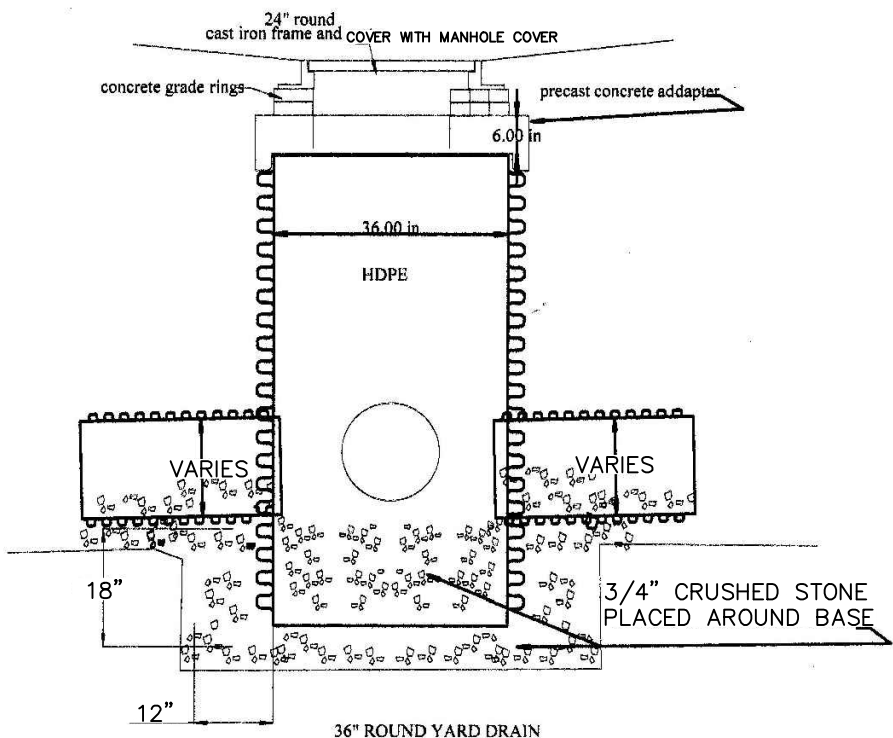
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SHEET
C-D3
SHEET 21 OF 24

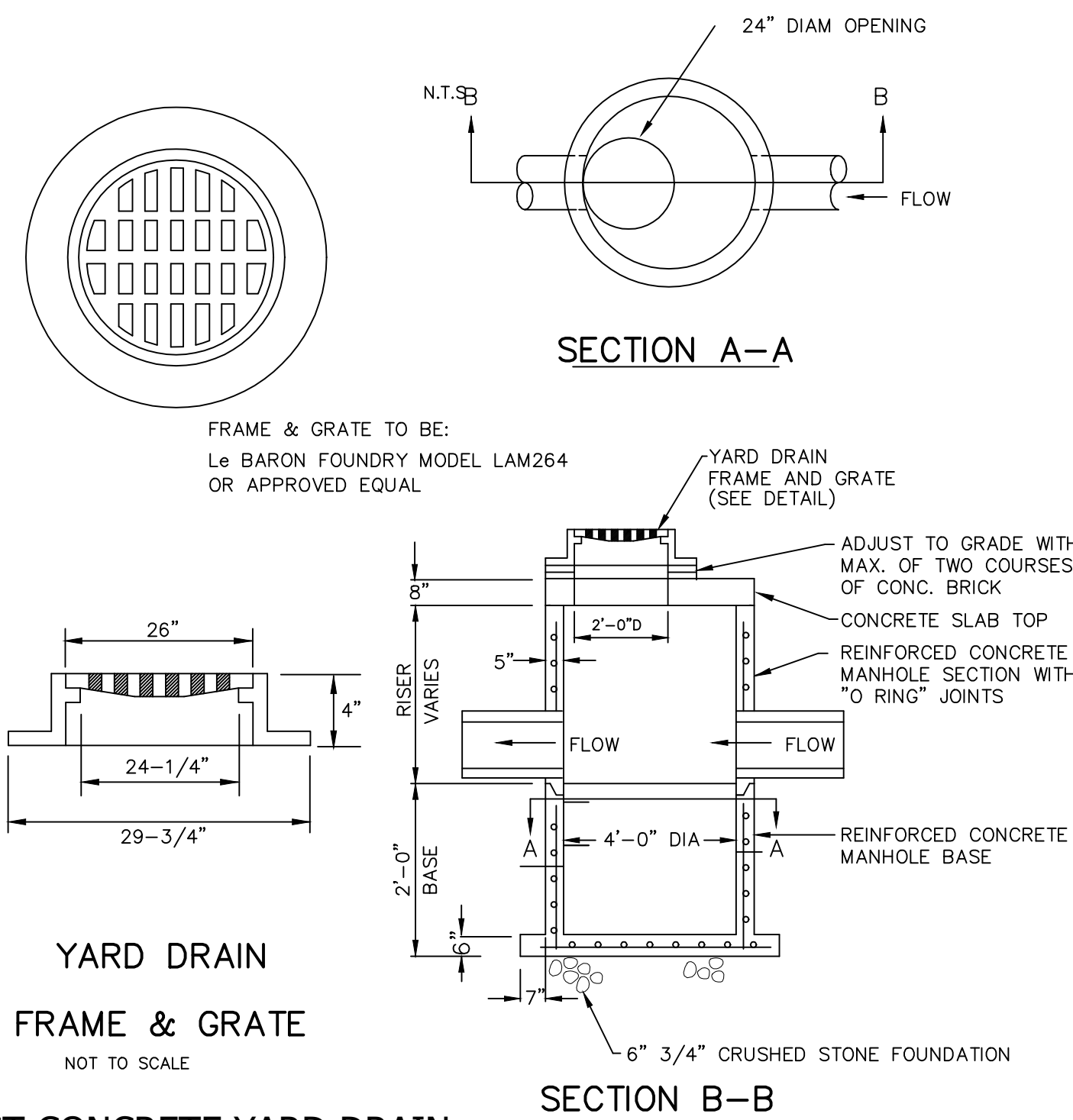
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1 PAVED LEAKOFF Not to Scale

