

PROPOSED RETAIL BUILDING AT THE PROMENADE SHOPS AT EVERGREEN WALK

PERMITTING SET

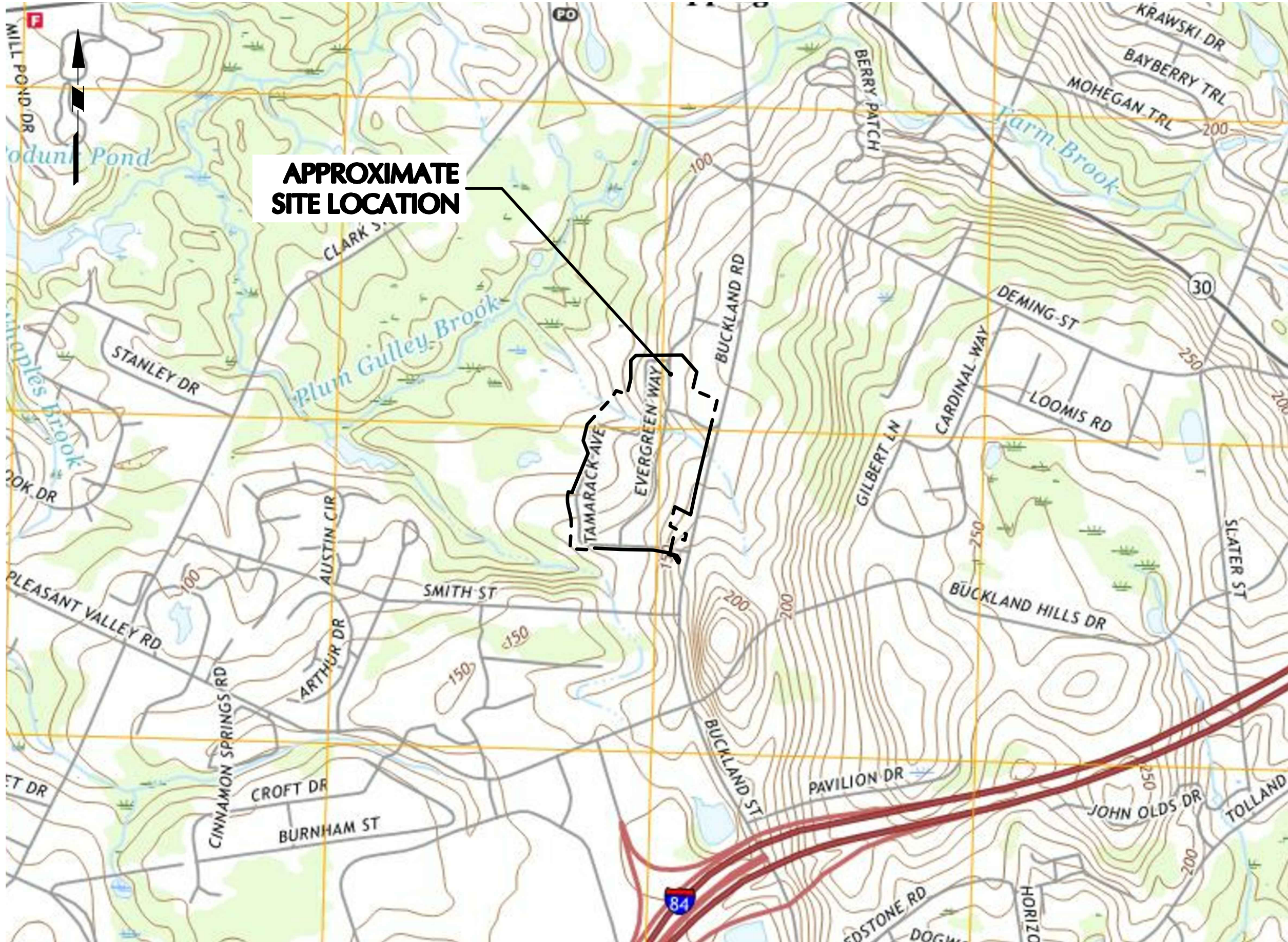
801 EVERGREEN WAY

MAP 27, BLOCK 15, UNIT 2

TOWN OF SOUTH WINDSOR, HARTFORD COUNTY, CONNECTICUT

DRAWING INDEX

NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS001	COVER SHEET	04/06/2021	06/10/2021
VL101	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
VL102	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
VL103	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
CS002	MASTER LEGEND & NOTES	04/06/2021	06/10/2021
CS100	KEY MAP	06/10/2021	-
CS101	SITE PLAN	04/06/2021	06/10/2021
CS501	SITE DETAILS I	04/06/2021	06/10/2021
CS502	SITE DETAILS II	04/06/2021	06/10/2021
CS503	SITE DETAILS III	04/06/2021	06/10/2021
CG101	GRADING & DRAINAGE PLAN	04/06/2021	06/10/2021
CG501	GRADING & DRAINAGE DETAILS I	04/06/2021	06/10/2021
CG502	GRADING & DRAINAGE DETAILS II	04/06/2021	06/10/2021
CUI01	UTILITY PLAN	04/06/2021	06/10/2021
CUS01	UTILITY DETAILS I	04/06/2021	06/10/2021
CUS02	UTILITY DETAILS II	04/06/2021	06/10/2021
CE101	SOIL EROSION AND SEDIMENT CONTROL PLAN	04/06/2021	06/10/2021
CE501	SOIL EROSION AND SEDIMENT CONTROL DETAILS I	04/06/2021	06/10/2021
CE502	SOIL EROSION AND SEDIMENT CONTROL DETAILS II	04/06/2021	06/10/2021
LP101	LANDSCAPE PLANTING PLAN	04/06/2021	06/10/2021
LP501	PLANTING DETAILS	04/06/2021	06/10/2021
LL101	LIGHTING SITE PLAN	04/06/2021	06/10/2021
LL501	LIGHTING NOTES AND DETAILS	04/06/2021	06/10/2021



MAP REFERENCE: USGS MANCHESTER QUADRANGLE (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 1000'

RELEASE DATES

DATE	ISSUED FOR
04/06/2021	INLAND WETLANDS AGENCY/CONSERVATION COMMISSION SUBMISSION
06/10/2021	PLANNING DEPARTMENT SUBMISSION

APPLICANT
CHARTER REALTY & DEVELOPMENT CORP.
C/O KAREN JOHNSON
75 HOLLY HILL LANE, SUITE 305
GREENWICH, CT 06830
(617) 431-1091

OWNER
EVERGREEN WALK LIFESTYLE CENTER, LLC
C/O MYLES OSMOFF
501 EVERGREEN WAY, SUITE 503
SOUTH WINDSOR, CT 06074

LAND SURVEYOR, CIVIL ENGINEER,
LANDSCAPE ARCHITECT
LANGAN ENGINEERING &
ENVIRONMENTAL SERVICES, INC
C/O DAVID GAGNON
555 LONG WHARF DRIVE
NEW HAVEN, CT 06511
(203) 562-5771

SOIL SCIENTIST
ALL-POINTS TECHNOLOGY
CORPORATION
C/O DEAN GUSTAFSON
567 VAUXHALL STREET EXTENSION
SUITE 311 WATERFORD, CT 06385
(860) 552-2033

