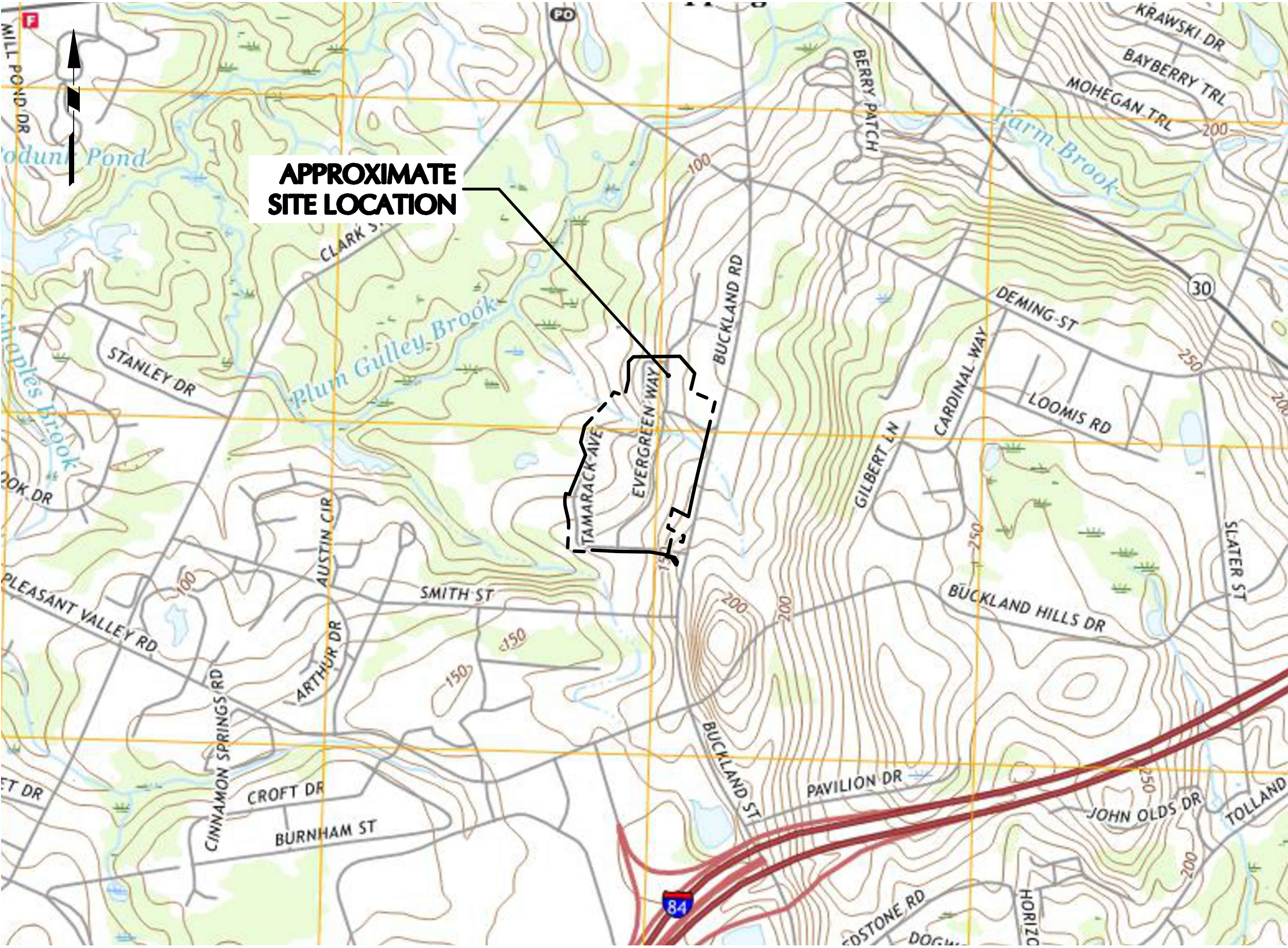


PROPOSED RESTAURANT DEVELOPMENT AT THE PROMENADE SHOPS AT EVERGREEN WALK

PERMITTING SET
601 EVERGREEN WAY
MAP 27, BLOCK 15, UNIT 2
TOWN OF SOUTH WINDSOR, HARTFORD COUNTY, CONNECTICUT

DRAWING INDEX

NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS001	COVER SHEET	08/25/2021	09/23/2021
VL101	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	08/25/2021
VL102	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	08/25/2021
VL103	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	08/25/2021
CS002	MASTER LEGEND & NOTES	08/25/2021	09/23/2021
CS100	KEY MAP	08/25/2021	09/23/2021
CS101	SITE PLAN	08/25/2021	09/23/2021
CS501	SITE DETAILS I	08/25/2021	09/23/2021
CS502	SITE DETAILS II	08/25/2021	09/23/2021
CG101	GRADING & DRAINAGE PLAN	08/25/2021	09/23/2021
CG501	GRADING & DRAINAGE DETAILS I	08/25/2021	09/23/2021
CUI01	UTILITY PLAN	08/25/2021	09/23/2021
CUS01	UTILITY DETAILS I	08/25/2021	09/23/2021
CUS02	UTILITY DETAILS II	08/25/2021	09/23/2021
CE101	SOIL EROSION AND SEDIMENT CONTROL PLAN	08/25/2021	09/23/2021
CE501	SOIL EROSION AND SEDIMENT CONTROL DETAILS I	08/25/2021	09/23/2021
LP101	LANDSCAPE PLANTING PLAN	08/25/2021	09/23/2021
LP501	PLANTING DETAILS	08/25/2021	09/23/2021
LL101	SITE LIGHTING PLAN	08/25/2021	09/23/2021
LL501	LIGHTING DETAILS	08/25/2021	09/23/2021



MAP REFERENCE: USGS MANCHESTER QUADRANGLE (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 1000'

RELEASE DATES

DATE	ISSUED FOR
08/25/2021	INLAND WETLANDS, WATERCOURSES, AND CONSERVATION APPLICATION
09/23/2021	PLANNING AND ZONING SUBMISSION

APPLICANT
CHARTER REALTY & DEVELOPMENT CORP.
C/O KAREN JOHNSON
75 HOLLY HILL LANE, SUITE 305
GREENWICH, CT 06830
(617) 431-1091

OWNER
EVERGREEN WALK LIFESTYLE CENTER, LLC
C/O MYLES OSTROFF
501 EVERGREEN WAY, SUITE 503
SOUTH WINDSOR, CT 06074

LAND SURVEYOR, CIVIL ENGINEER,
LANDSCAPE ARCHITECT
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES, INC
C/O DAVID GAGNON
555 LONG WHARF DRIVE
NEW HAVEN, CT 06511
(203) 562-5771

SOIL SCIENTIST
ALL-POINTS TECHNOLOGY
CORPORATION
C/O DEAN GUSTAFSON
567 VAUXHALL STREET EXTENSION
SUITE 311 WATERFORD, CT 06385
(860) 552-2033

ABUTTING PROPERTY OWNERS

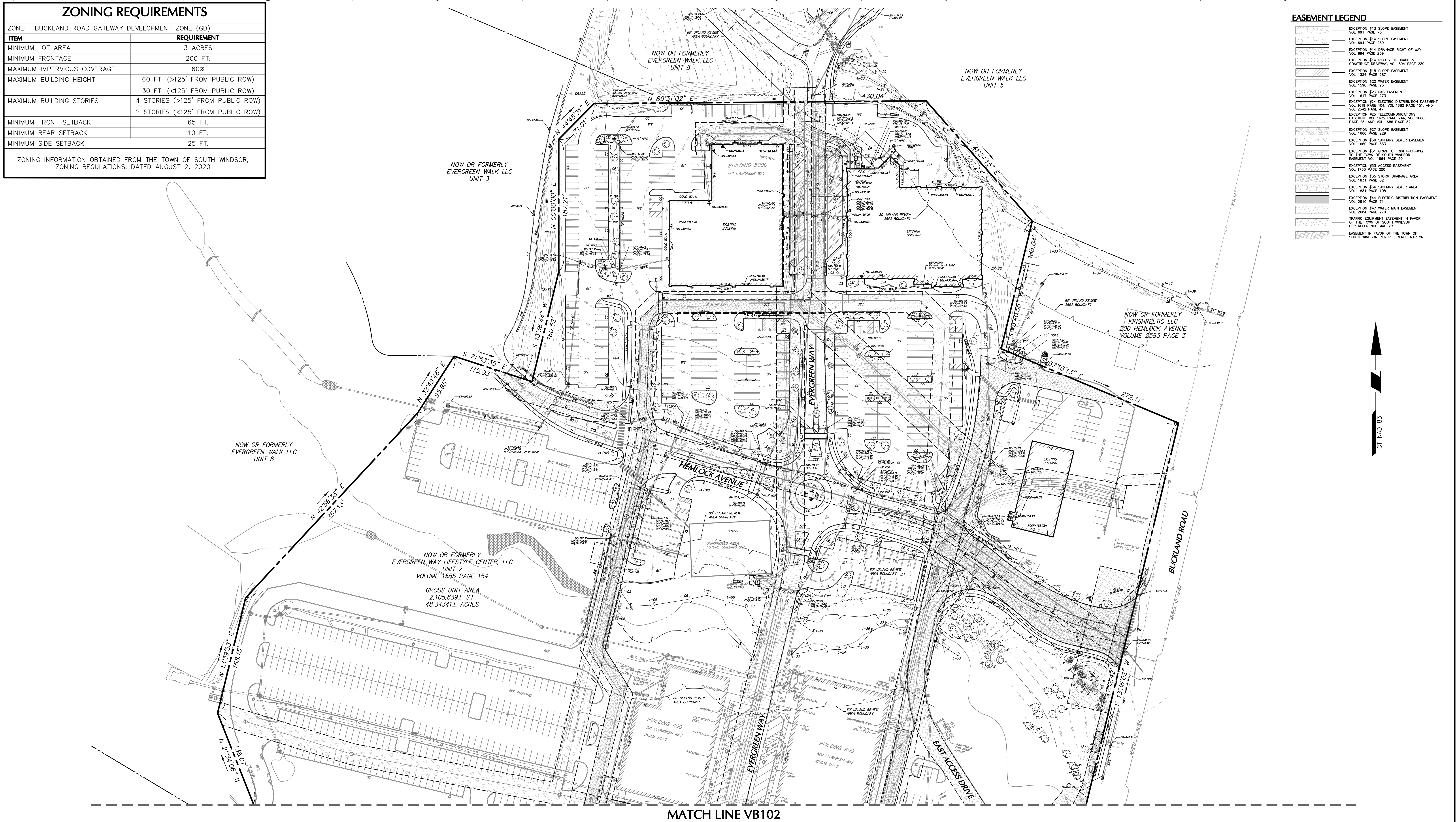
MAP	BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
20	40	0494	HOOD MARK J	494 CLARK STREET
20	40	0716	859 CLARK ST LLC	716 CLARK STREET
27	60	0075	BD ASSET CO 2 LLC	75 DEMING STREET
83	70	0302	HO-NG HIU HUNG & NG WEI-QUAN	302 SMITH STREET
15	30	0235	EVERGREEN WALK LLC	235 BUCKLAND ROAD
15	30	0179	CURRENT RESIDENT	179 BUCKLAND ROAD
15	30	0079	SOUTH WINDSOR TOWN OF	79 BUCKLAND ROAD
15	30	0325	SOUTH WINDSOR TOWN OF	325 BUCKLAND ROAD
15	30	0095	SOUTH WINDSOR TOWN OF	95 BUCKLAND ROAD
49	39	0101	LARSON BURTON L & JOAN D	101 KEBALO LANE
49	39	0102	CASONE CAROL M	102 KEBALO LANE
49	39	0103	BERNETICH JOHN J & RACHEL	103 KEBALO LANE
49	39	0104	TULEJA DONALD T TR	104 KEBALO LANE
49	39	0201	PINEO DANNE TM	201 KEBALO LANE
49	39	0202	REID DEBRA M TR	202 KEBALO LANE
49	39	0203	GANTNER AMY	203 KEBALO LANE
49	39	0204	ARCELL STEVEN A	204 KEBALO LANE
49	39	0301	MOYNIHAN MARGARET M	301 KEBALO LANE
49	39	0302	BUNNELL RICHARD C & MARY E	302 KEBALO LANE
49	39	0303	ORTON FRANK D IV	303 KEBALO LANE
49	39	0304	ALLISON NANCY	304 KEBALO LANE
49	39	0501	RUDYK VERA	501 KEBALO LANE
49	39	0502	HARRINGTON CORDELIA T	502 KEBALO LANE
49	39	0503	STANLEY ROBERT F TR	503 KEBALO LANE
49	39	0601	GOWING ROBERTA J	601 KEBALO LANE
49	39	0602	GRAICERSTEIN RITA	602 KEBALO LANE
49	39	0603	ANDREWS FREDERICK C	603 KEBALO LANE
49	39	0604	TAMARKIN KARIN W	604 KEBALO LANE
49	39	0701	LEDBETTER WAYNE A & MARVA	701 KEBALO LANE
49	39	0702	PERRIN JANE F	702 KEBALO LANE
49	39	0703	RYAN RICHARD IRREVOCABLE TRUST L/U	703 KEBALO LANE
49	39	0704	SINCLAIR ANN W	704 KEBALO LANE
49	39	0705	SIBICKY ALEXANDER G & JOANNE W	705 KEBALO LANE
49	39	0706	SIMMONS DONALD R & LINDA M	706 KEBALO LANE
49	39	0000	CURRENT RESIDENT	KEBALO LANE
31	30	0101	CURRENT RESIDENT	101 EVERGREEN WAY
31	30	0201	CURRENT RESIDENT	201 EVERGREEN WAY
31	30	0301	CURRENT RESIDENT	301 EVERGREEN WAY
31	30	0401	CURRENT RESIDENT	401 EVERGREEN WAY
31	30	0501	CURRENT RESIDENT	501 EVERGREEN WAY
31	30	0601	CURRENT RESIDENT	601 EVERGREEN WAY
31	30	0801	CURRENT RESIDENT	801 EVERGREEN WAY
31	30	0800	CURRENT RESIDENT	800 EVERGREEN WAY
41	35	0100	CURRENT RESIDENT	100 HEMLOCK AVENUE
31	30	0500	CURRENT RESIDENT	500 EVERGREEN WAY
31	30	0400	CURRENT RESIDENT	400 EVERGREEN WAY
31	30	0300	CURRENT RESIDENT	300 EVERGREEN WAY
31	30	0200	CURRENT RESIDENT	200 EVERGREEN WAY
31	30	0100	CURRENT RESIDENT	100 EVERGREEN WAY
17	85	0100	REALTY INCOME PROPERTIES 21 LLC	100 CEDAR AVENUE
89	30	2800	EVERGEEN MEDICAL ASSOCIATES LLC	2800 TAMARACK AVENUE
89	30	0035	BUCKLAND ROAD RETAIL LLC	35 TAMARACK AVENUE
31	30	0000	EVERGEEN WALK LIFESTYLE CENTER LLC	EVERGREEN WAY
89	30	2400	EVERGREEN MEDICAL ASSOCIATES II LLC	2400 TAMARACK AVENUE
83	70	0244	BRIN PETER J & JENNIFER J	244 SMITH STREET
31	30	0000	CURRENT RESIDENT	EVERGREEN WALK
49	39	0000	CURRENT RESIDENT	KEBALO LANE
17	85	0100	CURRENT RESIDENT	100 CEDAR AVENUE
54	65	1000	RHD SOUTH WINDSOR LLC	1000 LONGLEAF LANE
54	65	1200	RHD SOUTH WINDSOR LLC	1200 LONGLEAF AVENUE
89	39	2701	AGM PROPERTIES LLC	2701 TAMARACK AVENUE
03	20	0050	SOUTH WINDSOR DEVELOPERS LLC	50 ANDREWS WAY
41	35	0900	CURRENT RESIDENT	900 HEMLOCK AVENUE
41	35	0900	EVERGREEN CROSSING RETIREMENT	900 HEMLOCK AVENUE
31	30	1000	CD-HRA (WINDSOR) LLC	1000 EVERGREEN WAY
83	70	0190	KF REALTY LLC	190 SMITH STREET
81	77	0010	COLCHESTER PROPERTIES LLC	10 SEDONA CIRCLE
83	70	0340	FRASER BRENDA J & BRUCE D	340 SMITH STREET
15	30	0151	EVERGREEN WALK LLC	151 BUCKLAND ROAD
20	40	0610	DUPRE BEVAN L	610 CLARK STREET
27	60	0083	TOSTARELLI STEPHANIE LAUREN	83 DEMING STREET
27	60	0047	SOUCY ARTHUR LIONEL TR	47 DEMING STREET
83	70	0260	EVERGREEN WALK LLC	260 SMITH STREET
83	70	0314	314 SMITH STREET ASSOCIATES LLC	314 SMITH STREET
83	70	0332	HAYES ROBERT J & BEVERLY E TRSTEES	332 SMITH STREET
20	40	0500	HOOD MARK J	500 CLARK STREET
15	30	0251	EVERGREEN WALK LLC	251 BUCKLAND ROAD
27	60	0087	GAINES MICHELLE L & JASON A	67 DEMING STREET
83	70	0140	JACQUES JEAN MARC	140 SMITH STREET
41	35	0200	KRISHNARETIC LLC	200 HEMLOCK AVENUE
20	40	0580	SMITH SHIRLEY W	580 CLARK STREET
27	60	0043	SOUCY ARTHUR L & KATE C	43 DEMING STREET