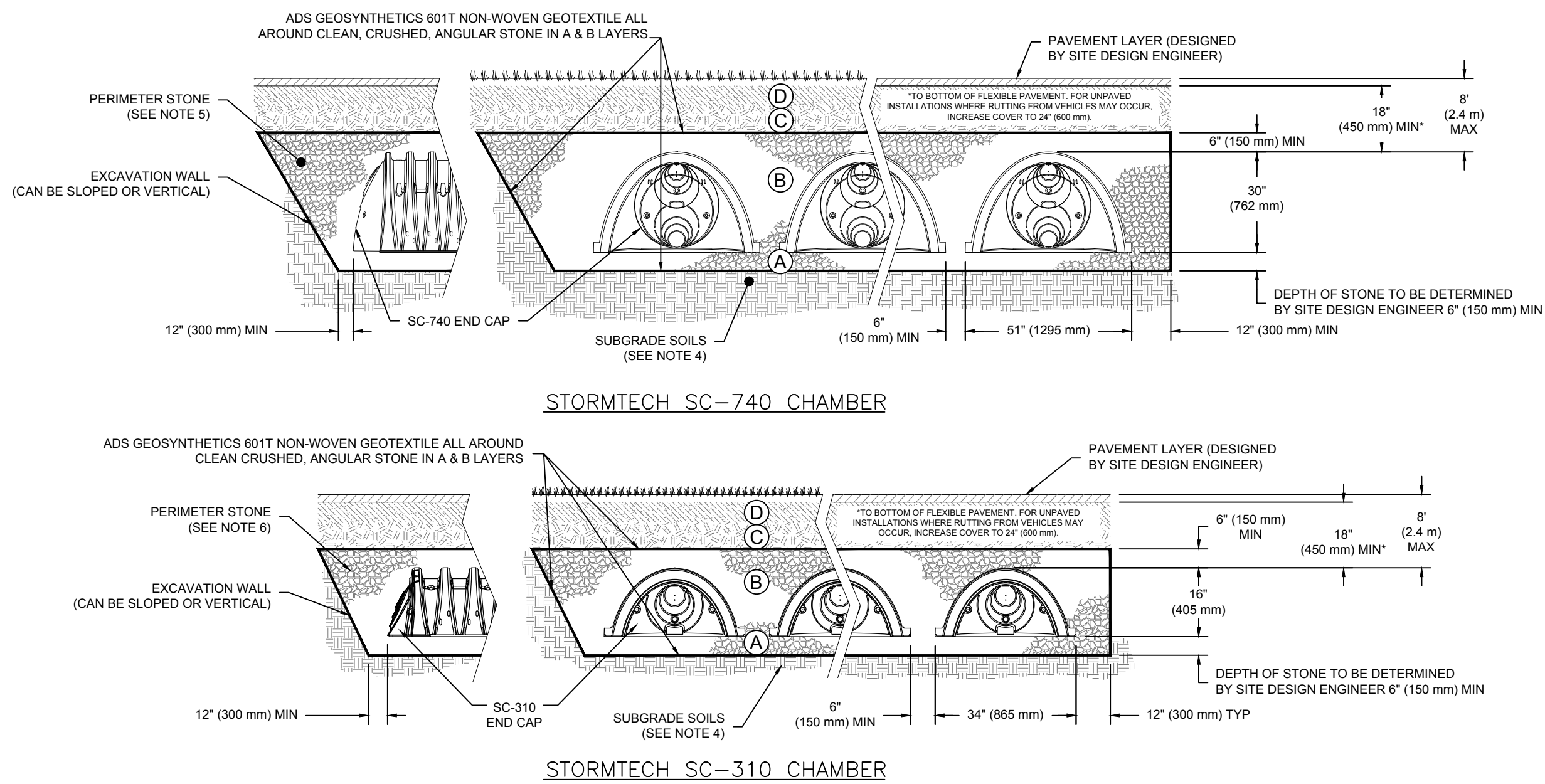
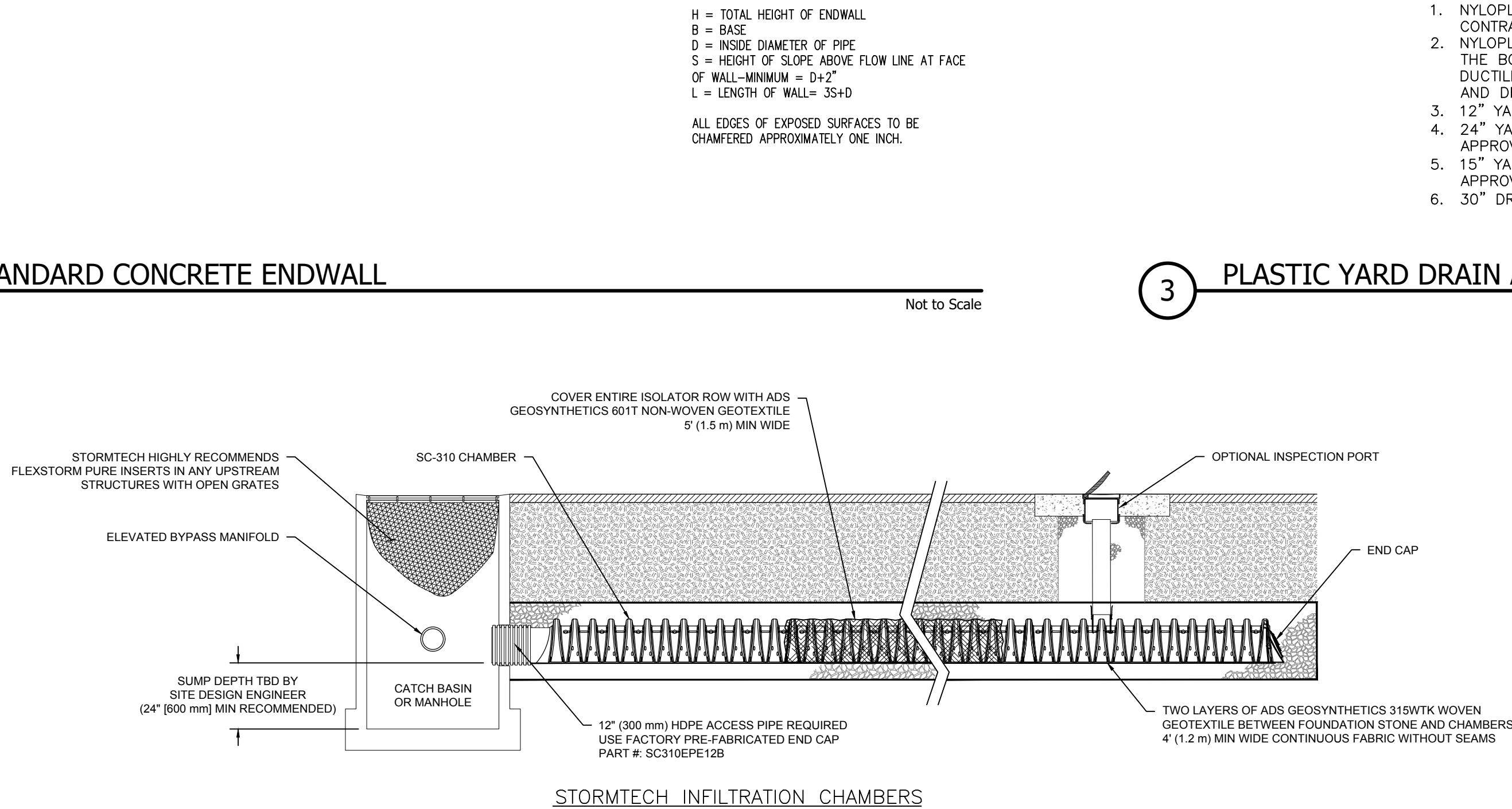