ABUTTING PROPERTY OWNERS

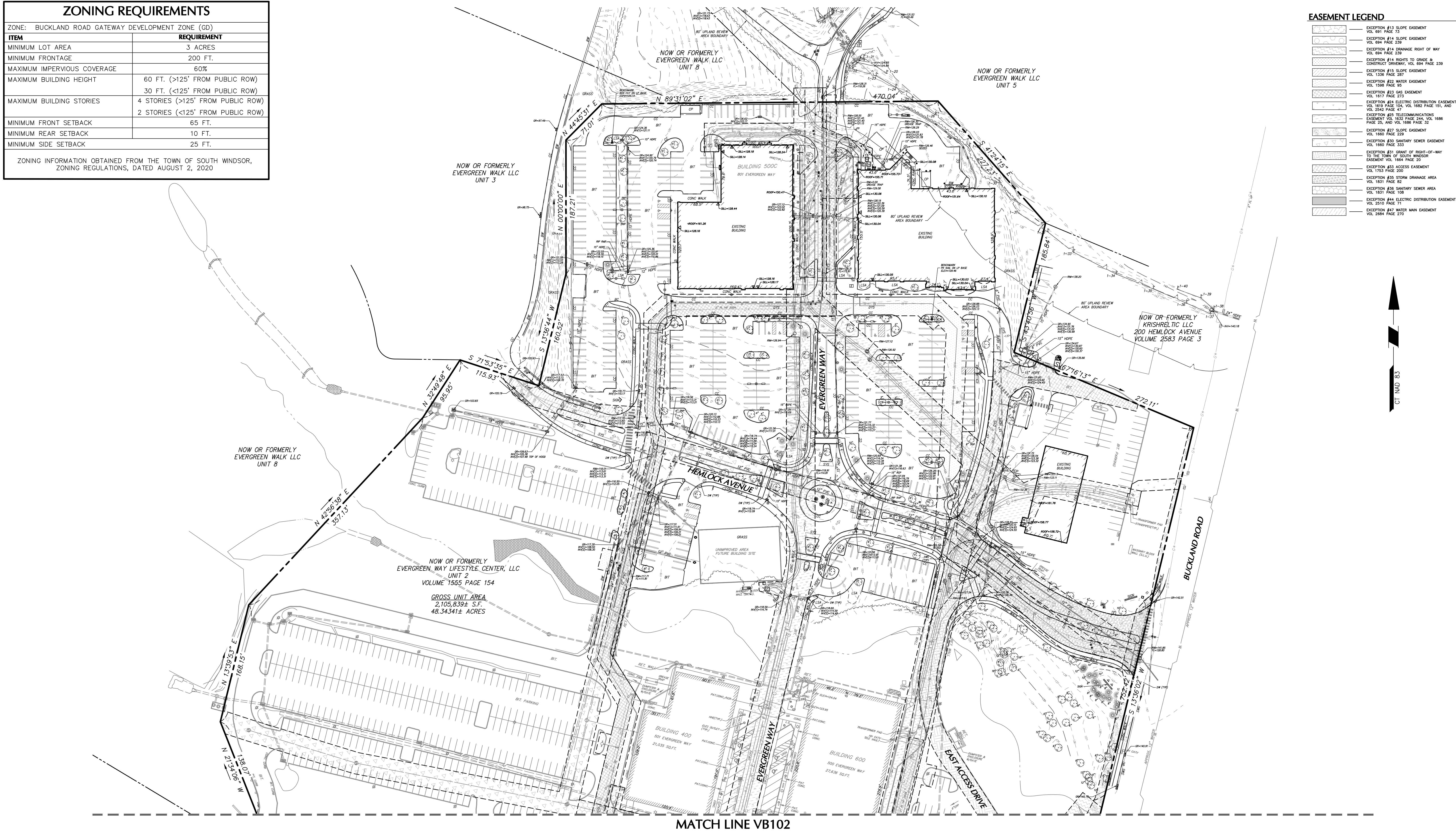
MAP	BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
20	40	0494	HOOD MARK J	494 CLARK STREET
20	40	0716	859 CLARK ST LLC	716 CLARK STREET
27	60	0075	BD ASSET CO 2 LLC	75 DEMING STREET
83	70	0302	HO-NG HIU HUNG & NG WEI-QUAN	302 SMITH STREET
15	30	0235	EVERGREEN WALK LLC	235 BUCKLAND ROAD
15	30	0179	CURRENT RESIDENT	179 BUCKLAND ROAD
15	30	0079	SOUTH WINDSOR TOWN OF	79 BUCKLAND ROAD
15	30	0325	SOUTH WINDSOR TOWN OF	325 BUCKLAND ROAD
15	30	0095	SOUTH WINDSOR TOWN OF	95 BUCKLAND ROAD
49	39	0101	LARSON BURTON L & JOAN D	101 KEBALO LANE
49	39	0102	CASCOE CAROL M	102 KEBALO LANE
49	39	0103	BERNETICH JOHN J & RACHEL	103 KEBALO LANE
49	39	0104	TULEJA DONALD T TR	104 KEBALO LANE
49	39	0201	PINEO DANNE TM	201 KEBALO LANE
49	39	0202	REID DEBRA M TR	202 KEBALO LANE
49	39	0203	GANTNER AMY	203 KEBALO LANE
49	39	0204	ARCELL STEVEN A	204 KEBALO LANE
49	39	0301	MOYNIHAN MARGARET M	301 KEBALO LANE
49	39	0302	BUNNELL RICHARD C & MARY E	302 KEBALO LANE
49	39	0303	ORTON FRANK D IV	303 KEBALO LANE
49	39	0304	ALLISON NANCY	304 KEBALO LANE
49	39	0501	RUDYK VERA	501 KEBALO LANE
49	39	0502	HARRINGTON CORDELIA T	502 KEBALO LANE
49	39	0503	STANLEY ROBERT F TR	503 KEBALO LANE
49	39	0601	GOWING ROBERTA J	601 KEBALO LANE
49	39	0602	GRAICERSTEIN RITA	602 KEBALO LANE
49	39	0603	ANDREWS FREDERICK C	603 KEBALO LANE
49	39	0604	TAMARKIN KARIN W	604 KEBALO LANE
49	39	0701	LEDBETTER WAYNE A & MARVA	701 KEBALO LANE
49	39	0702	PERRIN JANE F	702 KEBALO LANE
49	39	0703	RYAN RICHARD IRREVOCABLE TRUST L/U	703 KEBALO LANE
49	39	0704	SINCLAIR ANN W	704 KEBALO LANE
49	39	0705	SIBICKY ALEXANDER G & JOANNE W	705 KEBALO LANE
49	39	0706	SIMMONS DONALD R & LINDA M	706 KEBALO LANE
49	39	0000	CURRENT RESIDENT	KEBALO LANE
31	30	0101	CURRENT RESIDENT	101 EVERGREEN WAY
31	30	0201	CURRENT RESIDENT	201 EVERGREEN WAY
31	30	0301	CURRENT RESIDENT	301 EVERGREEN WAY
31	30	0401	CURRENT RESIDENT	401 EVERGREEN WAY
31	30	0501	CURRENT RESIDENT	501 EVERGREEN WAY
31	30	0601	CURRENT RESIDENT	601 EVERGREEN WAY
31	30	0801	CURRENT RESIDENT	801 EVERGREEN WAY
31	30	0800	CURRENT RESIDENT	800 EVERGREEN WAY
41	35	0100	CURRENT RESIDENT	100 HEMLOCK AVENUE
31	30	0500	CURRENT RESIDENT	500 EVERGREEN WAY
31	30	0400	CURRENT RESIDENT	400 EVERGREEN WAY
31	30	0300	CURRENT RESIDENT	300 EVERGREEN WAY
31	30	0200	CURRENT RESIDENT	200 EVERGREEN WAY
31	30	0100	CURRENT RESIDENT	100 EVERGREEN WAY
17	85	0100	REALTY INCOME PROPERTIES 21 LLC	100 CEDAR AVENUE
89	30	2800	EVERGEEN MEDICAL ASSOCIATES LLC	2800 TAMARACK AVENUE
89	30	0035	BUCKLAND ROAD RETAIL LLC	35 TAMARACK AVENUE
31	30	0000	EVERGEEN WALK LIFESTYLE CENTER LLC	EVERGREEN WAY
89	30	2400	EVERGREEN MEDICAL ASSOCIATES II LLC	2400 TAMARACK AVENUE
83	70	0244	BRIN PETER J & JENNIFER J	244 SMITH STREET
31	30	0000	CURRENT RESIDENT	EVERGREEN WALK
49	39	0000	CURRENT RESIDENT	KEBALO LANE
17	85	0100	CURRENT RESIDENT	100 CEDAR AVENUE
54	65	1000	RHD SOUTH WINDSOR LLC	1000 LONGLEAF LANE
54	65	1200	RHD SOUTH WINDSOR LLC	1200 LONGLEAF AVENUE
89	39	2701	AGM PROPERTIES LLC	2701 TAMARACK AVENUE
03	20	0050	SOUTH WINDSOR DEVELOPERS LLC	50 ANDREWS WAY
41	35	0900	CURRENT RESIDENT	900 HEMLOCK AVENUE
41	35	0900	EVERGREEN CROSSING RETIREMENT	900 HEMLOCK AVENUE
31	30	1000	CD-HRA (WINDSOR) LLC	1000 EVERGREEN WAY
83	70	0190	KF REALTY LLC	190 SMITH STREET
81	77	0010	COLCHESTER PROPERTIES LLC	10 SEDONA CIRCLE
83	70	0340	FRASER BRENDA J & BRUCE D	340 SMITH STREET
15	30	0151	EVERGREEN WALK LLC	151 BUCKLAND ROAD
20	40	0610	DUPRE BEVAN L	610 CLARK STREET
27	60	0083	TOSTARELLI STEPHANIE LAUREN	83 DEMING STREET
27	60	0047	SOUCY ARTHUR LIONEL TR	47 DEMING STREET
83	70	0260	EVERGREEN WALK LLC	260 SMITH STREET
83	70	0314	314 SMITH STREET ASSOCIATES LLC	314 SMITH STREET
83	70	0332	HAYES ROBERT J & BEVERLY E TRSTEEES	332 SMITH STREET
20	40	0500	HOOD MARK J	500 CLARK STREET
15	30	0251	EVERGREEN WALK LLC	251 BUCKLAND ROAD
27	60	0087	GAINES MICHELLE L & JASON A	67 DEMING STREET
83	70	0140	JACQUES JEAN MARC	140 SMITH STREET
41	35	0200	KRISHNARETHI LLC	200 HEMLOCK AVENUE
20	40	0580	SMITH SHIRLEY W	580 CLARK STREET
27	60	0043	SOUCY ARTHUR L & KATE C	43 DEMING STREET

