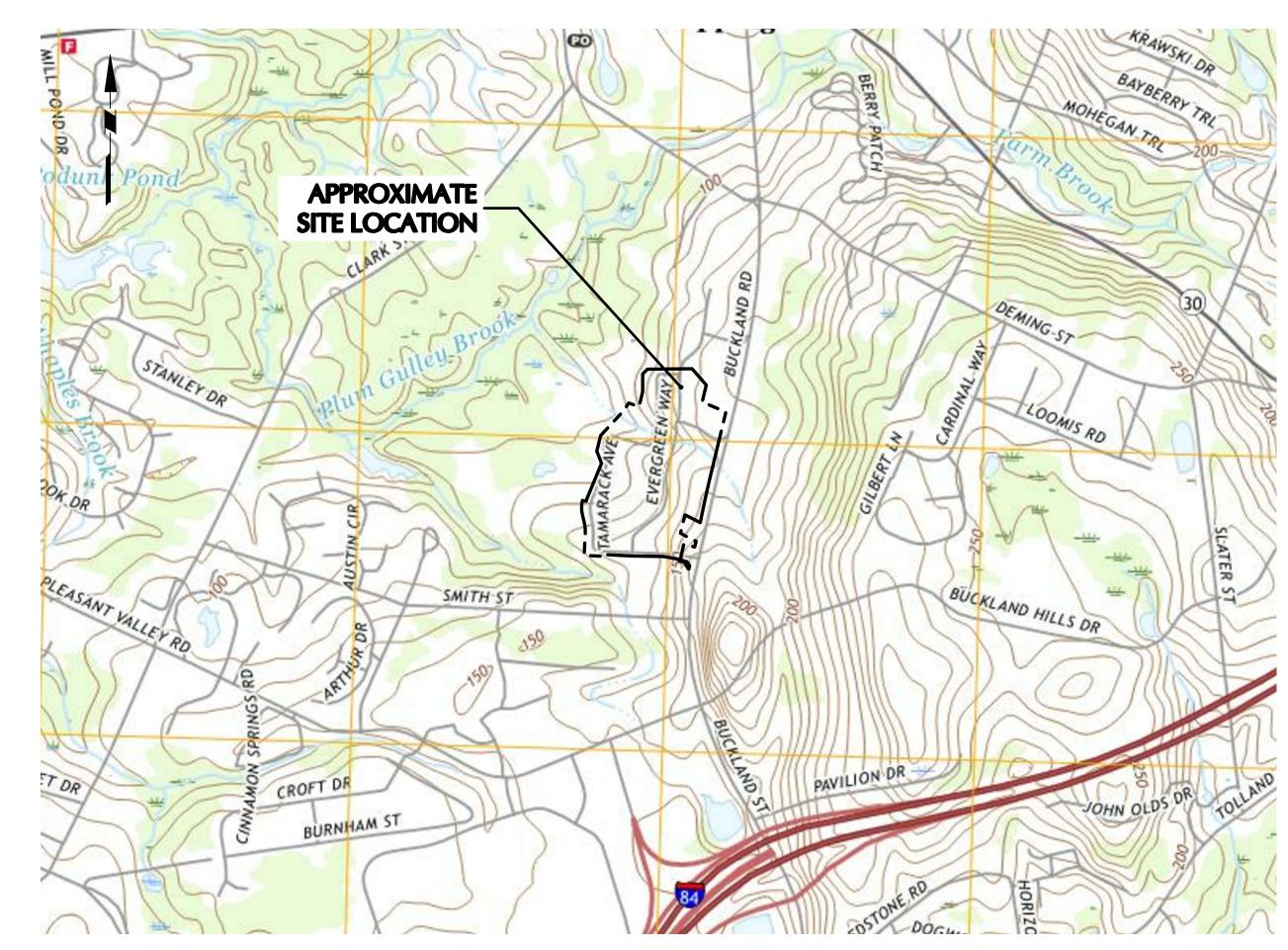
## **DRAWING INDEX**

<b>NUMBER</b>	DRAWING TITLE	DATE	LAST REVISED
CS001	COVER SHEET	04/06/2021	06/10/2021
VL101	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
VL102	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
VL103	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
CS002	MASTER LEGEND & NOTES	04/06/2021	06/10/2021
CS100	KEY MAP	06/10/2021	_
CS101	SITE PLAN	04/06/2021	06/10/2021
CS501	SITE DETAILS I	04/06/2021	06/10/2021
CS502	SITE DETAILS II	04/06/2021	06/10/2021
CS503	SITE DETAILS III	04/06/2021	06/10/2021
CG101	GRADING & DRAINAGE PLAN	04/06/2021	06/10/2021
CG501	GRADING & DRAINAGE DETAILS I	04/06/2021	06/10/2021
CG502	GRADING & DRAINAGE DETAILS II	04/06/2021	06/10/2021
CU101	UTILITY PLAN	04/06/2021	06/10/2021
CU501	UTILITY DETAILS I	04/06/2021	06/10/2021
CU502	UTILITY DETAILS II	04/06/2021	06/10/2021
CE101	SOIL EROSION AND SEDIMENT CONTROL PLAN	04/06/2021	06/10/2021
CE501	SOIL EROSION AND SEDIMENT CONTROL DETAILS I	04/06/2021	06/10/2021
CE502	SOIL EROSION AND SEDIMENT CONTROL DETAILS II	04/06/2021	06/10/2021
LP101	LANDSCAPE PLANTING PLAN	04/06/2021	06/10/2021
LP501	PLANTING DETAILS	04/06/2021	06/10/2021
LL101	LIGHTING SITE PLAN	04/06/2021	06/10/2021
LL501	LIGHTING NOTES AND DETAILS	04/06/2021	06/10/2021



## MAP REFERENCE: USGS MANCHESTER QUADRANGLE (7.5-MINUTE SERIES)

## **LOCATION MAP**

**SCALE:** 1" = 1000'

RELEASE DATES				
DATE	ISSUED FOR			
04/06/2021	INLAND WETLANDS AGENCY/CONSERVATION COMMISSION SUBMISSION			
06/10/2021	PLANNING DEPARTMENT SUBMISSION			

APPLICANT
CHARTER REALTY & DEVELOPMENT CORP.
C/O KAREN JOHNSON
75 HOLLY HILL LANE, SUITE 305
GREENWICH, CT 06830
(617) 431-1091

OWNER
EVERGREEN WALK LIFESTYLE CENTER, LLC
C/O MYLES OSMOFF
501 EVERGREEN WAY, SUITE 503
SOUTH WINDSOR, CT 06074

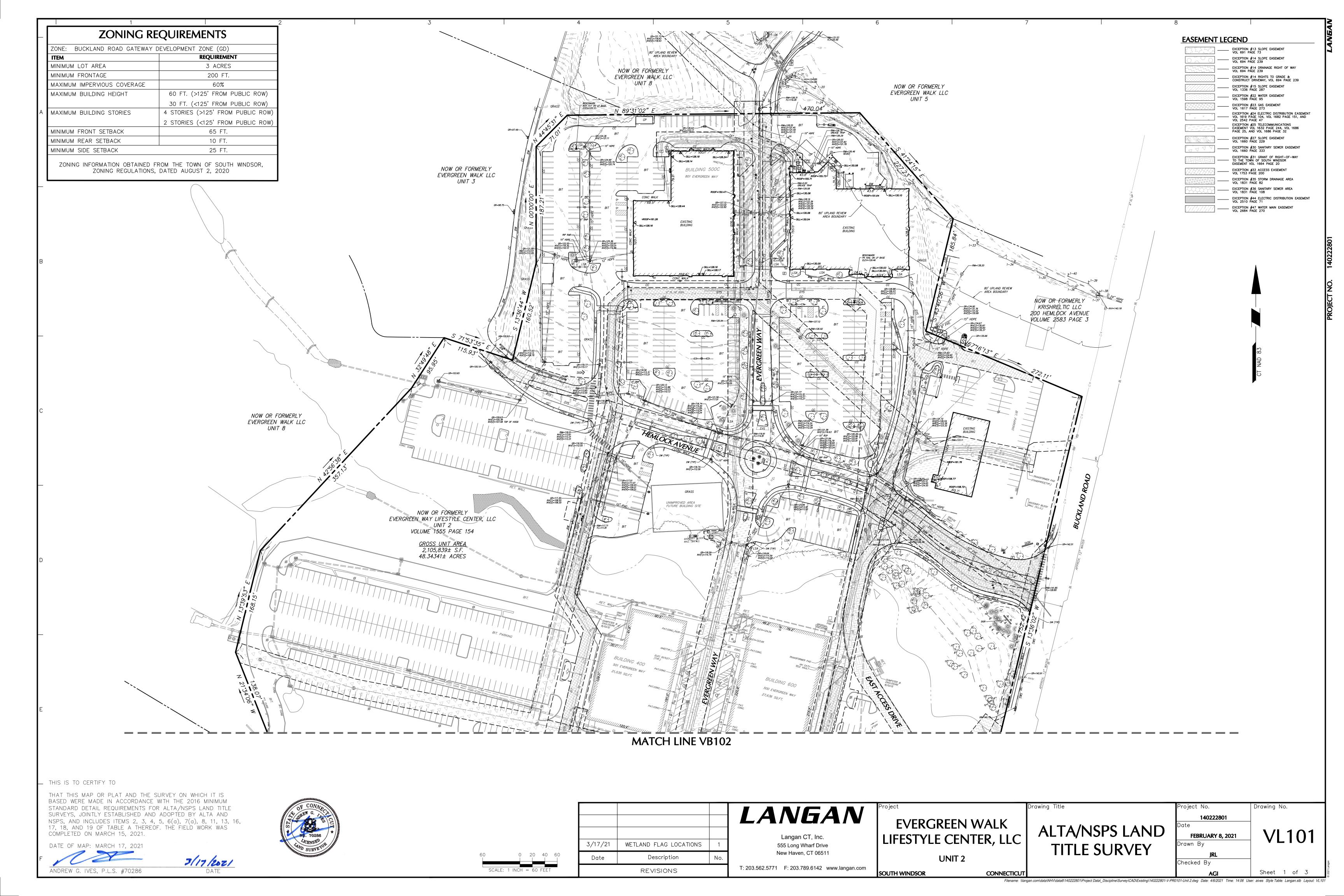
LAND SURVEYOR, CIVIL ENGINEER,
LANDSCAPE ARCHITECT
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES, INC
C/O DAVID GAGNON
555 LONG WHARF DRIVE
NEW HAVEN, CT 06511
(203) 562-5771

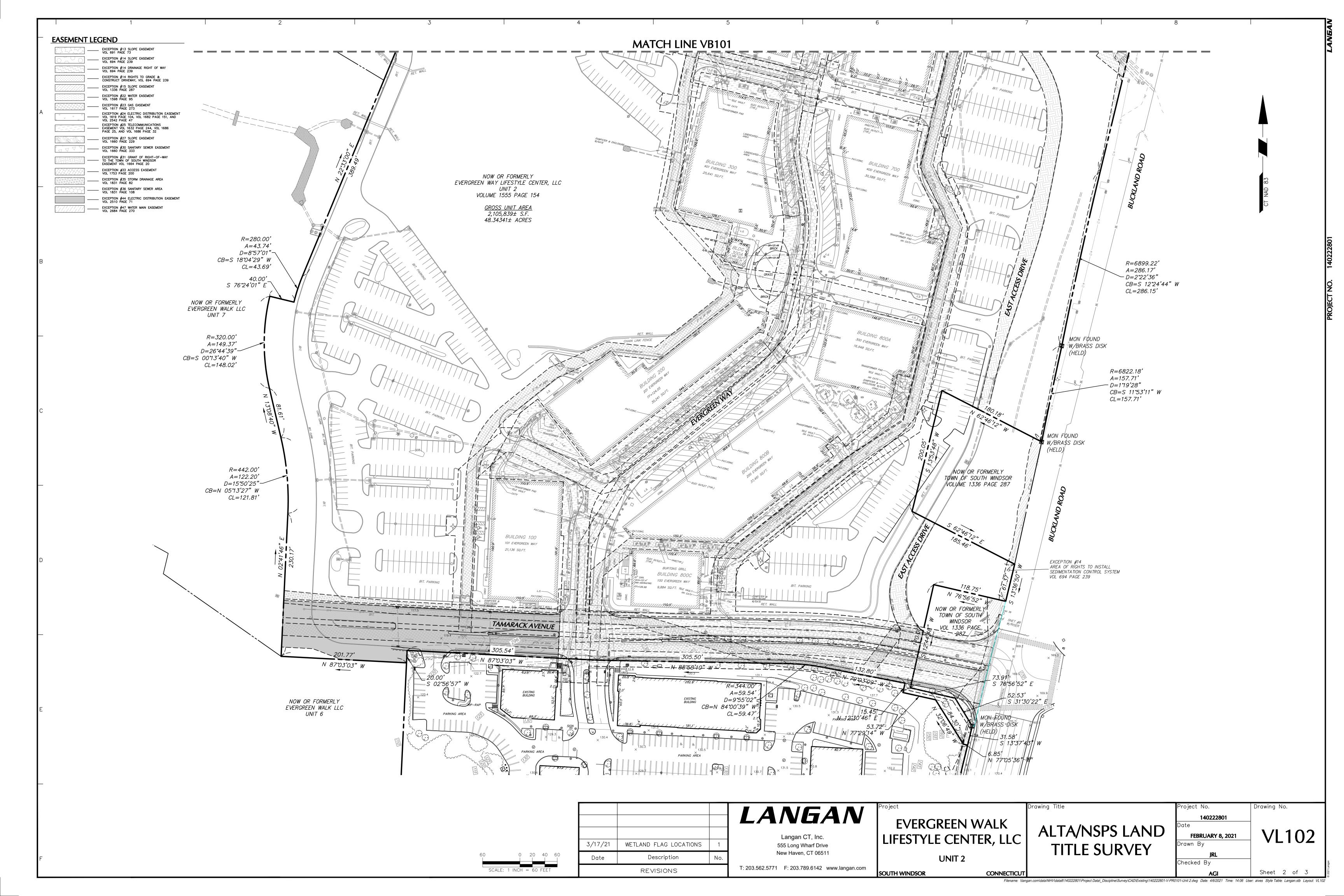
SOIL SCIENTIST
ALL-POINTS TECHNOLOGY
CORPORATION
C/O DEAN GUSTAFSON
567 VAUXHALL STREET EXTENSION
SUITE 311 WATERFORD, CT 06385
(860) 552-2033

## **ABUTTING PROPERTY OWNERS**

MAP	BLOCK	LOI	PROPERTY OWNER	PROPERTY LOCATIO
20	40	0494	HOOD MARK J	494 CLARK STREET
20	40	0716	859 CLARK ST LLC	716 CLARK STREET
27	60	0075	BD ASSET CO 2 LLC	75 DEMING STREET
83	70	0302	HO-NG HIU HUNG & NG WEI-QUAN	302 SMITH STREET
15	30	0235	EVERGREEN WALK LLC	235 BUCKLAND ROAD
15	30	0179	CURRENT RESIDENT	179 BUCKLAND ROAD
15	30	0079	SOUTH WINDSOR TOWN OF	79 BUCKLAND ROAD
	+			
15	30	0325	SOUTH WINDSOR TOWN OF	325 BUCKLAND ROAD
15	30	0095	SOUTH WINDSOR TOWN OF	95 BUCKLAND ROAD
49	39	0101	LARSON BURTON L & JOAN D	101 KEBALO LANE
49	39	0102	CASCONE CAROL M	102 KEBALO LANE
49	39	0103	BERNETICH JOHN J & RACHEL	103 KEBALO LANE
49	39		TULEJA DONALD T TR	104 KEBALO LANE
		0104		
49	39	0201	PINEO DANNE TM	201 KEBALO LANE
49	39	0202	REID DEBRA M TR	202 KEBALO LANE
49	39	0203	GANTNER AMY	203 KEBALO LANE
49	39	0204	ARCELL STEVEN A	204 KEBALO LANE
49	39	0301	MOYNIHAN MARGARET M	301 KEBALO LANE
49	39	0302	BUNNELL RICHARD C & MARY E	302 KEBALO LANE
	39			
49	+	0303	ORTON FRANK D IV	303 KEBALO LANE
49	39	0304	ALLISON NANCY	304 KEBALO LANE
49	39	0501	RUDYK VERA	501 KEBALO LANE
49	39	0502	HARRINGTON CORDELIA T	502 KEBALO LANE
49	39	0503	STANLEY ROBERT F TR	503 KEBALO LANE
	39			
49	+	0601	GOWING ROBERTA J	601 KEBALO LANE
49	39	0602	GRAICERSTEIN RITA	602 KEBALO LANE
49	39	0603	ANDREWS FREDERICK C	603 KEBALO LANE
49	39	0604	TAMARKIN KARIN W	604 KEBALO LANE
49	39	0701	LEDBETTER WAYNE A & MARVA	701 KEBALO LANE
49	39	0701	PERRIN JANE F	702 KEBALO LANE
49 49	39	0702	RYAN RICHARD IRREVOCABLE TRUST L/U	702 KEBALO LANE
			·	
49	39	0704	SINCLAIR ANN W	704 KEBALO LANE
49	39	0705	SIBICKY ALEXANDER G & JOANNE W	705 KEBALO LANE
49	39	0706	SIMMONS DONALD R & LINDA M	706 KEBALO LANE
49	39	0000	CURRENT RESIDENT	KEBALO LANE
31	30	0101	CURRENT RESIDENT	101 EVERGREEN WAY
31	30	0201	CURRENT RESIDENT	201 EVERGREEN WAY
31	30	0301	CURRENT RESIDENT	301 EVERGREEN WAY
31	30	0401	CURRENT RESIDENT	401 EVERGREEN WAY
31	30	0501	CURRENT RESIDENT	501 EVERGREEN WAY
31	30	0601	CURRENT RESIDENT	601 EVERGREEN WAY
31	30	0801	CURRENT RESIDENT	801 EVERGREEN WAY
31	30	0800	CURRENT RESIDENT	800 EVERGREEN WAY
	+			
41	35	0100	CURRENT RESIDENT	100 HEMLOCK AVENUE
31	30	0500	CURRENT RESIDENT	500 EVERGREEN WAY
31	30	0400	CURRENT RESIDENT	400 EVERGREEN WAY
31	30	0300	CURRENT RESIDENT	300 EVERGREEN WAY
31	30	0200	CURRENT RESIDENT	200 EVERGREEN WAY
31	30	0100	CURRENT RESIDENT	100 EVERGREEN WAY
17	85	0100	REALTY INCOME PROPERTIES 21 LLC	100 CEDAR AVENUE
	30			
89		2800	EVERGEEN MEDICAL ASSOCIATES LLC	2800 TAMARACK AVENUE
89	30	0035	BUCKLAND ROAD RETAIL LLC	35 TAMARACK AVENUE
31	30	0000	EVERGEEN WALK LIFESTYLE CENTER LLC	EVERGREEN WAY
89	30	2400	EVERGREEN MEDICAL ASSOCIATES II LLC	2400 TAMARACK AVENUE
83	70	0244	BRIN PETER J & JENNIFER J	244 SMITH STREET
31	30	0000	CURRENT RESIDENT	EVERGREEN WALK
49	39	0000	CURRENT RESIDENT	KEBALO LANE
17	85	0100	CURRENT RESIDENT	100 CEDAR AVENUE
54	65	1000	RHD SOUTH WINDSOR LLC	1000 LONGLEAF LANE
54	65	1200	RHD SOUTH WINDSOR LLC	1200 LONGLEAF AVENUE
89	39	2701	AGM PROPERTIES LLC	2701 TAMARACK AVENUE
	20		SOUTH WINDSOR DEVELOPERS LLC	50 ANDREWS WAY
03		0050		
41	35	0900	CURRENT RESIDENT	900 HEMLOCK AVENUE
41	35	0900	EVERGREEN CROSSING RETIREMENT	900 HEMLOCK AVENUE
31	30	1000	CD-HRA (WINDSOR) LLC	1000 EVERGREEN WAY
83	70	0190	KF REALTY LLC	190 SMITH STREET
81	77	0010	COLCHESTER PROPERTIES LLC	10 SEDONA CIRCLE
83	70	0340	FRASER BRENDA J & BRUCE D	340 SMITH STREET
15	30			
		0151	EVERGREEN WALK LLC	151 BUCKLAND ROAD
20	40	0610	DUPRE BEVAN L	610 CLARK STREET
27	60	0083	TOSTARELLI STEPHANIE LAUREN	83 DEMING STREET
27	60	0047	SOUCY ARTHUR LIONEL TR	47 DEMING STREET
83	70	0260	EVERGREEN WALK LLC	260 SMITH STREET
83	70	0314		
			314 SMITH STREET ASSOCIATES LLC	314 SMITH STREET
83	70	0332	HAYES ROBERT J & BEVERLY E TRSTEES	332 SMITH STREET
20	40	0500	HOOD MARK J	500 CLARK STREET
15	30	0251	EVERGREEN WALK LLC	251 BUCKLAND ROAD
27	60	0067	GAINES MICHELLE L & JASON A	67 DEMING STREET
83	70	0140	JACQUES JEAN MARC	140 SMITH STREET
	35		KRISHRELTIC LLC	200 HEMLOCK AVENUE
41		0200		
00	1 40	0580	SMITH SHIRLEY W	580 CLARK STREET
20	10		SOUCY ARTHUR L & KATE C	43 DEMING STREET

LANGAN





- NOT SURVEY RELATED.
- 2. SURVEY PROVIDED.
- 3. NOT SURVEY RELATED
- 4. RIGHTS MAY EXIST.
- 5. SURVEY PROVIDED.
- 6-8. NOT SURVEY RELATED.
- 9. COVENANTS, AGREEMENTS, CONDITIONS AND RESTRICTIONS AS DEFINED IN VOL 1555 PAGE 154. BLANKET IN NATURE.
- 10. TWELVE FOOT RIGHT OF WAY AS DEFINED IN VOL 37 PAGE 323 AND SHOWN ON MAP NO. 1160A. DOES NOT PERTAIN TO SUBJECT PARCEL.
- 11. DRAINAGE EASEMENT AS DEFINED IN VOL 121 PAGE 690. NOT PLOTTABLE BUT APPEARS TO NOT PERTAIN TO SUBJECT PARCEL
- 12. DRAINAGE EASEMENT AS DEFINED IN VOL 128 PAGE 114. NOT PLOTTABLE BUT APPEARS TO NOT PERTAIN TO SUBJECT PARCEL.
- 13. SLOPE EASEMENT AS DEFINED IN VOL 691 PAGE 73. DEPICTED ON SURVEY.
- 14. SLOPE EASEMENT, DRAINAGE RIGHT OF WAY, RIGHTS TO GRADE & CONSTRUCT DRIVEWAY, AND AREA OF RIGHTS TO INSTALL SEDIMENTATION CONTROL SYSTEM AS DEFINED IN VOL 694 PAGE 239. DEPICTED ON SURVEY.
- 15. SLOPE EASEMENT AS DEFINED IN VOL 1336 PAGE 287. DEPICTED ON SURVEY.
- 16-19. NOT SURVEY RELATED.
- 20. DECLARATION OF RESTRICTIONS RIPARIAN BUFFER AS DEFINED IN VOL 1554 PAGE 284. DOES NOT PERTAIN TO SUBJECT PARCEL.
- 21. NOT SURVEY RELATED
- 22. WATER MAIN EASEMENT AS DEFINED IN VOL 1598 PAGE 95. DEPICTED ON SURVEY.
- 23. GAS DISTRIBUTION EASEMENT AS DEFINED IN VOL 1617 PAGE 273. DEPICTED ON SURVEY.
- 24. ELECTRIC DISTRIBUTION EASEMENT AS DEFINED IN VOL 1619 PAGE 104, VOL 1682 PAGE 151, AND VOL 2542 PAGE 47. DEPICTED ON SURVEY. VOL 1806 PAGE 114 WAS NOT PROVIDED TO SURVEYOR.
- 25. TELECOMMUNICATIONS EASEMENT VOL 1632 PAGE 244, VOL 1686 PAGE 25, AND VOL 1686 PAGE 32. DEPICTED ON SURVEY.
- 26. ACCESS EASEMENT AS DEFINED IN VOL 1643 PAGE 287. BLANKET IN NATURE ACROSS ALL CONSTRUCTED ROADWAYS, PATHWAYS AND SIDEWALKS.
- 27. SLOPE EASEMENT AS DEFINED IN VOL 1660 PAGE 229. DEPICTED ON SURVEY.
- 28. SLOPE EASEMENT AS DEFINED IN VOL 1660 PAGE 314. DOES NOT PERTAIN TO PROJECT PARCEL.
- 29. SLOPE EASEMENT AS DEFINED IN VOL 1660 PAGE 327. DOES NOT PERTAIN TO PROJECT PARCEL.
- 30. SANITARY SEWER EASEMENT AS DEFINED IN VOL 1660 PAGE 333. DEPICTED ON SURVEY.
- 31. EMERGENCY ACCESS EASEMENT AND PUBLIC DEDICATION AS DEFINED IN VOL 1664 PAGE 20. DEPICTED ON SURVEY.
- 32. FIRST AND SECOND ACCESS EASEMENTS AS DEFINED IN VOL 1693 PAGE 203. EASEMENTS CAN NOT BE PLOTTED, REFERENCED MAPS NOT NOT ON FILE IN LAND RECORDS.
- 33. ACCESS EASEMENT AS DEFINED IN VOL 1753 PAGE 200. DEPICTED ON SURVEY.
- 34. NOT SURVEY RELATED.
- 35. CONNECTION AND USE AGREEMENT ALONG STORM DRAINAGE AREA AS DEFINED IN VOL 1831 PAGE 82. DEPICTED ON SURVEY.
- 36. CONNECTION AND USE AGREEMENT ALONG SANITARY SEWER AREA AS DEFINED IN VOL 1831 PAGE 108. DEPICTED ON SURVEY.
- 37-38. NOT SURVEY RELATED.
- 39. GAS DISTRIBUTION EASEMENT AS DEFINED IN VOL 1997 PAGE 84. DOES NOT PERTAIN TO SUBJECT PARCEL.
- 40-42. NOT SURVEY RELATED.
- 43. WATER MAIN EASEMENT AS DEFINED IN VOL 2484 PAGE 101. DOES NOT PERTAIN TO SUBJECT PARCEL.
- 44. ELECTRIC DISTRIBUTION EASEMENT AS DEFINED IN VOL 2510 PAGE 71. DEPICTED ON SURVEY.
- 45. NOT SURVEY RELATED.
- 46. SEWER ACCESS AGREEMENT AS DEFINED IN VOL 2666 PAGE 185. ACROSS EXISTING SANITARY SEWER LINES.
- 47. WATER MAIN EASEMENT AS DEFINED IN VOL 2684 PAGE 270. DEPICTED ON SURVEY.
- 48. MAPS REFERENCED ON SURVEY.