4 HDPE YARD DRAIN Not to Scale

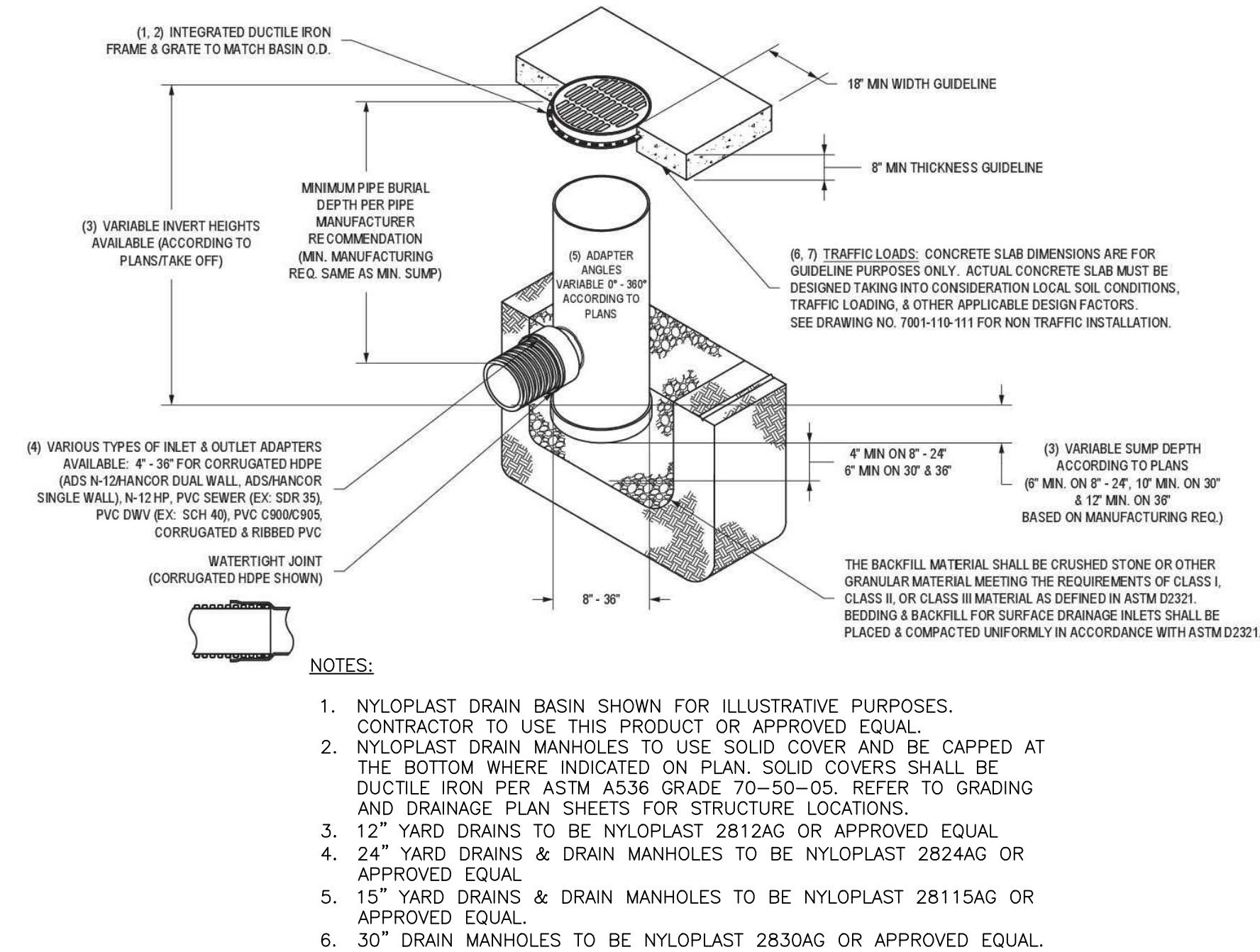


5 PRECAST CONCRETE YARD DRAIN Not to Scale

2 STANDARD CONCRETE ENDWALL Not to Scale



6 UNDERGROUND STORMWATER CHAMBERS Not to Scale



3 PLASTIC YARD DRAIN AND DRAIN MANHOLE (12\"-30\" DIA.) Not to Scale

ISOLATION ROW INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3\" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3\" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45\" (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

PROPERTY OWNER:

FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074

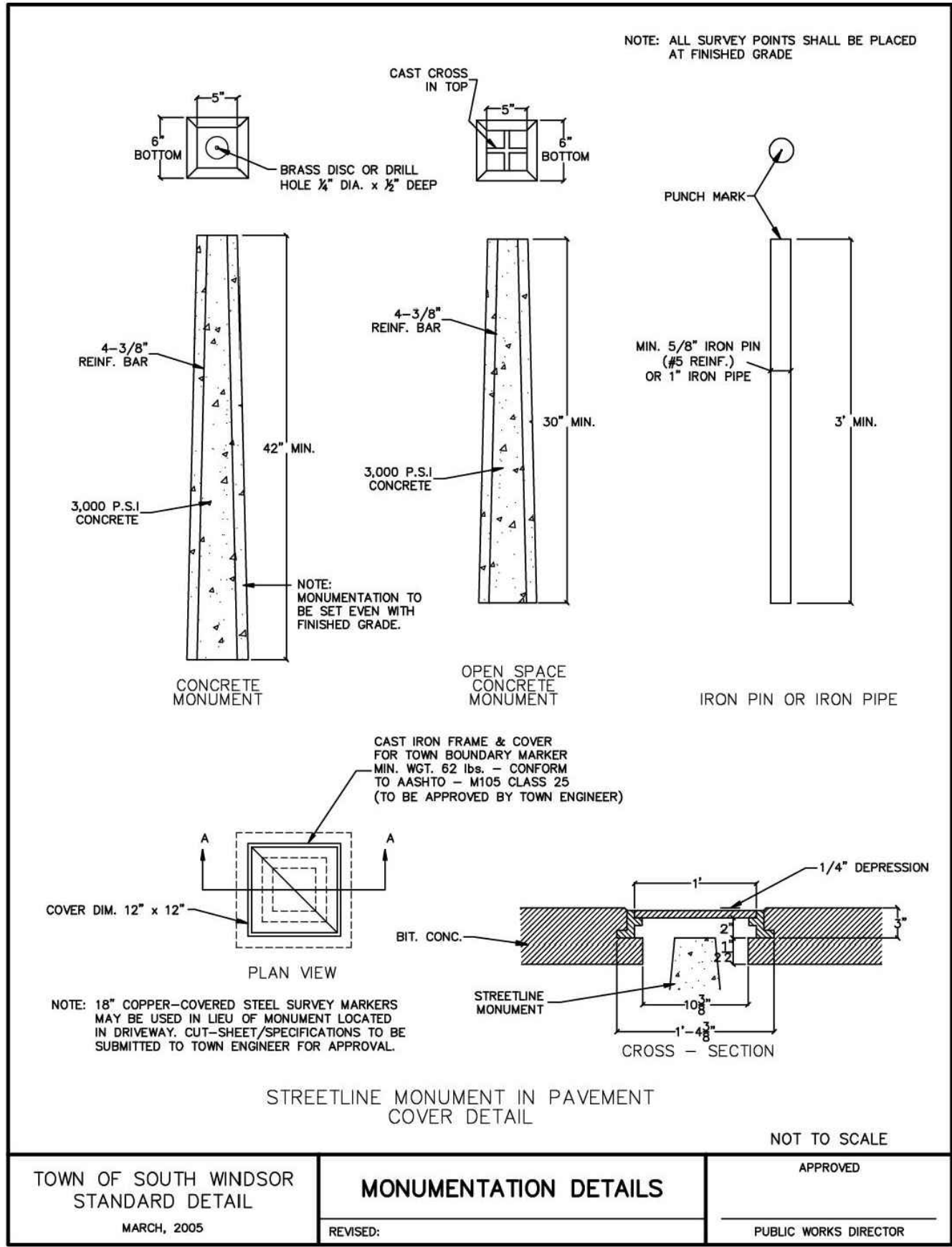
APPLICANT:

SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

NOTES:

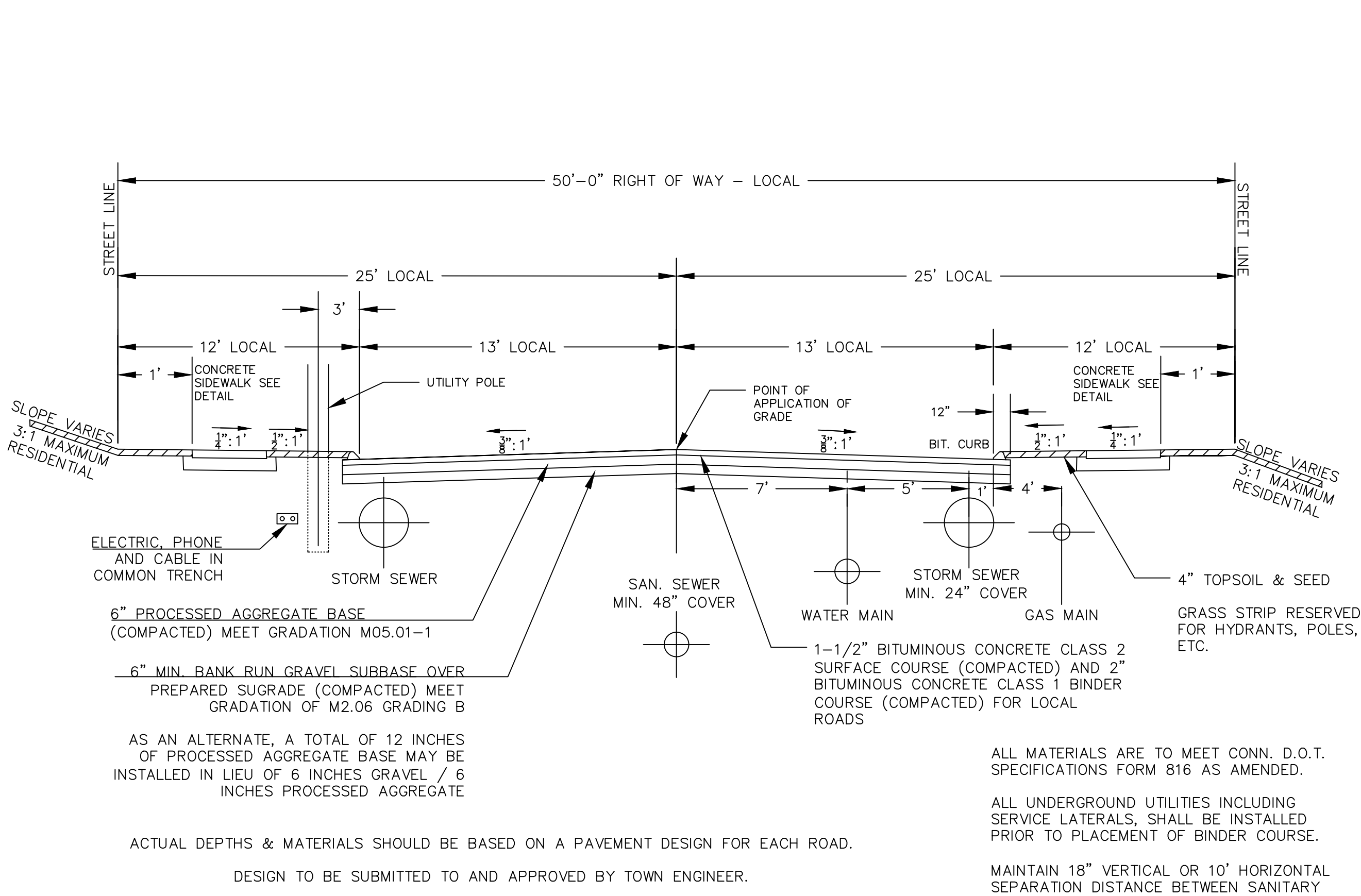
- STORMTECH UNDERGROUND CHAMBERS SHOWN FOR ILLUSTRATIVE PURPOSES. CONTRACTOR TO USE THIS PRODUCT OR APPROVED EQUAL.
- REFER TO PRODUCT MANUFACTURE SPECS FOR APPROVED MATERIALS AND INSTALLATION INSTRUCTIONS.