LANGAN

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

ZONING REQUIREMENTS	
ZONE: BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE (GD)	
ITEM	REQUIREMENT
MINIMUM LOT AREA	3 ACRES
MINIMUM FRONTAGE	200 FT.
MAXIMUM IMPERVIOUS COVERAGE	60%
MAXIMUM BUILDING HEIGHT	60 FT. (>125' FROM PUBLIC ROW) 30 FT. (<125' FROM PUBLIC ROW)
MAXIMUM BUILDING STORIES	4 STORIES (>125' FROM PUBLIC ROW) 2 STORIES (<125' FROM PUBLIC ROW)
MINIMUM FRONT SETBACK	65 FT.
MINIMUM REAR SETBACK	10 FT.
MINIMUM SIDE SETBACK	25 FT.
ZONING INFORMATION OBTAINED FROM THE TOWN OF SOUTH WINDSOR, ZONING REGULATIONS, DATED AUGUST 2, 2020	

EASEMENT LEGEND	
	EXCEPTION #13 SLOPE EASEMENT VOL. 691 PAGE 73
	EXCEPTION #14 SLOPE EASEMENT VOL. 694 PAGE 239
	EXCEPTION #14 DRAINAGE RIGHT OF WAY VOL. 694 PAGE 239
	EXCEPTION #14 RIGHTS TO GRADE & CONSTRUCT DRIVEWAY VOL. 694 PAGE 239
	EXCEPTION #15 SLOPE EASEMENT VOL. 1336 PAGE 287
	EXCEPTION #22 WATER EASEMENT VOL. 1396 PAGE 95
	EXCEPTION #23 GAS EASEMENT VOL. 1617 PAGE 273
	EXCEPTION #24 ELECTRIC DISTRIBUTION EASEMENT VOL. 1619 PAGE 104, VOL. 1660 PAGE 151, AND VOL. 2542 PAGE 47
	EXCEPTION #25 TELECOMMUNICATIONS EASEMENT VOL. 1632 PAGE 244, VOL. 1686 PAGE 25, AND VOL. 1686 PAGE 35
	EXCEPTION #27 SLOPE EASEMENT VOL. 1660 PAGE 229
	EXCEPTION #30 SANITARY SEWER EASEMENT VOL. 1660 PAGE 333
	EXCEPTION #31 GRANT OF RIGHT-OF-WAY TO THE TOWN OF SOUTH WINDSOR EASEMENT VOL. 1664 PAGE 20
	EXCEPTION #33 ACCESS EASEMENT VOL. 1753 PAGE 200
	EXCEPTION #35 STORM DRAINAGE AREA VOL. 1831 PAGE 82
	EXCEPTION #36 SANITARY SEWER AREA VOL. 1831 PAGE 108
	EXCEPTION #44 ELECTRIC DISTRIBUTION EASEMENT VOL. 2510 PAGE 71
	EXCEPTION #47 WATER MAIN EASEMENT VOL. 2684 PAGE 270
	TRAFFIC EQUIPMENT EASEMENT IN FAVOR OF THE TOWN OF SOUTH WINDSOR PER REFERENCE MAP 2R
	EASEMENT IN FAVOR OF THE TOWN OF SOUTH WINDSOR PER REFERENCE MAP 2R



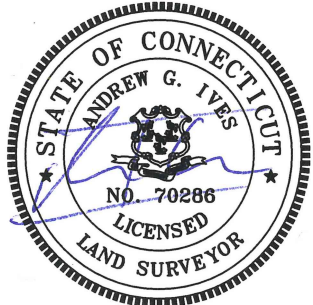
THIS IS TO CERTIFY TO

THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 8, 11, 13, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 15, 2021.

DATE OF MAP: AUGUST 25, 2021

ANDREW G. IVES, P.L.S. #70286

DATE 8/25/2021



Date	Description	No.
8/25/21	ADDITIONAL WETLAND FLAGS	3
4/26/21	ADDED TRAFFIC EASEMENT	2
3/17/21	WETLAND FLAG LOCATIONS	1
REVISIONS		

LANGAN

Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

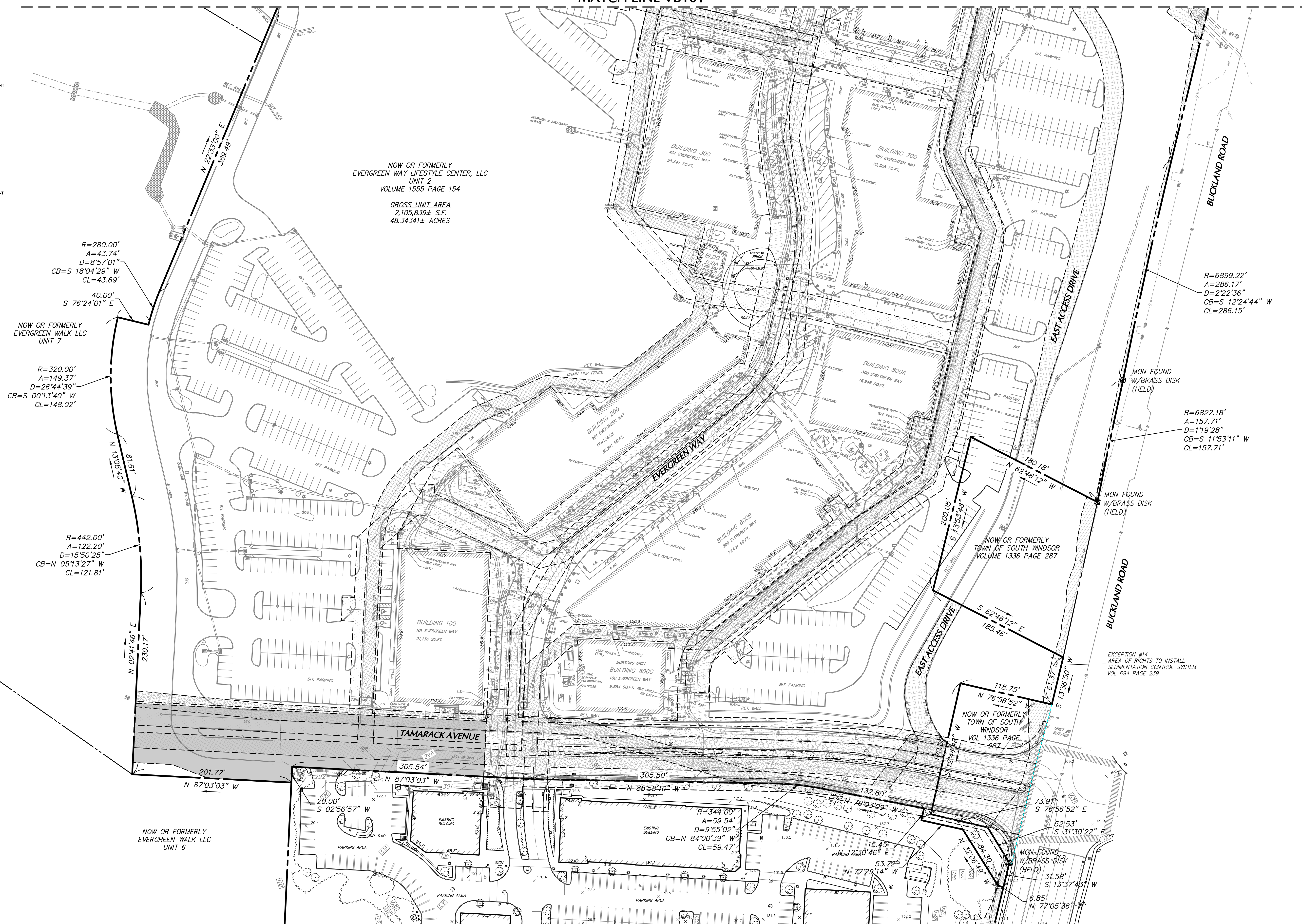
Project
EVERGREEN WALK LIFESTYLE CENTER, LLC
UNIT 2
SOUTH WINDSOR

Drawing Title
ALTA/NSPS LAND TITLE SURVEY

Project No. 140222801	Drawing No. VL101
Date FEBRUARY 8, 2021	
Drawn By JRL	
Checked By AGI	
	Sheet 1 of 3

EXCEPTION #13 SLOPE EASEMENT VOL. 691 PAGE 73	_____
EXCEPTION #14 SLOPE EASEMENT VOL. 694 PAGE 239	_____
EXCEPTION #14 DRAINAGE RIGHT OF WAY VOL. 694 PAGE 239	_____
EXCEPTION #14 RIGHTS TO GRADE & CONSTRUCT DRIVEWAY, VOL. 694 PAGE 239	_____
EXCEPTION #15 SLOPE EASEMENT VOL. 1336 PAGE 287	_____
EXCEPTION #22 WATER EASEMENT VOL. 1596 PAGE 95	_____
EXCEPTION #23 GAS EASEMENT VOL. 1617 PAGE 273	_____
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MATCH LINE VB101



8/25/21	ADDITIONAL WETLAND FLAGS	3
4/26/21	ADDED TRAFFIC EASEMENT	2
3/17/21	WETLAND FLAG LOCATIONS	1
Date	Description	No.
REVISIONS		

LANGAN

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	Project
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**EVERGREEN WALK
LIFESTYLE CENTER, LLC**

UNIT 2

SOUTH WINDSOR

CONNECTICUT

Drawing Title

ALTA/NSPS LAND TITLE SURVEY

Project No.	
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140222801

Date
FEBRUARY 8, 2021

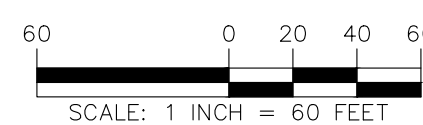
Drawn By JR

A

Drawing No.