#### **NOTES**

- 1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. a. THIS SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL ACCURACY OF A-2 AND A TOPOGRAPHIC SURVEY
  - CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.
- 2. THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:
- A. MAP TITLED "TOWN OF SOUTH WINDSOR MAP SHOWING LAND ACQUIRED FROM ADELINE P. URSO BY THE STATE OF CONNECTICUT BUCKLAND ROAD", SCALE: 1"=40', DATED: JUNE 1991, LAST REVISED: 8-27-91, TOWN NO. 132, PROJECT NO. 132-100, SERIAL NO. 4, SHEET 1 OF 1
- B. MAP TITLED "TOWN OF SOUTH WINDSOR MAP SHOWING LAND ACQUIRED FROM CATHOLIC CEMETERIES ASSOCIATION OF THE ARCHDIOCESE OF HARTFORD INC. BY THE STATE OF CONNECTICUT BUCKLAND ROAD", SCALE: 1"=40', DATED: JULY 1991, LAST REVISED: 1-7-93, TOWN NO. 132, PROJECT NO. 132-100, SERIAL NO. 3, SHEET 1 & 2 OF 4.
- C. MAP TITLED "COMPILATION PLAN TOWN OF SOUTH WINDSOR MAP SHOWING LAND RELEASED TO THE TOWN OF SOUTH WINDSOR BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION BUCKLAND ROAD", SCALE: 1"=20', DATED: AUG. 2000, TOWN NO. 132, PROJ. NO. 132-100, SERIAL NO. 6A, SHEET NO. 1 & 2 OF 3
- D. MAP TITLED "EVERGREEN WALK, LLC PROPOSED WATER EASEMENT TO BE GRANTED TO CONNECTICUT WATER COMPANY BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=80, DATED: 01/19/04, LAST REVISED: 03/30/04, SHEET 1 & 2 OF 2, BY: FUSS & O'NEILL INC.
- E. MAP TITLED "COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO YANKEE GAS SERVICES COMPANY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC AND EVERGREEN WALK, LLC BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=80', DATED: 02/05/2004, LAST REVISED: 05/21/04, YANKEE GAS FILE NUMBER: E4013, BY: FUSS & O'NEILL INC.
- F. MAP TITLED "COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC AND EVERGREEN WALK, LLC BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=80', DATED: 12/22/03, LAST REVISED: 5/21/04, CL&P FILE NO. #E3333, BY: FUSS & O'NEILL
- G. MAP TITLED "COMPILATION PLAN MAP SHOWING EASEMENT TO BE MODIFIED AND EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT & POWER COMPANY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=80', DATED: 12/23/04, CL&P FILE NO. #E4334, BY: FUSS & O'NEILL INC

- H. MAP TITLED "EASEMENT PLAN CL&P FILE NO. E6040, COMPILATION PLAN MAP SHOWING EXISTING CONNECTICUT LIGHT AND POWER COMPANY EASEMENT TO BE MODIFIED AND PROPOSED EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY DBA EVERSOURCE ENERGY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC BUCKLAND ROAD -SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=20', DATED: 04/11/2016. LAST REVISED: 4/28/2016, BY: BL COMPANIES
- I. MAP TITLED "RIGHT OF WAY & EASEMENT SURVEY PREPARED FOR POAG & MCEWEN BUCKLAND ROAD & DEMING STREET SOUTH WINDSOR, CT.", SCALE: 1"=40', DATED: 9/10/04, LAST REVISED: 10/19/04, SHEETS VO1.1 & VO1.2, BY: FUSS & O'NEILL INC.
- J. MAP TITLED "EVERGREEN WALK LIFESTYLE CENTER, LLC PROPOSED SANITARY SEWER EASEMENT TO BE GRANTED TO TOWN OF SOUTH WINDSOR BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=80', DATED: 02/05/04, LAST REVISED: 03/30/04, SHEETS V.01-1 & V.01-2, BY: FUSS & O'NEILL INC.
- K. MAP TITLED "RIGHT-OF-WAY GRANTED TO THE TOWN OF SOUTH WINDSOR BUCKLAND SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=50', DATED: 09/07/04, BY: FUSS & O'NEILL INC.
- L. MAP TITLED "POAG & MCEWEN LIFESTYLE CENTER -CONNECTICUT, LLC EASEMENT MAP THE SHOPS AT EVERGREEN WALK BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED: 05/16/05, BY: FUSS & O'NEILL INC.
- M. MAP TITLED "DRAINAGE AREA BUCKLAND ROAD SOUTH WINDSOR CONNECTICUT", SCALE: 1"=60', DATED: 07/20/05, LAST REVISED: 3/16/06, SHEET V.1-01, BY: FUSS & O'NEILL INC.
- N. MAP TITLED "EXHIBIT "A" SANITARY SEWER AREA BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED: 07/20/05, LAST REVISED: 3/16/06, BY: FUSS & O'NEILL INC.
- O. MAP TITLED "COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY DBA EVERSOURCE ENERGY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC TAMARACK AVENUE SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED; 09/04/2015, FILE NO. E5097, BY: FUSS & O'NEILL INC.
- P. MAP TITLED "WATER EASEMENT PLAN UNIT 2, EASEMENT PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT WATER COMPANY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC UNIT 2 EVERGREEN WALK SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=60', DATED: JULY 24, 2018, BY: VHB
- Q. MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR EVERGREEN WALK LIFESTYLE CENTER, LLC, HARTFORD COUNTY, BUCKLAND ROAD, SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40'. DATED: APRIL 4, 2005, REVISED TO 01/05/2006, BY: FUSS & O'NEILL INC.
- 3. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).

- 4. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B) AS DETERMINED BY GNSS
- 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF NOVEMBER 2020 AND
- 6. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "HARTFORD COUNTY, CONNECTICUT PANEL 383 & 391 OF 675, MAP NUMBER 09003C0391F AND 09003C0383F, EFFECTIVE DATE SEPTEMBER 26. 2008" THE PROJECT AREA IS IN ZONE X (UNSHADED).
- 7. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC ). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE. OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- 8. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- 9. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- 10. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
- 11. NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDINGS ADDITIONS WAS OBSERVED ON THE SUBJECT PREMISES.
- 12. NO EVIDENCE OF STREET RIGHT OF WAY LINE CHANGES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED.
- 13. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- 14. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
- 15. WETLAND DELINEATION PERFORMED ON FEBRUARY 17, 2021 BY MATTHEW GUSTAFSON, REGISTERED SOIL SCIENTIST, ALL-POINTS TECHNOLOGY CORP. P.C.

#### LEGAL DESCRIPTION

BEGINNING AT A POINT ON THE WESTERLY SIDE OF BUCKLAND ROAD AND THE NORTHEAST CORNER OF UNIT 1, SAID POINT BEING THE SOUTHEAST CORNER OF HEREIN DESCRIBED PARCEL:

THENCE N 77° 05' 36" W BOUNDED SOUTHERLY BY UNIT 1, A DISTANCE OF

THENCE N 32° 06' 49" W BOUNDED SOUTHERLY BY UNIT 1. A DISTANCE OF 84.30' TO A POINT;

THENCE N 77° 29' 14" W BOUNDED SOUTHERLY BY UNIT 1, A DISTANCE OF 53.72' TO A POINT:

THENCE N 12° 30' 46" E BOUNDED WESTERLY BY UNIT 1. A DISTANCE OF 15.45' TO A POINT:

THENCE N 79° 03' 09" W BOUNDED SOUTHERLY BY UNIT 1, A DISTANCE OF 132.80' TO A POINT OF CURVATURE;

THENCE ALONG A CURVE BOUNDED SOUTHERLY BY UNIT 1, CURVING TO THE LEFT, WITH AN ARC LENGTH OF 59.54', A RADIUS OF 344.00', AN INCLUDED ANGLE OF 09° 55' 02", AND A CHORD LENGTH OF 59.47' BEARING N 84° 00' 39" W TO A POINT OF TANGENCY:

THENCE N 88° 58' 10" W BOUNDED SOUTHERLY BY UNIT 1, A DISTANCE OF 305.50' TO A POINT;

THENCE N 87° 03' 03" W BOUNDED SOUTHERLY BY UNIT 1, A DISTANCE OF 305.54' TO A POINT;

THENCE S 02° 56' 57" W BOUNDED EASTERLY BY UNIT 1, A DISTANCE OF 20.00' TO A POINT;

THENCE N 87° 03' 03" W BOUNDED SOUTHERLY BY UNIT 6, A DISTANCE OF 201.77' TO A POINT;

THENCE N 02° 41' 46" E BOUNDED WESTERLY BY UNIT 7, A DISTANCE OF 230.17' TO A POINT OF CURVATURE;

THENCE ALONG A CURVE BOUNDED WESTERLY BY UNIT 7, CURVING TO THE LEFT, WITH AN ARC LENGTH OF 122.20', A RADIUS OF 442.00', AN INCLUDED ANGLE OF 15° 50' 25", AND A CHORD LENGTH OF 121.81' BEARING N 05° 13' 27" W TO A POINT OF NON-TANGENCY:

THENCE N 13° 08' 40" W BOUNDED WESTERLY BY UNIT 7, A DISTANCE OF 81.61' TO A POINT OF CURVATURE;

THENCE ALONG A CURVE BOUNDED WESTERLY BY UNIT 7, CURVING TO THE RIGHT, WITH AN ARC LENGTH OF 149.37', A RADIUS OF 320.00', AN INCLUDED ANGLE OF 26° 44' 39", AND A CHORD LENGTH OF 148.02' BEARING N 00° 13' 40" E TO A POINT OF NON-TANGENCY;

THENCE S 76° 24' 01" E BOUNDED NORTHERLY BY UNIT 7. A DISTANCE OF 40.00' TO A POINT OF CURVATURE:

THENCE ALONG A CURVE BOUNDED WESTERLY BY UNIT 7, CURVING TO THE RIGHT, WITH AN ARC LENGTH OF 43.74', A RADIUS OF 280.00', AN INCLUDED ANGLE OF 08° 57' 01". AND A CHORD LENGTH OF 43.69' BEARING N 18° 04' 29" E TO A POINT OF NON-TANGENCY:

PART BY UNIT 8, A DISTANCE OF 389.49' TO A POINT; THENCE N 21° 34' 06" W BOUNDED WESTERLY BY UNIT 8. A DISTANCE OF 138.07' TO A POINT;

THENCE N 22° 33' 00" E BOUNDED WESTERLY IN PART BY UNIT 7 AND IN

THENCE N 13° 39' 53" E BOUNDED WESTERLY BY UNIT 8, A DISTANCE OF 168.15' TO A POINT;

THENCE N 42° 56' 38" E BOUNDED WESTERLY BY UNIT 8, A DISTANCE OF 357.13' TO A POINT:

THENCE N 32° 49' 48" E BOUNDED WESTERLY BY UNIT 8, A DISTANCE OF 95.95' TO A POINT;

115.93' TO A POINT; THENCE N 13° 36' 44" E BOUNDED WESTERLY BY UNIT 3, A DISTANCE OF 160.52' TO A POINT;

THENCE S 71° 53' 35" E BOUNDED NORTHERLY BY UNIT 3, A DISTANCE OF

THENCE N 00° 00' 00" E BOUNDED WESTERLY BY UNIT 3, A DISTANCE OF 187.21' TO A POINT;

THENCE N 44° 45' 31" E BOUNDED WESTERLY BY UNIT 3, A DISTANCE OF 71.01' TO A POINT;

THENCE N 89° 31' 02" E BOUNDED NORTHERLY IN PART BY UNIT 3, IN PART BY UNIT 8 AND IN PART BY UNIT 5, A DISTANCE OF 470.04' TO A POINT;

THENCE S 41° 24' 15" E BOUNDED EASTERLY BY UNIT 5, A DISTANCE OF

227.23' TO A POINT; THENCE S 13° 40' 56" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF

THENCE S 67° 16' 13" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF KRISHRELTIC LLC, A DISTANCE OF 272.11' TO A POINT ON THE WESTERLY SIDE OF BUCKLAND ROAD;

KRISHRELTIC LLC, A DISTANCE OF 185.84' TO A POINT;

THENCE S 13° 36' 02" W ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, A DISTANCE OF 752.42' TO A POINT OF CURVATURE:

THENCE ALONG A CURVE ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, CURVING TO THE LEFT, WITH AN ARC LENGTH OF 286.17', A RADIUS OF 6899.22', AN INCLUDED ANGLE OF 02° 22' 36", AND A CHORD LENGTH OF 286.15' BEARING S 12' 24' 44" W TO A POINT OF COMPOUND CURVATURE;

THENCE ALONG A CURVE ALONG THE WESTERLY SIDE OF BUCKLAND ROAD, CURVING TO THE LEFT, WITH AN ARC LENGTH OF 157.71', A RADIUS OF 6822.18', AN INCLUDED ANGLE OF 01° 19' 28", AND A CHORD LENGTH OF 157.71' BEARING S 11° 53' 11" W TO A POINT OF NON-TANGENCY;

THENCE N 62° 46' 12" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 180.18' TO A POINT;

THENCE S 13° 53' 48" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF

TOWN OF SOUTH WINDSOR, A DISTANCE OF 200.05' TO A POINT; THENCE S 62° 46' 12" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 185.46' TO A POINT ON THE

THENCE S 13° 36' 50" W ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, A DISTANCE OF 61.37' TO A POINT;

WESTERLY SIDE OF BUCKLAND ROAD;

THENCE N 76° 56' 52" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 118.75' TO A POINT;

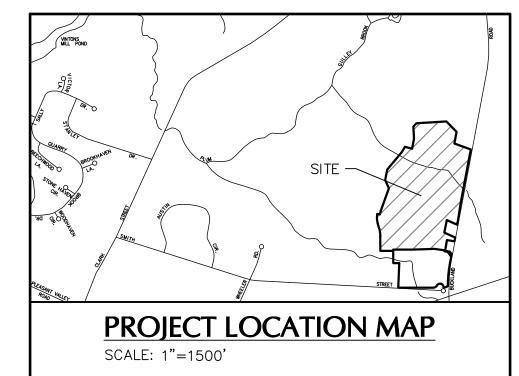
THENCE S 12° 44' 48" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF

TOWN OF SOUTH WINDSOR, A DISTANCE OF 170.00' TO A POINT; THENCE S 76° 56' 52" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 73.91' TO A POINT;

THENCE S 31° 30' 22" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 52.53' TO A POINT ON THE WESTERLY SIDE OF BUCKLAND ROAD;

THENCE S 13° 37' 43" W ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, A DISTANCE OF 31.58' TO THE POINT OF BEGINNING;

CONTAINING APPROXIMATELY 2,105,839 SQUARE FEET (48.34341 ACRES).



NNECTICUT DEPARTMENT OF TRANSPORTATION LEGEND (NOT SHOWN TO SCALE ---- AIR CONDITIONING UNIT ---- BOLLARD ---- COLUMN ---- DOOR --- DOUBLE DOOR ----- FLAG POLE ---- PARKING METER ---- SHRUB ----- TREE ---- GROUND LIGHT ---- CATCH BASIN ---- CLEANOUT ---- ELECTRIC BOX ---- ELECTRIC METER ----- FILLER VALVE ---- FIRE HYDRANT ----- FLARED END SECTION ---- COMMUNICATION BOX ---- GAS METER ---- GAS VALVE ---- GUY WIRE ---- LIGHT POLE ---- MANHOLE (TYPE AS LABELED) ---- POWER POLE ---- ROOF DRAIN ---- STANDPIPE TRAFFIC SIGNAL BOX —— PEDESTRIAN PUSH BUTTON ---- TRAFFIC SIGNAL POLE ----- UNDERGROUND VAULT ---- VALVE UNKNOWN ---- WATER METER ----- WATER VALVE ----- SPOT ELEVATION ---- BITUMINOUS ---- CONCRETE ---- CONCRETE PAD ----- LANDSCAPED AREA ----- BUILDING OVERHANG ——— BOTTOM OF WALL ---- DETECTABLE WARNING ---- BITUMINOUS CURB ---- CONCRETE CURB ----- GRANITE CURB ---- SINGLE WHITE STRIPE ----- BROKEN WHITE STRIPE ——— SINGLE YELLOW STRIPE —— DOUBLE YELLOW STRIPE DYS ---- METAL GUARD RAIL ---- WOOD GUARD RAIL --- STOCKADE FENCE → IRON FENCE TREE LINE ----^- WETLAND LINE ---- EASEMENT LINE - - - 322 - - - CONTOUR LINE -----FM------ SANITARY FORCE MAIN

3/17/21 WETLAND FLAG LOCATIONS Description Date REVISIONS

LANGAN

Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com SOUTH WINDSOR

**EVERGREEN WALK** LIFESTYLE CENTER, LLC

UNIT 2

TITLE SURVEY

ALTA/NSPS LAND

Drawing No. roject No. 140222801 **FEBRUARY 8, 2021** rawn By Checked By

EXISTING MAPPING

**CONNECTICUT** 

AS NOTED) - PLOTTED FROM

Filename: \|\langan.com\data\|NHV\data8\|140222801\|Project Data\\_Discipline\|Survey\CAD\|Existing\|140222801-V-PR0101-Unit 2.dwg Date: 4/6/2021 Time: 14:06 User: aives Style Table: Langan.stb Layout: VL103

------ DRAINAGE MARK OUT LINE

----E----- ELECTRIC MARK OUT LINE

----- UNKNOWN MARK OUT LINE

#### **GENERAL NOTES**

- . PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM PLAN 11. THE EXISTING UTILITIES INDICATED HEREON MAY NOT BE LOCATED AS SHOWN. IN ADDITION, TITLED "ALTA/NSPS LAND TITLE SURVEY" BY LANGAN, CT, DATED 02-08-2021.
- 2. THE SITE LIES IN ZONE X (UNSHADED) AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERED 09003C0383F EFFECTIVE SEPTEMBER 26, 2008.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING CALL BEFORE YOU DIG (WWW.CBYD.COM). PRIOR TO PERFORMING EXCAVATION TEST HOLES, TEST BORINGS, AND WHATEVER ADDITIONAL INVESTIGATION IS NECESSARY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
- . ALL IMPROVEMENTS CONSTRUCTED IN THE TOWN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO TOWN OF SOUTH WINDSOR STANDARD DETAILS. IN THE ABSENCE OF LOCAL DETAILS & REQUIREMENTS AND WORK IN THE STATE RIGHT-OF-WAY SHALL COMPLY WITH THE MOST UP TO DATE VERSION OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC) AS REQUIRED BY OWNER AND/OR
- 5. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND CONNECTICUT DEPARTMENT OF TRANSPORTATION REGULATIONS.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS, ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED.
- . DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.

CO = CLEAN OUT

LF = LINEAR FEE

MH = MANHOLE

LF = LINEAR FEET

CB = CATCH BASIN

YD = YARD DRAIN

RL = ROOF LEADER

TC = TOP OF CURB

TW = TOP OF WALL

BC = BOTTOM OF CURB

LA = LANDSCAPED AREA

FES = FLAIRED END SECTION

N.T.S. = NOT TO SCALE

DIP = DUCTILE IRON PIPE

PVC = POLYVINYL CHLORIDE PIPE

OCS = OUTLET CONTROL STRUCTURE

RCP = REINFORCED CONCRETE PIPE

- ABBREVIATIONS: ARCH. = ARCHITECTURAL CONC. = CONCRETE INV = INVERTEX = EXISTINGHDPE = HIGH DENSITY POLYETHYLENE PIPE PR. = PROPOSEDR&D = REMOVE & DISPOSIR&R = REMOVE & REPLACETYP. = TYPICAL
- SWL = SINGLE WHITE LINE SYL = SINGLE YELLOW LINE BW = BOTTOM OF WALL HP = HIGHPOINTGR = TOP OF GRATE
- RIM = TOP OF RIMINV = INVERTFFE = FINISHED FLOOR ELEVATION C.C. = CART CORRAL
- SAN MH = SANITARY SEWER MANHOLE
- O. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON IS TAKEN FROM DESIGN PLANS, AS-BUILT SKETCHES, EXISTING UTILITY COMPANY RECORDS, AND OTHER SOURCES OF INFORMATION AND IS NOT TO BE CONSTRUED AS AN ACCURATE "AS-BUILT" SURVEY AND IS

SUBJECT TO SUCH CORRECTIONS THAT A MORE ACCURATE SURVEY MAY DISCLOSE.

- OTHER UTILITIES NOT SHOWN HEREON MAY BE PRESENT. ANY DISCREPANCIES DISCOVERED DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
- 12. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS/DETAILS OF THE UTILITY COMPANY HAVING AUTHORITY OVER THE PROPOSED WORK. ALL PROPOSED UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ORDINANCES/REQUIREMENTS GOVERNING THE PROPOSED WORK.
- 13. ANY UTILITY EASEMENTS REQUIRED BY ANY OF THE VARIOUS UTILITY COMPANIES SHALL BE OBTAINED, EXECUTED, AND RECORDED PRIOR TO ANY OF THE AFFECTED UTILITY WORK BEING PERFORMED.
- 14. ALL PROPOSED UTILITIES WILL BE LOCATED UNDERGROUND.
- 15. ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SIZING ALL DRAINAGE STRUCTURES AND SUBMITTING SHOP DRAWINGS TO ENGINEER FOR REVIEW.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
- 18. ALL PAVEMENT MARKINGS SHALL BE EPOXY RESIN PAINT.
- 19. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 20. CONCRETE JOINTS ON SITE ARE TO BE FILLED WITH 3" ISOLATION JOINT FILLER, TO INCLUDE CONCRETE PAVEMENTS, MONOLITHIC CURBING, AND MONOLITHIC SIDEWALKS.
- 21. BOTTOM AND TOP OF RETAINING WALL ELEVATION SPOT SHOTS REPRESENT THE BASE OF THE WALL AT FINISHED GROUND LEVEL AND THE TOP OF THE FACE OF THE WALL RESPECTIVELY.
- 22. SPOT SHOTS ALONG CURB LINES REPRESENT THE BASE OF THE CURB UNLESS NOTED OTHERWISE.
- 23. ALL ON-SITE CONCRETE TO BE 4,500 PSI WITH 5% TO 7% AIR ENTRAPMENT UNLESS OTHERWISE
- 24. TRANSFORMERS, HVAC UNITS, DUMPSTER AND SIMILAR SITE INSTALLATIONS MUST BE APPROPRIATELY SCREENED TO THE SATISFACTION OF THE PLANNING DEPARTMENT.
- 25. CONTRACTOR TO REMOVE ALL AGRICULTURAL PLASTIC SHEERING, IRRIGATION TUBING AND SIMILAR MATERIAL FROM THE SITE AND DISPOSE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS. CONTRACTOR TO REMOVE EXISTING BERMS AND SMALL PILES OF MATERIAL FROM EDGES OF FIELDS AND GRAD TO BLEND SMOOTHLY INTO ADJACENT TOPOGRAPHY.