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design Professionals CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS PLANNERS / LANDSCAPE ARCHITECTS			
PREPARED FOR:	Scannell Properties #644, LLC 294 Grove Lane East Suite 140 Wayzata, MN 55391 763-331-8851 T		
PROJECT NO:	4670		
DATE:	2/20/2022		
DESIGN BY:	DHJ/BPW		
REVIEW BY:	CONCRETE BY: BPW		
67 KENNEDY ROAD WAREHOUSE & DISTRIBUTION CENTER 352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD SOUTH WINDSOR, CONNECTICUT 06074 GIS NOS: 87300352, 49800067, & 49800068			
NO.	DATE	REVISIONS	BY
1	4/7/22	EAS PLAN UPDATES	DHJ
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3	5/4/22	IMA/CC COMMENTS	DHJ
4	6/23/22	REVISION PER TOWN COMMENT	BMK
DETAILS			
SHEET			
C-D5			
SHEET 23 OF 24			



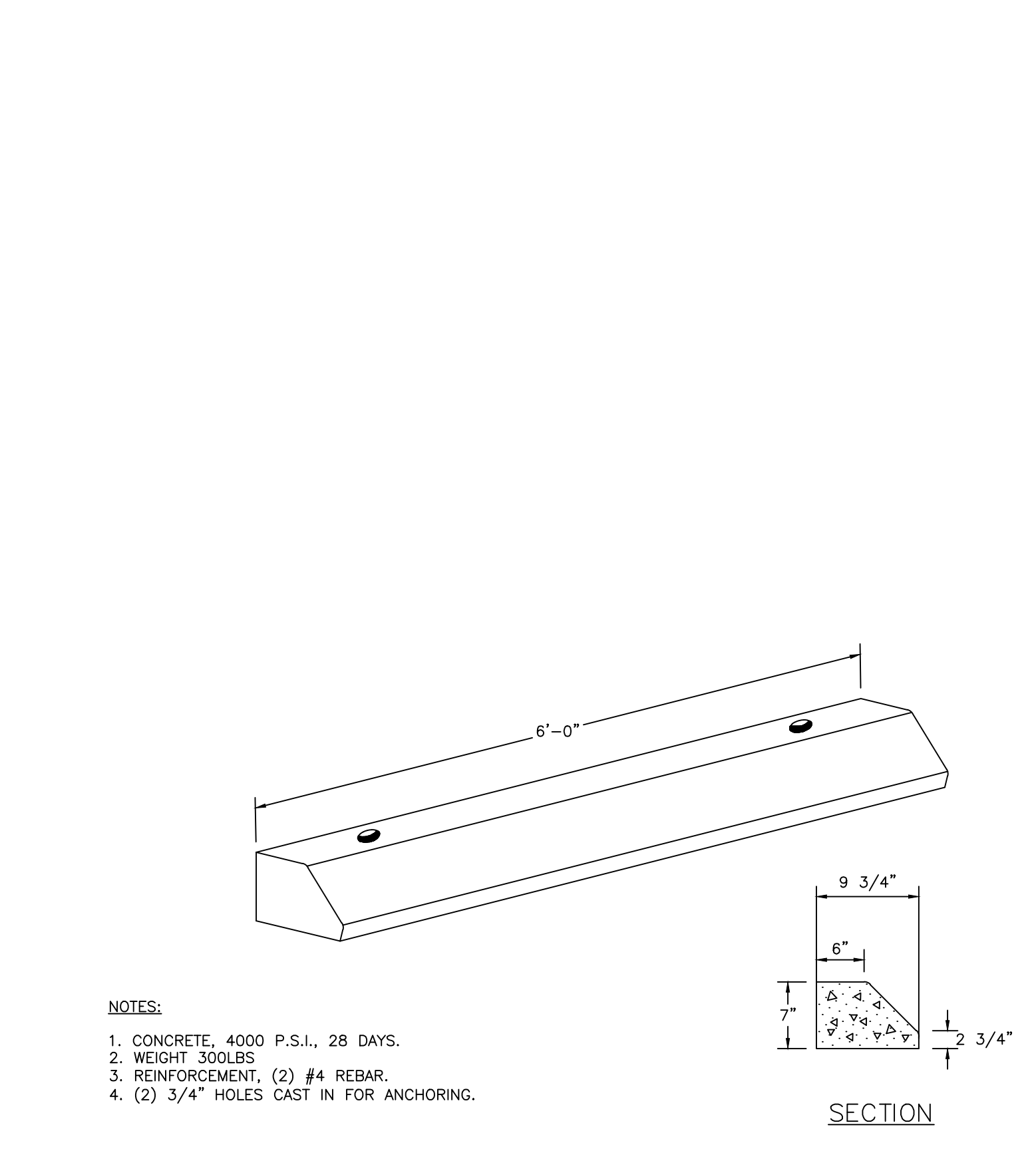
1 TOWN OF SOUTH WINDSOR MONUMENTATION DETAILS