LANGAN

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

ZONING REQUIREMENTS	
ZONE: BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE (GD)	
ITEM	REQUIREMENT
MINIMUM LOT AREA	3 ACRES
MINIMUM FRONTAGE	200 FT.
MAXIMUM IMPERVIOUS COVERAGE	60%
MAXIMUM BUILDING HEIGHT	60 FT. (>125' FROM PUBLIC ROW) 30 FT. (<125' FROM PUBLIC ROW)
MAXIMUM BUILDING STORIES	4 STORIES (>125' FROM PUBLIC ROW) 2 STORIES (<125' FROM PUBLIC ROW)
MINIMUM FRONT SETBACK	65 FT.
MINIMUM REAR SETBACK	10 FT.
MINIMUM SIDE SETBACK	25 FT.
ZONING INFORMATION OBTAINED FROM THE TOWN OF SOUTH WINDSOR, ZONING REGULATIONS, DATED AUGUST 2, 2020	

EASEMENT LEGEND	
	EXCEPTION #13 SLOPE EASEMENT VOL. 691 PAGE 73
	EXCEPTION #14 SLOPE EASEMENT VOL. 694 PAGE 239
	EXCEPTION #14 DRAINAGE RIGHT OF WAY VOL. 694 PAGE 239
	EXCEPTION #14 RIGHTS TO GRADE & CONSTRUCT DRIVEWAY, VOL. 694 PAGE 239
	EXCEPTION #15 SLOPE EASEMENT VOL. 1336 PAGE 287
	EXCEPTION #22 WATER EASEMENT VOL. 1396 PAGE 95
	EXCEPTION #23 GAS EASEMENT VOL. 1617 PAGE 273
	EXCEPTION #24 ELECTRIC DISTRIBUTION EASEMENT VOL. 1619 PAGE 104, VOL. 1660 PAGE 151, AND VOL. 2542 PAGE 47
	EXCEPTION #25 TELECOMMUNICATIONS EASEMENT VOL. 1632 PAGE 244, VOL. 1686 PAGE 25, AND VOL. 1686 PAGE 35
	EXCEPTION #27 SLOPE EASEMENT VOL. 1660 PAGE 229
	EXCEPTION #30 SANITARY SEWER EASEMENT VOL. 1660 PAGE 333
	EXCEPTION #31 GRANT OF RIGHT-OF-WAY TO THE TOWN OF SOUTH WINDSOR EASEMENT VOL. 1664 PAGE 20
	EXCEPTION #33 ACCESS EASEMENT VOL. 1753 PAGE 200
	EXCEPTION #35 STORM DRAINAGE AREA VOL. 1831 PAGE 92
	EXCEPTION #36 SANITARY SEWER AREA VOL. 1831 PAGE 108
	EXCEPTION #44 ELECTRIC DISTRIBUTION EASEMENT VOL. 2510 PAGE 71
	EXCEPTION #47 WATER MAIN EASEMENT VOL. 2684 PAGE 270



THIS IS TO CERTIFY TO

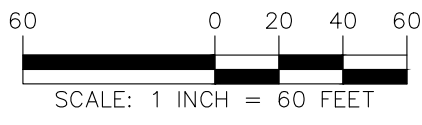
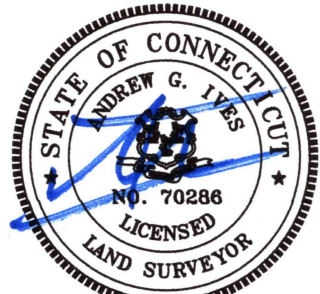
THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 8, 11, 13, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 15, 2021.

DATE OF MAP: MARCH 17, 2021

ANDREW G. IVES, P.L.S. #70286

3/17/2021

DATE



Date	Description	No.
3/17/21	WETLAND FLAG LOCATIONS	1
REVISIONS		

LANGAN

Langan CT, Inc.
555 Long Wharf Drive
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project
EVERGREEN WALK LIFESTYLE CENTER, LLC
UNIT 2
SOUTH WINDSOR

Drawing Title
ALTA/NSPS LAND TITLE SURVEY
CONNECTICUT

Project No. 140222801	Drawing No. VL101
Date FEBRUARY 8, 2021	
Drawn By JRL	
Checked By AGI	Sheet 1 of 3

EASEMENT LEGEND

- EXCEPTION #13 SLOPE EASEMENT
VOL. 691 PAGE 73
- EXCEPTION #14 SLOPE EASEMENT
VOL. 694 PAGE 239
- EXCEPTION #14 DRAINAGE RIGHT OF WAY
VOL. 694 PAGE 239
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CONSTRUCT DRIVEWAY, VOL. 694 PAGE 239
- EXCEPTION #15 SLOPE EASEMENT
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- EXCEPTION #22 WATER EASEMENT
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VOL. 1619 PAGE 104, VOL. 1689 PAGE 151, AND
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EASEMENT VOL. 1632 PAGE 244, VOL. 1686
PAGE 25, AND VOL. 1686 PAGE 32
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VOL. 1753 PAGE 200
- EXCEPTION #35 STORM DRAINAGE AREA
VOL. 1831 PAGE 82
- EXCEPTION #36 SANITARY SEWER AREA
VOL. 1831 PAGE 108
- EXCEPTION #44 ELECTRIC DISTRIBUTION EASEMENT
VOL. 2510 PAGE 71
- EXCEPTION #47 WATER MAIN EASEMENT
VOL. 2684 PAGE 270

MATCH LINE VB101



60 0 20 40 60
SCALE: 1 INCH = 60 FEET

Date	Description	No.
3/17/21	WETLAND FLAG LOCATIONS	1
REVISIONS		

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Project

EVERGREEN WALK
LIFESTYLE CENTER, LLC

UNIT 2

SOUTH WINDSOR

CONNECTICUT

Drawing Title

ALTA/NSPS LAND
TITLE SURVEY

Project No.

140222801

Date

FEBRUARY 8, 2021

Drawn By

JRL

Checked By

ACI

Drawing No.

VL102

Sheet 2 of 3

Filename: \\langan.com\data\NH\140222801\Project Data\Discipline\Survey\CAD\Exsting\140222801-1-PR0101-Unit 2.dwg Date: 4/6/2021 Time: 14:06 User: aives Style Table: Langan.sbt Layout: VL102

COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY. COMMITMENT NUMBER: NCS-1035618-PHX1, EFFECTIVE DATE OCTOBER 30, 2020. SCHEDULE B SECTION II:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. a. THE SURVEY IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL CURVED SURFACE AND A TOPOGRAPHIC SURVEY CONFORMING TO A T-2 ACCURACY. THE BOUNDARY DETERMINATION IS A RESURVEY. THE PURPOSE OF THIS SURVEY IS TO PROVIDE A BOUNDARY OPINION AND DEPICT SITE FEATURES FOR FUTURE SITE DEVELOPMENT.