## **ACCESSIBILITY NOTES**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**UTILITY NOTES** 

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR THE PROPER UTILITY COMPANY
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- 8. DIMENSIONS SHOWN ARE TO THE CENTERLINE OF PIPE OR FITTING.
- 9. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA
- 10. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.
- <u>ELECTRIC, TELEPHONE, & GAS:</u>

PROVIDING SERVICE.

- 11. CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANIES.
- 12. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES. <u> WATER & SANITARY:</u>
- 13. ALL SANITARY & WATER INSTALLATION TO MEET THE METROPOLITAN DISTRICT (MDC) AND TOWN OF SOUTH WINDSOR STANDARDS
- 14. ALL SANITARY SEWER PIPE TO BE PUSH-JOINT POLYVINYL CHLORIDE (PVC) PIPE SDR-35. ALL JOINTS BETWEEN PVC PIPE SECTIONS AND BETWEEN PIPE AND PRECAST MANHOLÉS SHALL HAVE WATER-TIGHT RUBBER GASKET CONNECTIONS. ALL PVC PIPES AND FITTINGS SHALL COMPLY WITH ASTM D3034-93. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST
- 15. WHERE THE SANITARY SEWER LINE PASSES LESS THAN 18" BELOW THE WATER LINE, PROVIDE CONCRETE ENCASEMENT. THE LENGTH OF THE ENCASEMENT TO BE INCREASED TO THE NEAREST JOINT.
- 16. WHERE THE SANITARY SEWER LINE PASSES ABOVE THE WATER LINES, ENCASE SEWER IN 6" THICK CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE FOR THE PIPE BEING USED FOR THE SAME DISTANCE.
- 17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4.5 FEET OF COVER FOR ALL WATER DISTRIBUTION PIPING.
- 18. ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600.
- 19. ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651.
- 20. GRAVITY PIPING SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM, "IN THE DRY". THE CONTRACTOR IS ENCOURAGED TO BEGIN WORK AT THE MOST DOWNSTREAM POINT IN THE SYSTEM, ESPECIALLY WHEN THE NEW WORK WILL CONNECT TO AN EXISTING LITHLITY DOWNSTREAM IF THE CONTRACTOR CHOOSES NOT TO START AT THE FURTHEST DOWNSTREAM LOCATION, THEN HE IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, ELEVATION, AND INVERT OF THE EXISTING UTILITY PRIOR TO STARTING ANY WORK AND VERIFYING THAT THE EXISTING LOCATION AND INVERT ALLOWS FOR THE CONSTRUCTION OF THE PROPOSED SYSTEM AS DESIGNED.

- I. WALKWAYS ALONG ACCESSIBLE ROUTES NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE.
- 2. ALL ADA PARKING SPACES AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- 3. ALL ADA EGRESSES SHALL BE FLUSH WITH ADJOINING MATERIAL UNLESS NOTED OTHERWISE.
- 4. ALL CURB RAMPS SHALL NOT EXCEED 1:12 RUNNING SLOPE OR 2% CROSS
- 5. CONTRACTOR SHALL CONFIRM FIELD CONDITIONS ARE CONSISTENT WITH CONSTRUCTION DOCUMENTS AND NOTIFY LANGAN, CT OF ANY COMPLIANCE ISSUES PRIOR TO CONSTRUCTION.

#### SETBACK LINE WETLAND LIMITS ZONE LINE \_\_\_\_\_ BUILDING LINE DOOR LOCATION LOADING BAY DOOR LOCATION 6" CURB LINE 12" CONCRETE CURB LINE TRAFFIC SIGN STEEL BOLLARD PARKING ROW COUNT CONCRETE LANDSCAPE AREA 8' CHAIN LINK FENCE RETAINING WALL STORMWATER MANAGEMENT FEATURE STORM PIPE STORM CURBED CATCH BASIN STORM CURBLESS CATCH BASIN STORM TRENCH DRAIN STORM YARD DRAIN STORM MANHOLE CONTOUR ×135.19 SPOT ELEVATION INLET PROTECTION SILT FENCE ---FIBER ROLL •••••• CONSTRUCTION FENCE LIMIT OF DISTURBANCE DIRECTION OF TRAVEL ARROW PAVEMENT MARKING GRAVITY SANITARY LINE SANITARY FORCE MAIN CLEANOUT WATER LINE FIRE SERVICE LOOP ----- UFW\*------INDERGROUND ELECOMMUNICATIONS JNDERGROUND ELECTRIC JNDERGROUND GAS TRANSFORMER HYDRANT SANITARY MANHOLE WATER VALVE SAWCUT HEAVY DUTY ASPHALT **PAVEMENT** GUIDE RAIL \_\_\_\_\_ RAIN GARDEN

**LEGEND** 

PROPOSED

## SIGN LEGEND

PROPERTY LINE



30" x 30" (FŎR ONE LANE)

MUTCD: R1-1

MUTCD: R3-8

x 36" (FOR 2 LANES)



MUTCD: R7-8

LEFT LANE

MUST

TURN LEFT

36" × 36"

MUTCD: R3-7



COTTONWOOD

LANE



DO NOT MOUNT ON

BACK OF STOP SIGN

COTTONWOOD LANE

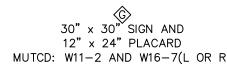
LOADING AREA











- 1. ALL PAVEMENT MARKINGS, INCLUDING HANDICAP, MUST CONFORM IN COLOR AND SIZE TO THE MOST RECENT EDITION OF CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS CATALOG
- 2. ABOVE GRADE SIGNS FOR HANDICAP SPACES MUST MEET THE SPECIFICATIONS AS PRESCRIBED BY THE STATE STATUTE AND THE STATE BUILDING CODE.
- 3. ALL SIGNS MUST MEET THE REQUIREMENTS AND MOUNTING HEIGHT AS PUBLISHED IN THE MOST RECENT EDITION OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS CATALOG OF SIGNS AND ITS ADDENDUMS (INC. STOP AND FIRE LANE).
- 4. ALL SIGN SIZES MUST MEET THE REQUIREMENTS AS PUBLISHED IN THE MOST RECENT EDITION OF THE CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF ENGINEERING & HIGHWAY OPERATIONS CATALOG OF SIGNS AND ITS ADDENDUMS.

#### **GRADING & DRAINAGE NOTES**

- THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTIN UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" (800-922-4455) FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
- ALL EXISTING STORM DRAINAGE PIPING AND STRUCTURES LOCATED WITHIN THE PROJECT SITE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
- ALL REQUIRED STORM LATERALS SERVICING THE PROPOSED BUILDING SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF THE FOUNDATION. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF LATERALS TO THE BUILDING SHALL BE MADE BY THE BUILDING CONTRACTOR.
- SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZES OF THE DRAINAGE
- SITE CONTRACTOR TO INSTALL SILT SACK/INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS BEFORE COMMENCING CONSTRUCTION.
- BASINS UTILIZED AS SEDIMENT BASINS DURING CONSTRUCTION SHALL BE CLEANED AFTER THE COMPLETION OF CONSTRUCTION TO ENSURE PROPER FUNCTIONALITY.
- D. CONTRACTOR TO CLEAN ENTIRE DRAINAGE SYSTEM, WHICH INCLUDES BUT IS NOT LIMITED TO PIPES, STRUCTURES, AND BASINS, OF SEDIMENT PRIOR TO PROJECT COMPLETION.

## **CONTRACTOR NOTES**

- .THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF TH ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF
- 2.THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS: CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- 3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE. AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- 4.INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHAL SUFFICIENTLY REVIEW ALL PLANS. PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- 5. THERE ARE ADDITIONAL NOTES. SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- 6.CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

## **DEMOLITION NOTES**

#### **GENERAL:**

- THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "CALL BEFORE YOU DIG," EXCAVATING THE HOLES AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR
- THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.

MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND

THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND

- PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED
- CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.

#### **DEMOLITION:**

- 9. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
- 10. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE. & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

06/10/2021 PLANNING DEPARTMENT SUBMISSION Date Description Revisions

LANGAN

Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project.

## **DEVELOPMENT AT EVERGREEN WALK**

MAP NO. 27, BLOCK No. 15, UNIT No. 2 **801 EVERGREEN WAY SOUTH WINDSOR** 

HARTFORD COUNTY Drawing Title

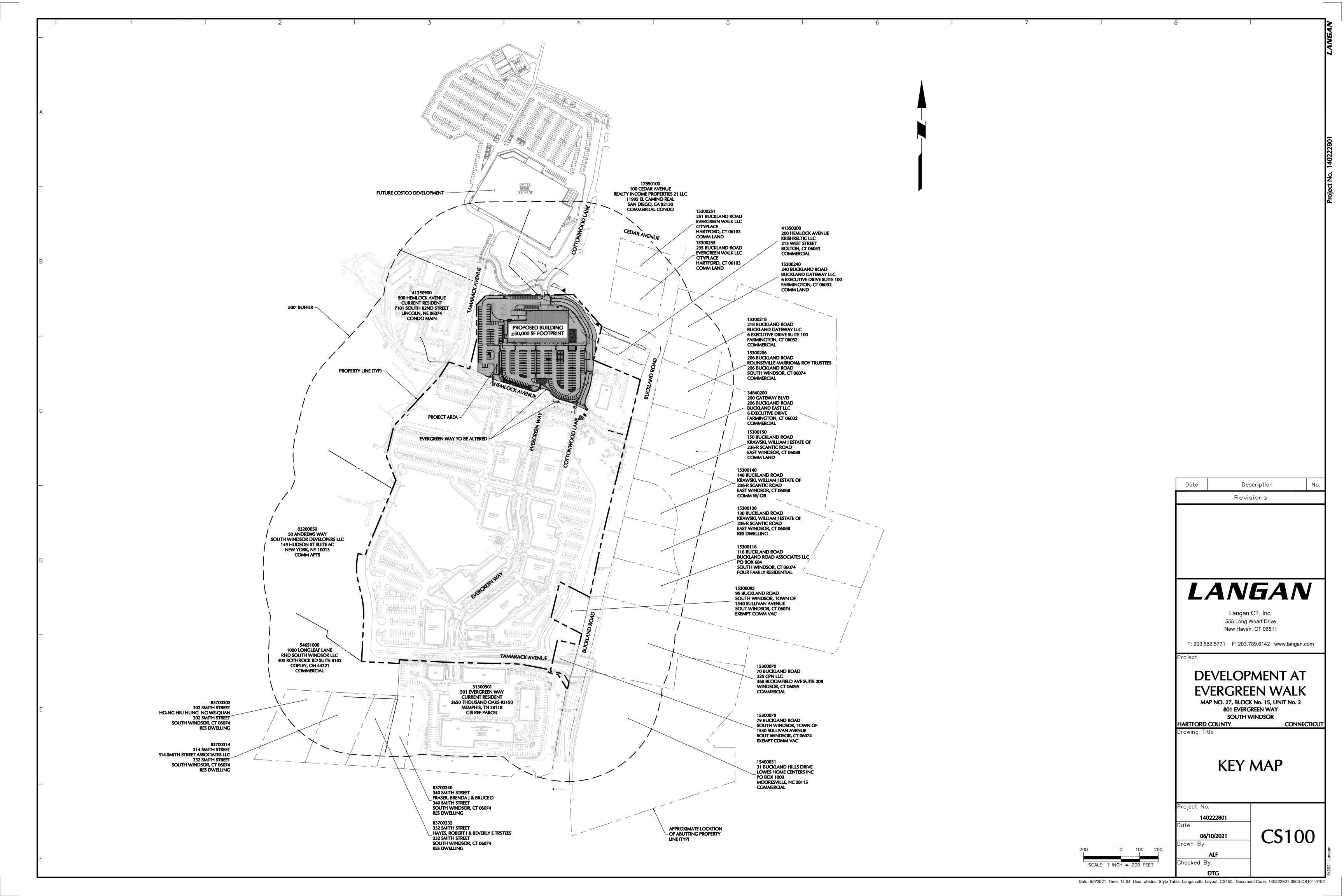
MASTER LEGEND & **NOTES** 

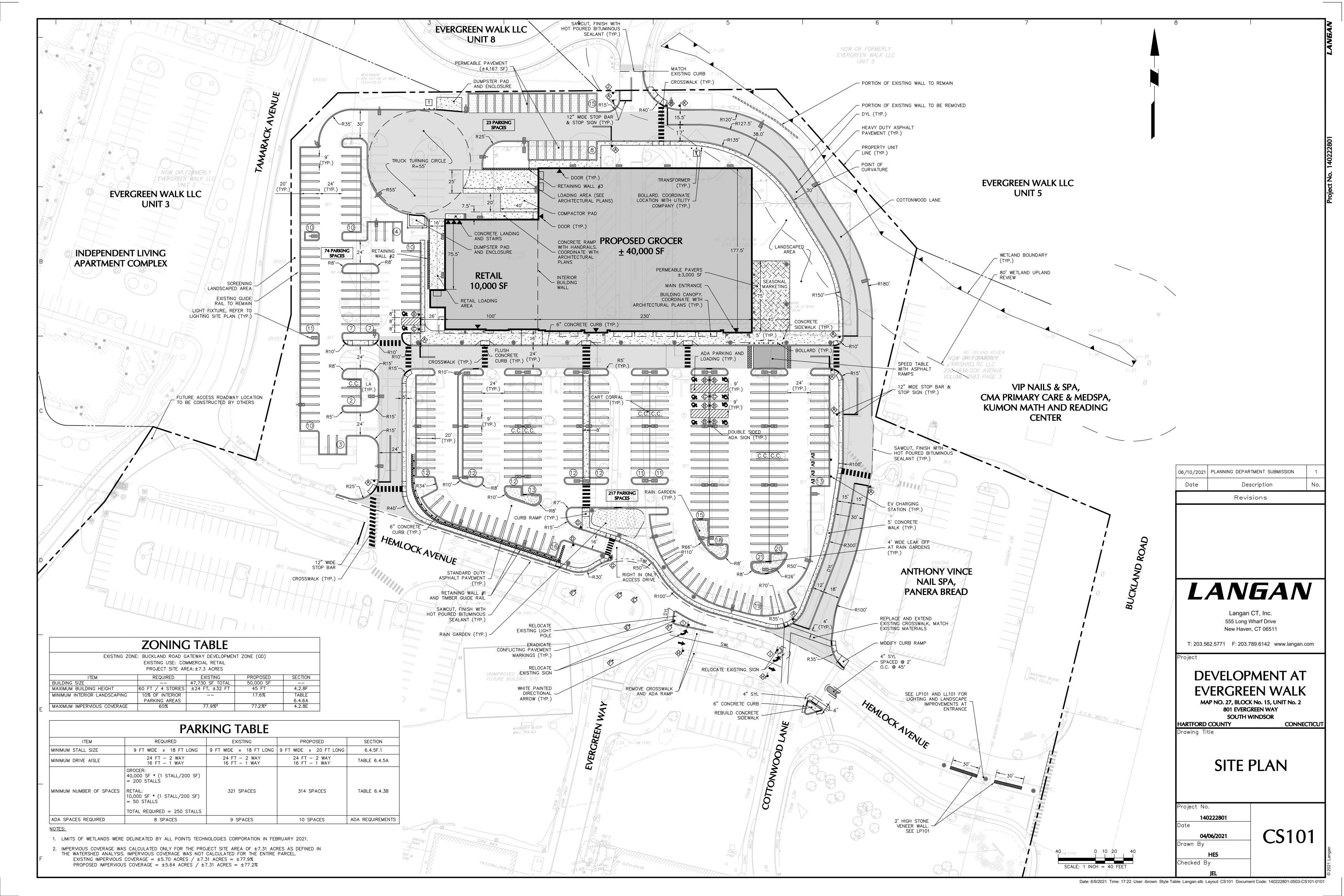
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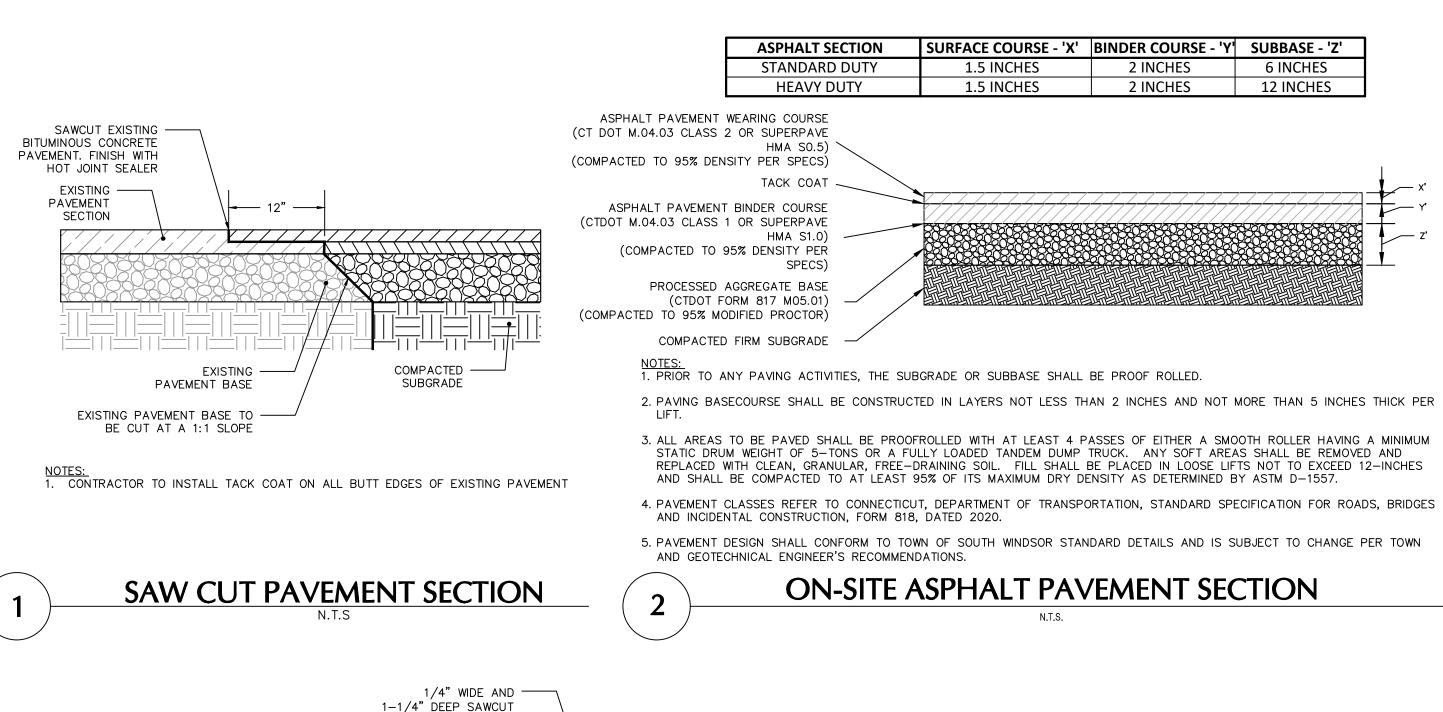
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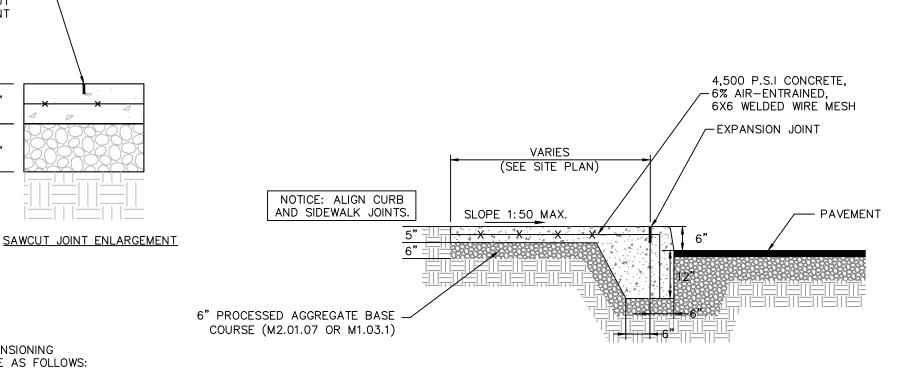
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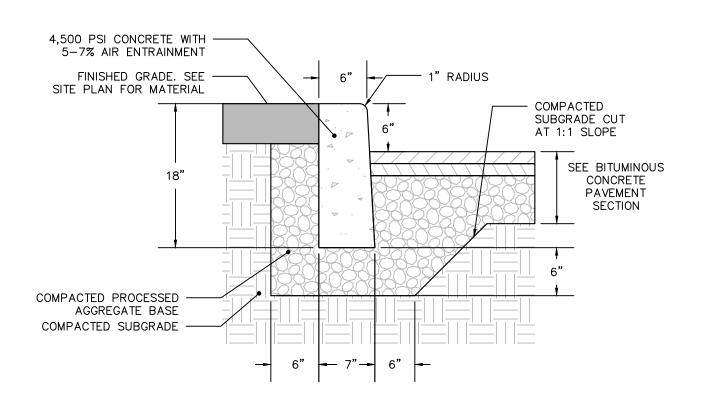
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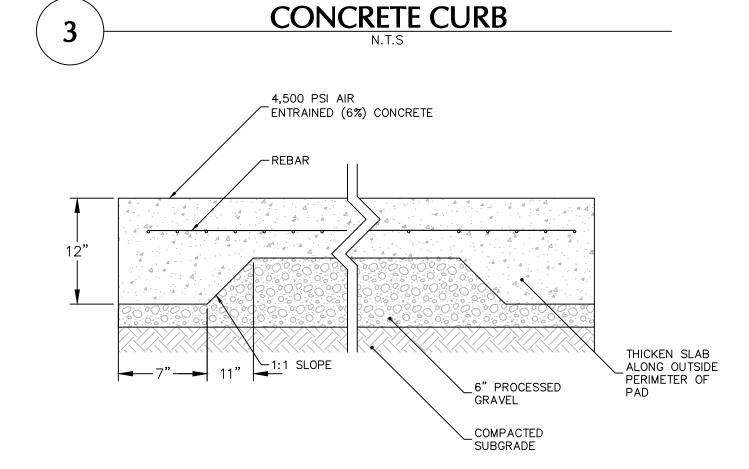


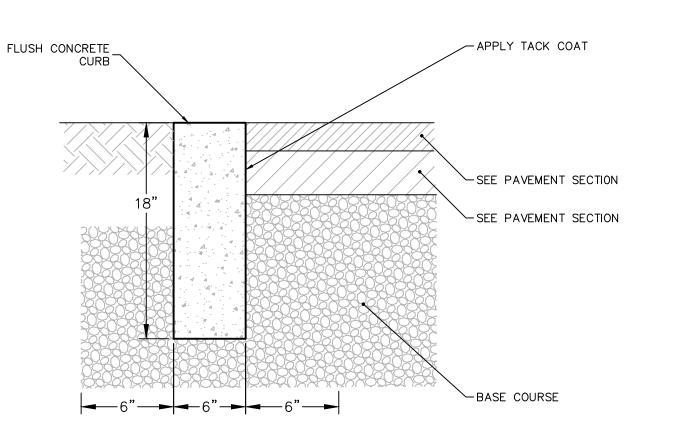
NOTES:

1. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CAST—IN—PLACE CURB 20'—0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.

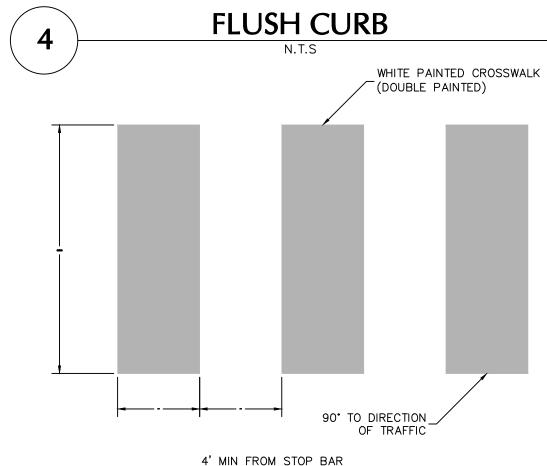
2. FOR CAST—IN—PLACE CURB, EXPOSED CONCRETE SURFACE IS TO BE RUBBED TO PROVIDE

SMOOTH FINISHED SURFACE.