VL102

Sheet 2 of 3



GENERAL NOTES

1. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM PLAN TITLE "ALTA/NSPS LAND TITLE SURVEY" BY LANGAN, CT, DATED 02-08-2021.
2. THE SITE LIES IN ZONE X (UNSHADED) AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERED 0900300383F EFFECTIVE SEPTEMBER 26, 2008.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING CAL BEFORE YOU DIG (WWW.CBGYD.COM), PRIOR TO PERFORMING EXCAVATION TEST HOLES, TEST BORINGS, AND WHATEVER ADDITIONAL INVESTIGATION IS NECESSARY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
4. ALL IMPROVEMENTS CONSTRUCTED IN THE TOWN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO TOWN OF SOUTH WINDSOR STANDARD DETAILS. IN THE ABSENCE OF LOCAL DETAILS & REQUIREMENTS AND WORK IN THE STATE RIGHT-OF-WAY SHALL COMPLY WITH THE MOST UP TO DATE VERSION OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
5. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
6. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND CONNECTICUT DEPARTMENT OF TRANSPORTATION REGULATIONS.
7. CONTRACTOR SHALL PREVENT DUST, SEDIMENT AND DEBRIS FROM EXISTING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED.
8. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.
9. ABBREVIATIONS:
ARCH = ARCHITECTURAL
CONC = CONCRETE
INV = INVERT
EX = EXISTING
HDPE = HIGH DENSITY POLYETHYLENE PIPE
PR = PROPOSED
RAD = REMOVE & DISPOSE
R&R = REMOVE & REPLACE
TP = TYPICAL
SWL = SINGLE WHITE LINE
SYL = SINGLE YELLOW LINE
BW = BOTTOM OF WALL
HP = HIGHPOINT
GR = TOP OF GRATE
RIM = TOP OF RIM
INV = INVERT
SAN MH = SANITARY SEWER MANHOLE
FFE = FINISHED FLOOR ELEVATION
C.C. = CART CORRAL
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON IS TAKEN FROM DESIGN PLANS, AS-BUILT SKETCHES, EXISTING UTILITY COMPANY RECORDS, AND OTHER SOURCES OF INFORMATION AND IS NOT TO BE CONSIDRED AS AN ACCURATE "AS-BUILT" SURVEY AND IS SUBJECT TO SUCH CORRECTIONS THAT A MORE ACCURATE SURVEY MAY DISCLOSE.
11. THE EXISTING UTILITIES INDICATED HEREON MAY NOT BE LOCATED AS SHOWN. IN ADDITION, OTHER UTILITIES NOT SHOWN HEREON MAY BE PRESENT. ANY DISCREPANCIES DISCOVERED DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
12. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS/DETAILS OF THE UTILITY COMPANY HAVING AUTHORITY OVER THE PROPOSED WORK. ALL PROPOSED UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ORDINANCES/REQUIREMENTS GOVERNING THE PROPOSED WORK.
13. ANY UTILITY EASEMENTS REQUIRED BY ANY OF THE VARIOUS UTILITY COMPANIES SHALL BE OBTAINED, EXECUTED, AND RECORDED PRIOR TO ANY OF THE AFFECTED UTILITY WORK BEING PERFORMED.
14. ALL PROPOSED UTILITIES WILL BE LOCATED UNDERGROUND.
15. ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SIZING ALL DRAINAGE STRUCTURES AND SUBMITTING SHOP DRAWINGS TO ENGINEER FOR REVIEW.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
18. ALL PAVEMENT MARKINGS SHALL BE EPOXY RESIN PAINT.
19. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
20. CONCRETE JOINTS ON SITE ARE TO BE FILLED WITH 2" ISOLATION JOINT FILLER, TO INCLUDE CONCRETE PAVEMENTS, MONOLITHIC CURBING, AND MONOLITHIC SIDEWALKS.
21. BOTTOM AND TOP OF RETAINING WALL ELEVATION SPOT SHOTS REPRESENT THE BASE OF THE WALL AT FINISHED GROUND LEVEL AND THE TOP OF THE FACE OF THE WALL RESPECTIVELY.
22. SPOT SHOTS ALONG CURB LINES REPRESENT THE BASE OF THE CURB UNLESS NOTED OTHERWISE.
23. ALL ON-SITE CONCRETE TO BE 4,500 PSI WITH 5% TO 7% AIR ENTRAPMENT UNLESS OTHERWISE NOTED.
24. TRANSFORMERS, HVAC UNITS, DUMPSTER AND SIMILAR SITE INSTALLATIONS MUST BE APPROPRIATELY SCREENED TO THE SATISFACTION OF THE PLANNING DEPARTMENT.
25. CONTRACTOR TO REMOVE ALL AGRICULTURAL PLASTIC SHEERING, IRRIGATION TUBING AND SIMILAR MATERIAL FROM THE SITE AND DISPOSE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS. CONTRACTOR TO REMOVE EXISTING BERMS AND SMALL PILES OF MATERIAL FROM EDGES OF FIELDS AND GRAD TO BLEND SMOOTHLY INTO ADJACENT TOPOGRAPHY.

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
6. LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR THE PROPER UTILITY COMPANY PROVIDING SERVICE.
7. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
8. DIMENSIONS SHOWN ARE TO THE CENTERLINE OF PIPE OR FITTING.
9. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
10. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.

ELECTRIC, TELEPHONE, & GAS:

11. CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANIES.
12. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.

WATER & SANITARY:

13. ALL SANITARY & WATER INSTALLATION TO MEET THE TOWN OF SOUTH WINDSOR STANDARDS.
14. ALL SANITARY SEWER PIPE TO BE PUSH-JOINT POLYVINYL CHLORIDE (PVC) PIPE SDR=35. ALL JOINTS BETWEEN PVC PIPE SECTIONS AND BETWEEN PIPE AND PRECAST MANHOLES SHALL HAVE WATER-TIGHT RUBBER GASKET CONNECTIONS. ALL PVC PIPES AND FITTINGS SHALL COMPLY WITH ASTM D3034-93. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST METHOD.
15. WHERE THE SANITARY SEWER LINE PASSES LESS THAN 18" BELOW THE WATER LINE, PROVIDE CONCRETE ENCASEMENT. THE LENGTH OF THE ENCASEMENT TO BE INCREASED TO THE NEAREST JOINT.
16. WHERE THE SANITARY SEWER LINE PASSES ABOVE THE WATER LINES, ENCASE SEWER IN 6" THICK CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE FOR THE PIPE BEING USED FOR THE SAME DISTANCE.
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4.5 FEET OF COVER FOR ALL WATER DISTRIBUTION PIPING.
18. ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600.
19. ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651.
20. GRAVITY PIPING SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM, "IN THE DRY". THE CONTRACTOR IS ENCOURAGED TO BEGIN WORK AT THE MOST DOWNSTREAM POINT IN THE SYSTEM, ESPECIALLY WHEN THE NEW WORK WILL CONNECT TO AN EXISTING UTILITY DOWNSTREAM. IF THE CONTRACTOR CHOOSES NOT TO START AT THE FURTHEST DOWNSTREAM LOCATION, THEN HE IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, ELEVATION, AND INVERT OF THE EXISTING UTILITY PRIOR TO STARTING ANY WORK AND VERIFYING THAT THE EXISTING LOCATION AND INVERT ALLOWS FOR THE CONSTRUCTION OF THE PROPOSED SYSTEM AS DESIGNED.

ACCESSIBILITY NOTES	
1. WALKWAYS ALONG ACCESSIBLE ROUTES NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE.	FIRE SERVICE UNDERGROUND TELECOMMUNICATIONS UNDERGROUND
2. ALL ADA PARKING SPACES AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2% IN ANY DIRECTION.	UNDERGROUND TRANSFORMER
3. ALL ADA EGRESSES SHALL BE FLUSH WITH ADJOINING MATERIAL UNLESS NOTED OTHERWISE.	HYDRANT SANITARY MANHOLE
4. ALL CURB RAMPS SHALL NOT EXCEED 1:12 RUNNING SLOPE OR 2% CROSS SLOPE.	WATER VALVE SAWCUT
5. CONTRACTOR SHALL CONFIRM FIELD CONDITIONS ARE CONSISTENT WITH CONSTRUCTION DOCUMENTS AND NOTIFY LANGAN, CT OF ANY COMPLIANCE ISSUES PRIOR TO CONSTRUCTION.	HEAVY DUTY ASPHALT PAVEMENT GUIDE RAIL

30" x 30"
MUTCD: R1-1

12" x 18" SIGN AND
12" x 6" PLACARD
MUTCD: R7-6p

30" x 30"
MUTCD: R5-1

DO NOT MOUNT ON
BACK OF STOP SIGN

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SETBACK LINE	---	---
WETLAND LIMITS	---	▲
ZONE LINE	---	---
BUILDING LINE	///	---
DOOR LOCATION	▽	▼
LOADING BAY DOOR LOCATION		□
6" CURB LINE	---	---
12" CONCRETE CURB LINE	---	---
TRAFFIC SIGN	—○—	•
STEEL BOLLARD		58
PARKING ROW COUNT		LA
CONCRETE		LA
LANDSCAPE AREA		LA
8' CHAIN LINK FENCE		LA
RETAINING WALL		LA
STORMWATER MANAGEMENT FEATURE		LA
STORM PIPE	---	---
STORM CURBED CATCH BASIN	■	■
STORM CURBLESS CATCH BASIN		■
STORM TRENCH DRAIN		■
STORM YARD DRAIN		■
STORM MANHOLE		■
CONTOUR	137	135
SPOT ELEVATION	X 192.54	X 135.19
INLET PROTECTION	■	■
SILT FENCE		■
FIBER ROLL		●
CONSTRUCTION FENCE		×
LIMIT OF DISTURBANCE		LOD
DIRECTION OF TRAVEL ARROW		→
PAVEMENT MARKING		→
GRAVITY SANITARY LINE	---	---
SANITARY FORCE MAIN		UFM
CLEANOUT		c.o.
WATER LINE	W	W
FIRE SERVICE LOOP	UFW*	UFW
UNDERGROUND TELECOMMUNICATIONS	E	UT
UNDERGROUND ELECTRIC	E	E
UNDERGROUND GAS	G	G
TRANSFORMER		T
HYDRANT		↑
SANITARY MANHOLE		●
WATER VALVE		●
SAWCUT		---
HEAVY DUTY ASPHALT PAVEMENT		---
GUIDE RAIL		---
RAIN GARDEN		---

GRADING & DRAINAGE NOTES

1. THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" (800-922-4455) FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
4. CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
5. ALL EXISTING STORM DRAINAGE PIPING AND STRUCTURES LOCATED WITHIN THE PROJECT SITE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
6. ALL REQUIRED STORM LATERALS SERVING THE PROPOSED BUILDING SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF THE FOUNDATION. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF LATERALS TO THE BUILDING SHALL BE MADE BY THE BUILDING CONTRACTOR.
7. SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZES OF THE DRAINAGE STRUCTURES.
8. SITE CONTRACTOR TO INSTALL SILT SACK/INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS BEFORE COMMENCING CONSTRUCTION.
9. BASINS UTILIZED AS SEDIMENT BASINS DURING CONSTRUCTION SHALL BE CLEANED AFTER THE COMPLETION OF CONSTRUCTION TO ENSURE PROPER FUNCTIONALITY.
10. CONTRACTOR TO CLEAN ENTIRE DRAINAGE SYSTEM, WHICH INCLUDES BUT IS NOT LIMITED TO PIPES, STRUCTURES, AND BASINS, OF SEDIMENT PRIOR TO PROJECT COMPLETION.

CONTRACTOR NOTES

1. THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INFORMATION PERTAINING TO THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INFORMATION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THAT THE CONTRACTOR AGREES WITH THE OWNER, ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL INFORMATION REGARDING ALL INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

DEMOLITION NOTES

GENERAL:

1. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "CALL BEFORE YOU DIG," EXCAVATING THE HOLES, AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
4. THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
6. THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED PERMITS.
8. THE CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.

DEMOLITION:

9. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
10. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE, & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

The image shows a circular professional engineer seal for the State of Connecticut. The seal features the state coat of arms in the center, surrounded by the text "STATE OF CONNECTICUT" and "PROFESSIONAL ENGINEER". The license number "10025" is visible. A blue ink signature, "Thomas J. Langan", is written across the seal.

MASTER LEGEND & NOTES

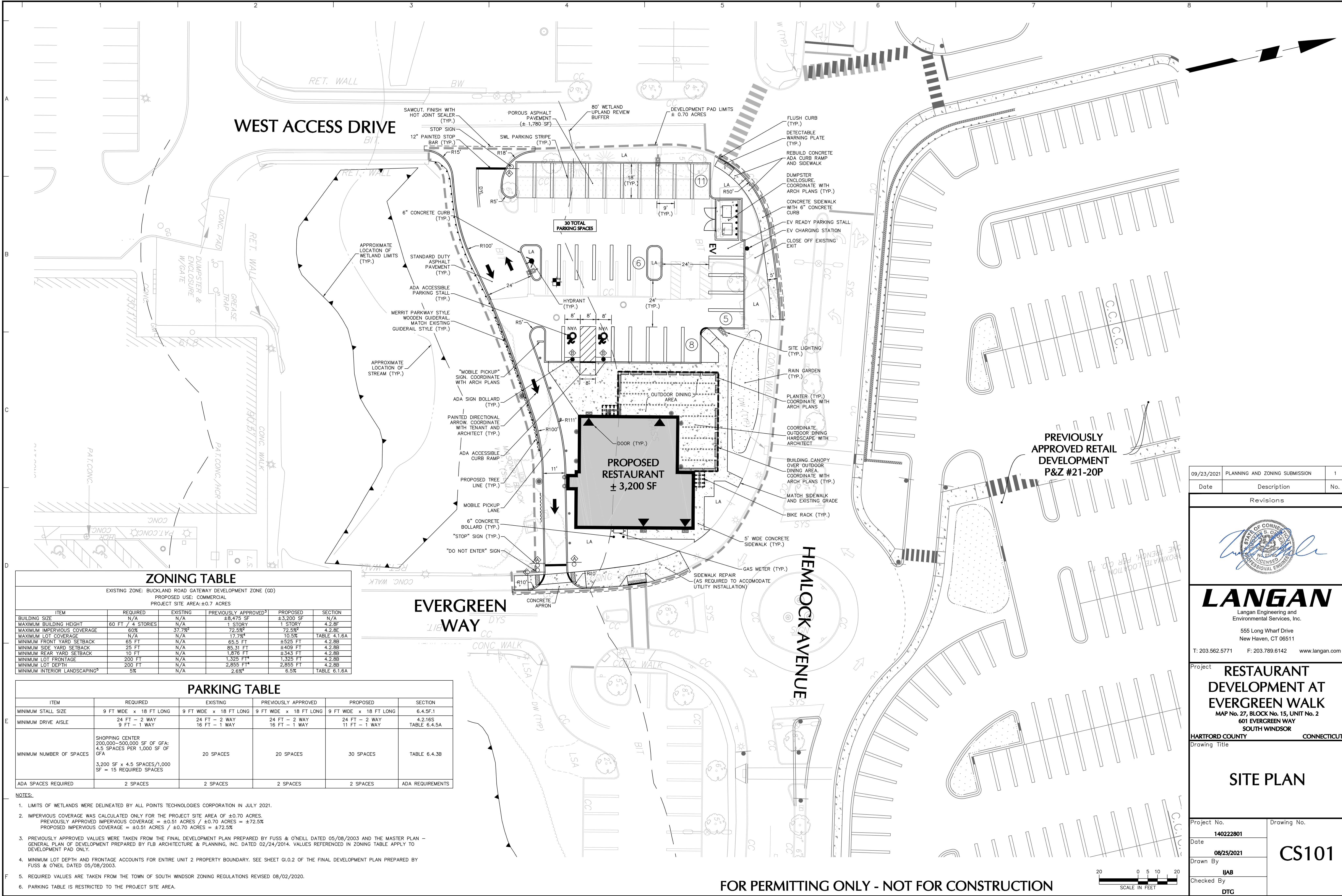
CS002

Date: 9/23/2021 Time: 11:16 User: jmontagno Style Table: Langan.stb Layout: CS002 Document Code: 140222801-0507-CS002-0101



FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

Project No.	Drawing No.
140222801	CS100
Date	
08/25/2021	
Drawn By	
IJAB	
Checked By	
DTG	



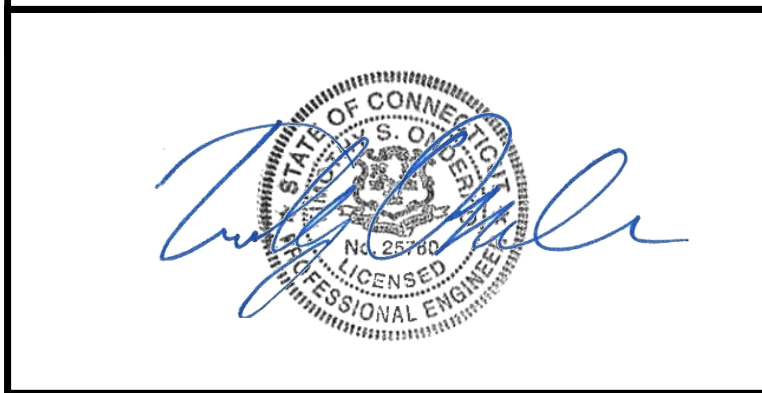
ZONING TABLE					
EXISTING ZONE: BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE (GD)					
PROPOSED USE: COMMERCIAL					
PROJECT SITE AREA: ±0.7 ACRES					
ITEM	REQUIRED	EXISTING	PREVIOUSLY APPROVED*	PROPOSED	SECTION
BUILDING SIZE	N/A	N/A	±8,475 SF	±3,200 SF	N/A
MAXIMUM BUILDING HEIGHT	60 FT / 4 STORIES	N/A	1 STORY	1 STORY	4.2.8F
MAXIMUM IMPERVIOUS COVERAGE	60%	37.7%	72.5%	72.5%	4.2.8E
MAXIMUM LOT COVERAGE	N/A	N/A	17.7%	10.5%	TABLE 4.1.6A
MINIMUM FRONT YARD SETBACK	65 FT	N/A	65.5 FT	±525 FT	4.2.8B
MINIMUM SIDE YARD SETBACK	25 FT	N/A	85.31 FT	±409 FT	4.2.8B
MINIMUM REAR YARD SETBACK	10 FT	N/A	1,876 FT	±343 FT	4.2.8B
MINIMUM LOT FRONTAGE	200 FT	N/A	1,325 FT*	1,325 FT	4.2.8B
MINIMUM LOT DEPTH	200 FT	N/A	2,855 FT*	2,855 FT	4.2.8B
MINIMUM INTERIOR LANDSCAPING*	5%	N/A	2.6%	6.5%	TABLE 6.1.6A

PARKING TABLE					
ITEM	REQUIRED	EXISTING	PREVIOUSLY APPROVED	PROPOSED	SECTION
MINIMUM STALL SIZE	9 FT WIDE x 18 FT LONG	9 FT WIDE x 18 FT LONG	9 FT WIDE x 18 FT LONG	9 FT WIDE x 18 FT LONG	6.4.5F.1
MINIMUM DRIVE AISLE	24 FT - 2 WAY 9 FT - 1 WAY	24 FT - 2 WAY 16 FT - 1 WAY	24 FT - 2 WAY 16 FT - 1 WAY	24 FT - 2 WAY 11 FT - 1 WAY	4.2.16S TABLE 6.4.5A
MINIMUM NUMBER OF SPACES	SHOPPING CENTER 200,000-500,000 SF OF GFA: 4.5 SPACES PER 1,000 SF OF GFA 3,200 SF x 4.5 SPACES/1,000 SF = 15 REQUIRED SPACES	20 SPACES	20 SPACES	30 SPACES	TABLE 6.4.3B
ADA SPACES REQUIRED	2 SPACES	2 SPACES	2 SPACES	2 SPACES	ADA REQUIREMENTS

- NOTES:
- LIMITS OF WETLANDS WERE DELINEATED BY ALL POINTS TECHNOLOGIES CORPORATION IN JULY 2021.
 - IMPERVIOUS COVERAGE WAS CALCULATED ONLY FOR THE PROJECT SITE AREA OF ±0.70 ACRES.
PREVIOUSLY APPROVED IMPERVIOUS COVERAGE = ±0.51 ACRES / ±0.70 ACRES = ±72.5%
PROPOSED IMPERVIOUS COVERAGE = ±0.51 ACRES / ±0.70 ACRES = ±72.5%
 - PREVIOUSLY APPROVED VALUES WERE TAKEN FROM THE FINAL DEVELOPMENT PLAN PREPARED BY FUSS & O'NEIL DATED 05/08/2003 AND THE MASTER PLAN - GENERAL PLAN OF DEVELOPMENT PREPARED BY FLB ARCHITECTURE & PLANNING, INC. DATED 02/24/2014. VALUES REFERENCED IN ZONING TABLE APPLY TO DEVELOPMENT PAD ONLY.
 - MINIMUM LOT DEPTH AND FRONTAGE ACCOUNTS FOR ENTIRE UNIT 2 PROPERTY BOUNDARY. SEE SHEET GLO.2 OF THE FINAL DEVELOPMENT PLAN PREPARED BY FUSS & O'NEIL DATED 05/08/2003.
 - REQUIRED VALUES ARE TAKEN FROM THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS REVISED 08/02/2020.
 - PARKING TABLE IS RESTRICTED TO THE PROJECT SITE AREA.

09/23/2021	PLANNING AND ZONING SUBMISSION	1
Date	Description	No.

Revisions	
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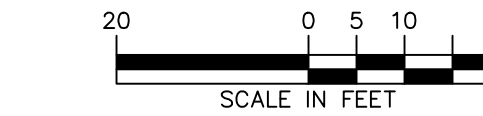
LANGAN
Langan Engineering and Environmental Services, Inc.
555 Long Wharf Drive
New Haven, CT 06511
T: 203.562.5771 F: 203.789.6142 www.langan.com

Project **RESTAURANT DEVELOPMENT AT EVERGREEN WALK**
MAP No. 27, BLOCK No. 15, UNIT No. 2
601 EVERGREEN WAY
SOUTH WINDSOR
HARTFORD COUNTY CONNECTICUT

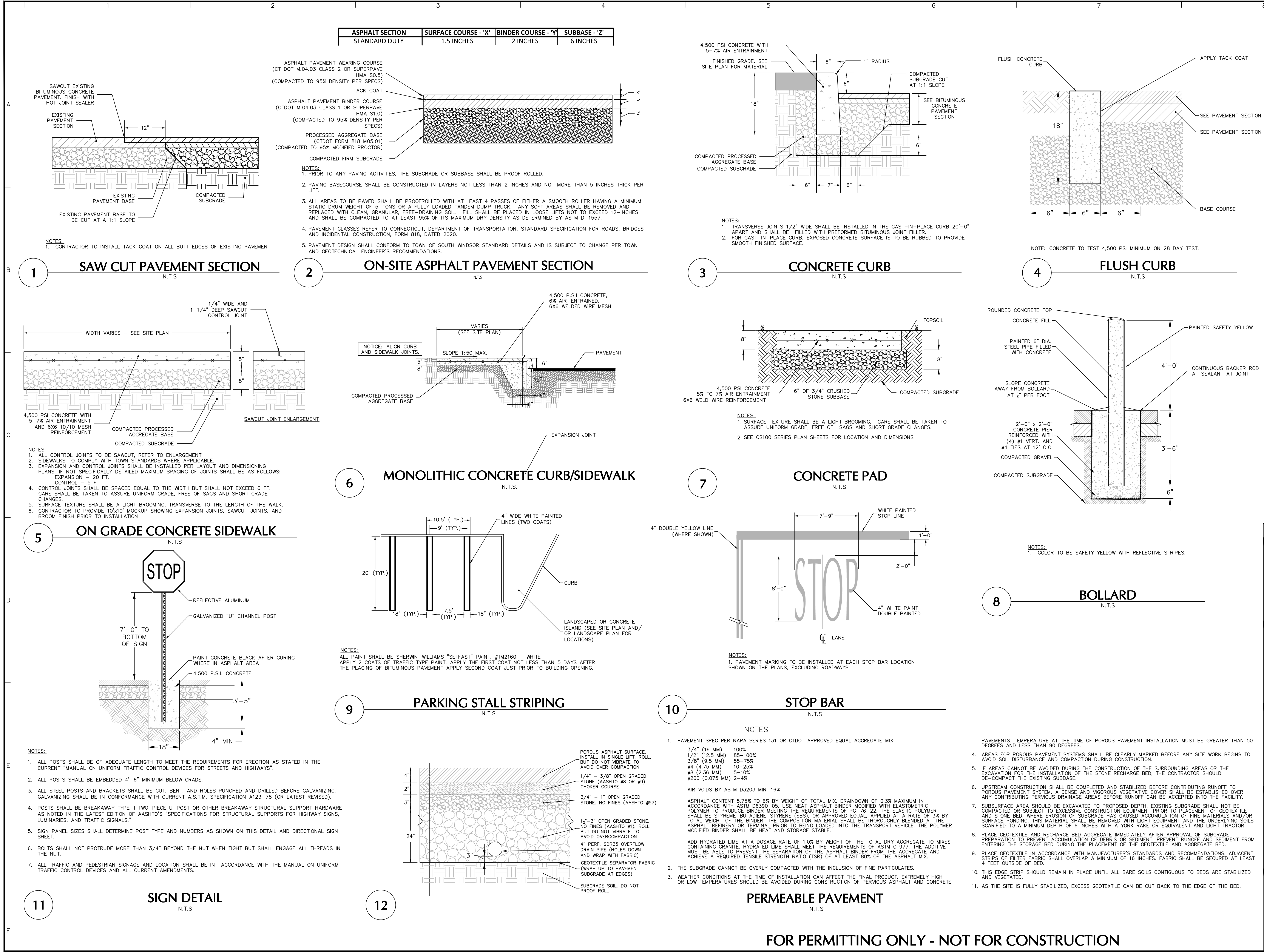
Drawing Title

SITE PLAN

Project No.	Drawing No.
140222801	CS101
Date	
08/25/2021	
Drawn By	
IJAB	DTG
Checked By	



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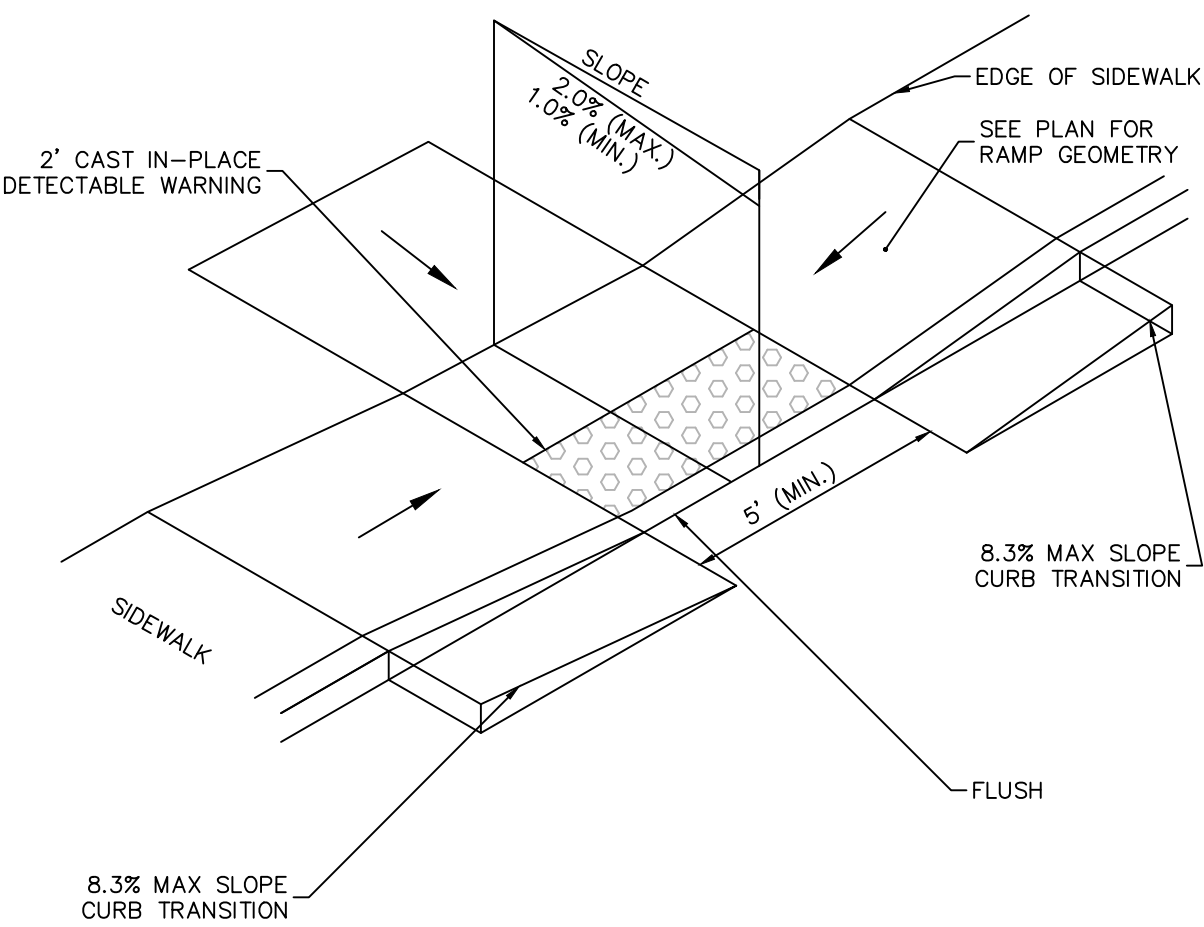


09/23/2021	PLANNING AND ZONING SUBMISSION	1
Date	Description	No.
Revisions		
LANGAN Langan Engineering and Environmental Services, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project RESTAURANT DEVELOPMENT AT EVERGREEN WALK MAP No. 27, BLOCK No. 15, UNIT No. 2 601 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title SITE DETAILS I		
Project No.	Drawing No.	
140222801	CS501	
Date	08/25/2021	
Drawn By	CMD	
Checked By	DTG	