Not to Scale



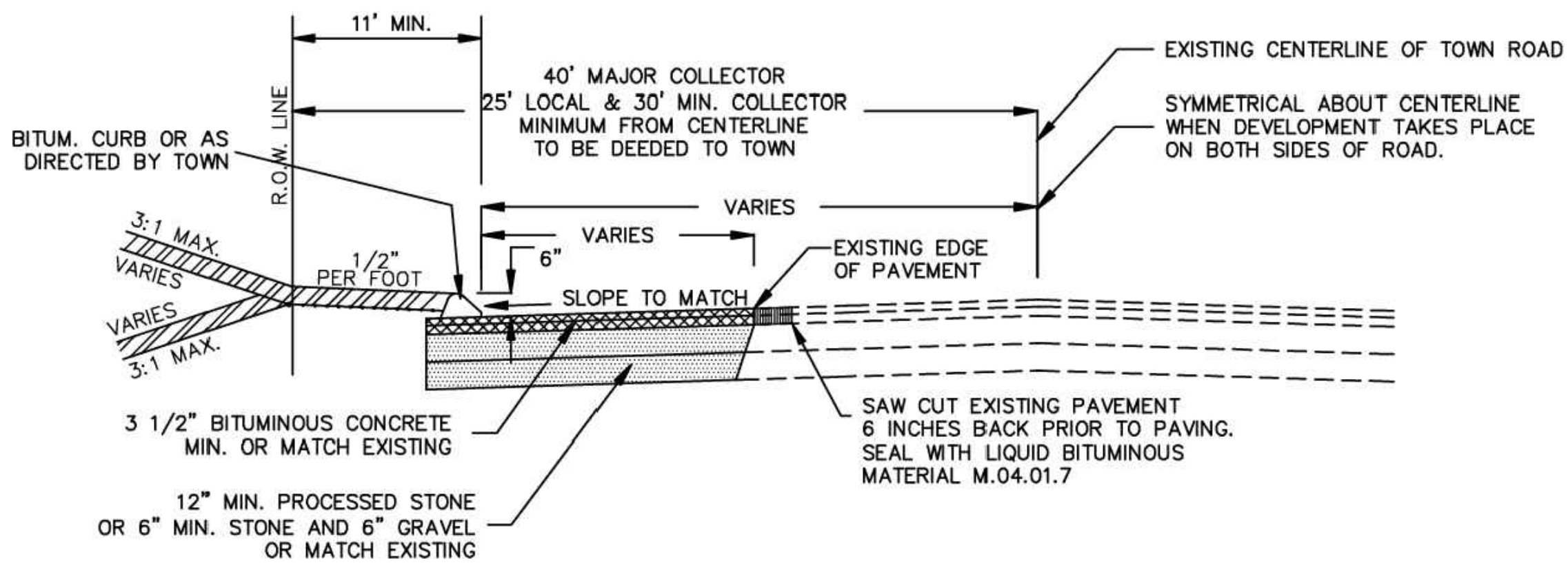
2 TYPICAL ROADWAY SECTION - LOCAL ROADS

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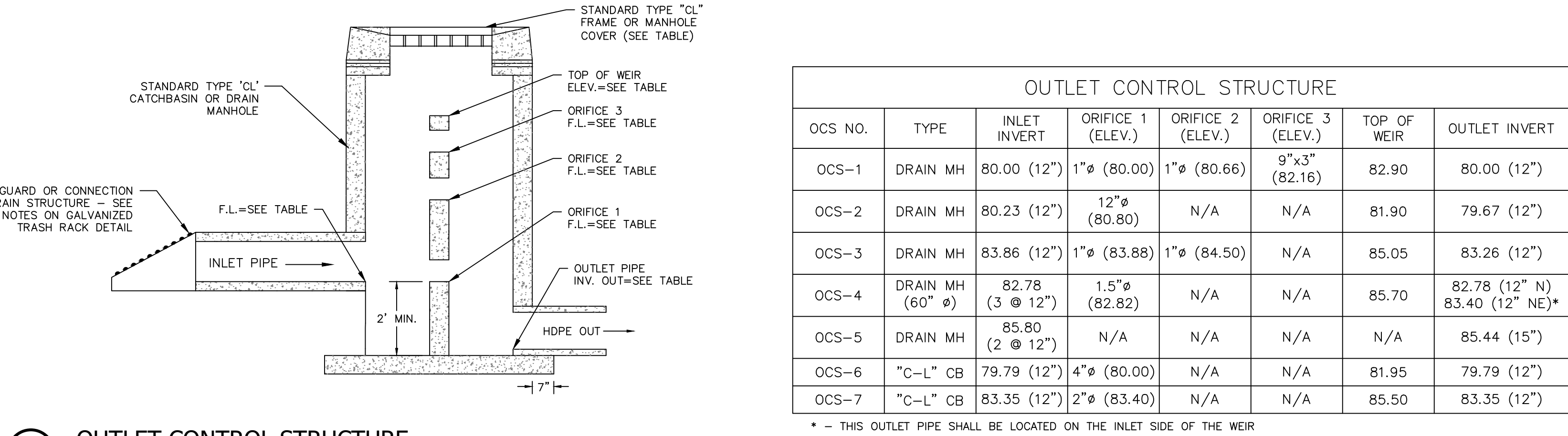
3 PRECAST CONCRETE WHEELSTOP

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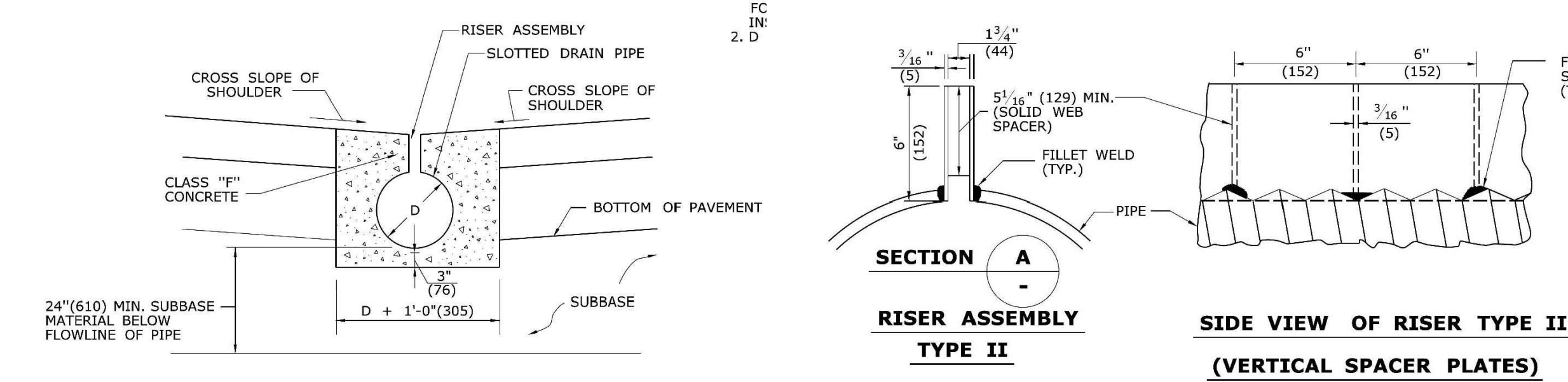
4 IMPROVEMENT TO EXISTING TOWN ROADWAY SECTION

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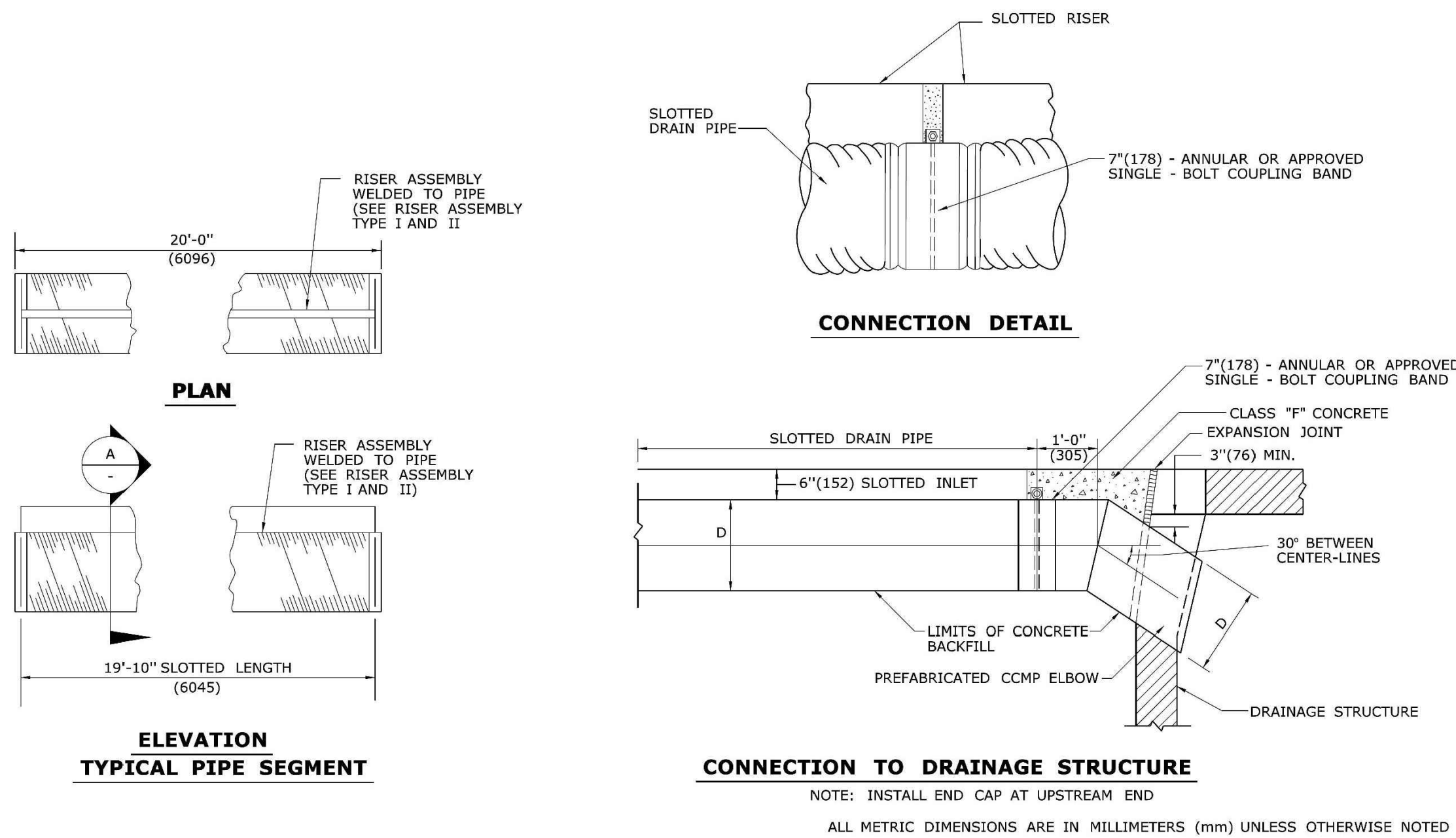
5 OUTLET CONTROL STRUCTURE