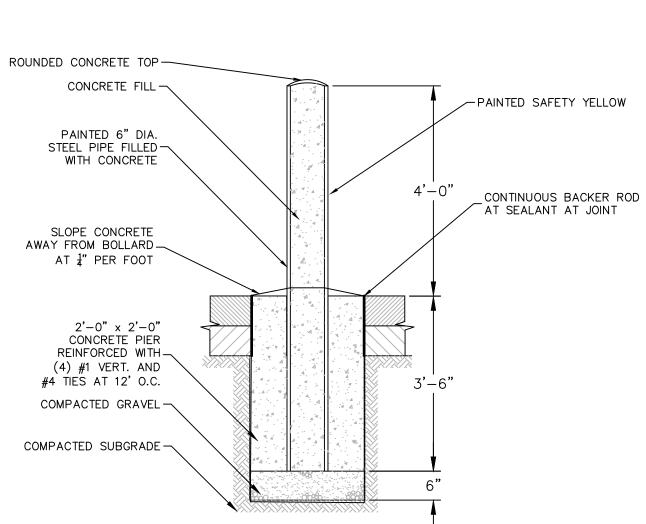


NOTE: CONCRETE TO TEST 4,500 PSI MINIMUM ON 28 DAY TEST.



NOTE:
TWO COATS OF EPOXY RESIN PAVEMENT MARKING PAINT SHALL BE APPLIED TO ALL PROPOSED PAVEMENT MARKINGS.

# ON GRADE CONCRETE SIDEWALK N.T.S



CONTROL JOINT

WIDTH VARIES - SEE SITE PLAN -

COMPACTED PROCESSED -

COMPACTED SUBGRADE -

ALL CONTROL JOINTS TO BE SAWCUT, REFER TO ENLARGEMENT

SIDEWALKS TO COMPLY WITH TOWN STANDARDS WHERE APPLICABLE.

AGGREGATE BASE

EXPANSION AND CONTROL JOINTS SHALL BE INSTALLED PER LAYOUT AND DIMENSIONING PLANS. IF NOT SPECIFICALLY DETAILED MAXIMUM SPACING OF JOINTS SHALL BE AS FOLLOWS:

CONTROL JOINTS SHALL BE SPACED EQUAL TO THE WIDTH BUT SHALL NOT EXCEED 6 FT. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE

5. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK.

6. CONTRACTOR TO PROVIDE 10'x10' MOCKUP SHOWING EXPANSION JOINTS, SAWCUT JOINTS, AND

4,500 PSI CONCRETE WITH -

5-7% AIR ENTRAINMENT

AND 6X6 10/10 MESH

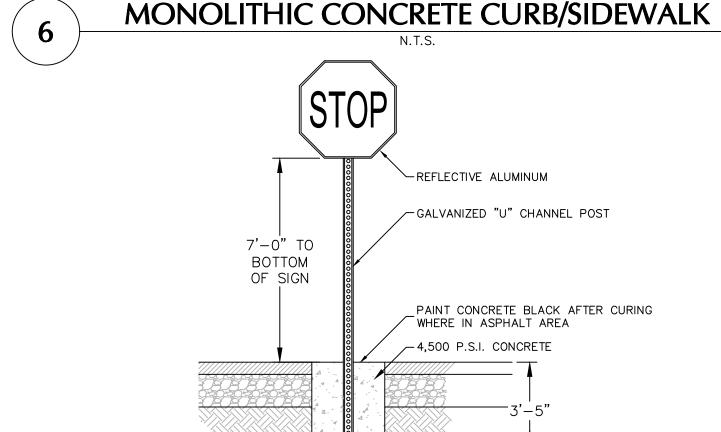
REINFÖRCEMENT

EXPANSION - 20 FT. CONTROL - 5 FT.

BROOM FINISH PRIOR TO INSTALLATION

NOTES: 1. COLOR TO BE SAFETY YELLOW WITH REFLECTIVE STRIPES,

9 BOLLARD
N.T.S



1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".

2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.

3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123—78 (OR LATEST REVISED).

4" MIN.—

4. POSTS SHALL BE BREAKAWAY TYPE II TWO—PIECE U—POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."

5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN

6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN

7. ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.

SIGN DETAIL

N.T.S

CONCRETE PAD

N.T.S

R CROSSWALK

06/10/2021 PLANNING DEPARTMENT SUBMISSION 1

Date Description No.

Revisions

LANGAN

Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511

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roject

HARTFORD COUNTY

Signature

DEVELOPMENT AT EVERGREEN WALK

MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR

CONNECTICU

Drawing Title

SITE DETAILS I

Project No.

140222801

Date

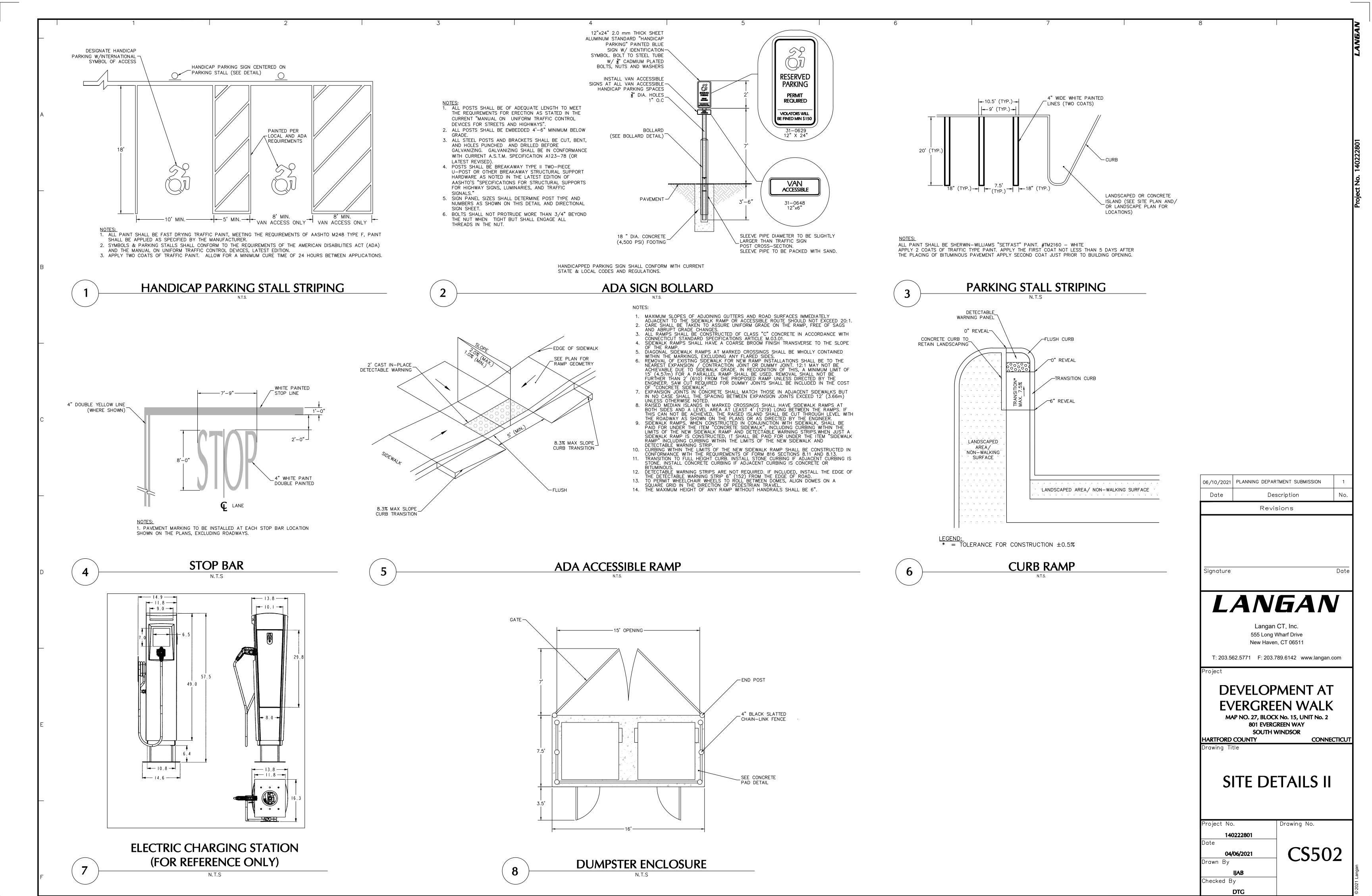
04/06/2021

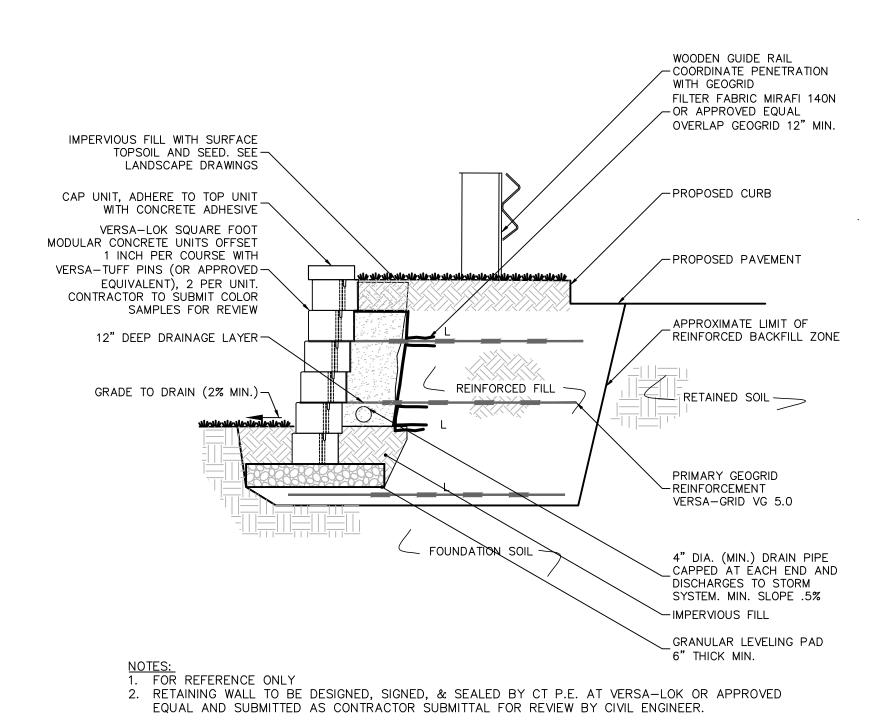
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IJAB

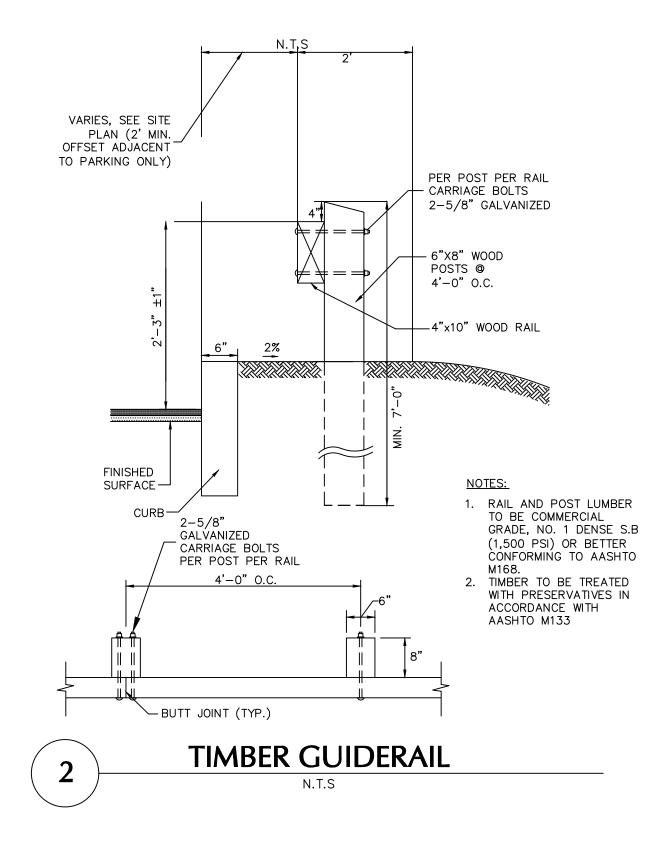
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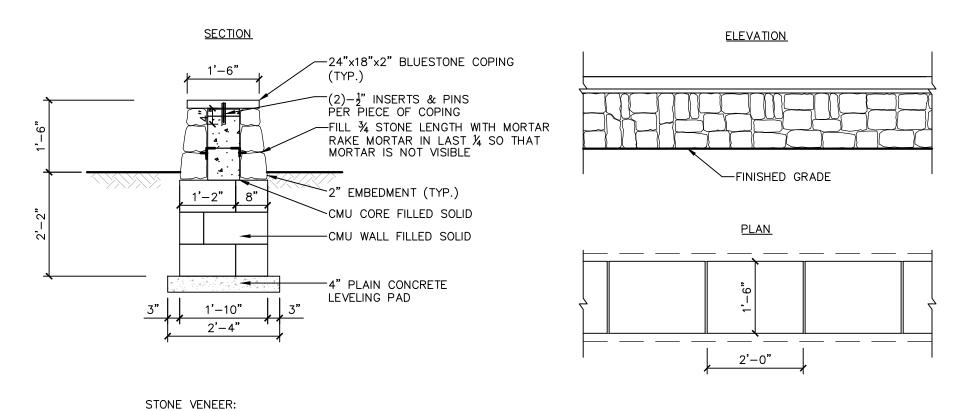
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**RETAINING WALL** 





1) PA FIELDSTONE HEAVY AS SUPPLIED BY GEO. SCHOFIELD CO., INC.

FINAL SPECIFICATION AND PATTERN TO MATCH EXISTING WALLS AT BASE OF EXISTING SIGNS.

STONE VENEER WALL

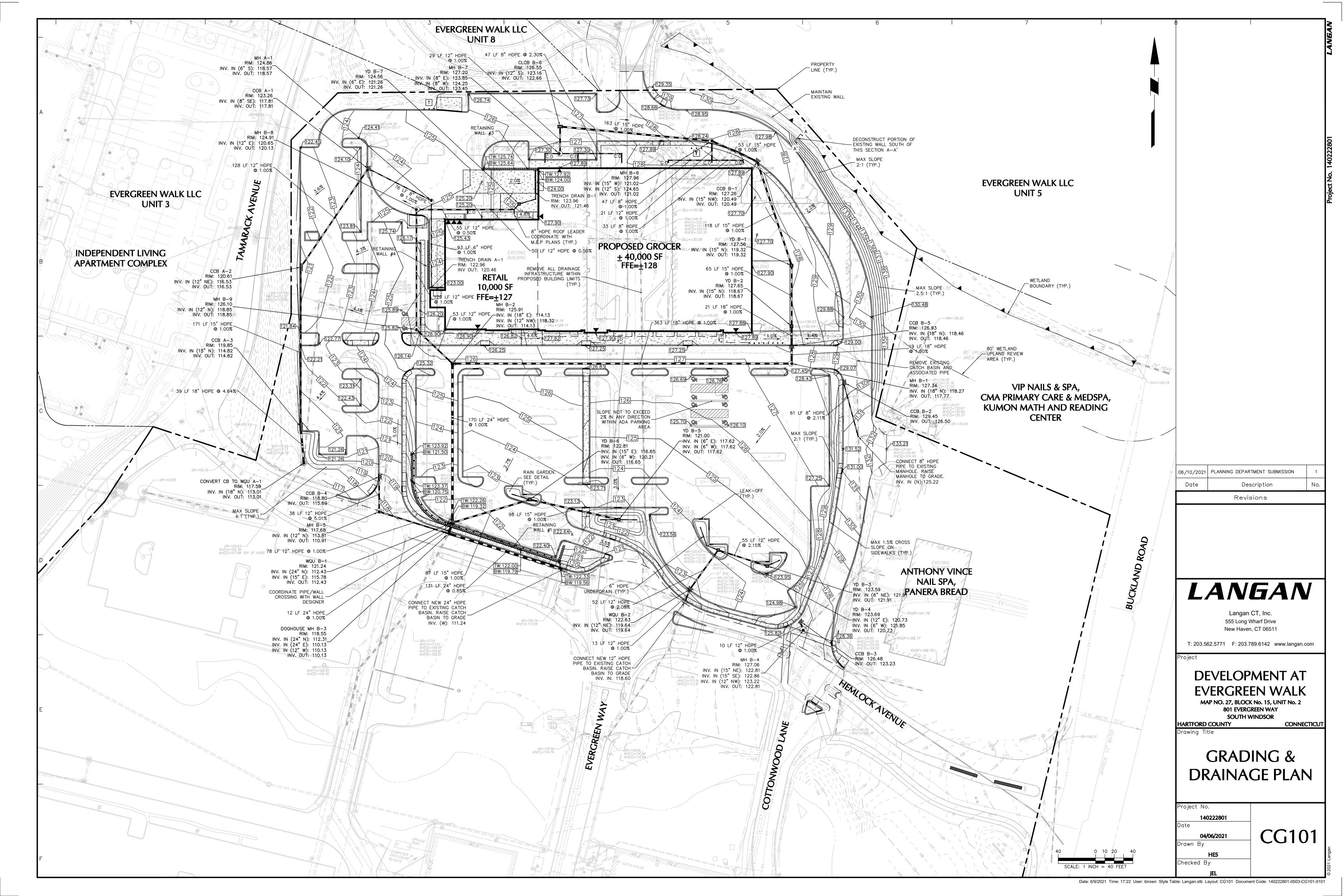


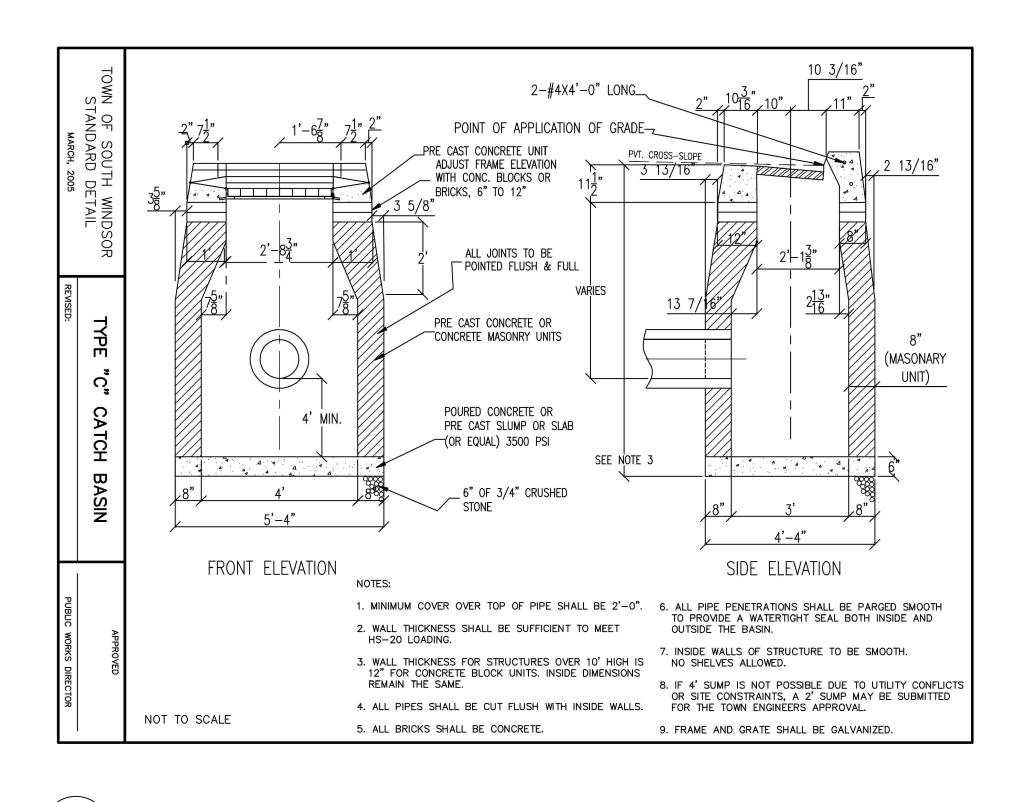
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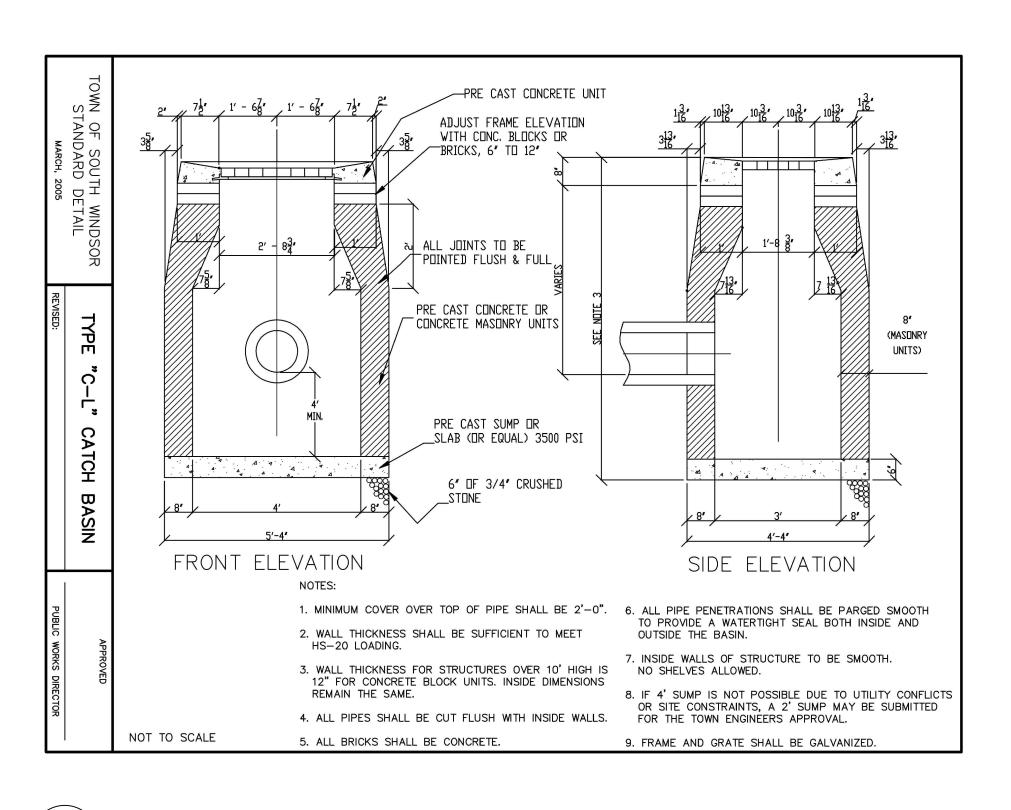
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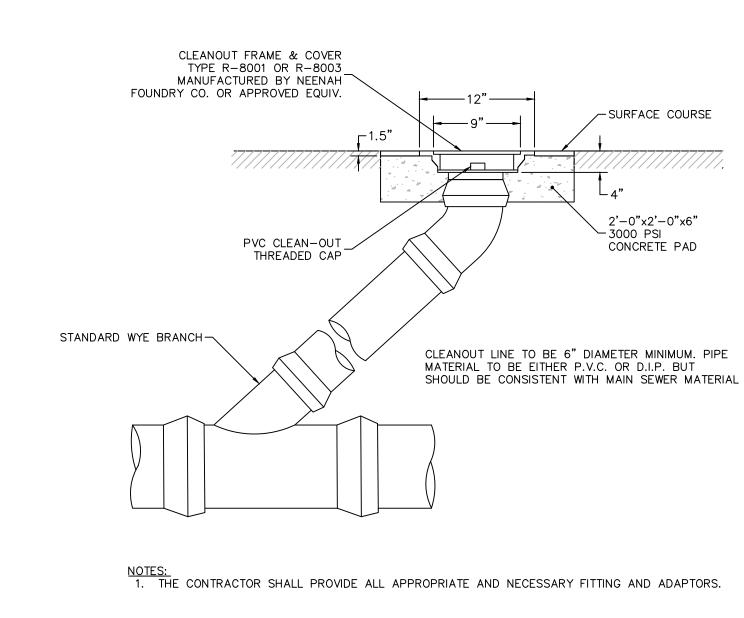
HARTFORD COUNTY