A
B
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E
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LANEANG
Project No. 140222801
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- NOTES:
1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
 2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
 3. ALL RAMPS SHALL BE CONSTRUCTED OF CLASS "C" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE M.03.01.
 4. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
 5. DIAGONAL SIDEWALK RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
 6. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION / CONTRACTION JOINT OR DUMMY JOINT. 12:1 MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GRADE. IN RECOGNITION OF THIS, A MINIMUM LIMIT OF 15' (4.57m) FOR A PARALLEL RAMP SHALL BE USED. REMOVAL SHALL NOT BE FURTHER THAN 2' (610) FROM THE PROPOSED RAMP UNLESS DIRECTED BY THE ENGINEER. SAW CUT REQUIRED FOR DUMMY JOINTS SHALL BE INCLUDED IN THE COST OF "CONCRETE SIDEWALK".
 7. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' (3.66m) UNLESS OTHERWISE NOTED.
 8. RAISED MEDIAN ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 4' (1219) LONG BETWEEN THE RAMPS. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH LEVEL WITH THE ROADWAY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 9. SIDEWALK RAMPS, WHEN CONSTRUCTED IN CONJUNCTION WITH SIDEWALK, SHALL BE PAID FOR UNDER THE ITEM "CONCRETE SIDEWALK", INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP AND DETECTABLE WARNING STRIPS WHEN JUST A SIDEWALK RAMP IS CONSTRUCTED, IT SHALL BE PAID FOR UNDER THE ITEM "SIDEWALK RAMP" INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK AND DETECTABLE WARNING STRIP.
 10. CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 816 SECTIONS 8.11 AND 8.13.
 11. TRANSITION TO FULL HEIGHT CURB, INSTALL STONE CURBING IF ADJACENT CURBING IS STONE, INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
 12. DETECTABLE WARNING STRIPS ARE NOT REQUIRED, IF INCLUDED, INSTALL THE EDGE OF THE DETECTABLE WARNING STRIP 6" (152) FROM THE EDGE OF ROAD.
 13. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID IN THE DIRECTION OF PEDESTRIAN TRAVEL.
 14. THE MAXIMUM HEIGHT OF ANY RAMP WITHOUT HANDRAILS SHALL BE 6".



ADA ACCESSIBLE RAMP

N.T.S.

12"x24" 2.0 mm THICK SHEET ALUMINUM STANDARD "HANDICAP PARKING" PAINTED BLUE SIGN W/ IDENTIFICATION SYMBOL BOLT TO STEEL TUBE W/ 3/8" CADMIUM PLATED BOLTS, NUTS AND WASHERS

INSTALL VAN ACCESSIBLE SIGNS AT ALL VAN ACCESSIBLE HANDICAP PARKING SPACES 8" DIA. HOLES 1" O.C

BOLLARD (SEE BOLLARD DETAIL)

PAVEMENT

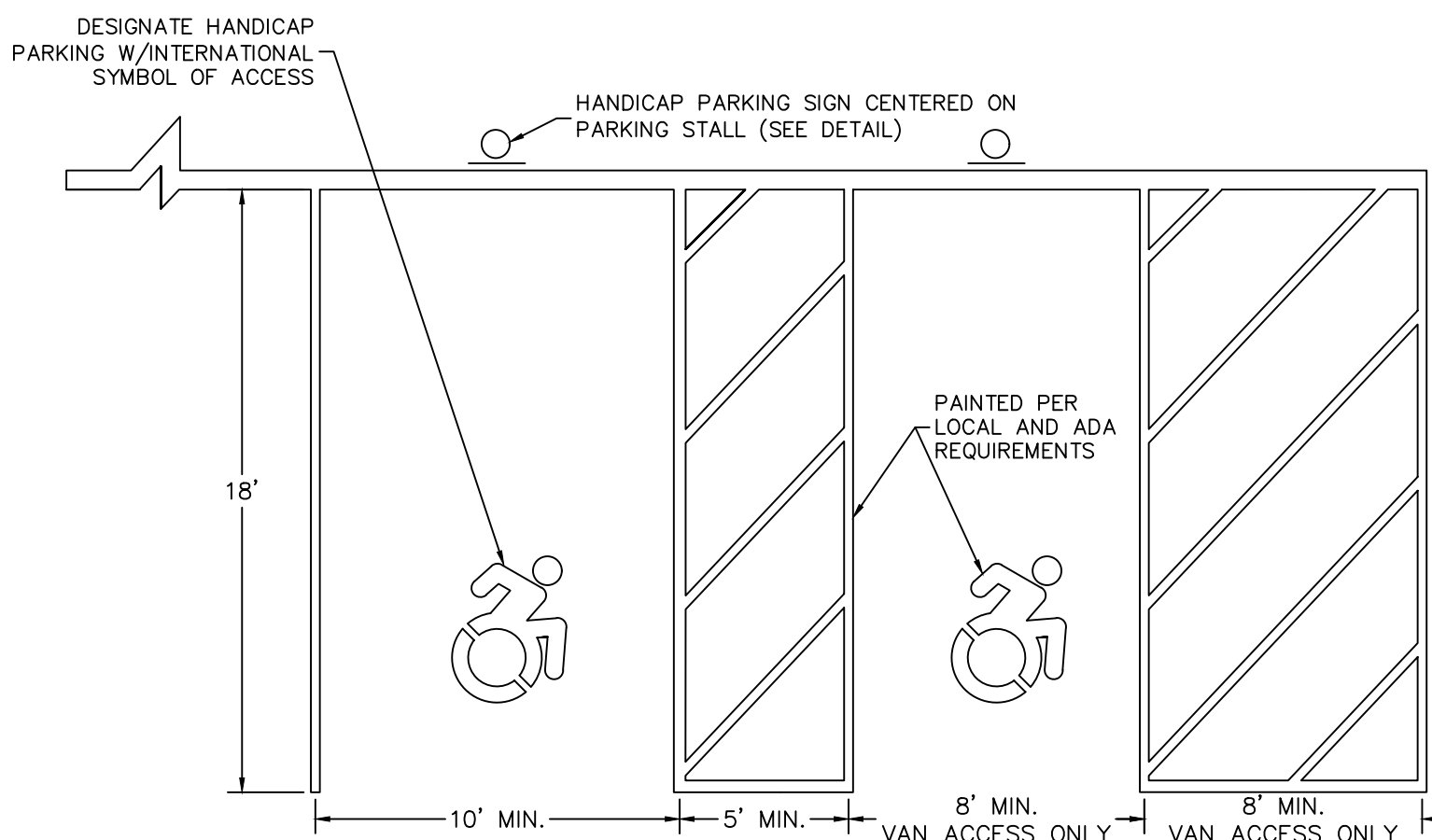
18" DIA. CONCRETE (4,500 PSI) FOOTING

SLEEVE PIPE DIAMETER TO BE SLIGHTLY LARGER THAN TRAFFIC SIGN POST CROSS-SECTION. SLEEVE PIPE TO BE PACKED WITH SAND.

HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE & LOCAL CODES AND REGULATIONS.

ADA SIGN BOLLARD

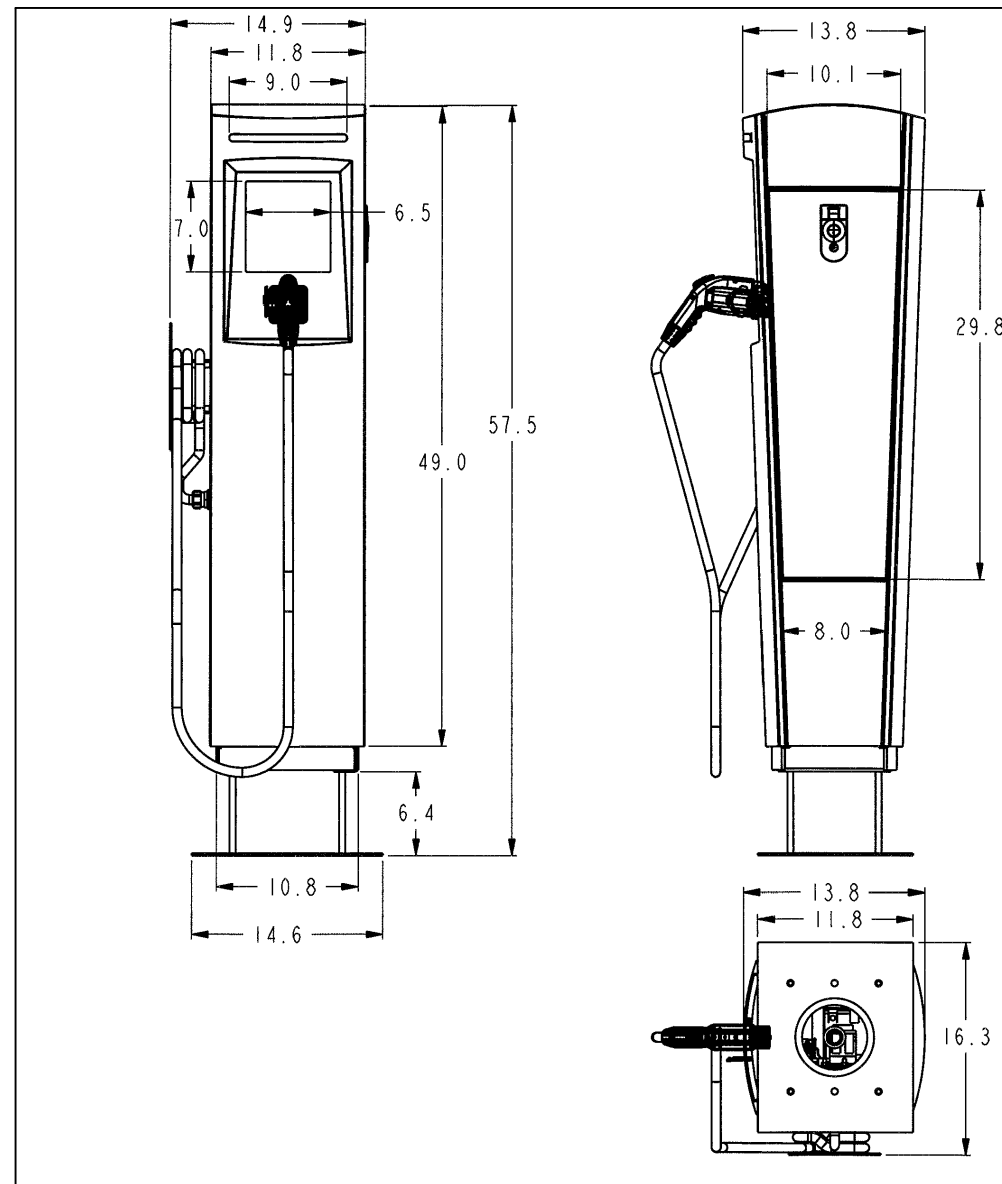
N.T.S.



- NOTES:
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F, PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 3. APPLY TWO COATS OF TRAFFIC PAINT. ALLOW FOR A MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.

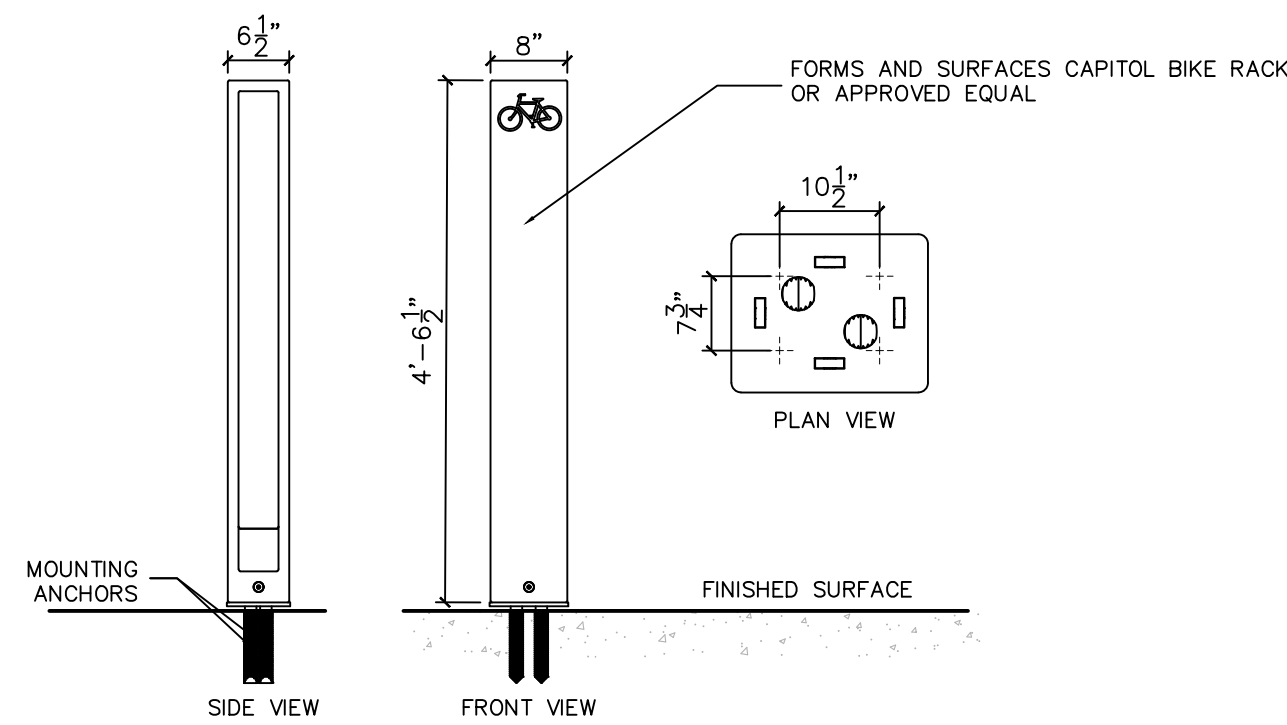
HANDICAP PARKING STALL STRIPING

N.T.S.