- BEGINNING AT A POINT ON THE WESTERLY SIDE OF BUCKLAND ROAD AND THE
NORTHEAST CORNER OF UNIT 1, SAID POINT BEING THE SOUTHEAST CORNER
OF HEREIN DESCRIBED PARCEL;

THENCE ALONG A CURVE BOUNDED WESTERLY BY UNIT 7, CURVING TO THE RIGHT, WITH AN ARC LENGTH OF 149.37', A RADIUS OF 320.00', AN INCLUDED ANGLE OF 26° 44' 39", AND A CHORD LENGTH OF 148.02' BEARING N 00° 13' 40" E TO A POINT OF NON-TANGENCY;

THENCE S 76° 24' 01" E BOUNDED NORTHERLY BY UNIT 7, A DISTANCE OF 40.00' TO A POINT OF CURVATURE;

THENCE ALONG A CURVE BOUNDED WESTERLY BY UNIT 7, CURVING TO THE RIGHT, WITH AN ARC LENGTH OF 43.74', A RADIUS OF 280.00', AN INCLUDED

H. MAP TITLED "EASEMENT PLAN CL&P FILE NO. E6040, COMPILATION PLAN MAP SHOWING EXISTING CONNECTICUT LIGHT AND POWER COMPANY EASEMENT TO BE MODIFIED AND PROPOSED EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY DBA EVERSOURCE ENERGY ACROSS THE PROPERTY OF EVERGREEN WALSH LIFESTYLE CENTER, LLC BUCKLAND ROAD - SOUTH WINDSOR, CONNECTICUT". SCALE: 1"=20', DATED: 04/11/2016, LAST REVISED: 4/28/2016, BY: BL COMPANIES

- I. MAP TITLED "RIGHT OF WAY & EASEMENT SURVEY PREPARED FOR POAG & MCEWEN BUCKLAND ROAD & DEMING STREET SOUTH WINDSOR, CT.", SCALE: 1"=40', DATED: 9/10/04, LAST REVISED: 10/19/04, SHEETS V01.1 & V01.2, BY: FUSS & O'NEILL INC.
 - J. MAP TITLED "EVERGREEN WALK LIFESTYLE CENTER, LLC PROPOSED SANITARY SEWER EASEMENT TO BE GRANTED TO TOWN OF SOUTH WINDSOR BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=80', DATED: 02/05/04, LAST REVISED: 03/30/04, SHEETS V.01-1 & V.01-2, BY: FUSS & O'NEILL INC.
 - K. MAP TITLED "RIGHT-OF-WAY GRANTED TO THE TOWN OF SOUTH WINDSOR BUCKLAND SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=50', DATED: 09/07/04, BY: FUSS & O'NEILL INC.
 - L. MAP TITLED "POAG & MCEWEN LIFESTYLE CENTER - CONNECTICUT, LLC EASEMENT MAP THE SHOPS AT EVERGREEN WALK BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED: 05/16/05, BY: FUSS & O'NEILL INC.
 - M. MAP TITLED "DRAINAGE AREA BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=60', DATED: 07/20/05, LAST REVISED: 3/16/06, SHEET V.1-01, BY: FUSS & O'NEILL INC.
 - N. MAP TITLED "EXHIBIT "A" SANITARY SEWER AREA BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED: 07/20/05, LAST REVISED: 3/16/06, BY: FUSS & O'NEILL INC.
 - O. MAP TITLED "COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY DBA EVERSOURCE ENERGY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC TAMARACK AVENUE SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED: 09/04/2015, FILE NO. E5097, BY: FUSS & O'NEILL INC.
 - P. MAP TITLED "WATER EASEMENT PLAN UNIT 2, EASEMENT PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT WATER COMPANY ACROSS THE PROPERTY OF EVERGREEN WALK LIFESTYLE CENTER, LLC UNIT 2 EVERGREEN WALK SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=60', DATED: JULY 24, 2018, BY: VHB
 - Q. MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR EVERGREEN WALK LIFESTYLE CENTER, LLC, HARTFORD COUNTY, BUCKLAND ROAD, SOUTH WINDSOR, CONNECTICUT", SCALE: 1"=40', DATED: APRIL 4, 2005, REVISED TO 01/05/2006, BY: FUSS & O'NEILL INC.
3. THE MERIDIAN OF THIS SURVEY IS REFERENCED TO CONNECTICUT STATE PLANE COORDINATE SYSTEM NAD 83 (EPOCH 2011). POSITION WAS DETERMINED BY GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) AS PROVIDED BY HXGN SMARTNET CONTINUOUSLY OPERATED REFERENCE STATIONS (CORS).

4. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B) AS DETERMINED BY GNSS

- PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN CT, INC. FIELD WORK COMPLETED DURING THE MONTH OF NOVEMBER 2020 AND MARCH 2021.
6. AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP ENTITLED "HARTFORD COUNTY, CONNECTICUT PANEL 383 & 391 OF 675, MAP NUMBER 0900C0391F AND 08003C0383F, EFFECTIVE DATE, SEPTEMBER 26, 2008" THE PROJECT AREA IS IN ZONE 'X' (UNSHADED).
7. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
8. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
9. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE. NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
10. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.
11. NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDINGS ADDITIONS WAS OBSERVED ON THE SUBJECT PREMISES.
12. NO EVIDENCE OF STREET RIGHT OF WAY LINE CHANGES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED.
13. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
14. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.
15. WETLAND DELINEATION PERFORMED ON FEBRUARY 17, 2021 BY MATTHEW GUSTAFSON, REGISTERED SOIL SCIENTIST, ALL-POINTS TECHNOLOGY CORP. P.C.

THENCE S 13° 36' 02" W ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, A
DISTANCE OF 752.42' TO A POINT OF CURVATURE;

THENCE ALONG A CURVE ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, CURVING TO THE LEFT, WITH AN ARC LENGTH OF 286.17', A RADIUS OF 6899.22', AN INCLUDED ANGLE OF 02° 22' 36", AND A CHORD LENGTH OF 286.15' BEARING S 12° 24' 44" W TO A POINT OF COMPOUND CURVATURE;

THENCE ALONG A CURVE ALONG THE WESTERLY SIDE OF BUCKLAND ROAD, CURVING TO THE LEFT, WITH AN ARC LENGTH OF 157.71', A RADIUS OF 6822.18', AN INCLUDED ANGLE OF 01° 19' 28", AND A CHORD LENGTH OF 157.71' BEARING S 11° 53' 11" W TO A POINT OF NON-TANGENCY ;

THENCE N 62° 46' 12" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY
OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 180.18' TO A POINT;

THENCE S 13° 53' 48" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF
TOWN OF SOUTH WINDSOR, A DISTANCE OF 200.05' TO A POINT;

THENCE S 62° 46' 12" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY
OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 185.46' TO A POINT ON THE
WESTERLY SIDE OF BUCKLAND ROAD;

THENCE S 13° 36' 50" W ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, A
DISTANCE OF 61.37' TO A POINT;

THENCE N 76° 56' 52" W BOUNDED SOUTHERLY BY LAND NOW OR FORMERLY
OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 118.75' TO A POINT;

THENCE S 12° 44' 48" W BOUNDED EASTERLY BY LAND NOW OR FORMERLY OF
TOWN OF SOUTH WINDSOR, A DISTANCE OF 170.00' TO A POINT;

THENCE S 76° 56' 52" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY
OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 73.91' TO A POINT;

THENCE S 31° 30' 22" E BOUNDED NORTHERLY BY LAND NOW OR FORMERLY
OF TOWN OF SOUTH WINDSOR, A DISTANCE OF 52.53' TO A POINT ON THE
WESTERLY SIDE OF BUCKLAND ROAD;

THENCE S 13° 37' 43" W ALONG SAID WESTERLY SIDE OF BUCKLAND ROAD, A
DISTANCE OF 31.58' TO THE POINT OF BEGINNING;

CONTAINING APPROXIMATELY 2,105,839 SQUARE FEET (48.34341 ACRES).