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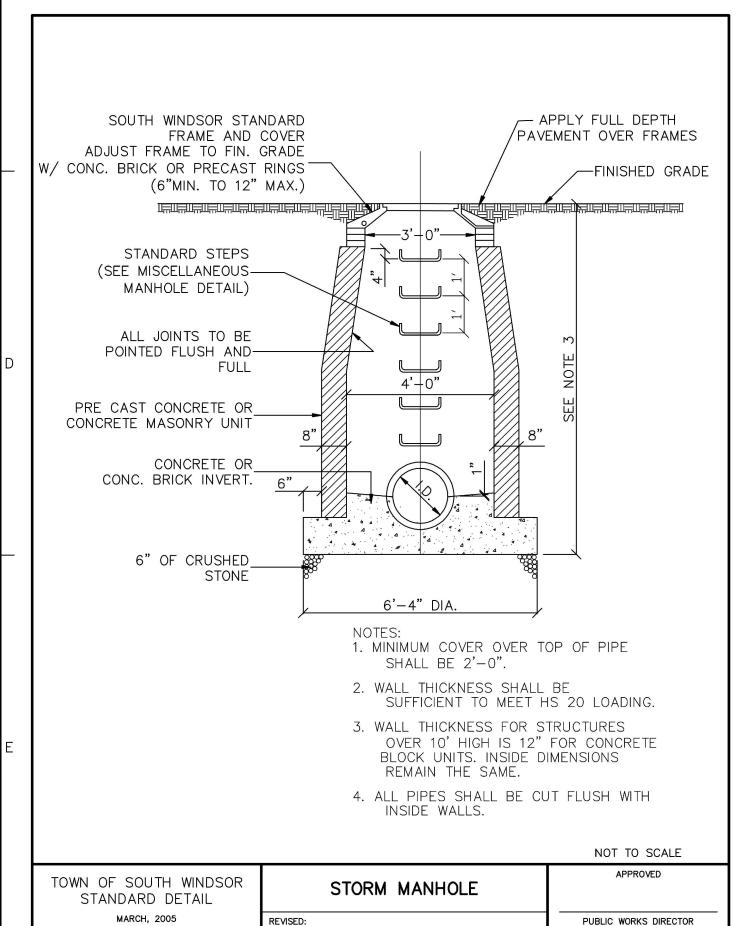
TYPE C CATCH BASIN

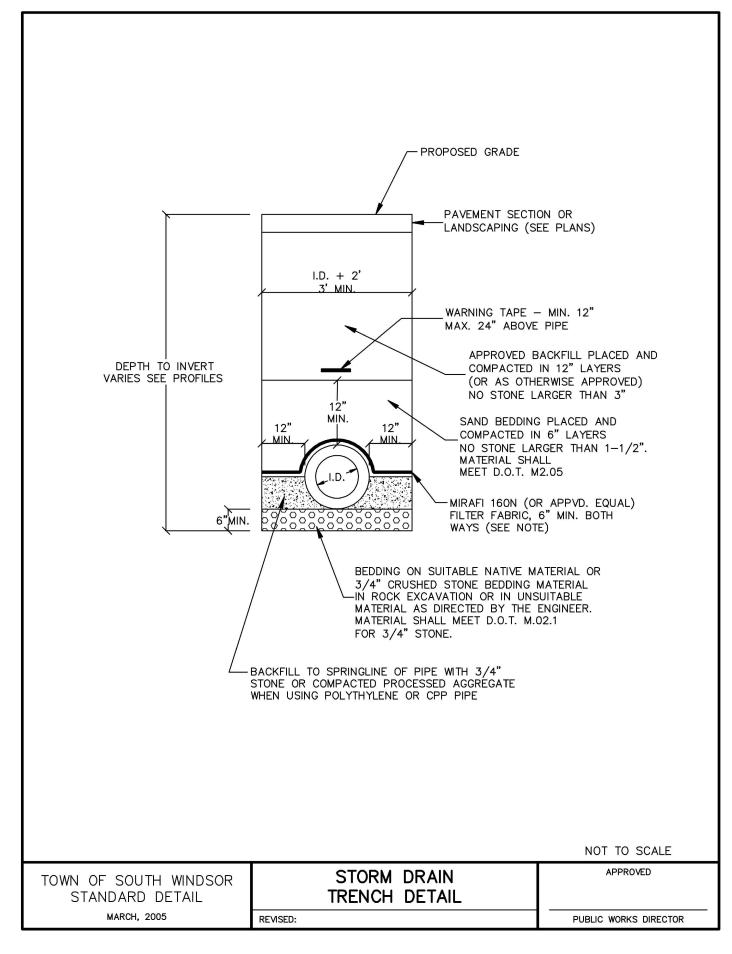
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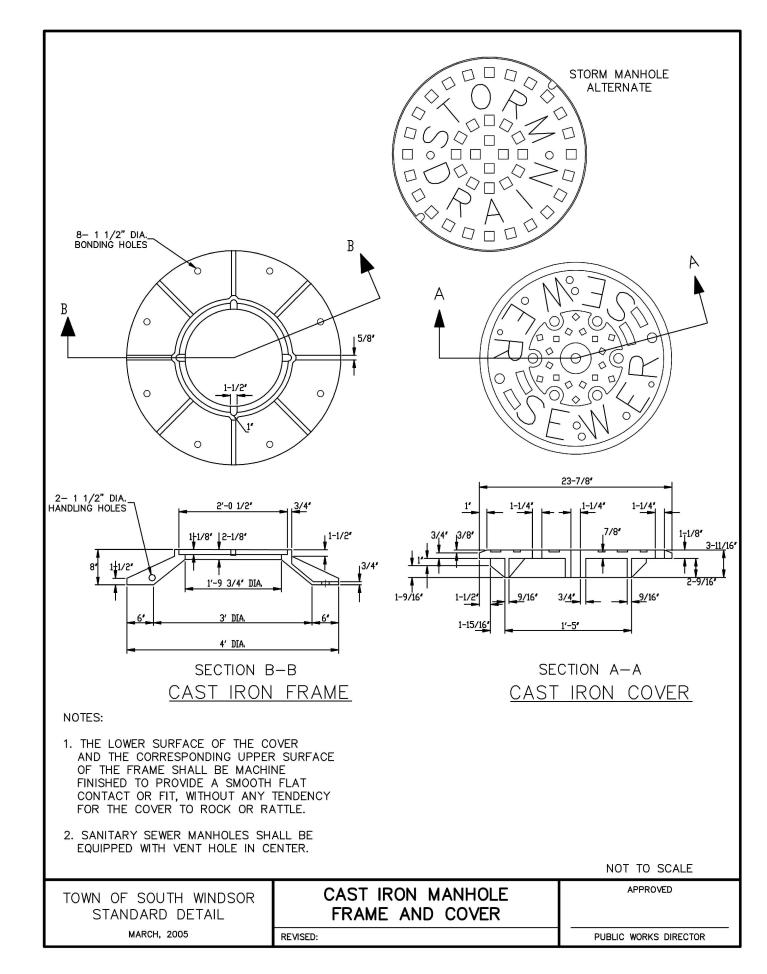
TYPE C-L CATCH BASIN

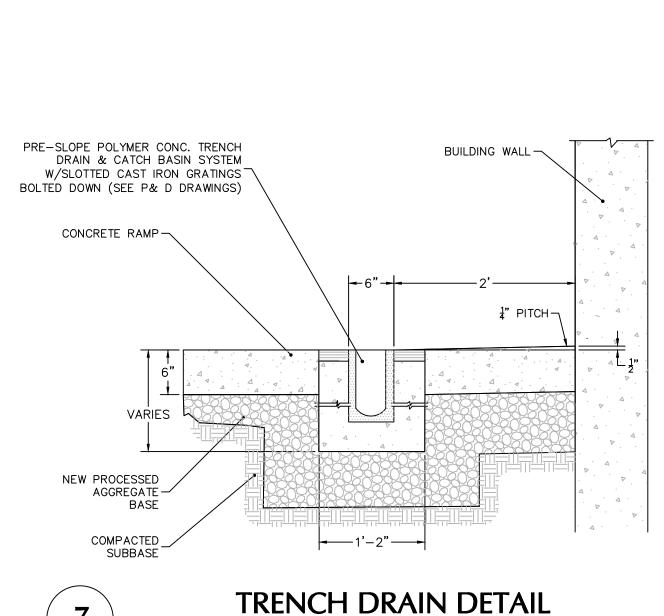
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06/10/2021 PLANNING DEPARTMENT SUBMISSION

Description

Revisions

Date

STORM MANHOLE

STORM PIPE-BEDDING DETAIL

6 MANHOLE FRAME & COVER

Project No.

140222801

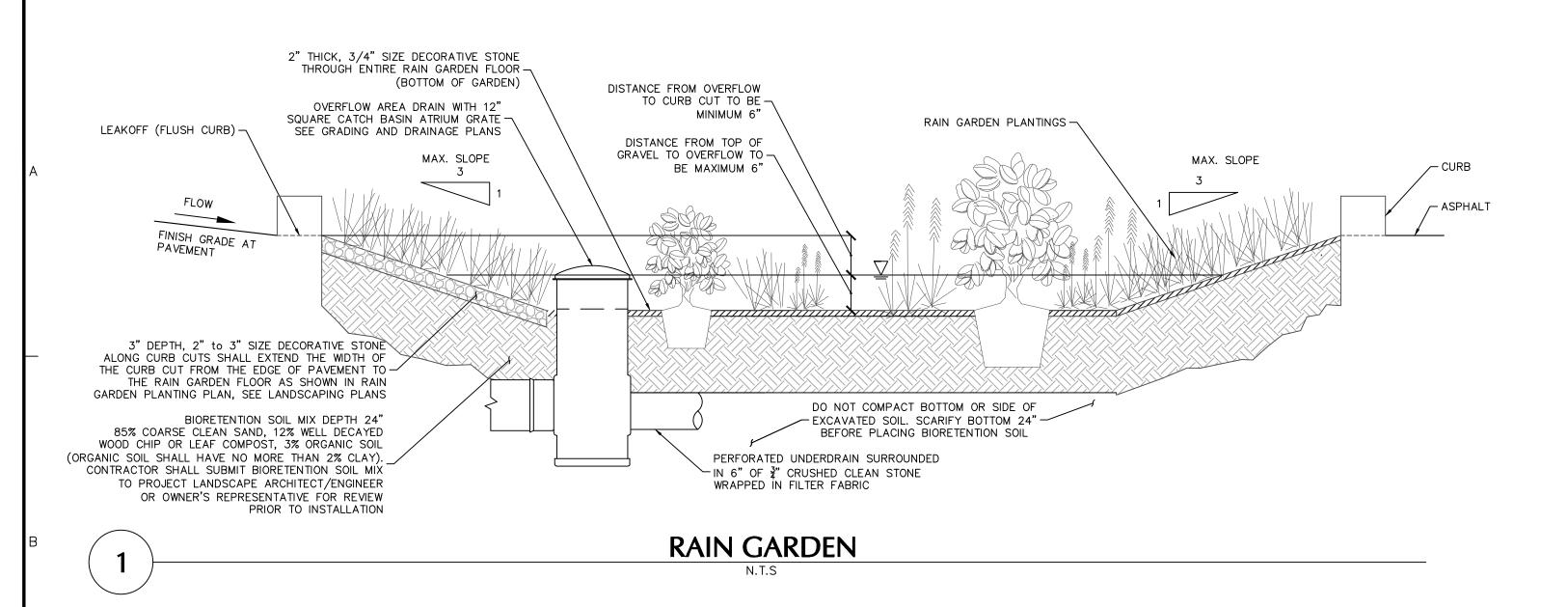
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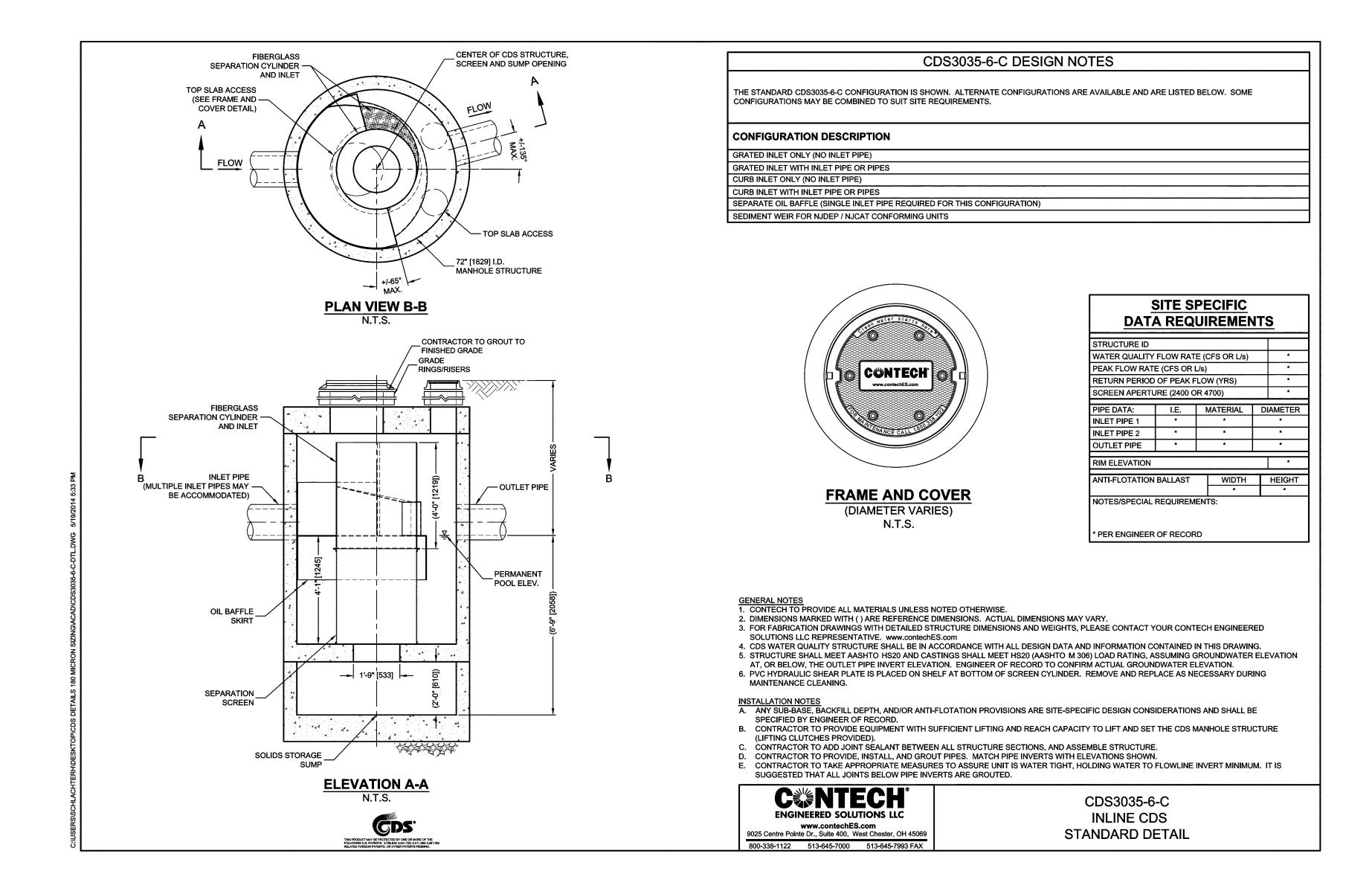
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Checked By







Drawing No.

CG502

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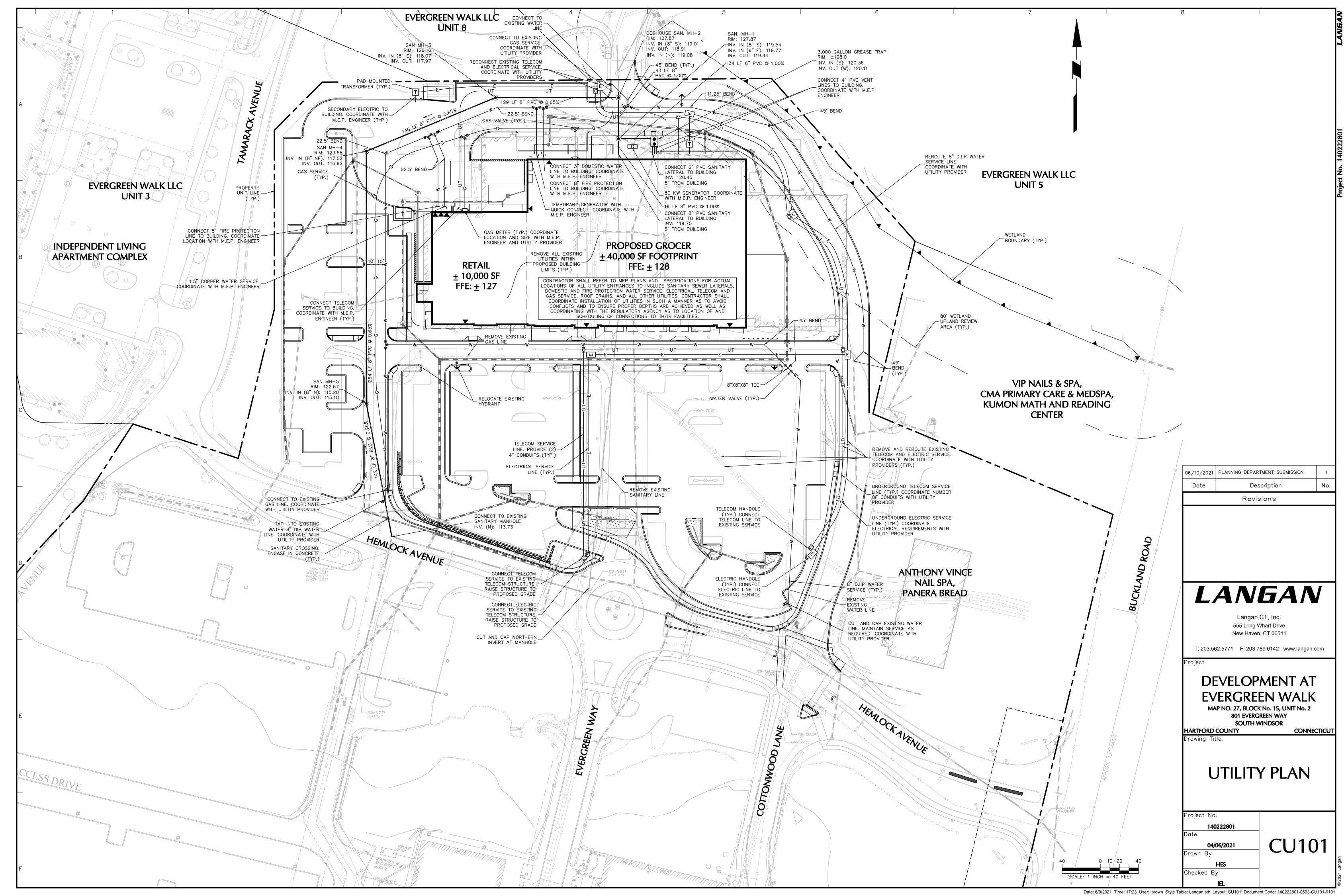
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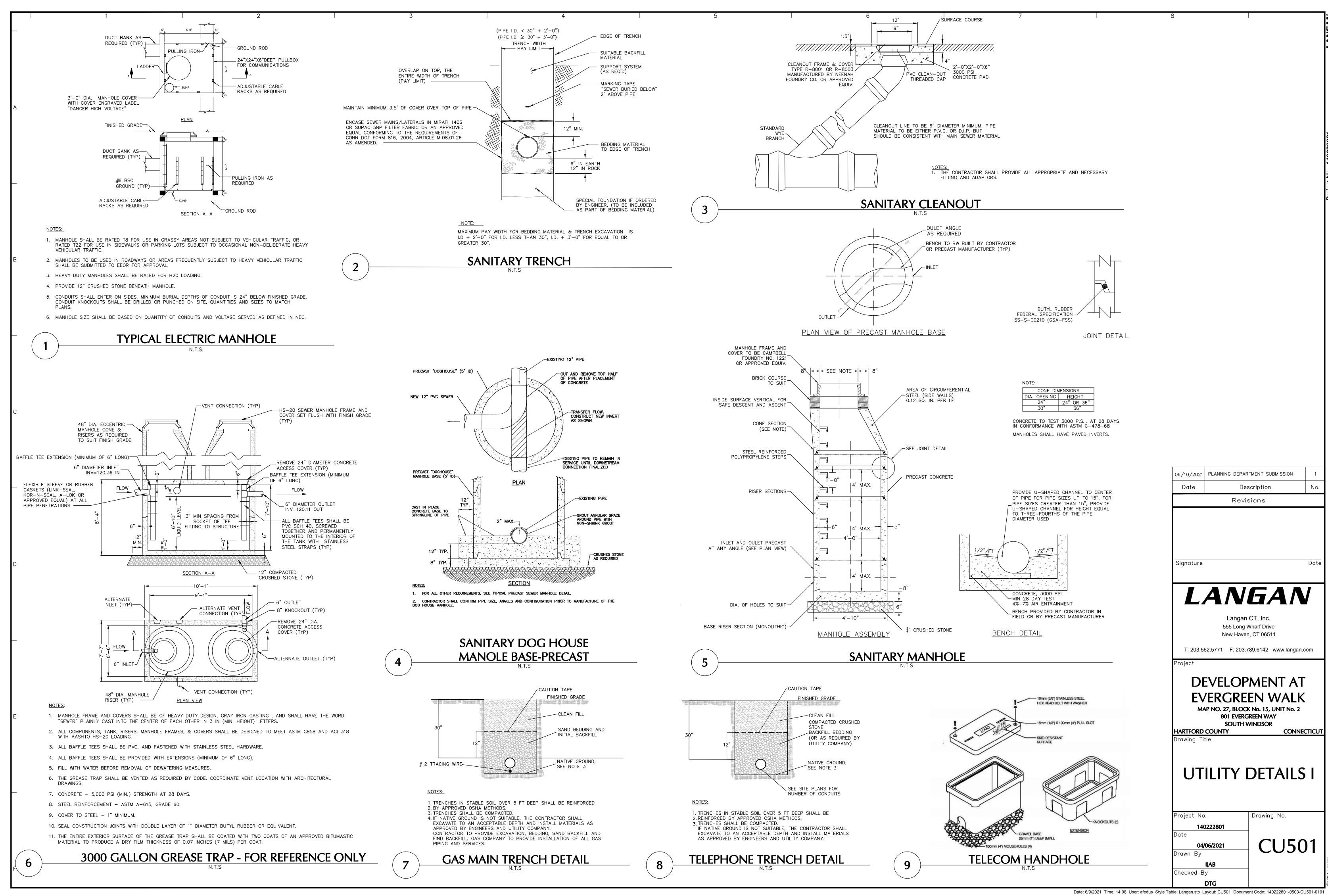
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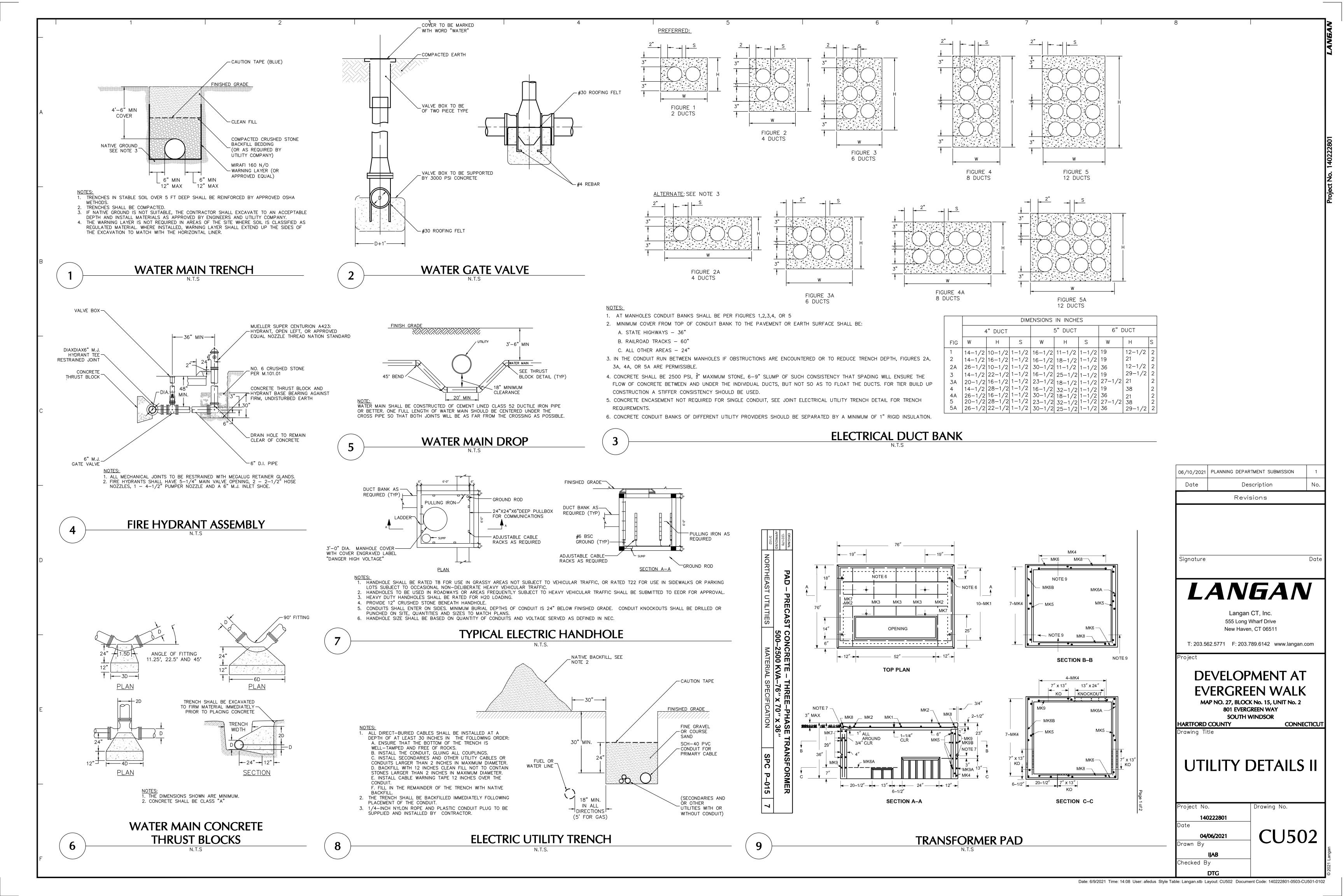
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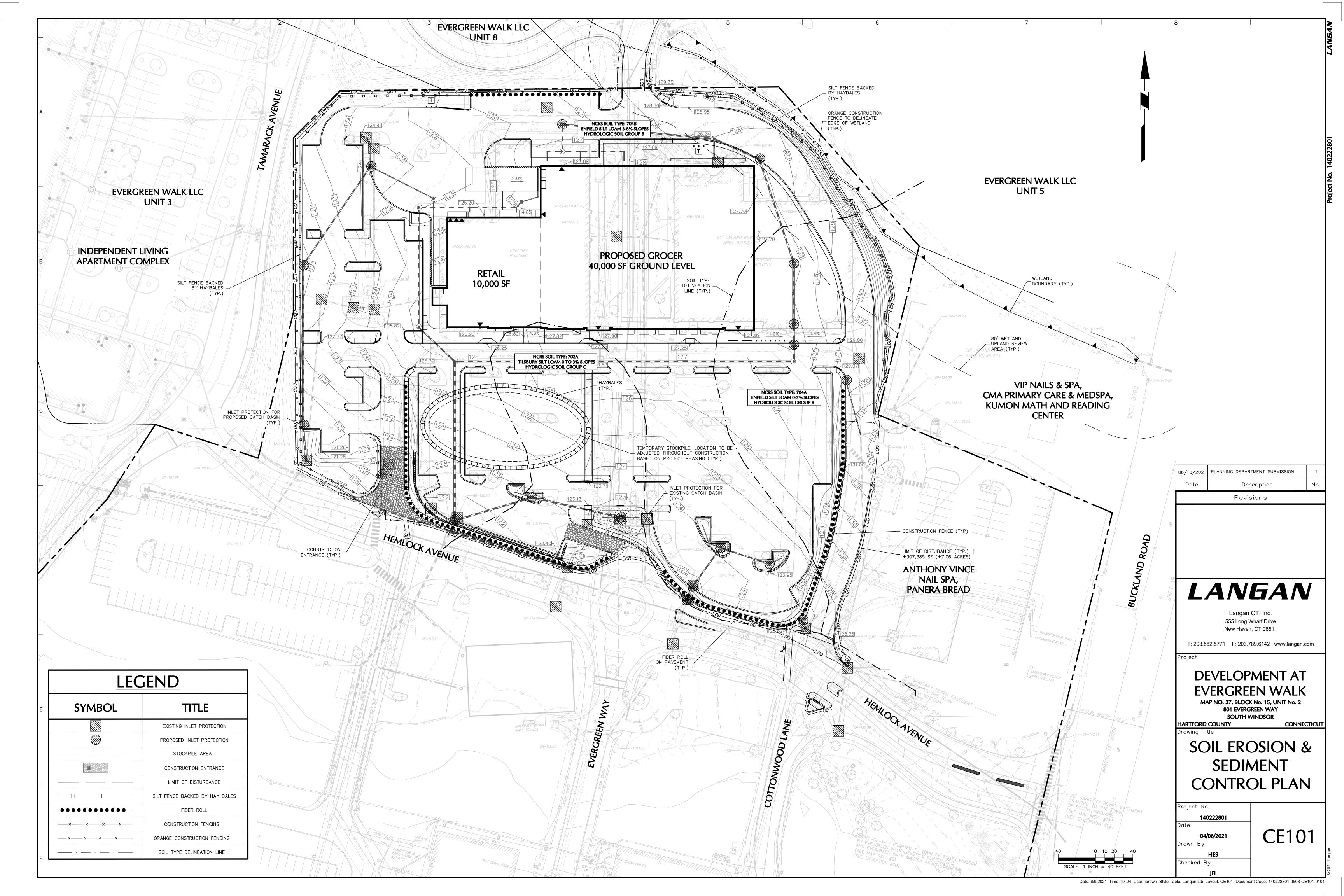
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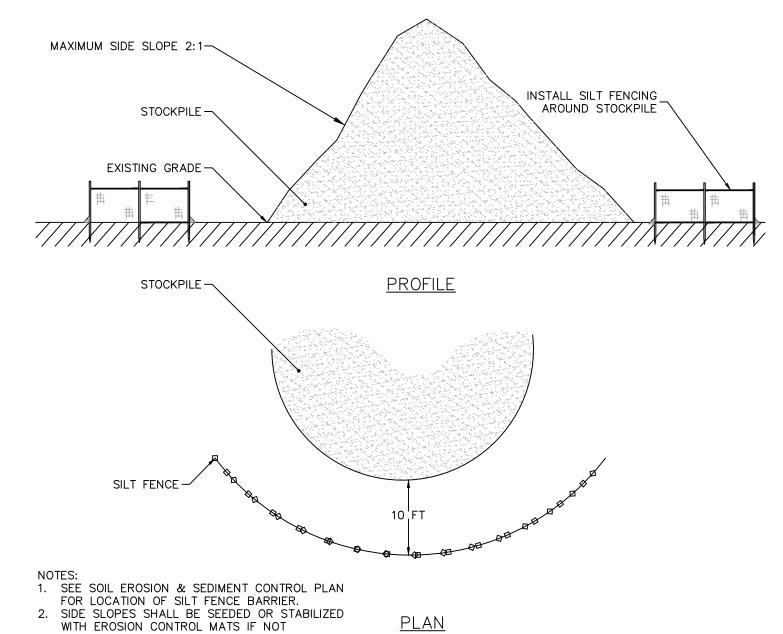