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6 SLOTTED DRAIN PIPE

Not to Scale















































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C/O JOHN J WOODCOCK III
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SOUTH WINDSOR, CT 06074

APPLICANT:
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294 GROVE LANE EAST
SUITE 140
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DETAILS

SHEET
C-D6
SHEET 24 OF 24

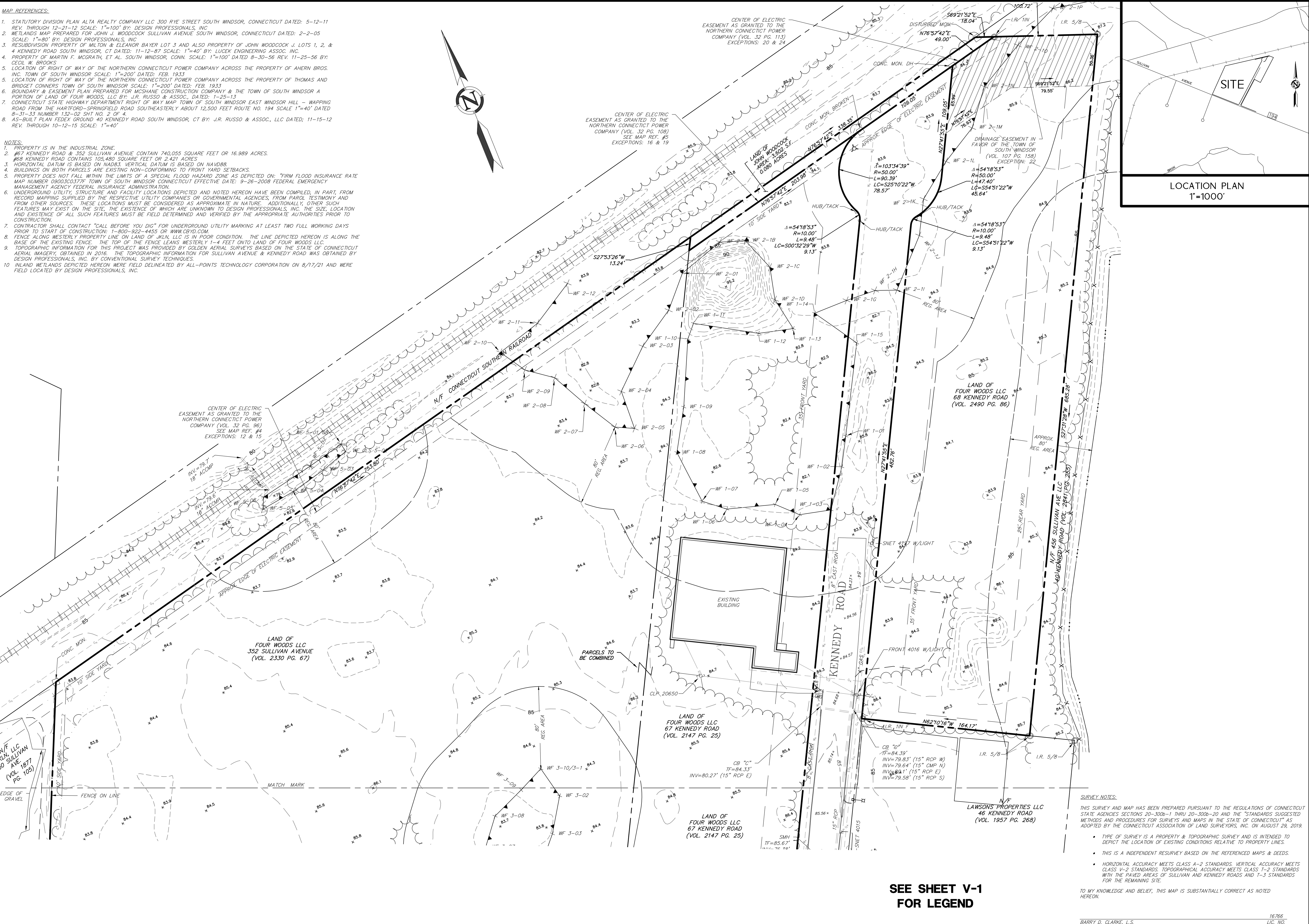
LEGEND	
EXISTING	DESCRIPTION
	BORING / TEST PIT LOCATION
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
	APPROX. UNDERGROUND COMMUNICATION LINES
	BENCHMARK
	APPROX. WATER MAIN
	APPROX. WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
	POLE MOUNTED LIGHT
	GAS VALVE
	APPROX. GAS MAIN
	APPROX. GAS SERVICE LINE
	ELECTRICAL LINES, OVERHEAD
	APPROX. ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
	UTILITY POLE WITH LIGHT
	UTILITY POLE WITH TRANSFORMER
	PROPERTY LINE
	EASEMENT LINE
	IRON PIPE
	IRON ROD
	MONUMENT
	GUARD RAIL
	SIGN
	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	STONE WALL
	TREE
	TREE LINE
	APPROX. SANITARY SEWER MAIN
	APPROX. SANITARY SEWER SERVICE LINE
	SANITARY SEWER MANHOLE
	SEWER CLEAN OUT
	APPROX. STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
	CONTOUR
	SPOT ELEVATION
	WETLANDS LINE

MAP REFERENCES:

1. STATUTORY DIVISION PLAN ALTA REALTY COMPANY LLC 300 RYE STREET SOUTH WINDSOR, CONNECTICUT DATED: 5-12-11 REV. THROUGH 12-21-12 SCALE: 1"=100' BY: DESIGN PROFESSIONALS, INC
2. WETLANDS MAP PREPARED FOR JOHN J. WOODCOCK SULLIVAN AVENUE SOUTH WINDSOR, CONNECTICUT DATED: 2-2-05 SCALE: 1"=80' BY: DESIGN PROFESSIONALS, INC
3. RESUBDIVISION PROPERTY OF MILTON & ELEANOR BAYER LOT 3 AND ALSO PROPERTY OF JOHN WOODCOCK J. LOTS 1, 2, & 4 KENNEDY ROAD SOUTH WINDSOR, CT DATED: 11-12-87 SCALE: 1"=40' BY: LUCEK ENGINEERING ASSOC. INC.
4. PROPERTY OF MARTIN F. MCGRATH, ET AL. SOUTH WINDSOR, CONN. SCALE: 1"=100' DATED 8-30-56 REV. 11-25-56 BY: CECIL W. BROOKS
5. LOCATION OF RIGHT OF WAY OF THE NORTHERN CONNECTICUT POWER COMPANY ACROSS THE PROPERTY OF AHERN BROS. INC. TOWN OF SOUTH WINDSOR SCALE: 1"=200' DATED: FEB. 1933
6. LOCATION OF RIGHT OF WAY OF THE NORTHERN CONNECTICUT POWER COMPANY ACROSS THE PROPERTY OF THOMAS AND BRIDGET CONNERS TOWN OF SOUTH WINDSOR SCALE: 1"=200' DATED: FEB. 1933
7. BOUNDARY & EASEMENT PLAN PREPARED FOR MCSHANE CONSTRUCTION COMPANY & THE TOWN OF SOUTH WINDSOR A PORTION OF LAND OF FOUR WOODS, LLC BY: J.R. RUSSO & ASSOC., DATED: 1-25-13
8. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR EAST WINDSOR HILL - WAPPING ROAD FROM THE HARTFORD-SPRINGFIELD ROAD SOUTHEASTERLY ABOUT 12,500 FEET ROUTE NO. 194 SCALE 1"=40' DATED 8-31-33 NUMBER 132-02 SHT NO. 2 OF 4
9. AS-BUILT PLAN FEDEX GROUND 40 KENNEDY ROAD SOUTH WINDSOR, CT BY: J.R. RUSSO & ASSOC., LLC DATED: 11-15-12 REV. THROUGH 10-12-15 SCALE: 1"=40'