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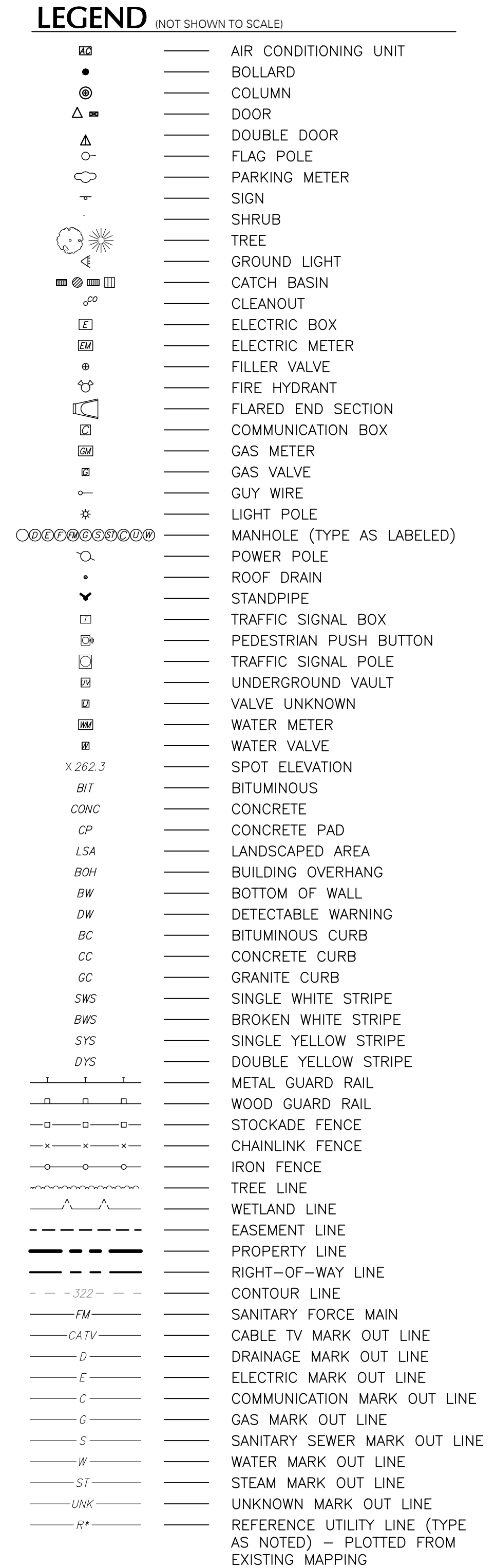
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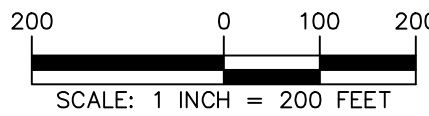
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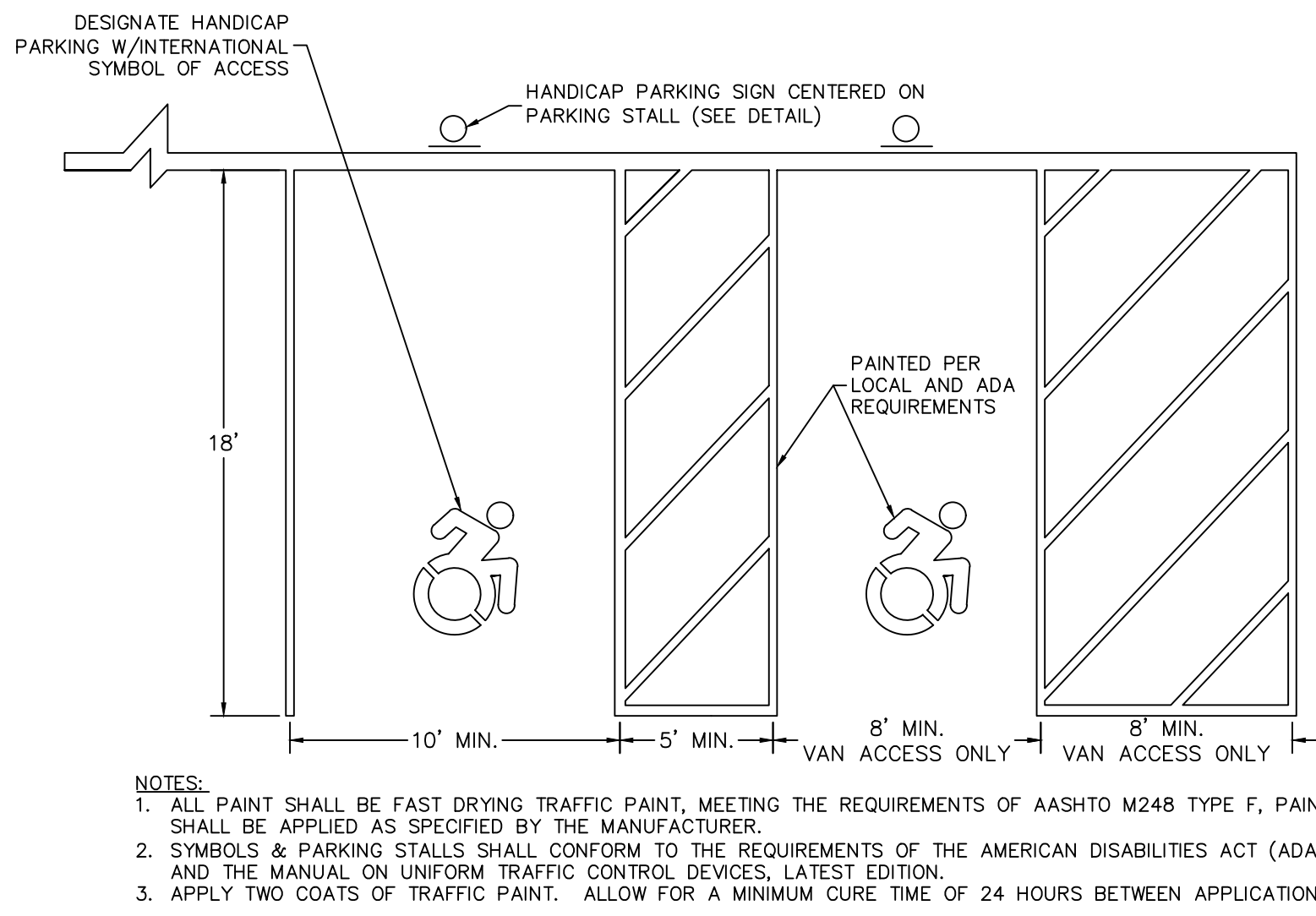




Date	Description	No.
Revisions		
<div><div><div>LANGAN</div><div>Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com</div></div><div>Project</div><div>DEVELOPMENT AT EVERGREEN WALK MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR HARTFORD COUNTY CONNECTICUT</div><div>Drawing Title</div><div>KEY MAP</div><div><div><div>Project No. 140222801</div><div>Date 06/10/2021</div><div>Drawn By ALF</div><div>Checked By DTG</div></div><div>CS100</div></div></div>		