ELECTRIC CHARGING STATION (FOR REFERENCE ONLY)

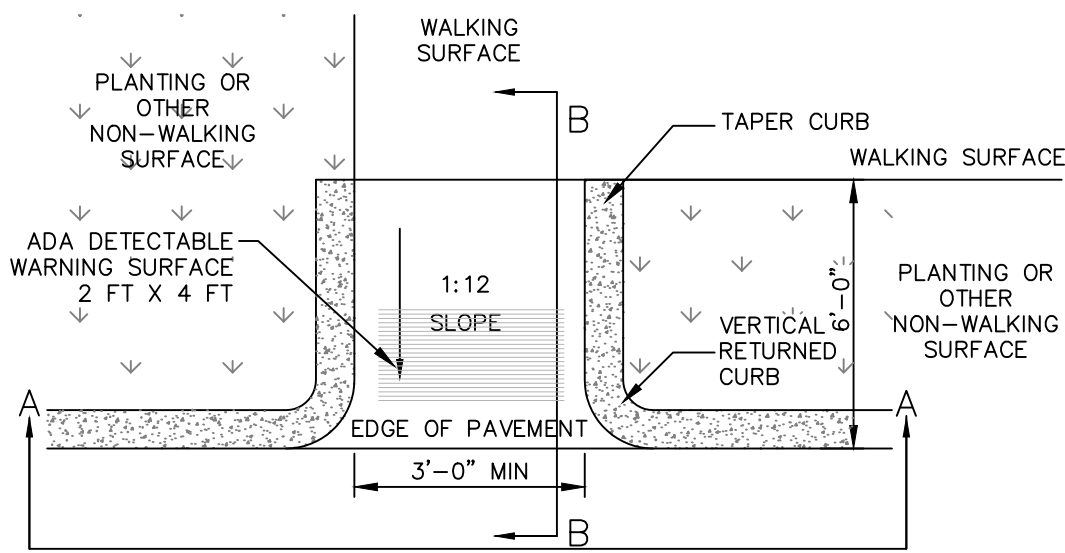
N.T.S.



- NOTE:
1. CONTRACTOR TO REFER TO MANUFACTURER RECOMMENDATIONS FOR INSTALLATION METHODS.
 2. CONTRACTOR TO PROVIDE PRODUCT DATA AND PHYSICAL SAMPLES FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

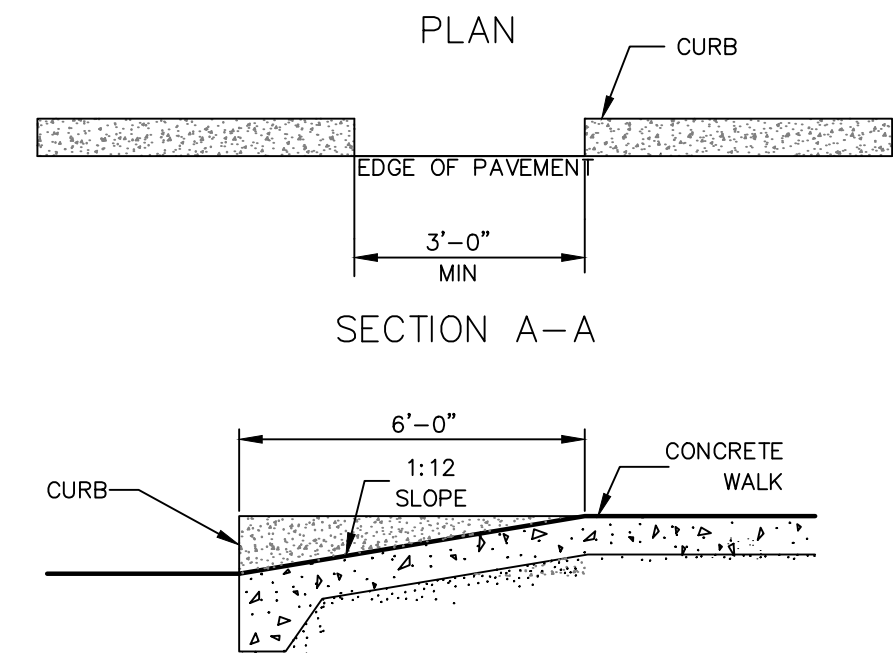
BIKE RACK

N.T.S.



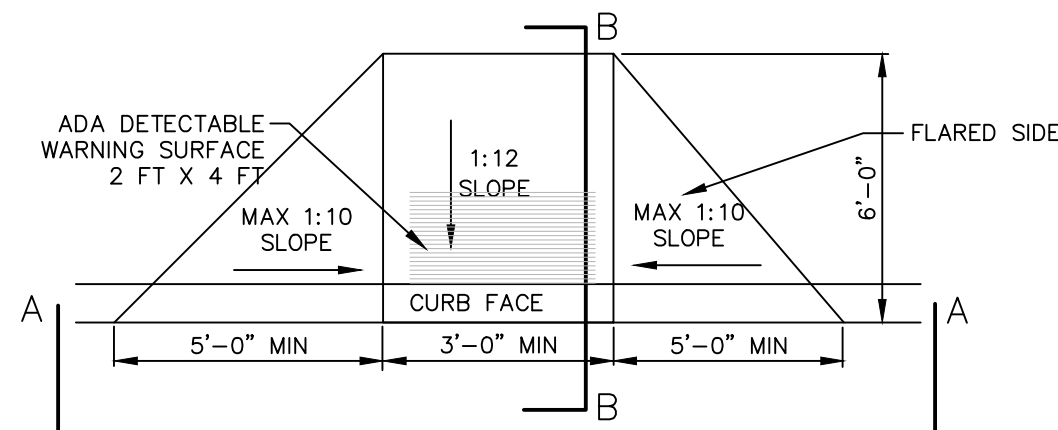
PLAN

SECTION A-A



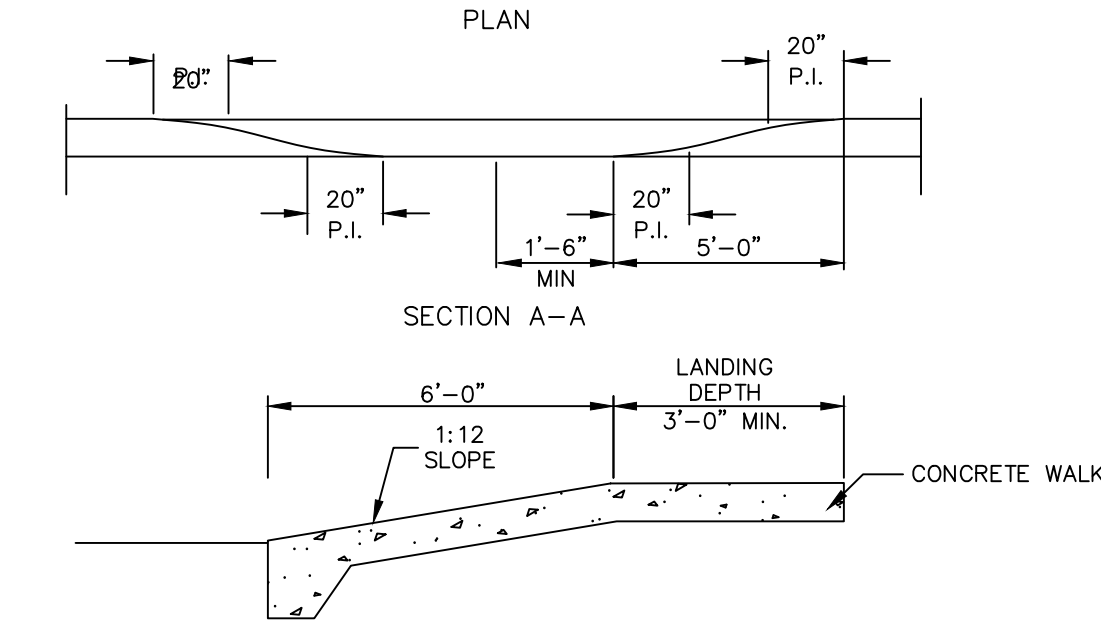
SECTION B-B

CURB RETURN TYPE



PLAN

SECTION A-A



SECTION B-B

FLARED TYPE

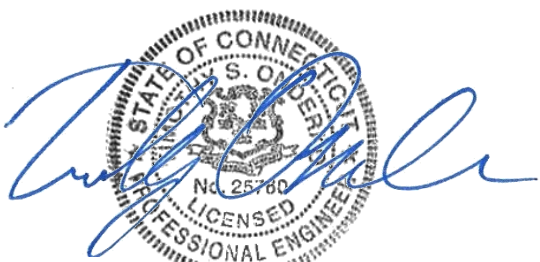
ADA ACCESSIBLE RAMP - FLARED ENDS & CURB RETURN STYLE

N.T.S.

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09/23/2021	PLANNING AND ZONING SUBMISSION	1
Date	Description	No.

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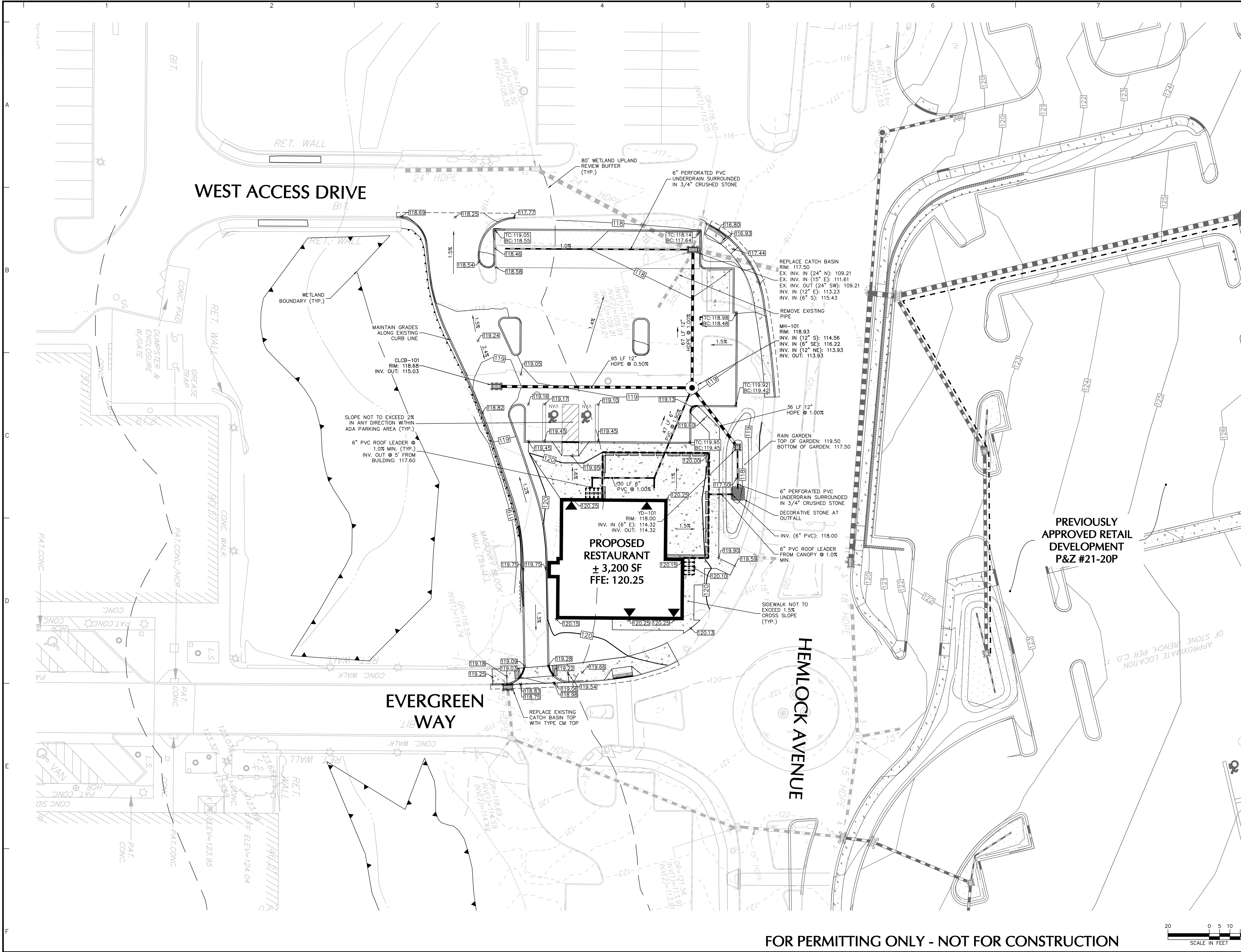
Project **RESTAURANT DEVELOPMENT AT EVERGREEN WALK**
MAP No. 27, BLOCK No. 15, UNIT No. 2
601 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

Drawing Title

SITE DETAILS II

Project No.	Drawing No.
140222801	CS502
Date	08/25/2021
Drawn By	IJAB
Checked By	DTG
Sheet	0 of 1



09/23/2021	PLANNING AND ZONING SUBMISSION	1
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HARTFORD COUNTY CONNECTICUT

Drawing Title

**GRADING &
DRAINAGE PLAN**

Project No. 140222801	Drawing No. CG101
Date 08/25/2021	
Drawn By IJAB	
Checked By DTG	

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1 TYPE C-L CATCH BASIN
N.T.S

2 RAIN GARDEN N.T.S.

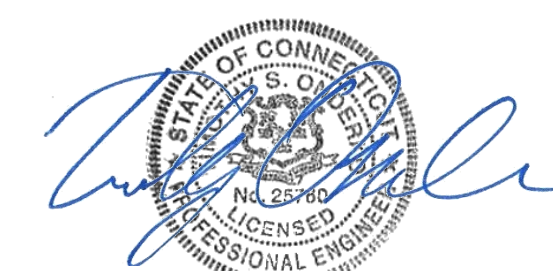
3 STORM MANHOLE

4 STORM PIPE-BEDDING DETAIL

5 MANHOLE FRAME & COVER

6 CLEANOUT NTS

09/23/2021	PLANNING AND ZONING SUBMISSION	1
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Project

**RESTAURANT
DEVELOPMENT AT
EVERGREEN WALK**

MAP No. 27, BLOCK No. 15, UNIT No. 2
601 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY	CONNECTICUT
Drawing Title	

GRADING

GRADING & DRAINAGE DETAILS

Project No.	Drawing No.
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140222801