NOTES:

1. PROPERTY IS IN THE INDUSTRIAL ZONE.
2. #67 KENNEDY ROAD & 352 SULLIVAN AVENUE CONTAIN 740,055 SQUARE FEET OR 16.989 ACRES.
3. #68 KENNEDY ROAD CONTAINS 105,480 SQUARE FEET OR 2.421 ACRES.
4. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
5. BUILDINGS ON BOTH PARCELS ARE EXISTING NON-CONFORMING TO FRONT YARD SETBACKS.
6. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE, AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0377E TOWN OF SOUTH WINDSOR CONNECTICUT EFFECTIVE DATE: 9-26-2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION."
7. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION. 1-800-922-4455 OR WWW.CBYD.COM
9. FENCE ALONG WESTERLY PROPERTY LINE ON LAND OF JKLN, LLC IS IN POOR CONDITION. THE LINE DEPICTED HEREON IS ALONG THE BASE OF THE EXISTING FENCE. THE TOP OF THE FENCE LEANS WESTERLY 1-4 FEET ONTO LAND OF FOUR WOODS LLC.
10. TOPOGRAPHIC INFORMATION FOR THIS PROJECT WAS PROVIDED BY GOLDEN AERIAL SURVEYS BASED ON THE STATE OF CONNECTICUT AERIAL IMAGERY OBTAINED IN 2016. THE TOPOGRAPHIC INFORMATION FOR SULLIVAN AVENUE & KENNEDY ROAD WAS OBTAINED BY DESIGN PROFESSIONALS, INC. BY CONVENTIONAL SURVEY TECHNIQUES.
11. INLAND WETLANDS DEPICTED HEREON WERE FIELD DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION ON 8/17/21 AND WERE FIELD LOCATED BY DESIGN PROFESSIONALS, INC.



SEE SHEET V-1
FOR LEGEND

SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON THE REFERENCED MAPS & DEEDS.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS WITH THE PAVED AREAS OF SULLIVAN AND KENNEDY ROADS AND T-3 STANDARDS FOR THE REMAINING SITE.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

BARRY D. CLARKE, L.S.

16766

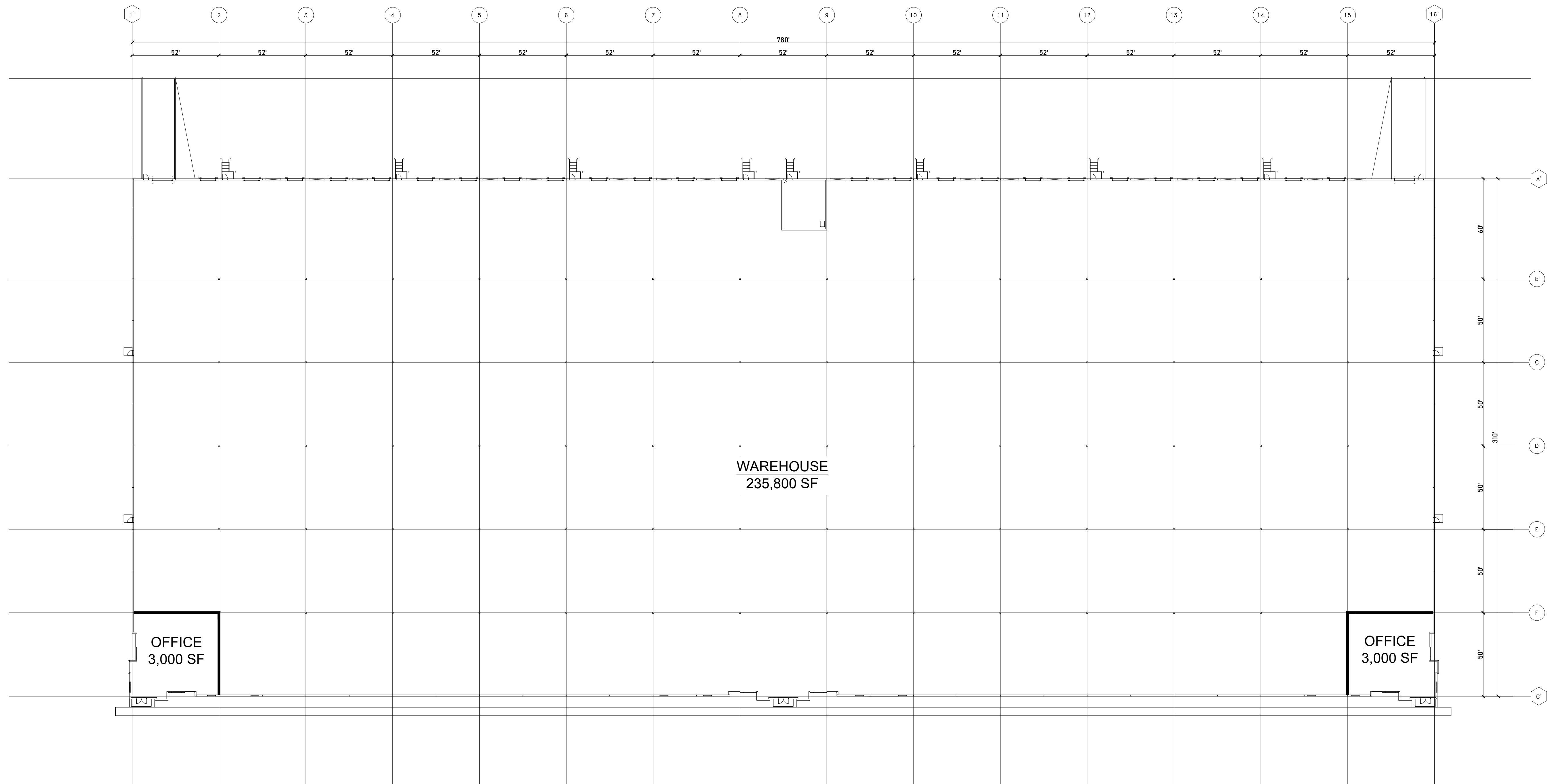
LIC. NO.

PROPERTY & TOPOGRAPHIC SURVEY	NO.	DATE	REVISIONS		BY
			1	2-9-22	
SHEET V-2	PREPARED FOR:				
	DANIEL MADRIGAL SCANNELL PROPERTIES 294 GROVE LANE EAST SUITE 140 WAYZATA, MN 55391				
PROJECT NO. 4670					
DESIGN BY: 9-20-21					
DRAWN BY: BDC					
CHECKED BY: BDC					
DATE: 9-20-21					
L.S.C.					