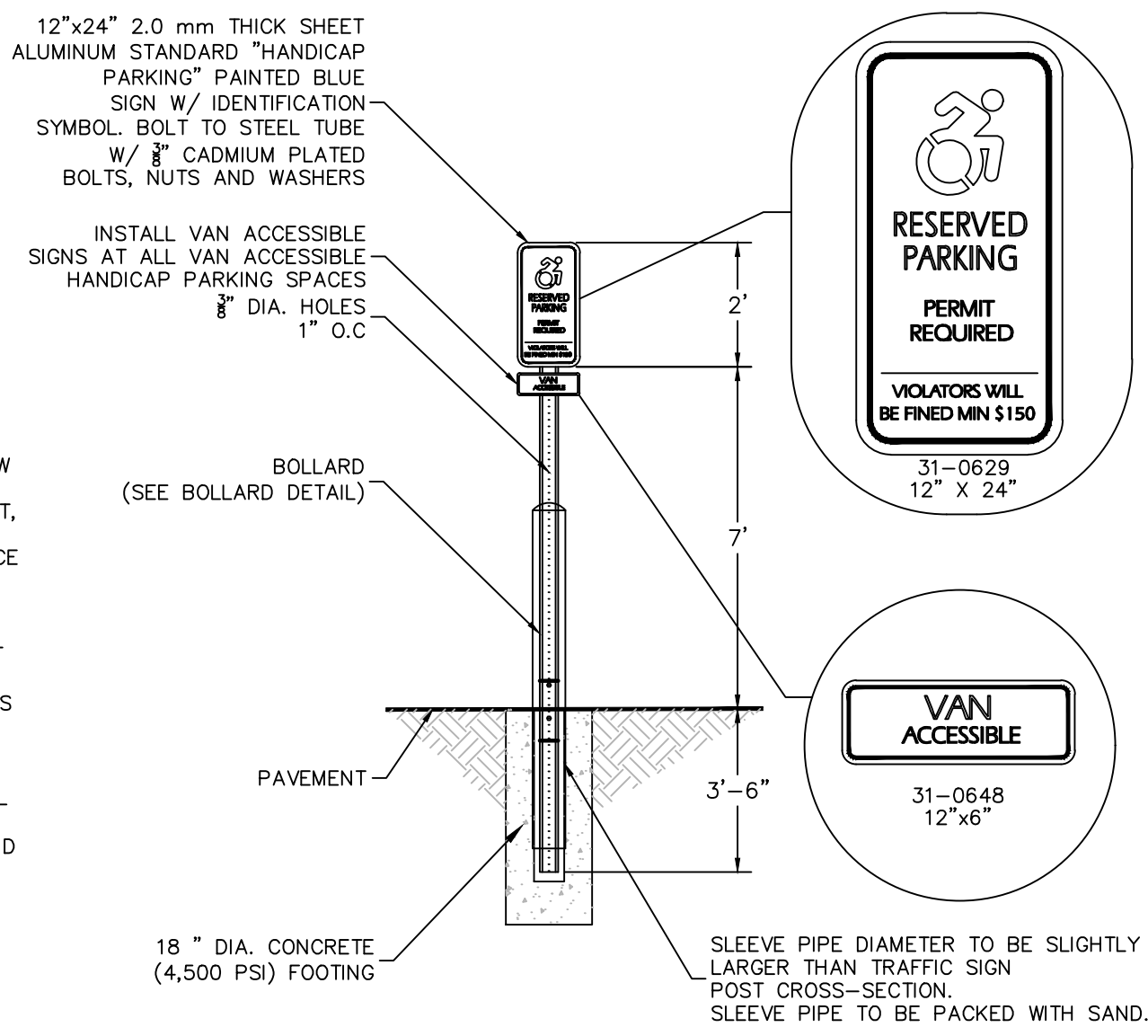


A
B
C
D
E
F



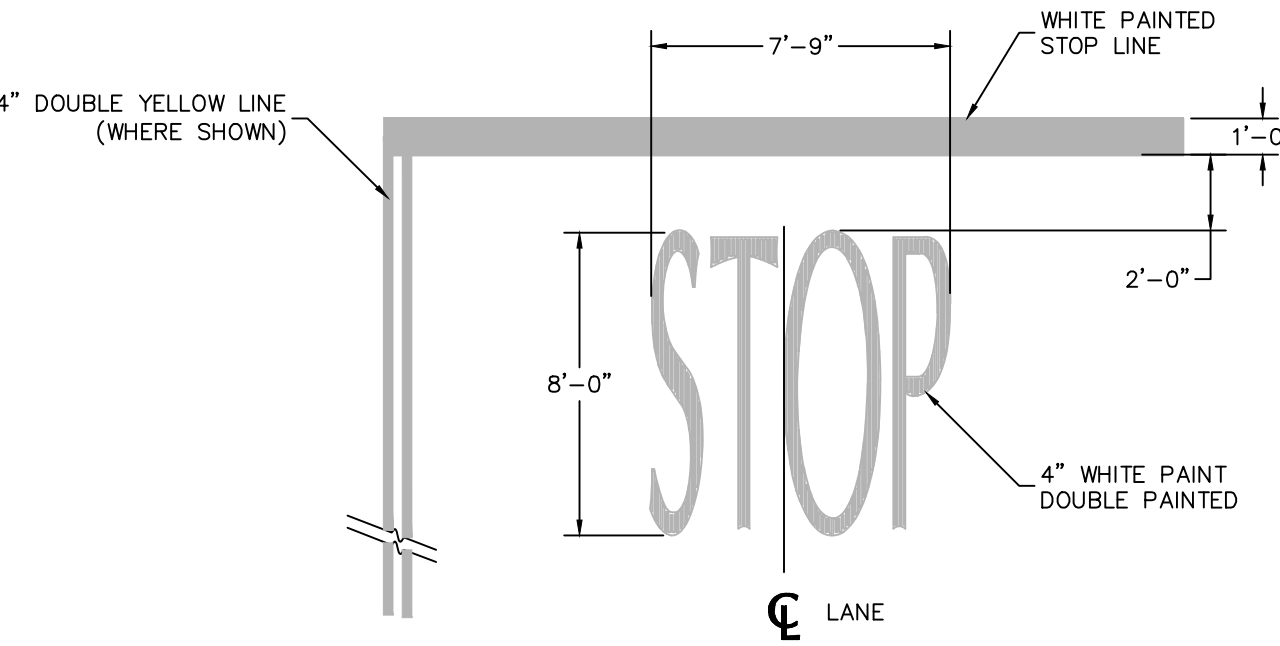
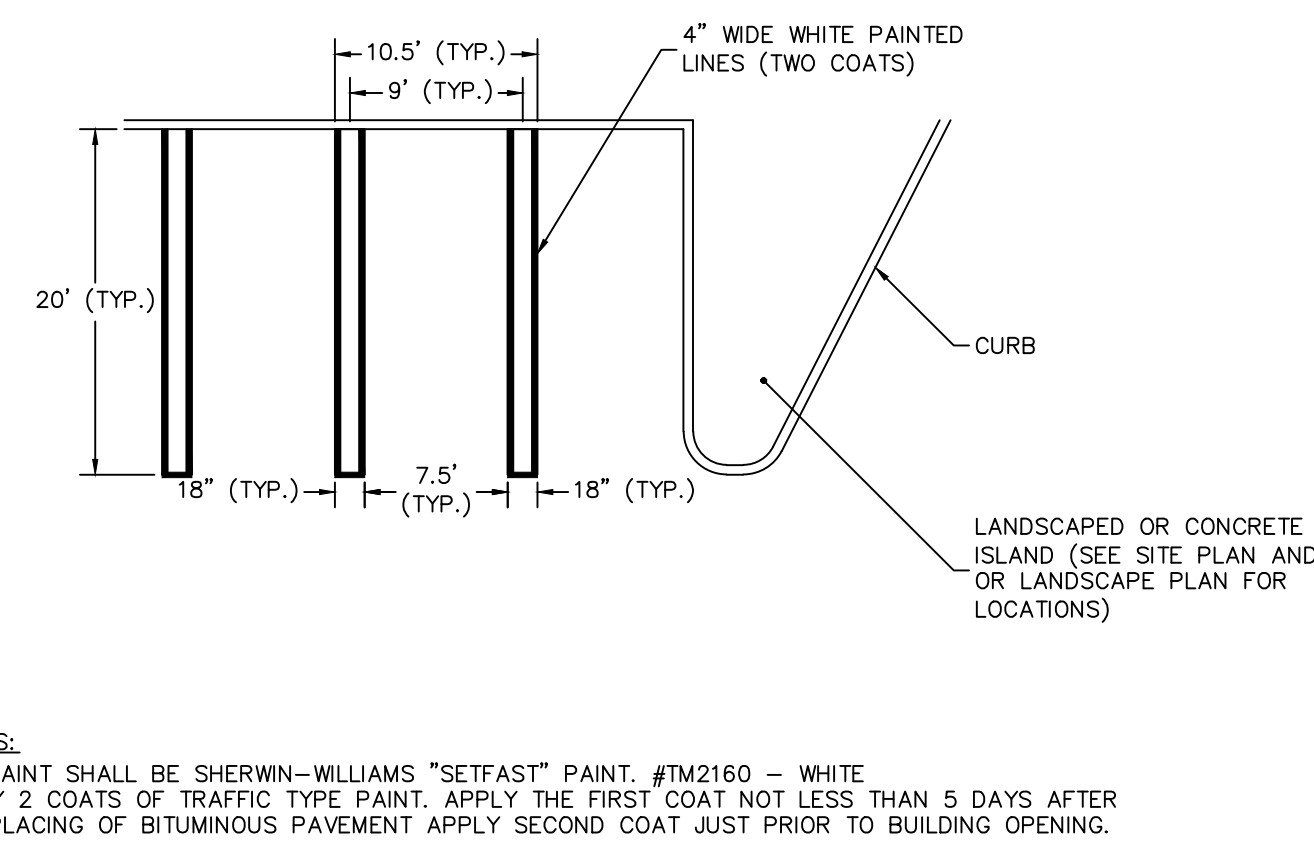
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2 ADA SIGN BOLLARD N.T.S.