Date _____

08/25/2021 CC501

Drawn By	CD301
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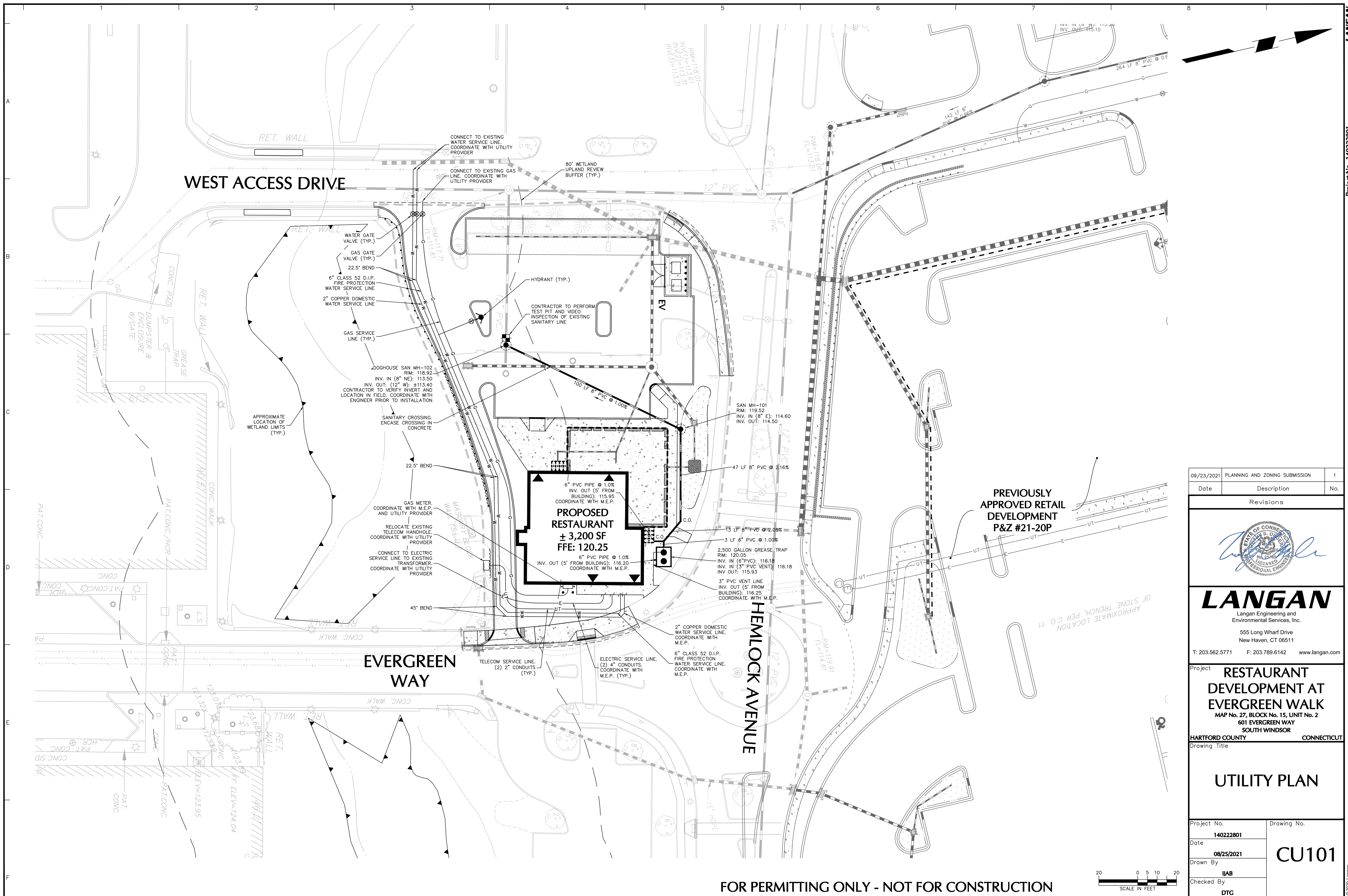
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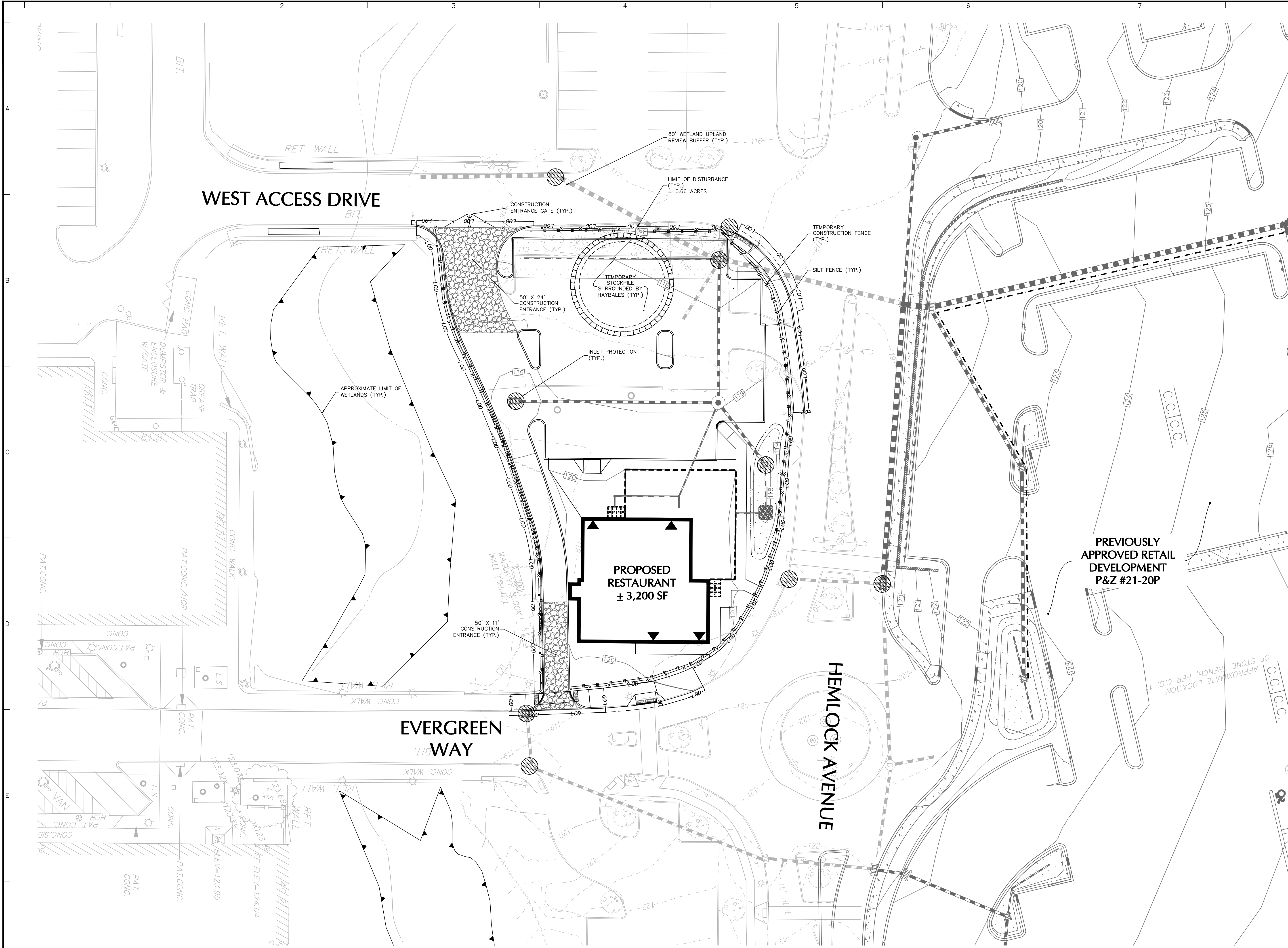
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DTG

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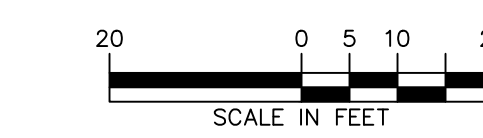
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601 EVERGREEN WAY
SOUTH WINDSOR
HARTFORD COUNTY CONNECTICUT

Drawing Title
**SOIL EROSION &
SEDIMENT
CONTROL PLAN**

Project No. 140222801	Drawing No. CE101
Date 08/25/2021	
Drawn By IJAB	
Checked By DTG	

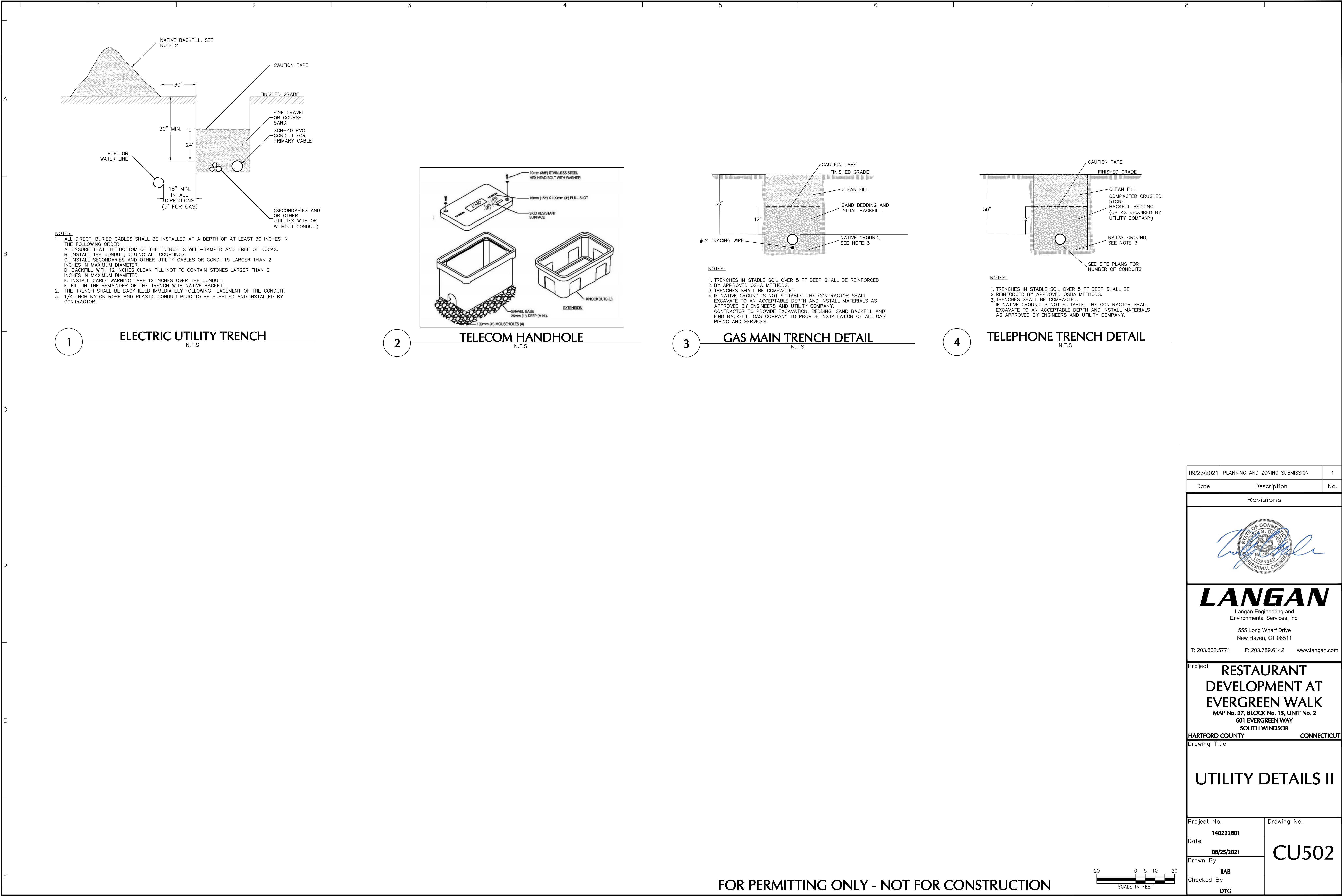
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Project No. 140222801

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Date: 9/23/2021 Time: 11:23 User: jmontagno Style Table: Langan.stb Layout: CU501 Document Code: 140222801-0507-CE501-010



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Project RESTAURANT DEVELOPMENT AT EVERGREEN WALK MAP No. 27, BLOCK No. 15, UNIT No. 2 601 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title		
UTILITY DETAILS II		
Project No.	CU502	
140222801		
Date		
08/25/2021		
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IJAB		
Checked By		
DTG		



QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
SHADE TREE(S)					
10	CORNUS AMOMUM	SILKY DOGWOOD	3-4'	5-10 FEET	-
10	CORNUS RACEMOSA	GRAY DOGWOOD	3-4'	5-10 FEET	-
10	POPULUS DELTOIDES	EASTERN COTTONWOOD	3-4'	20 FEET	-
10	SALIX DISCOLOR	PUSSY WILLOW	3-4'	5-10 FEET	-
10	VIBURNUM LENTAGO	NANNYBERRY	3-4'	5-10 FEET	-
10	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3-4'	5-10 FEET	-

1. PLANTING STOCK USED IN THE WETLAND MITIGATION AREA SHALL BE INSPECTED FOR PESTS, DISEASE AND OVERALL HEALTH TO ENSURE SUITABLE SPECIMENS ARE USED. UNSUITABLE SPECIMENS WILL BE REJECTED AND REPLACED WITH SUITABLE SPECIMENS. ANY PLANTING SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ALL WOODY PLANT STOCK SHALL BE CONTAINER-GROWN OR BURLAP BALLED. DEVIATIONS TO THE PLANTING PLAN MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ONLY PLANT MATERIALS NATIVE AND INDIGENOUS TO CONNECTICUT SHALL BE USED. INVASIVE PLANT SPECIES WILL NOT BE USED IN THE MITIGATION AREA.
2. ALL PLANTINGS TO BE SPACED GENERALLY AS NOTED ON THE PLANTING SCHEDULE WITH ASSISTANCE FROM A WETLAND SCIENTIST, AS NECESSARY, TO SIMULATE NATURAL GROWTH PATTERNS.

WEST ACCESS DRIVE

**STREAM AND BUFFER
ENHANCEMENT AREA;
REFER TO PLANT SCHEDULE
ON SHEET LP101 AND
NOTES ON SHEET LP501
FOR ADDITIONAL
INFORMATION**

**PROPOSED
RESTAURANT
± 3,200 SF**

EVERGREEN WAY

HEMLOCK AVENUE

A horizontal scale bar labeled "SCALE IN FEET" below it. The bar has tick marks at 0, 5, 10, and 20 feet. The segment from 0 to 5 is solid black. The segment from 5 to 10 is white with a black border. The segment from 10 to 15 is solid black. The segment from 15 to 20 is white with a black border.