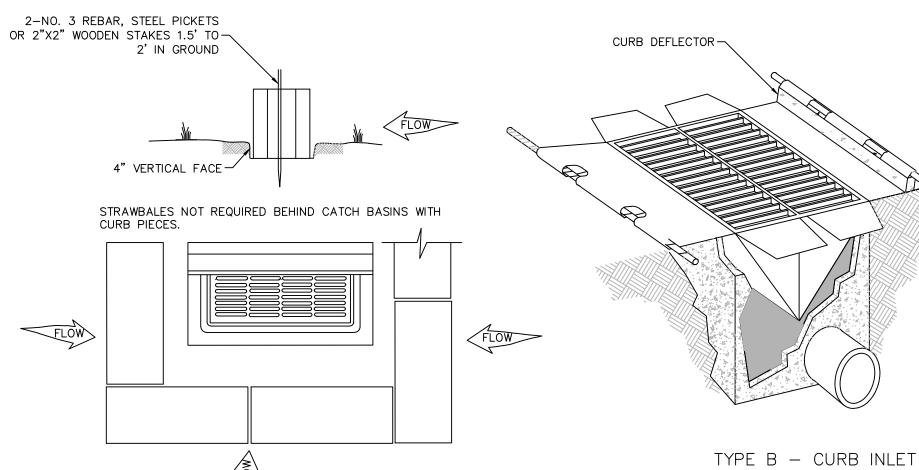
NOTES:

1. PIPE POSTS SHALL BE IMBEDDED INTO THE GROUND. PEDESTAL MOUNTED FENCING WILL ONLY BE ALLOWED AT AREAS APPROVED BY THE PROJECT MANAGER. WHEN ALLOWED, PROVIDE CONCRETE OR GALVANIZED-STEEL BASES FOR SUPPORTING POSTS. PROVIDE BLUE REINFORCED SCRIM SHEETING ON ALL

## TEMPORARY CONSTRUCTION FENCE



DISTURBED FOR THIRTY DAYS. **TEMPORARY STOCKPILE** 



STRAWBALES ARE TO BE PLACED AROUND ALL CATCH

SEDIMENT UNTIL FINAL PAVING IS COMPLETE.

BASINS AFTER THE INITIAL GRADING TO FILTER AND DIVERT

NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER WHEN RESTRAINT CORD IS NO LONGER VISIBLE AS PER MANUFACTURER'S SPECIFICATIONS.

2. CONTRACTOR TO REMOVE FILTER JUST PRIOR TO PAVING.

**INLET PROTECTION** 

## SOIL EROSION-SEDIMENT CONTROL NOTES

#### PROPOSED DEVELOPMENT

- 1. CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH
- 2. THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN ON DRAWING CE101. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE. SOIL EROSION AND SEDIMENT CONTROL NOTES
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING OF SOIL AND SEDIMENT CONTROL PRACTICES TO ENSURE
- SOIL AND SEDIMENT ARE PREVENTED FROM LEAVING THE DEVELOPMENT AREA THROUGHOUT DEMOLITION &
- 2. THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND
- CONSTRUCTION AND DISTURBANCE OF SITE CONTRIBUTORY DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN. ALL EARTH CHANGES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE
- EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME. 4. DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
- 5. FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES. 6. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW
- 7. ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST
- 8. PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE
- 9. THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER
- 10. ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 11. SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.

Pavement or Impervious Surface ———

WATER FLOW

"SILTSACK"

DISTRIBUTOR:

ACS ENVIRONMENTAL

800-644-9223

WORK AREA

WORK AREA

- 12. SEDIMENT TRAPS MUST BE CLEANED WHEN CAPACITY HAS BEEN REDUCED BY AN AVERAGE OF 2'-0" OVER ITS TOTAL AREA OR TO 70% OF ITS DESIGN VOLUMES, WHICHEVER OCCURS FIRST.
- 13. ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM. 14. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR

- FROM THE EARTH CHANGE AREA SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE
- 15. THE CONTRACTOR SHALL CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- 16. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- 17. SOIL EROSION AND SEDIMENT CONTROLS MUST BE INSPECTED BY THE ZONING ENFORCEMENT OFFICER BEFORE WORK MAY COMMENCE.
- 18. THE PROPERTY OWNER AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE

## TEMPORARY STABILIZATION

#### SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:

B. ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.

- A. SOIL AMENDMENTS AS NECESSARY.
- C. MULCH ALL NEWLY SEEDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF. D. WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING THEY MAY BE MULCHED AND SEEDED PER ITEM C ABOVE

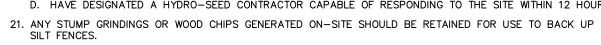
#### PERMANENT STABILIZATION REFER TO PLANS FOR PERMANENT STABILIZATION METHODS + PROPOSED SEED MIXES.

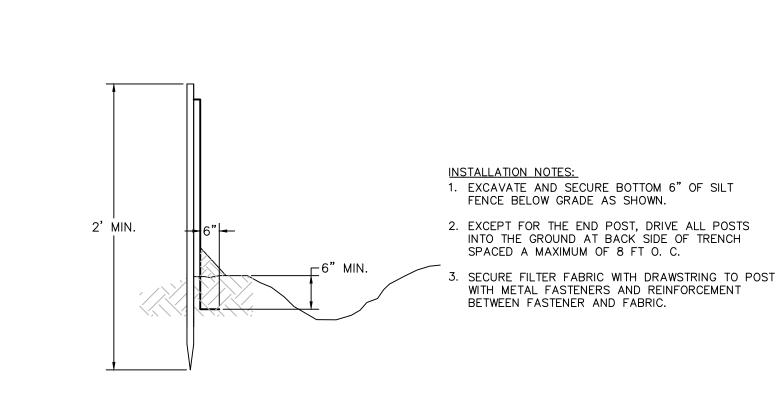
- A. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL DISTURBED LAND AREAS WITHIN SEVEN (7 DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. AMEND SOIL AS NEEDED PRIOR TO PERMANENT SEEDING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER COMPLETION OF AN EARTH CHANGE OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL FROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL DISTURBED AREAS, STOCKPILES OF FILL OR EXCAVATED MATERIAL SHALL BE STABILIZED IN SUCH A MANNER AS NOT TO CAUSE UNREASONABLE HAZARD TO PERSONS OR PROPERTY.
- B. MATERIALS SPECIFICATION: LAWN + MEADOW AREAS
- (i) ANY SOIL HAVING A pH OF FOUR OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
- C. MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000
- SQUARE FEET WITH UNROTTED SALT HAY.

D. LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAY MULCHES.

(i) APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

- (ii) USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS, BINDERS SUCH AS CURASOL DCA-70, PETRO SET, TERRA TACH, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.
- D. FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR
- WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION. E. CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO
- CONTROL THE GENERATION OF DUST. F. ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE
- DISTRICT FOR REVIEW. G. THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.
- H. SEEDBED PREPARATION:
- (i) TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (LIGHTLY COMPACTED) BEFORE SEEDING.
- (ii) TOPSOIL SHALL BE TESTED PRIOR TO SEEDING. (iii) WORK SOIL AMENDMENTS INTO SOIL AS NECESSARY AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR
- INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
- (iv) REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER
- (v) INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
- CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE 19. THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION.
- 20. THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SESC MEASURES:
- A. 25% OF THE INSTALLED LENGTH OF SILT FENCE B. EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 2 STABILIZATION ENTRANCES. STONE COULD BE
- USED FOR SLOPE REPAIRS, ENERGY DISSIPATER ENHANCEMENTS, ETC. C. HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF
- IN A CONTROLLED MANNER. D. HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS





SILT FENCE

SiltSoxxTM for Sediment Control on Pavement

**COMPOST FILTER TUBE** 

SiltSoxxTM (8", 12", or 18" TYPICAL)

AREA TO BE PROTECTED

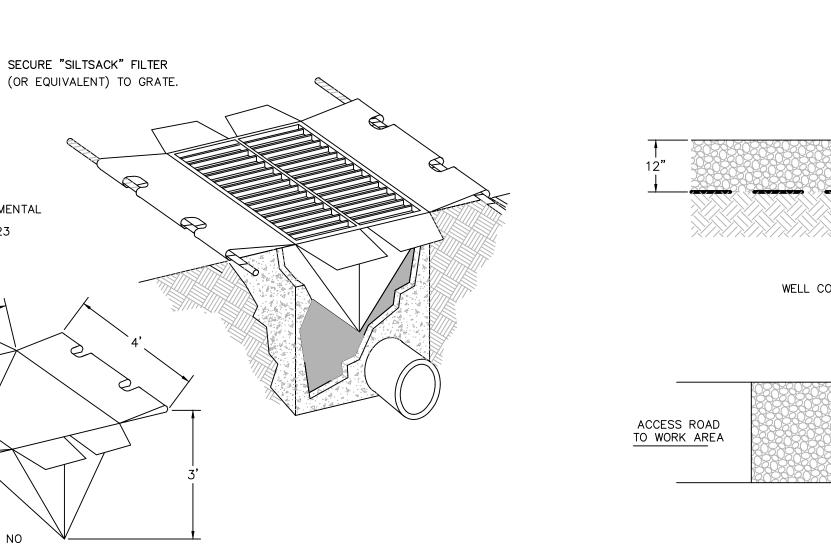
Concrete blocks or sand bags sized as needed (10' O.C.)

- SiltSoxxTM (8", 12", 18" TYPICAL)

AREA TO BE

PROTECTED

Concrete blocks or sand bags sized as needed (10' O.C.)



ALL MATERIAL TO MEET SPECIFICATIONS.

FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.

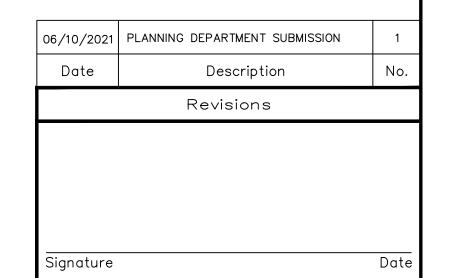
FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY

FILTER FABRIC MIRAFI 600X OR APPROVED EQUIVALENT 12" THICK STONE PAD: DOT NO.3 OR ASTM C-33 NO.3 WELL COMPACTED SUB-GRADE-10' MIN. RADIUS

PAVED

CONSTRUCTION PAD LOCATION TO BE SET BY CONTRACTOR AND LOCATED AS REQUIRED FOR CONSTRUCTION SEQUENCING. SEE SOIL EROSION & SEDIMENT CONTROL PLAN. CE101, FOR DIMENSIONS.

**CONSTRUCTION ENTRANCE** 



# LANGAN

Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511

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## **DEVELOPMENT AT EVERGREEN WALK**

MAP NO. 27, BLOCK No. 15, UNIT No. 2 **801 EVERGREEN WAY** 

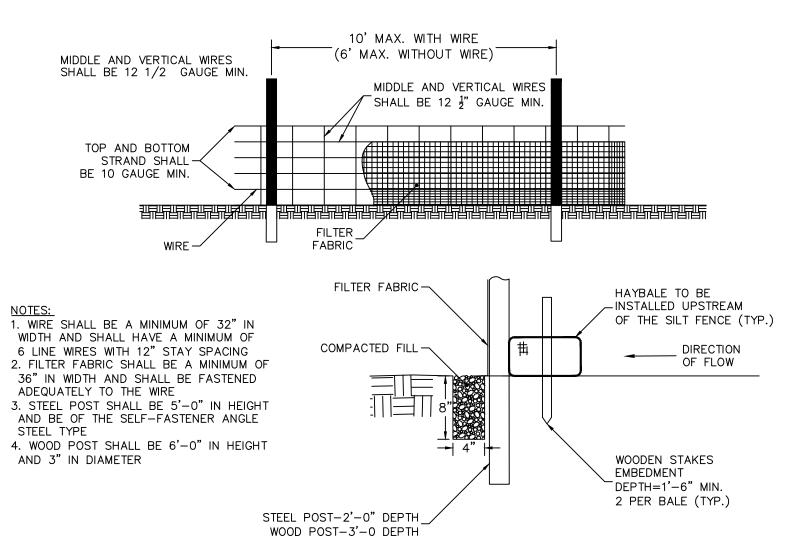
**SOUTH WINDSOR** HARTFORD COUNTY

CONNECTICL

SOIL EROSION & **SEDIMENT** CONTROL DETAILS I

⊃roject No. Drawing No. 140222801 **CE501** 04/06/2021 rawn By IIAB hecked By

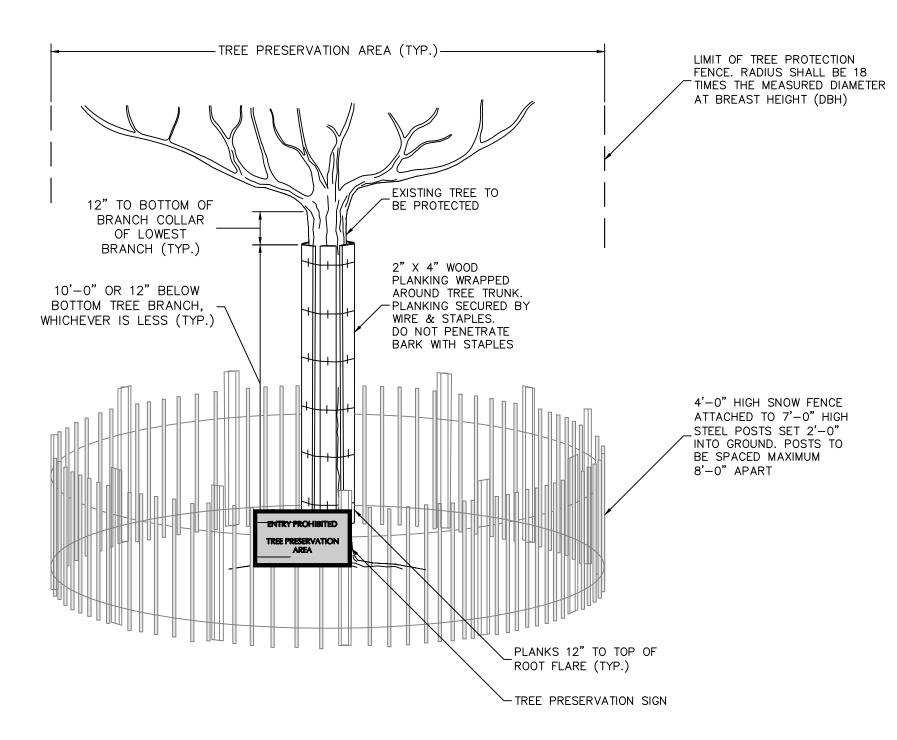
Date: 6/9/2021 Time: 14:10 User: afedus Style Table: Langan.stb Layout: Layout1 Document Code: 140222801-0503-CE501-0101



SILT FENCE BACKED BY HAYBALE

- NOTES:

  1. ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE RADIUS SHALL BE 18 TIMES THE MEASURED DIAMETER-AT-BREAST-HEIGHT (DBH), UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
- 2. TREE PROTECTION PLANKING SHALL BE INSTALLED ON ALL EXISTING TREES WHERE WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO DETAIL ON THIS
- 3. IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
- 4. TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE IMMEDIATELY REPLACED WHEN DAMAGED. 5. DEMOLITION WORK WITHIN THE TREE PROTECTION FENCE OF PROTECTED TREES SHALL BE
- 6. ALL TEMPORARILY EXPOSED TREE ROOTS SHALL BE COVERED WITH 2 INCHES OF SHREDDED HARDWOOD MULCH AND THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
- 7. ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S



TREE PROTECTION

N.T.S

06/10/2021 PLANNING DEPARTMENT SUBMISSION Date Description Revisions Signature LANGAN Langan CT, Inc.

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555 Long Wharf Drive New Haven, CT 06511

**DEVELOPMENT AT EVERGREEN WALK** MAP NO. 27, BLOCK No. 15, UNIT No. 2

**801 EVERGREEN WAY SOUTH WINDSOR** 

CONNECTICU

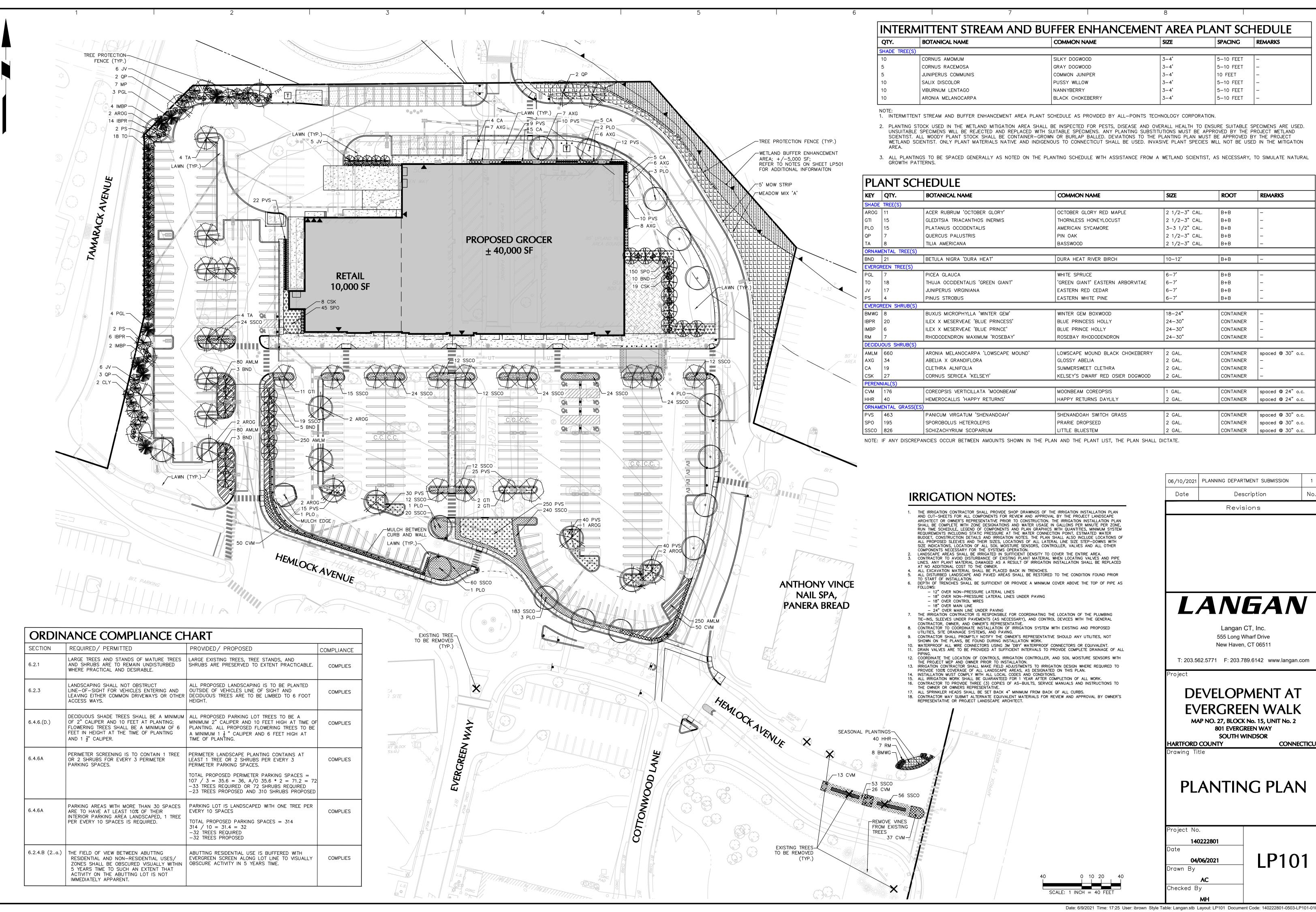
HARTFORD COUNTY Drawing Title

**SOIL EROSION &** SEDIMENT CONTROL **DETAILS II** 

Project No. Drawing No. 140222801 **CE502** 04/06/2021 Drawn By IJAB Checked By

Date: 6/9/2021 Time: 14:10 User: afedus Style Table: Langan.stb Layout: CE502 Document Code: 140222801-0503-CE501-0102

PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE DISTURBED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS. REPRESENTATIVE OR THE PROJECT LANDSCAPE ARCHITECT.



MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST 5. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND

APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER. 4. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.

5. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.

6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NO OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.

8. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS. FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED. 9. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE

ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT 10. DELIVERY, STORAGE, AND HANDLING

A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT. ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRINE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A

MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, TH WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER

GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR

11. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.

OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

CONTRACTOR AT NO EXPENSE TO THE OWNER.

12. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES. 13. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE

14. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.

15. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO

16. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS. 17. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE

COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION 18. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL, NO MULCH OR TOPSOIL

SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR 19. ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING,

20. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY 21. PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.

22. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 -NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING

## LANDSCAPE MAINTENANCE NOTES

MAINTENANCE OPERATIONS BEFORE APPROVAL:

A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL

B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.

C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.

A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED WEEDED. PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.

R IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED

C. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE

D. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL

E. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.

A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.

B. WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 - 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHÉS. WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

#### LAWN WATERING SCHEDULE

THE FOLLOWING WATERING SCHEDULE COVERS ROUGHLY 8 WEEKS TO ESTABLISH A HEALTHY STAND OF GRASS FROM SEED. THE CONTRACTOR SHALL BE OBLIGATED TO ENSURE A HEALTHY STAND OF GRASS AT THE END OF THE MAINTENANCE/BOND PERIOD. ANY BARE OR DEAD AREAS IN THE LAWN SHALL BE PREPARED, RESEEDED AND REESTABLISHED PRIOR TO THE END OF THE MAINTENANCE/BOND PERIOD AND TO THE SATISFACTION OF THE PROJECT LANDSCAPE ARCHITECT AND THE OWNER.

IMPORTANT ASPECTS TO ATTAINING AND SUSTAINING A HEALTHY STAND OF GRASS ARE THE INSTALLATION OF TOPSOIL, SEED BED PREPARATION, ATTAINING OPTIMAL PH FOR THE INTENDED PLANT SPECIES, FERTILIZING, MULCH COVERING, AND SUFFICIENT WATERING PER THESE NOTES AND/OR PROJECT SPECIFICATIONS.

1. SEEDING SHALL BE DONE DURING THE SEASONS SPECIFIED IN THE LAWN SEED MIX NOTES AND/OR

2. AFTER THE SEEDBED IS PREPARED, SEED IS INSTALLED, AND MULCH IS APPLIED, WATER LIGHTLY TO KEEP THE TOP 2 INCHES OF SOIL CONSISTENTLY MOIST, NOT SATURATED. AT NO TIME SHOULD WATER BE APPLIED TO THE POINT OF RUNOFF OR THE DISPLACEMENT OF SEED.

DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING, AS DESCRIBED ABOVE, UNTIL THERE IS AT LEAST 2 INCHES OF

4. AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS.

5. BEGIN MOWING ONCE PER WEEK AFTER THE GRASS HAS REACHED 3 INCHES HEIGHT, MOW TO A HEIGHT OF NO LESS THAN 2-1/2 INCHES. AFTER 2 TO 3 WEEKS OF MOWING. CONTINUE TO WATER TO A 6 INCH MINIMUM SOIL DEPTH AS NECESSARY PER WEATHER CONDITIONS, AND SOIL MOISTURE SENSORS IF

#### PLANTING SOIL SPECIFICATIONS

2. PLANTING SOIL:

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING

REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS. SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND

PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES

WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS, SOIL OF AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS

SHALL BE COVERED WITH A TARPAULIN UNTIL TIME OF ACTUAL USE. ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL

AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE A. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
a. PARTICLE SIZE ANALYSIS - LOAMY SAND: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY. b. FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE,

POTASSIUM, CALCIUM AND MAGNESIUM c. ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS e. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED

NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE 3. <u>SOIL AMENDMENT FOR PLANT MATERIAL</u>:
IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8; MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL

A, ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".

B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.

C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS: a. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.

— BRING PH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS

b. TERRA-SORB BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS. c. MYCOR-ROOT SAVER BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES

4 WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTH'S INDICATED IN PLANS, DETAILS AND NOTES.

5. <u>CLEAN SOIL FILL IN LANDSCAPE AREAS:</u>
LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7

6. <u>SOIL PLACEMENT:</u>
A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.

B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION. C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED.

CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS. SOIL CONDITIONING:

A. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER ph USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND

LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100

B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S

1. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD E COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS

b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.

c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR

#### **SOD SPECIFICATIONS**

. SOD IS TO BE A TALL FESCUE/BLUEGRASS BLEND APPROXIMATELY 50/50%. SOD IS TO BE INDIGENOUS TO THE AREA AND BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE. 2. PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND

FERTILIZED WITH A STARTER FERTILIZER. 3. ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.

4. SOD TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAYED OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.

5. SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (13/7) PER WEEK UNTIL ROOT MASS MENDS WITH SOIL. AFTER THIS HAS OCCURED NORMAL WATERING OF AT LEAST ONE INCH (1") PER

ANNUAL RYFGRASS

AUTUMN BENTGRASS

LITTLE BLUESTEM

CANADA WILDRYE

VIRGINIA WILDRYE

TICKLEGRASS

6. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

#### **MEADOW SEED NOTES**

MEADOW MIX A - ERNST SEED MIX (NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS)

31% LOLIUM MULTIFLORUM SCHIZACHYRIUM SCOPARIUM 15% ELYMUS CANADENSIS **ELYMUS VIRGINICUS** 5% AGROSTIS PERENNANS 5% AGROSTIS SCABRA 7 TRIDENS FLAVUS 2% MONARDA FISTULOSA PENSTEMON DIGITALIS

WILD BERGAMOT TALL WHITE BEARDTONGUE 2% RUDBECKIA HIRTA BLACKEYED SUSAN

SEED AT A RATE OF 60 LBS/ACRE OF 100% PURE LIVE SEED.

#### **GENERAL SEEDING NOTES:**

SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).
ELIMINATE UNWANTED SHRUB AND BRUSH IN AREAS TO BE SEEDED PRIOR TO INSTALLATION. ELIMINATE REMAINING VEGETATION PRIOR TO SEEDING USING A STATE-APPROVED, AQUATIC FRIENDLY HERBICIDE PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ENSURE HERBICIDE IS INDICATED FOR USE AROUND

WATER BODIES. HERBICIDE TYPE AND APPLICATION METHOD IS TO BE REVIEWED AND APPROVED BY CONSERVATION COMMISSION PRIOR TO APPLICATION. IN ALL LAWN AREAS TO BE SEEDED, IT IS RECOMMENDED TO APPLY HERBICIDE PER MANUFACTURER'S SPECIFICATIONS, MOW LAWN AREA TO GRADE, AND DRILL SEED.
ALL AREAS NOT DISTURBED DUE TO SITE GRADING SHALL NOT BE TILLED. A TRUAX—TYPE DRILL SEEDER SHALL BE USED IN THOSE LOCATIONS. IN ALL REMAINING AREAS TO BE SEEDED, CONTRACTOR IS TO

SUBMIT SEEDING METHODOLOGY TO PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL BY CONSERVATION COMMISSION PRIOR TO SEEDING.
PROTECT ALL EXISTING TREES AND SHRUBS TO REMAIN PER TREE PROTECTION DETAILS. NO DRILL SEEDING OR HERBICIDE USE WITHIN DRIPLINE OF EXISTING TREES TO REMAIN.

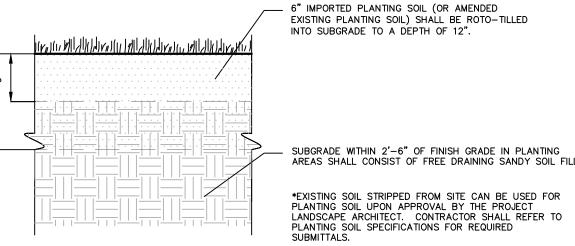
6. THERE MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW PROPER GERMINATION.

1. DURING THE ESTABLISHMENT YEAR, CONTRACTOR SHALL MOW SEEDING IF WEED HEIGHT EXCEEDS MEADOW MIX HEIGHT. MOW AT A HEIGHT OF 8"-10". DO NOT MOW CLOSE, AS SOME OF THE MEADOW MIX MAY BE AFTER THE FIRST GROWING SEASON, AND IF MEADOW MIX IS WELL ESTABLISHED. THE MEADOW MIX SHAL

BE MOWED ONLY ONCE ANNUALLY. ANNUAL MAINTENANCE MOWING SHALL BE DONE IN LATE WINTER MOW IN DETENTION BASIN AND WETLAND TRANSITION AREAS DURING DRIER SITE CONDITIONS WHEN SOIL DISTURBANCE WILL NOT OCCUR. MAINTENANCE FOR DETENTION BASIN AND WETLAND TRANSITION AREAS SHALL OCCUR DURING LATE SUMMER (JULY 15 - AUGUST 15) WHEN THE WATER TABLE IS USUALLY AT ITS LOWEST POINT OF THE YEAR. DO NOT MOW IN DETENTION BASIN, WETLAND OR WETLAND TRANSITION

REAS AFTER ESTABLISHMENT OF MEADOW MIX. 4. IN THE EVENT THAT INVASIVE SPECIES ARE PRESENT AFTER THE ESTABLISHMENT PERIOD, MEADOW AREAS ARE TO BE TRIMMED TO A HEIGHT OF 8". ANY TRIMMING SHOULD CEASE BY MID-SEPTEMBER.

GENERAL NOTE: DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE. 6" IMPORTED PLANTING SOIL (OR AMENDED



PLANTING SOIL WITHIN AREAS OF CUT OR RAISED GRADE

بالمريح بالمرابل الحالجين بالمحرائيل لأاجرالها بالاسجرائيل لألحا الطيبان EXISTING SOIL IN ALL PROPOSED PLANTING AREAS SHALL BE ROTO-TILLED TO A DEPTH OF 12" (EXCLUDING TREE PROTECTION AREAS) AND AMENDED IN ACCORDANCE WITH PLANTING SOIL SPECIFICATIONS. EXISTING SOIL WITHIN TREE PROTECTION AREAS SHALL BE LOOSENED AND AMENDED BY NON-MECHANICAL METHODS, PROTECTING ROOT MASS AGAINST DAMAGE. SUBGRADE

#### PLANTING SOIL WITHIN AREAS OF UNCHANGED GRADE

1. CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE

2. RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.

3. IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCEEDENCE OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE

4. CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.)

5. NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

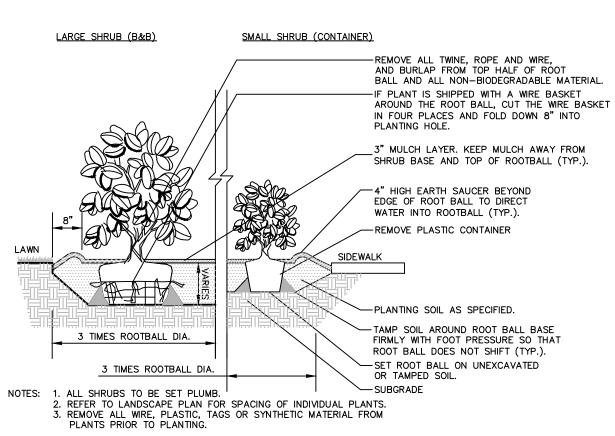
**PLANTING SOIL** 

- PLANTING SOIL AS SPECIFIED - 3" MULCH LAYER OVER WEED BARRIER FABRIC, DO NOT PLACE MULCH IN CONTACT WITH TREE SET TOP OF ROOTBALL FLUSH TO GRADE OR 25-50mm (1-2") HIGHER IN SLOWLY DRAINING SOILS. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL AND ALL NON-BIODEGRADABLE MATERIAL 100mm (4") HIGH FARTH SAUCER BEYOND EDGE OF ROOT BALL. FIF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200mm (8") INTO TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT. SET ROOT BALL ON UNEXCAVATED

2.5 X BALL DIA, MIN. **REE PLANTING** 

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SHRUB AND ORNAMENTAL GRASS PLANTING

## INTERMITTENT STREAM AND BUFFER ENHANCEMENT AREA NOTES

WETLAND MITIGATION GOALS

COMPENSATE FOR THE ENCROACHMENT INTO THE UPLAND REVIEW AREA AND BY PROVIDING AN ENHANCEMENT TO THE INTERMITTENT STREAM RIPARIAN CORRIDOR THROUGH THE REMOVAL OF INVASIVE PLANTS AND REPLANTING WITH NATIVE SPECIES WHICH WILL ENHANCE FUNCTIONS AND VALUES. PARTICULARLY THE WILDLIFF HABITAT FUNCTION

. PLANT THE RIPARIAN CORRIDOR ENHANCMENT AREA WITH SUFFICIENT DENSITY, FOCUSING ON SUPPORTING THE EXISTING FORESTED CANOPY AND REPLACE AREAS WHERE WOODY INVASIVE PLANTS, WHICH DOMINATE THE UNDERSTORY, HAVE BEEN

GENERAL MITIGATION NOTES

THE PROJECT WETLAND SCIENTIST WITH EXPERTISE IN WETLAND MITIGATION AND IN INVASIVE PLANT SPECIES IDENTIFICATION AND REMOVAL/ERADICATION WILL SUPERVISE ALL ELEMENTS OF THE MITIGATION PLAN. DEAN GUSTAFSON, SENIOR WETLAND SCIENTIST, WITH ALL-POINTS TECHNOLOGY CORPORATION, P.C. WILL SERVE AS THE PROJECT WETLAND SCIENTIST; (860) 552-2033. DGUSTAFSON@ALLPOINTSTECH.COM.

2. TO THE EXTENT PRACTICAL, WETLAND ENHANCMENT ACTIVITIES SHOULD BE PERFORMED DURING PERIODS OF LOW FLOW IN THE INTERMITTENT STREAM. DISTURBED SOILS SHALL BE PERMANENTLY STABILIZED BY THE END OF THE FIRST FULL GROWING SEASON FOLLOWING WETLAND MITIGATION PLAN ACTIVITIES

ANY FOREIGN DEBRIS AND LITTER THAT HAS ACCUMULATED ON THE SURFACE OF THE MITIGATION AREA SHALL BE REMOVED AND PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

4. PLASTIC MESH SLEEVES AND DEER REPELLANTS WILL BE USED AS NECESSARY TO PROTECT PLANTED SHRUBS FROM EXCESSIVE DEER DAMAGE. PLANTS WITH EXCESSIVE DAMAGE WILL BE REPLACED. 5. IT IS ANTICIPATED THAT SOIL DISTURBANCE WILL BE LIMITED TO PLANTING LOCATIONS, RESULTING IN LIMITED SOIL DISTURBANCE. THE PRIMARY METHOD OF INVASIVE PLANTS REMOVAL WILL CONSIST OF STUMP CUT AND APPLICATION OF AN APPROPRIATE HERBICIDE, RESULTING IN MINIMAL SOIL DISTURBANCE. ANY EXPOSED SOILS RESULTING FROM THE WETLAND MITIGATION ACTIVITIES WILL BE MULCHED AND SEEDED WITH AN APPROPRIATE NATIVE SEED MIXES DEPENDING UPON SHADE

AND SOIL MOISTURE CONDITIONS OF THE AFFECTED AREAS. 3. THE USE OF FERTILIZER AND PESTICIDES IN THE WETLAND MITIGATION AREA IS PROHIBITED. HERBICIDE USAGE WILL ONLY

OCCUR AS NECESSARY FOR THE CONTROL OF INVASIVE SPECIES. A PRE-CONSTRUCTION MEETING WILL BE HELD ON SITE BETWEEN THE PROJECT WETLAND SCIENTIST AND CONTRACTOR(S) PERFORMING ALL ASPECTS OF THE WETLAND MITIGATION PLAN. THE PRIMARY INTENT OF THE PRE-CONSTRUCTION MEETING IS O DISCUSS THE GOALS OF THE MITIGATION PLAN AND IMPLEMENTATION OF REQUIRED ELEMENTS NECESSARY TO ACHIEVE

THESE GOALS AND SEQUENCE OF ELEMENTS. THE TOWN OF SOUTH WINDSOR ENVIRONMENTAL PLANNER WILL BE PROVIDED

NOTICE OF THIS MEETING A MINIMUM OF 3 BUSINESS DAYS PRIOR TO THE MEETING. 8. THE TOWN OF SOUTH WINDSOR ENVIRONMENTAL PLANNER WILL BE NOTIFIED IN ADVANCE OF ALL PHASES OF THE MITIGATION

#### PROPOSED INTERMITTENT STREAM AND BUFFER ENHANCEMENT AREA

INVASIVE WOODY SHRUB AND VINE SPECIES CURRENTLY DOMINATING THE UNDERSTORY OF THE WETLAND MITIGATION AREA, INCLUDING JAPANESE HONEYSUCKLE (LONICER SP.), MULTIFLORA ROSE (ROSE MULTIFLORA), AUTUMN OLIVE (ELAEAGNUS UMBELLATA), AND ASIATIC BITTERSWEET (CELASTRUS ORBICULTATUS) SHALL BE REMOVED BY HAND CUTTING DOWN TO THE STEM BASE. CUT STEMS WILL BE TREATED WITH HERBICIDE AS SPECIFIED IN THE HERBICIDE USE NOTES. HERBICIDE APPLICATIONS WILL BE CONDUCTED BY A STATE-LICENSED INDIVIDUAL. THE CONTRACTOR IS RESPONSIBLE FOR SECURING NECESSARY LOCAL, STATE AND/OR FEDERAL PERMITS, INCLUDING A PERMIT FROM CTDEP TO APPLY THE HERBICIDE IN AN STREAM. IT IS RECOMMENDED THAT HERBICIDE APPLICATIONS OCCUR DURING THE DRY PERIOD WITH NO SURFACE WATER PRESENT IN THE INTERMITTENT STREAM. REFER TO THE CONNECTICUT INVASIVE PLANT WORKING GROUP INVASIVE PLANT MANAGEMENT GUIDE OR MOST RECENT GUIDANCE FOR FURTHER DETAILS AND GUIDANCE ON INVASIVE PLANT CONTROL AND REMOVAL RECOMMENDATIONS (HTTP://WWW.HORT.UCONN.EDU/CIPWG/ART\_PUBS/GUIDE/INTRODUCTION.HTM).

THE PROJECT WETLAND SCIENTIST RESPONSIBLE FOR THIS WETLAND MITIGATION PLAN DESIGN SHALL BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF SEVEN (7) BUSINESS DAYS PRIOR TO ANY PHASE OF THE MITIGATION PROJECT INCLUDING REMOVAL OF INVASIVE PLANTS AND PLANTING OF NATIVE SHRUBS TO MONITOR AND OVERSEE IMPLEMENTATION OF TH MITIGATION PLAN. PLEASE CONTACT DEAN GUSTAFSON, SENIOR WETLAND SCIENTIST, ALL-POINTS TECHNOLOGY CORP., P.C. AT (860) 552-2033 OR DGUSTAFSON@ALLPOINTSTECH.COM.

SOIL EXPOSED AS A RESULT OF INVASIVE SPECIES REMOVAL OR NATIVE SPECIES PLANTING ACTIVITIES IN UPLAND AREAS NOT SHADED WILL BE UNDER SOWN WITH THE NEW ENGLAND CONSERVATION/WILDLIFE MIX (NEW ENGLAND WETLAND PLANTS, INC (NEWP) AMHERST, MA (413) 548-8000, OR APPROVED EQUIVALENT. EXPOSED SOILS IN SHADED UPLAND AREAS WILL BE UNDER SOWN WITH NEW ENGLAND SEMI SHADE GRASS WITH FORB MIX (NEWP, OR APPROVED EQUIVALENT). SOILS EXPOSED IN WETLAND AREAS WILL BE UNDER SOWN WITH NEW ENGLAND WETLAND MIX (NEWP. OR APPROVED EQUIVALENT). THESE SEED MIXES PROVIDE A PERMANENT CORE OF GRASSES, FORBS, WILDFLOWERS, LEGUMES, AND GRASSES TO PROVIDE BOTH GOOD EROSION CONTROL AND WILDLIFE HABITAT VALUE.

4. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CAREFUL INSTALLATION, MAINTENANCE (INCLUDING WATERING), AND ESTABLISHMENT OF NATIVE SHRUB PLANT MATERIAL IN THE MITIGATION AREA. ALL PLANTS SHÀLL BE GUARANTEED BY THE CONTRACTOR TO REMAIN ALI AND HEALTHY FOR A FULL TWELVE (12) MONTH PERIOD.

5. THE SPECIES, SIZE, AND QUANTITY OF THE PLANTINGS WILL FOLLOW THE INTERMITTENT STREAM AND BUFFER ENHANCMENT AREA PLANTING SCHEDULE. THE PROJECT WETLAND SCIENTIST WILL INSPECT PLANT MATERIALS DELIVERED TO THE SITE TO ENSURE THAT THE SPECIMENS ARE HEALTHY, FREE FROM PESTS, AND SUITABLE FOR USE WITHIN THE WETLAND MITIGATION AREA. UNSUITABLE SPECIMENS WILL BE REJECTED AND REPLACED WITH SUITABLE SPECIMENS. THE PROJECT WETLAND SCIENTIST MUST APPROVE ANY PLANTING SUBSTITUTIONS. ALL WOODY PLANT STOCK WILL BE CONTAINER—GROWN OR BURLAP BALLED. PLANTING WITHIN THE MITIGATION AREA WILL CONFORM TO THE PLANS OR WILL BE COMPLETED IN ACCORDANCE WITH DIRECTIONS PROVIDED IN THE FIELD BY THE PROJECT WETLAND SCIENTIST. ONLY PLANT MATERIALS NATIVE AND

INDIGENOUS TO THE REGION SHALL BE USED. 6. ALL PLANTINGS TO BE SPACED IN A RANDOM PATTERN WITH ASSISTANCE FROM THE PROJECT WETLAND SCIENTIST TO SIMULATE NATURAL GROWTH PATTERNS. PLANT QUANTITIES MAY BE ADJUSTED IN THE FIELD DEPENDING UPON AVAILABLE PLANTING SPACE PROVIDED FOLLOWING WOODY INVASIVE PLANT REMOVAL ACTIVITIES. THE PLANT QUANTITIES NOTED

REPRESENT THE MINIMUM QUANTITIES REQUIRED. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK SECTION 10: SEEDLING TREES AND SHRUBS" BY THE AMERICAN ASSOCIATION OF NURSERYMEN. CULTIVARS. OF THE NATIVE PLANTS IDENTIFIED IN THE PLANTING SCHEDULE MAY BE USED UPON APPROVAL FROM THE PROJECT

UPON COMPLETION OF PLANTING, TREES AND SHRUBS SHALL BE MULCHED ONE FOOT FROM THE TRUNK/BASE WITH A 2 TO 3-INCH THICK LAYER OF NATURAL MULCH MATERIAL OR OTHER NATURAL ORGANIC MATERIAL FREE OF WEED SEEDS, INVASIVE SPECIES AND ARTIFICIAL COLORING. THE SURROUNDING SEEDED AREAS SHALL RECEIVE A LIGHT APPLICATION OF ONE INCH OR WEED FREE STRAW.