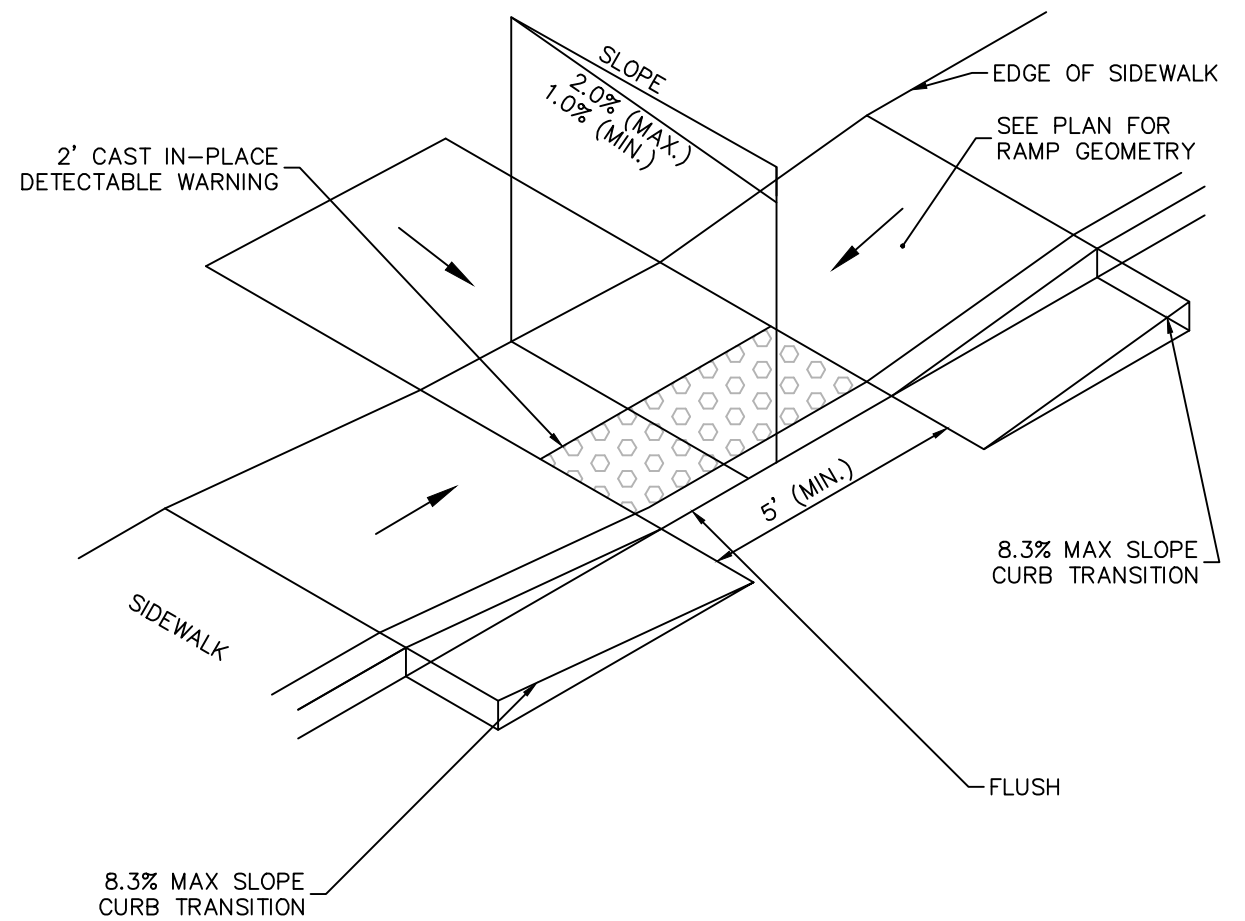


HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE & LOCAL CODES AND REGULATIONS.

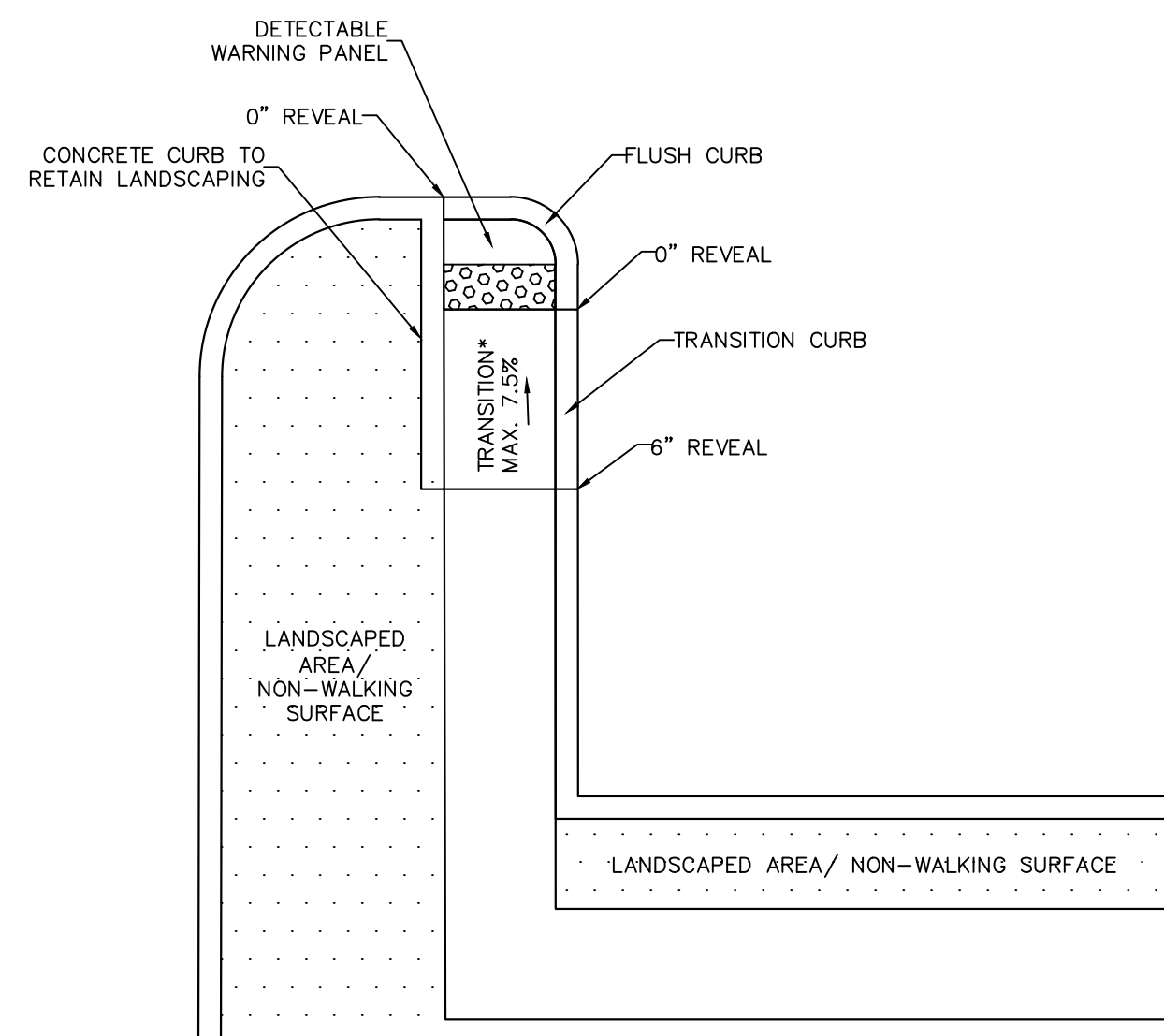
3 PARKING STALL STRIPING N.T.S.