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	-
PLO	3	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	2 1/2-3" CAL.	B+B	-
ORNAMENTAL TREE(S)						
BND	6	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12'	B+B	MULTI-STEM
DECIDUOUS SHRUB(S)						
AMLM	17	ARONIA MELANOCARPA 'LO MOUND'	LO MOUND BLACK CHOKEBERRY	2 GAL.	CONTAINER	-
CA	22	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24-30"	CONTAINER	-
ORNAMENTAL GRASS(ES)						
CAKF	92	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.	CONTAINER	-
JE	156	JUNCUS EFFUSUS	SOFT RUSH	1 GAL.	CONTAINER	spaced @ 24" o.c.
PVHM	21	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	2 GAL.	CONTAINER	spaced @ 30" o.c.
SPO	288	SPOROBOLUS HETEROLEPIS	PRARIE DROPSEED	1 GAL.	CONTAINER	spaced @ 24" o.c.
SSCO	259	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1 GAL.	CONTAINER	spaced @ 24" o.c.

ORDINANCE COMPLIANCE CHART

SECTION	REQUIRED/ PERMITTED	PROVIDED/ PROPOSED	COMPLIANCE
6.2.1	LARGE TREES AND STANDS OF MATURE TREES AND SHRUBS ARE TO REMAIN UNDISTURBED WHERE PRACTICAL AND DESIRABLE.	LARGE EXISTING TREES, TREE STANDS, AND SHRUBS ARE PRESERVED TO EXTENT PRACTICABLE.	COMPLIES
6.2.3	LANDSCAPING SHALL NOT OBSTRUCT LINE-OF-SIGHT FOR VEHICLES ENTERING AND LEAVING EITHER COMMON DRIVEWAYS OR OTHER ACCESS WAYS.	ALL PROPOSED PLANTINGS WITHIN SITE DISTANCE TRIANGLES WILL NO EXCEED 3' HEIGHT AT MATURITY, DECIDUOUS TREES ARE TO BE LIMBED TO 6 FOOT HEIGHT.	COMPLIES
6.4.6.(D.)	DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 2" CALIPER AND 10 FEET AT PLANTING; FLOWERING TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT AT THE TIME OF PLANTING AND 1 ½" CALIPER.	ALL PROPOSED PARKING LOT TREES TO BE A MINIMUM 2" CALIPER AND 10 FEET HIGH AT TIME OF PLANTING. ALL PROPOSED FLOWERING TREES TO BE A MINIMUM 1 ½" CALIPER AND 6 FEET HIGH AT TIME OF PLANTING.	COMPLIES
6.4.6A	PERIMETER SCREENING IS TO CONTAIN 1 TREE OR 2 SHRUBS FOR EVERY 3 PERIMETER PARKING SPACES.	PERIMETER LANDSCAPE PLANTING CONTAINS AT LEAST 1 TREE OR 2 SHRUBS PER EVERY 3 PERIMETER PARKING SPACES. TOTAL PROPOSED PERIMETER PARKING SPACES = $16 / 3 = 5.33 = 6$, A/O $5.33 * 2 = 10.66 = 11$ -6 TREES REQUIRED OR 11 SHRUBS REQUIRED -6 TREES PROPOSED	COMPLIES
6.4.6A	PARKING AREAS WITH MORE THAN 30 SPACES ARE TO HAVE AT LEAST 10% OF THEIR INTERIOR PARKING AREA LANDSCAPED, 1 TREE PER EVERY 10 SPACES IS REQUIRED.	PARKING LOT IS LANDSCAPED WITH ONE TREE PER EVERY 10 SPACES TOTAL PROPOSED PARKING SPACES = 30 $30 / 10 = 3 = 3$ -3 TREES REQUIRED -3 TREES PROPOSED	COMPLIES

**PROPOSED RETAIL
DEVELOPMENT
SUBMITTED UNDER
SEPARATE COVER**

09/23/2021	PLANNING AND ZONING SUBMISSION	1
Date	Description	No.

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MICHAEL SZURA
LICENSED LANDSCAPE ARCHITECT
STATE LIC. No. 1339

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Project

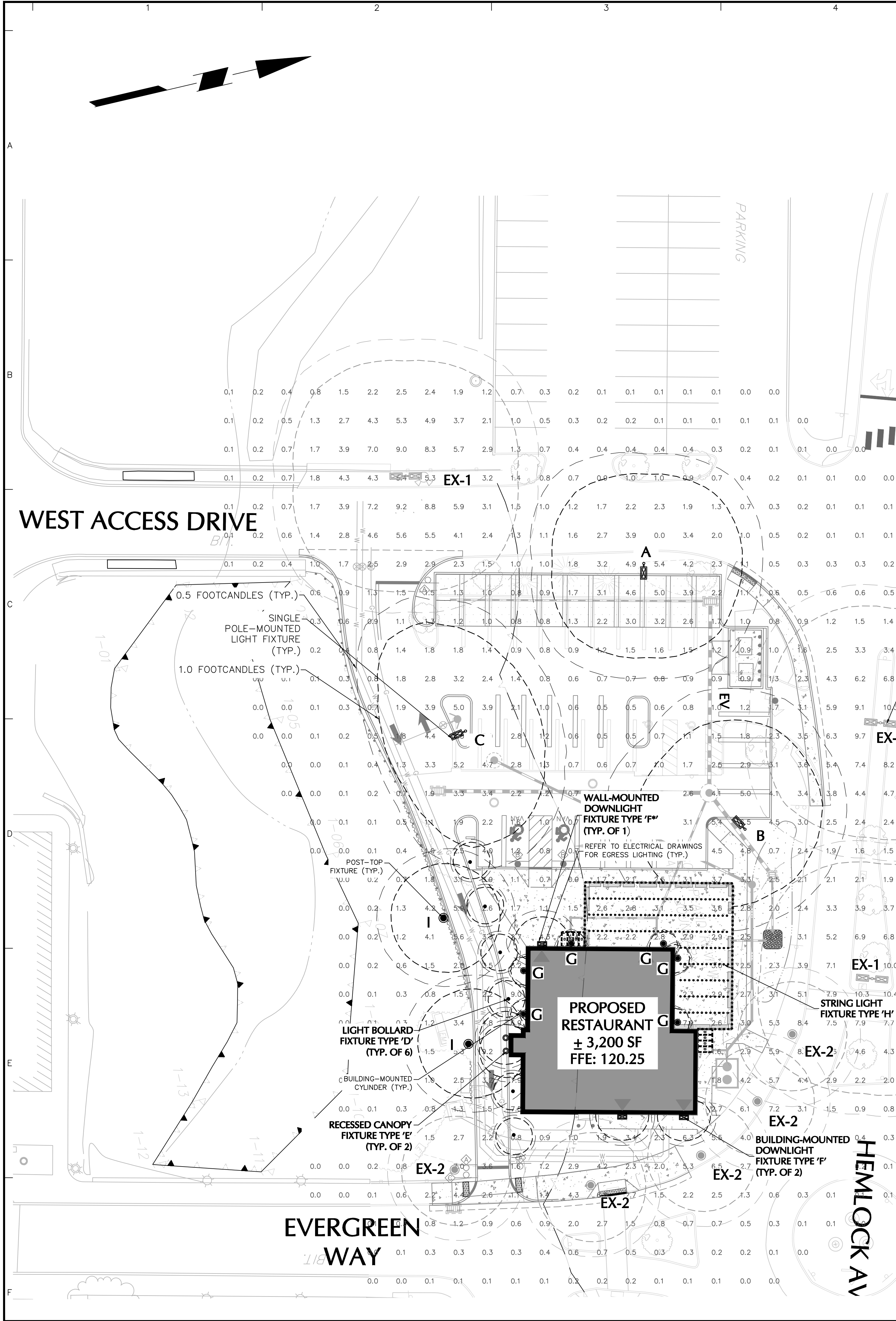
**RESTAURANT
DEVELOPMENT AT
EVERGREEN WALK**

MAP No. 27, BLOCK No. 15, UNIT No. 2
601 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY		CONNECTICUT
Drawing Title		

PLANTING PLAN

Project No.	Drawing No.
140222801	LP101
Date	
08/25/2021	
Drawn By	
AC	Sheet 0 of 1
Checked By	
JA	



SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	COLOR TEMPERATURE	LLF	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
	EX-1	3	SLOAN LED	OPTIMUS 2	EXISTING FIXTURE TO REMAIN	25'-0"	-	-	-	4000K	-	-	-	EXISTING POLE TO REMAIN	-	-	-
	EX-2	5	LIGHTING EFFICIENT DESIGN	LEDBLOCK G3	EXISTING FIXTURE TO REMAIN	15'-0"	-	-	-	4000K	-	-	-	EXISTING POLE TO REMAIN	-	-	-
	A	1	SLOAN LED	OPTIMUS 2	SINGLE POLE-MOUNTED FIXTURE COLOR: BLACK	25'-0"	100W LED	TYPE V	14,167	4000K	0.90	LCA-SB-100W-U-40K-75-BK-D2-STRAIGHT ARM-BK	SLOAN LED	ROUND TAPERED STEEL COLOR: BLACK	25'-0"	SP-RTS-5251-BK	MOUNTED ON FLUSH CONCRETE BASE
	B	1	SLOAN LED	OPTIMUS 2	SINGLE POLE-MOUNTED FIXTURE COLOR: BLACK	25'-0"	100W LED	TYPE IV	14,167	4000K	0.90	LCA-SB-100W-U-40K-74-BK-D2-STRAIGHT ARM-BK	SLOAN LED	ROUND TAPERED STEEL COLOR: BLACK	25'-0"	SP-RTS-5251-BK	MOUNTED ON FLUSH CONCRETE BASE
	C	1	SLOAN LED	OPTIMUS 2	SINGLE POLE-MOUNTED FIXTURE COLOR: BLACK	25'-0"	100W LED	TYPE II	14,167	4000K	0.90	LCA-SB-100W-U-40K-72-BK-D2-STRAIGHT ARM-BK	SLOAN LED	ROUND TAPERED STEEL COLOR: BLACK	25'-0"	SP-RTS-5251-BK	MOUNTED ON FLUSH CONCRETE BASE
	D	6	TECH LIGHTING	ARKAY THREE	LIGHT BOLLARD COLOR: BLACK	3'-0"	15.25W LED	TYPE V	1360	3000K	0.90	7000BARK3-830-36-B-UNV	-	-	-	-	MOUNTED ON FLUSH CONCRETE BASE
	E	2	BEGA	55 824	RECESSED CANOPY FIXTURE	10'-0"	8.7W LED	TYPE V	933	3000K	0.90	55824-K3	-	-	-	-	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS
	F	2	BEGA	22 360	WALL-MOUNTED DOWNLIGHT COLOR: SILVER	8'-0"	15.4W LED	DOWNLIGHT	1,024	3000K	0.90	22360-K3-BLK	-	-	-	-	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS
	F*	1	BEGA	22 360	WALL-MOUNTED DOWNLIGHT COLOR: SILVER	10'-0"	15.4W LED	DOWNLIGHT	1,024	3000K	0.90	22360-K3-BLK	-	-	-	-	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS
	G	6	BEGA	66 655	WALL-MOUNTED CYLINDER COLOR: BLACK	8'-0"	7.9W LED	TYPE V	652	3000K	0.90	66655-K3-BLK	-	-	-	-	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS
	H	350'	CALIFORNIA ACCENT LIGHTING	MARKETLITE	STRING LIGHT	8'-0"	1W LED	TYPE V	42	2700K	0.90	ML2000-18"OC-2.7K-GSF-OUTDOOR-BK-350'	-	-	-	-	-
	I	2	LIGHTING EFFICIENT DESIGN	LEDBLOCK G3	EXISTING FIXTURE AND POLE FROM ELSEWHERE ON-SITE TO BE RETROFITTED WITH LED BOARD	15'-0"	30W LED	TYPE V	5,100	4000K	0.90	RPT-LEDBLOCK-65L-750-G3	-	EXISTING FIXTURE AND POLE TO BE RETROFITTED WITH LED BOARD	-	-	FIXTURE TO BE MOUNTED ON NEW CONCRETE BASE

NOTE:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES.
2. EXISTING LIGHT FIXTURES TO REMAIN OR BE RELOCATED SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THESE FIXTURES INCLUDING REPLACEMENT OF REFURBISHMENT.
3. ALL EXISTING POLES AND FIXTURES SHALL BE RE-FINISHED AS NECESSARY TO INCLUDE PAINT TOUCH-UPS, CLEANING LENSES, AND RE-LAMPING AND RE-BALLASTING.
4. PRIOR TO INSTALLATION, EXISTING FIXTURES AND POLES TO BE REVIEWED BY A CT-LICENSED STRUCTURAL ENGINEER TO CONFIRM THEY ARE ACCEPTABLE FOR RE-USE. CONTRACTOR TO SUBMIT SIGNED AND STAMPED LETTER FROM STRUCTURAL ENGINEER TO PROJECT LANDSCAPE ARCHITECT FOR RECORD PRIOR TO RE-INSTALLATION.

STATISTICS

DESCRIPTION	AVG.	MAX.	MIN.	MAX/MIN.	AVG/MIN.
DRIVEWAY	3.4fc	9.2fc	1.1fc	8.4:1	3.1:1
PARKING AREA	1.9fc	6.5fc	0.5fc	13.0:1	3.8:1
SIDEWALK	3.4fc	8.4fc	0.7fc	12.0:1	4.8:1

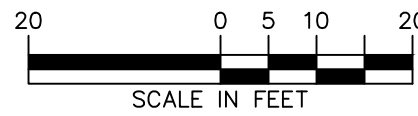
NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING LIGHTING ARE NOT MODELED OR INCLUDED IN THE ABOVE STATISTICS.

EXISTING LIGHT FIXTURE TO REMAIN (TYP.)

PROPOSED RETAIL DEVELOPMENT SUBMITTED UNDER SEPARATE COVER

SEE SHEET LL501 FOR LIGHTING NOTES AND DETAILS

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HARTFORD COUNTY CONNECTICUT Drawing Title		
SITE LIGHTING PLAN		
Project No. 140222801	Drawing No. LL101	
Date 08/25/2021		
Drawn By AC		
Checked By JA	Sheet 0 of 1	