HERBICIDE USE NOTES ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING HERBICIDE USE, APPLICATOR PERMIT AND POSTING REQUIREMENTS

2. ALL HERBICIDE APPLICATIONS SHALL BE PERFORMED BY A STATE LICENSED INDIVIDUAL UNDER THE SUPERVISION OF THE PROJECT WETLAND PROFESSIONAL

CERTIFICATIONS, LICENSES AND PERMITS SHALL BE PRODUCED BY THE LICENSED APPLICATOR PRIOR TO THE START OF

4. ALL HERBICIDES SHALL BE MIXED WITH A DYE APPROVED BY U.S. EPA FOR USE AS A HERBICIDE ADJUVANTS, SUCH AS TURFMARK@DYE OR EQUIVALENT.

5. ONLY NONIONIC SURFACTANTS SHALL BE ADDED TO THE SPECIFIED HERBICIDES.

WOODY SHRUBS AND VINES LOCATED WITHIN THE WETLAND MITIGATION AREA, COMPRISED MAINLY OF JAPANESE HONEYSUCKLE (LONICER SP.), MULTIFLORA ROSE (ROSE MULTIFLORA), AUTUMN OLIVE (ELAEAGNUS UMBELLATA), AND ASIATIC BITTERSWEET (CELASTRUS ORBICULTATUS). SHALL BE TREATED WITH A CUT-STUMP TREATMENT METHOD AFTER FLOWERING (BETWEEN FARLY SUMMER LINTIL FARLY FALL) SHRURS AND VINES SHALL BE CUT NEAR THE STUMP LEVEL AND STUMPS SHALL RECEIVE A TRICLOPYR HERBICIDE (GARLON OR ACCESS®) USING A HAND APPLICATOR METHOD (PAINT BRUSH, SPONGE, OR EQUIVALENT) WITHIN ONE HOUR OF CUTTING.

MITIGATION MONITORING SUCCESS STANDARDS AND REPORTING

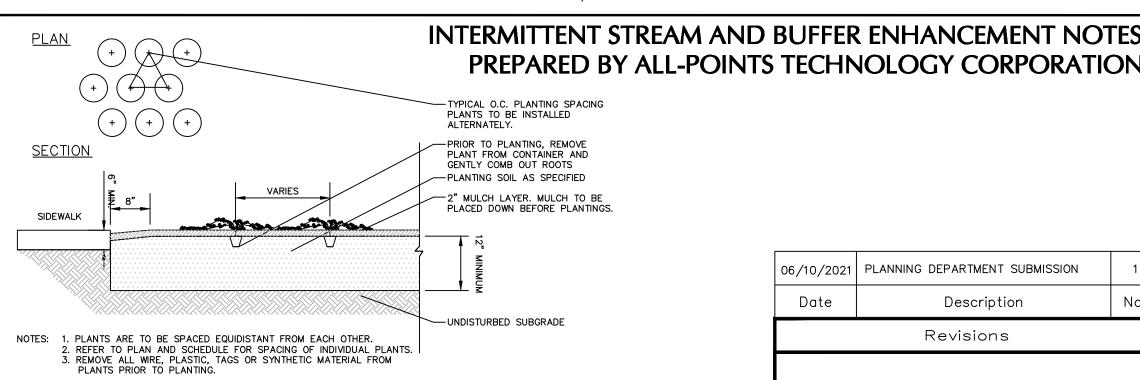
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WETLAND SCIENTIST

THE WETLAND MITIGATION AREA WILL BE ASSESSED USING THREE SUCCESS STANDARDS. EACH STANDARD IS DESCRIBED BELOW. SUCCESS STANDARD 1: AT LEAST 75% OF THE SURFACE AREA OF THE WOODY UNDERSTORY WITHIN THE MITIGATION AREA SHOULD BE REESTABLISHED WITH INDIGENOUS WOODY SPECIES. 2: VEGETATION SHOULD BE CHECKED TO ENSURE THAT NO MORE THAN 20% OF THE SURFACE AREA IS OCCUPIED BY INVASIVE WOODY SPECIES. SUCCESS STANDARD 3: SOILS WITHIN THE MITIGATION AREA DISTURBED DURING IMPLEMENTATION OF THIS PLAN ARE PERMANTENTLY STABILIZED.

2. A REPORT WILL BE PREPARED DOCUMENTING IMPLEMENTATION OF THE WETLAND MITIGATION PLAN, INCLUDING WOODY INVASIVE PLANT TREATMENTS AND PLANTING OF NATIVE SPECIES.

MONITORING OF THE WETLAND MITIGATION AREA WILL BE PERFORMED DURING THE FIRST YEAR'S GROWING SEASON FOLLOWING COMPLETION OF THE WOODY INVASIVE PLANT TREATMENT AND NATIVE REPLANTING ACTIVITIES. A MONITORING REPORT WILL PROVIDE DETAILS ON THE THREE SUCCESS STANDARDS PREVIOUSLY THE GOAL BEING THAT ALL SUCCESS STANDARDS ARE SATISFIED BY THE END OF THE FIRST GROWNING SEASON. THE MONITORING REPORT WILL INCLUDE REPRESENTATIVE HOTOGAPHS, THE PERCENT SURVIVAL OF PLANTED SHRUBS AND WILL ALSO INCLUDE OBSERVATIONS OF VEGETATION HEALTH AND DEVELOPMENT ALONG WITH ANY WILDLIFE OBSERVATIONS. IF THERE ARE PROBLEMS THAT NEED TO BE ADDRESSED AND IF THE MEASURES TO CORRECT THEM IF FOLLOWING COMPLETION OF MONITORING DURING THE FIRST YEAR'S GROWING SEASON NOT ALL OF THE SUCCESS STANDARDS ARE SATISFIED, RECOMMENDATIONS FOR ADDITIONAL MONITORING/CORRECTIVE ACTIONS WILL BE INCLUDED IN THE REPORT.

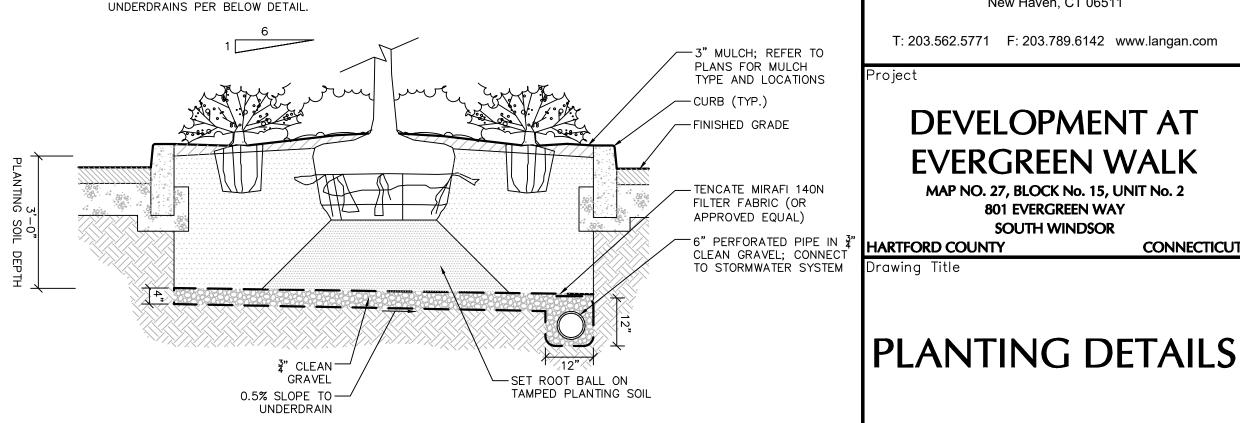


# GROUNDCOVER/ PERENNIAL PLANTING

GENERAL NOTE

1. PRIOR TO INSTALLATION OF CURBS. PAVEMENT, AND PLACEMENT OF PLANTING SOILS, CONTRACTOR SHALL EVALUATE DRAINAGE OF SUBSOILS WITHIN PARKING LOT PLANTING ISLANDS AND ADD UNDERDRAINS CONNECTED TO THE STORMWATER SYSTEM AS REQUIRED PER BELOW DETAIL.

2. DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN ISLANDS TEND TO BECOME HIGHLY COMPACTED AND CAN PREVENT DRAINAGE. THIS CONDITION CREATES A SATURATED SOIL THAT CAN CAUSE ROOT ROT THAT CAN BE DETRIMENTAL TO TREE HEALTH. IF SUBGRADE SOILS ARE NOT VISIBLY DRAINING, CONTRACTOR SHALL PERFORM REPRESENTATIVE PERCOLATION TESTS (MINIMUM ONE PER TEN ISLANDS) TO VERIFY DRAINAGE RATES IN INCHES PER HOUR. PERCOLATION TESTS SHOULD BE IN ACCORDANCE WITH THE MOST CURRENT CONNECTICUT STORMWATER MANUAL AND CTDEEP REQUIREMENTS. IN ISLANDS WHERE SUBSOILS ARE DRAINING LESS THAN 1" PER HOUR, CONTRACTOR IS REQUIRED TO INSTALL



1. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO COMPLETION OF STORMWATER SYSTEM, PAVEMENT INSTALLATION, AND PLACEMENT OF PLANTING SOILS. ISLAND AREAS TO BE FREE OF DEBRIS AND RUBBLE PRIOR TO PLANTING OPERATION MOUND PARKING ISLAND AS SHOWN.

PARKING ISLAND PLANTING DETAIL

06/10/2021 PLANNING DEPARTMENT SUBMISSION Date Description Revisions

LANGAN

555 Long Wharf Drive New Haven, CT 06511

Langan CT, Inc.

T: 203.562.5771 F: 203.789.6142 www.langan.com

**DEVELOPMENT AT EVERGREEN WALK** 

MAP NO. 27, BLOCK No. 15, UNIT No. 2 **801 EVERGREEN WAY SOUTH WINDSOR** 

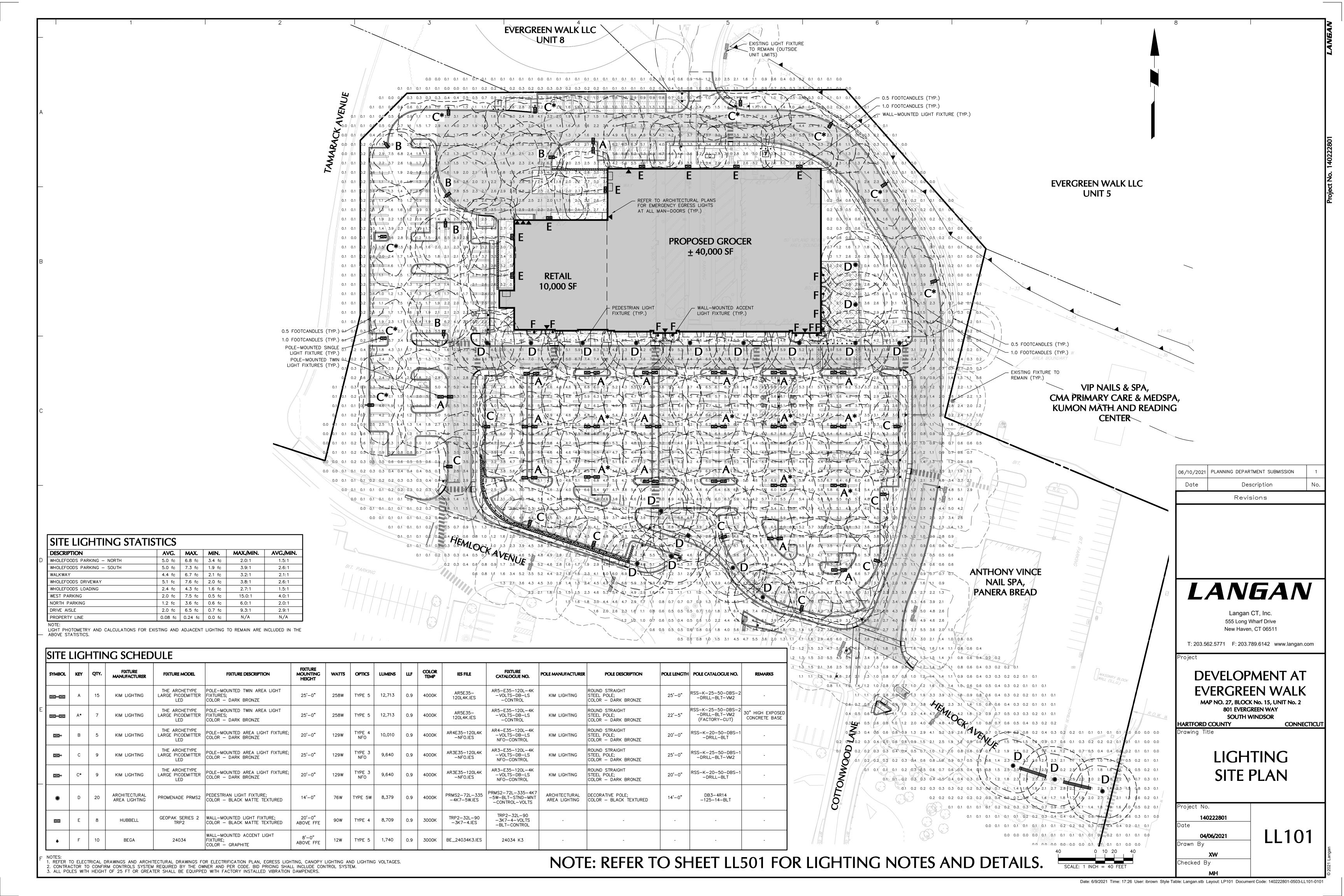
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Project No. Drawing No. 140222801 04/06/2021 rawn Bv

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#### **LIGHTING NOTES:**

#### **GENERAL**

- 1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/ DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS.NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
- 2. LIGHT LEVEL POINT SPACING IS 10 FT. LEFT TO RIGHT AND 10 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

#### COMPLIANCE

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

#### COORDINATION

- 5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
- 6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
- 7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- 8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
- 9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES. SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

#### POLES AND FOOTINGS

- 10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
- 11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
- 12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
- 13. ALL POLES 25 FT OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

#### WALL MOUNTED FIXTURES

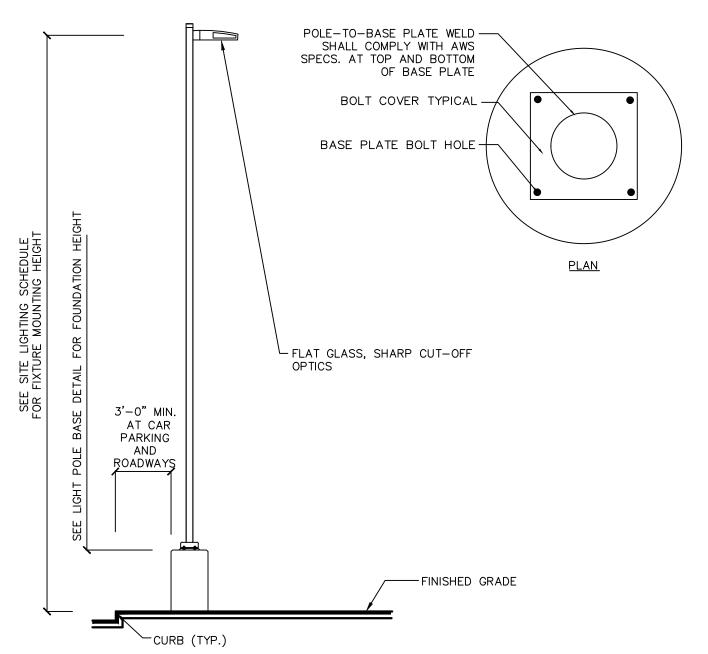
- 14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
- 15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

#### ADJUSTMENT AND INSPECTION

- 16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
- 17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
- 18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

#### **REQUIREMENTS FOR ALTERNATES**

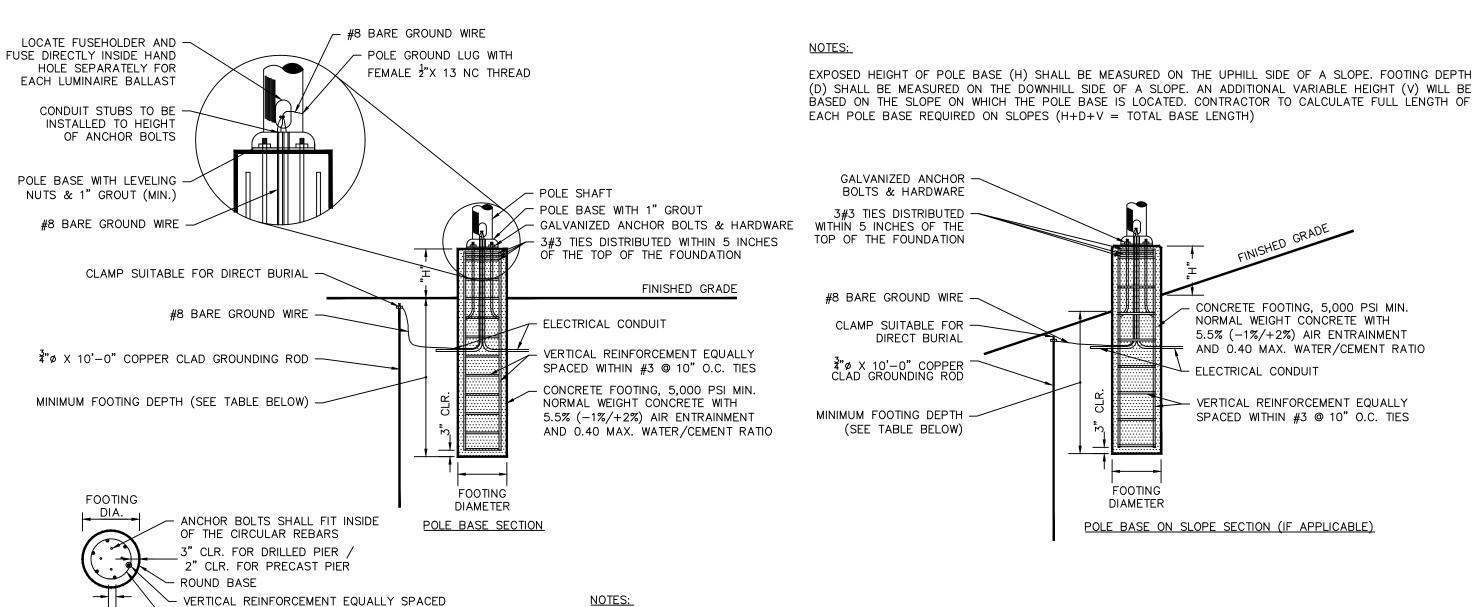
- 19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS: A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR
- PERFORMANCE. C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER,
- LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
- D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED
- F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL



#### <u>SECTION</u>

1. ALL LIGHT POLES SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS. 2. CURB LOCATION IS SHOWN FOR SCHEMATIC PURPOSE. LIGHT POLES SHALL BE LOCATED PER THE LIGHTING PLANS.





		<u> </u>			
FIXTURE TYPE	MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	EXPOSED HEIGHT "H"	VERTICAL REINFORCEMENT
A, B, C	25'	5'-6"	2'-0"	0'-0"	6#5 BARS
A*	25'	5'-6"	2'-0"	2'-6"	6#5 BARS
C*	20'	4'-6"	2'-0"	0'-0"	6#5 BARS
D	14'	4'-6"	2'-0"	0'-0"	6#5 BARS

- #3 TIES AT 10" O.C. WITH 6" LAP

- 1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER. 2. EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 3. CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318. CAST—IN—PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT
- LEAST 5,000 PSI AT 28-DAYS. DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60. 4. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
- 5. IF POLE BASE IS CAST—IN—PLACE, POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND—RUBBED SMOOTH.
- 6. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT. THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST
- ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURERS RECOMMENDATIONS. 8. CONTRACTOR TO CONFIRM GROUNDING DESIGN WITH MEP.

Wall luminaire

Project · Reference number

Product data sheet

Ultimate Driver® ower supply unit 40 V ~ 0/50-60 Hz

2403

BEGA Gantenbrink-Leuchten KG · Postfach 3160 · 58689 Menden · info@bega.com · www.bega.com

N.T.S

**LIGHT FIXTURE TYPE F** 

## **IGHT POLE BASE**

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PRMS2 17760 Rowland St, Rowland Heights, CA 91748 / Tel 626.968.5666 / Website www.aal.net

**KIM**LIGHTING

PSS Platinum Silver Smooth VGS Verde Green Smooth WHS White Smooth CC Custorn Color- RAL Color#

VM2 2nd mode vibration damper LAB Less Anchor Bolts RBC Round Base Cover

UL UL Certified

 SHAFT: One-piece straight steel with round cross section, Minimum yield of 46,000 psi (ASTM-K500, Grade C); Longitud weld seam to appear flush in shaft wall; Steel base plate with axial bolt circle slots welded flush to pole shaft having m

HAND HOLE: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug

Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast metho

Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness

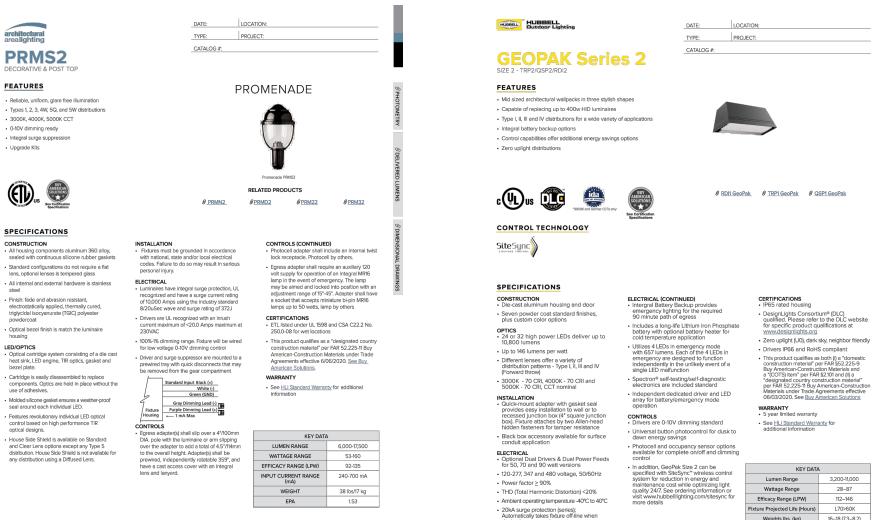
DERING EXAMPLE:

RSS - K - 20 - 40 - A/B/C - 2L - K2 - DBS - VM2

SERIES HEIGHT SHAFT THICKNESS MOUNTING DRILL PATTERN FINISH OPTIONS

LIGHT POLE FOR FIXTURE TYPE A, B AND C

**LIGHT FIXTURE TYPE D** 

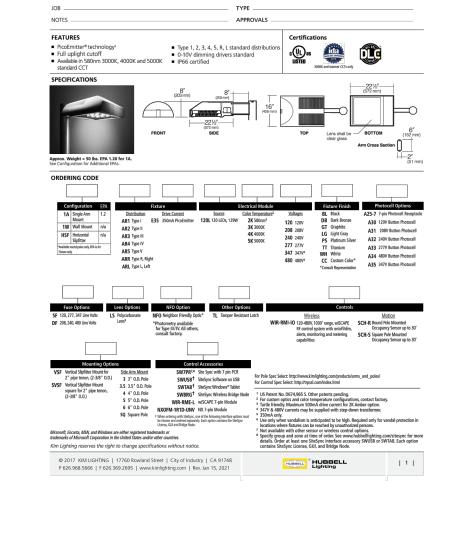






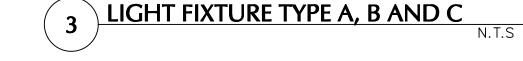


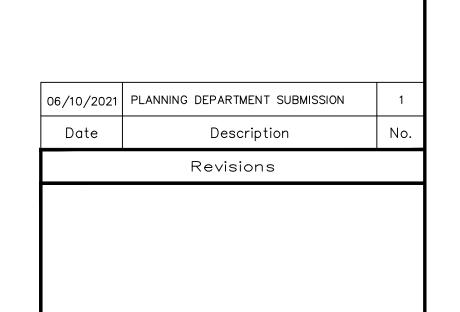
LIGHT POLE FOR FIXTURE TYPE D



**KIM**LIGHTING®

The Archetype® Large PicoEmitter LEI





# LANGAN

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HARTFORD COUNTY

## **DEVELOPMENT AT EVERGREEN WALK**

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Drawing Title

CONNECTICL

## LIGHTING NOTES AND DETAILS

Project No. Drawing No. 140222801 **LL501** 04/06/2021 rawn By hecked By