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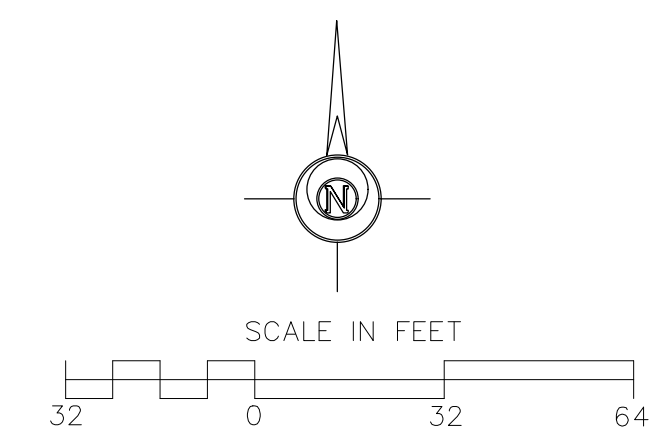
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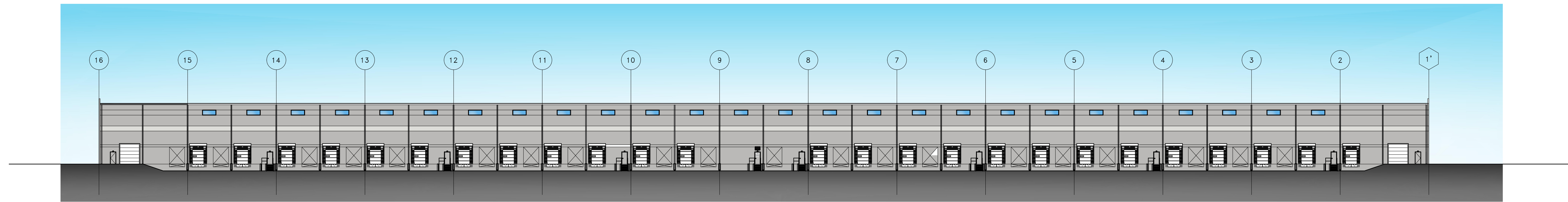


PROPOSED:
PROJECT SITE
April 20, 2022

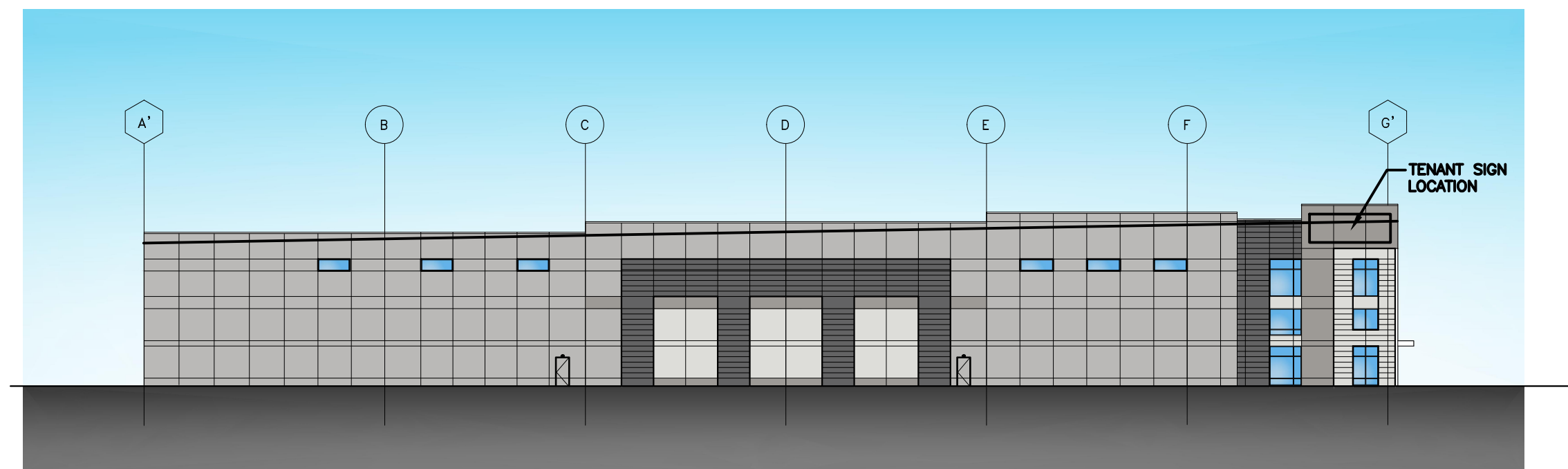
Proposed Office / Warehouse

South Windsor, CT

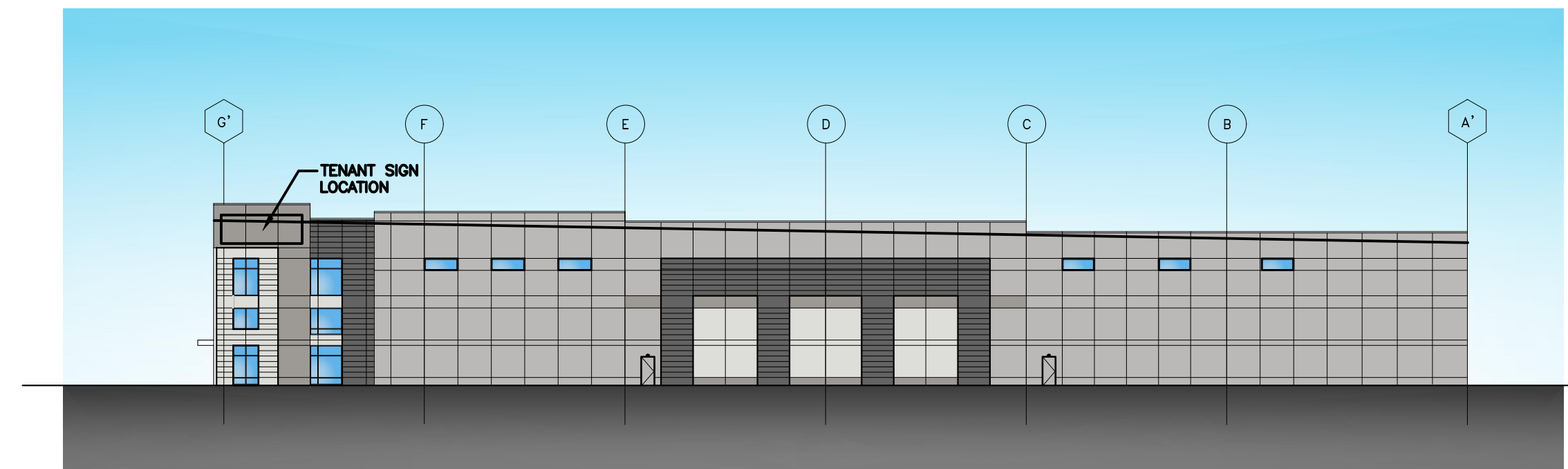




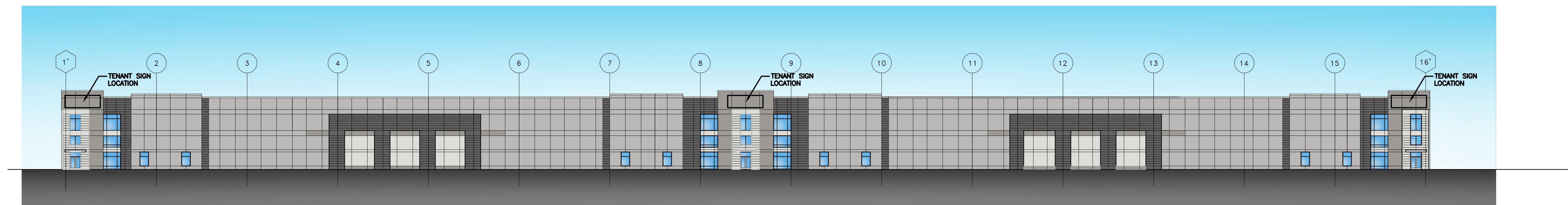
PLAN WEST ELEVATION



PLAN SOUTH ELEVATION



PLAN NORTH ELEVATION

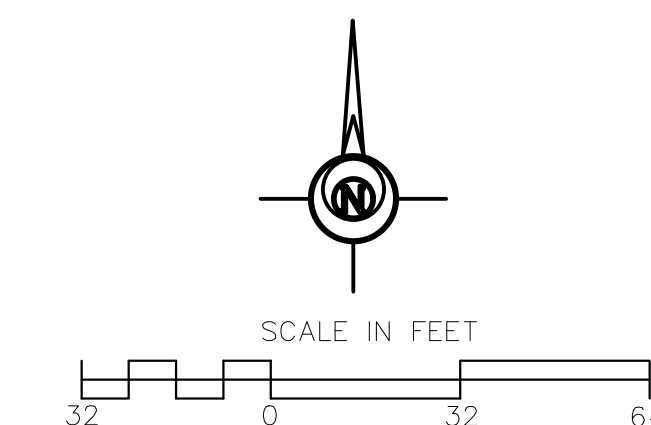


PLAN EAST ELEVATION

PROPOSED:
PROJECT SITE
April 20, 2022

Proposed Office / Warehouse

South Windsor, CT



SCANNELL
PROPERTIES