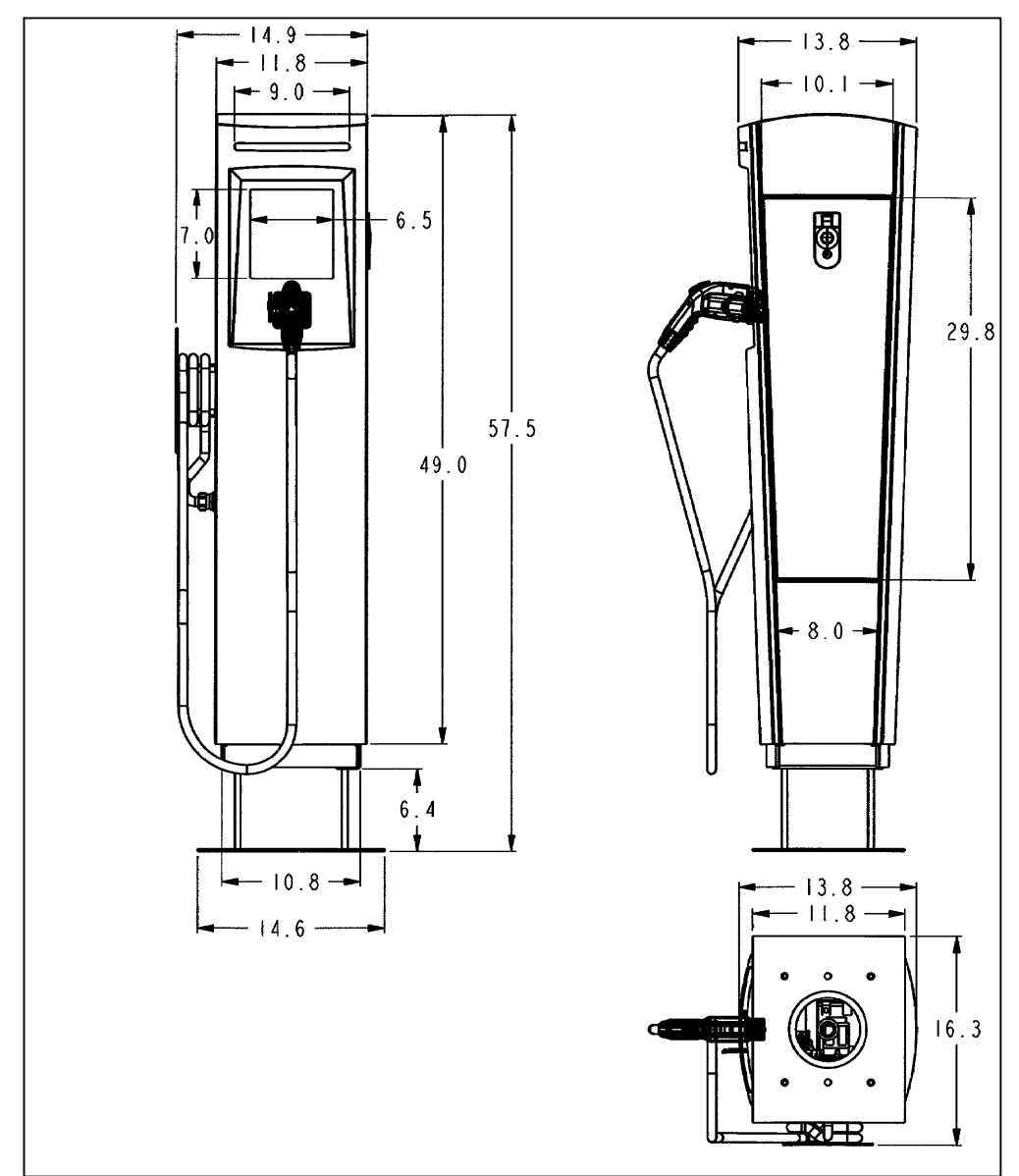
4 STOP BAR N.T.S.



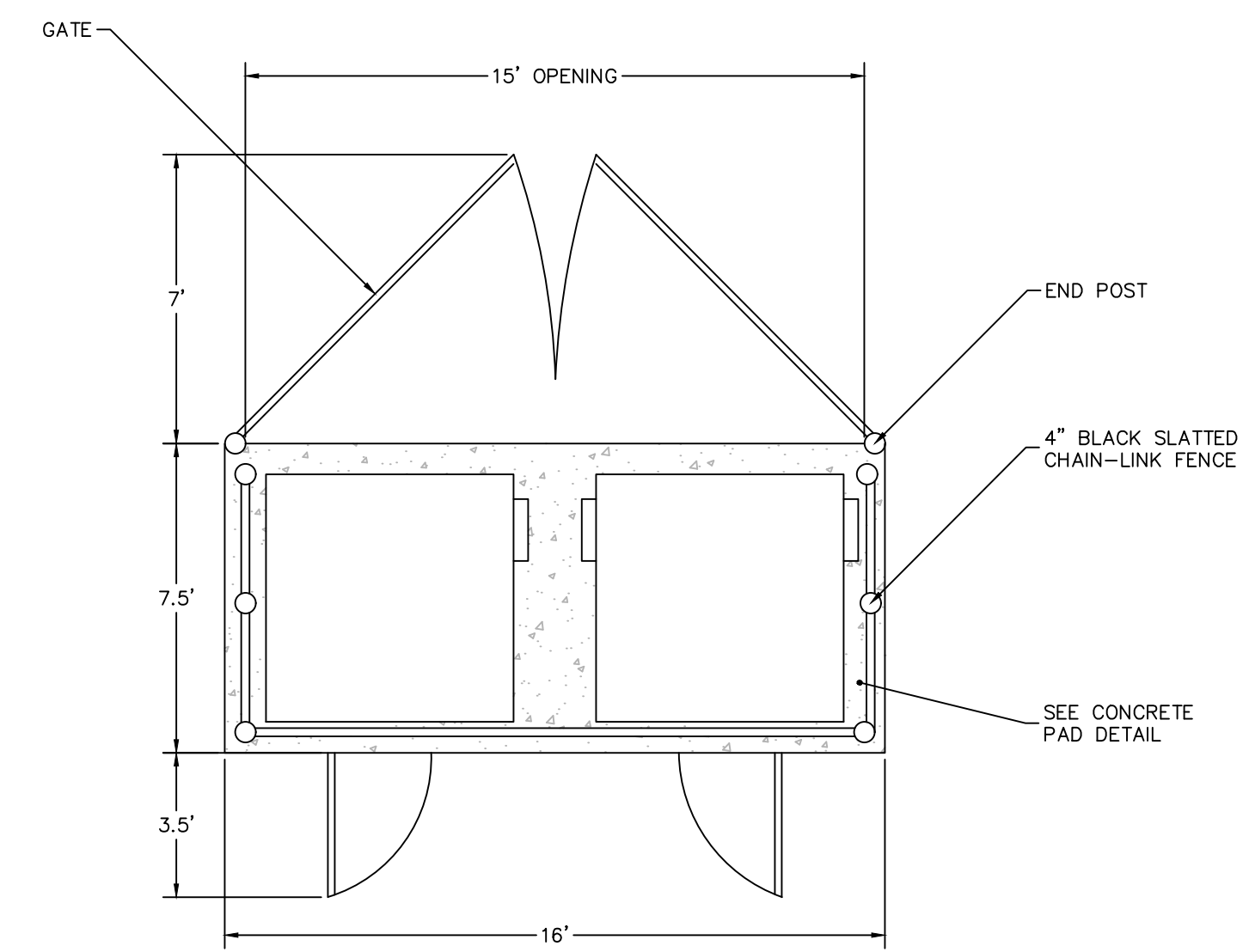
5 ADA ACCESSIBLE RAMP N.T.S.



6 CURB RAMP N.T.S.



7 ELECTRIC CHARGING STATION (FOR REFERENCE ONLY) N.T.S.



8 DUMPSTER ENCLOSURE N.T.S.

06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.

Revisions		
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Signature _____ Date _____

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Project

DEVELOPMENT AT EVERGREEN WALK

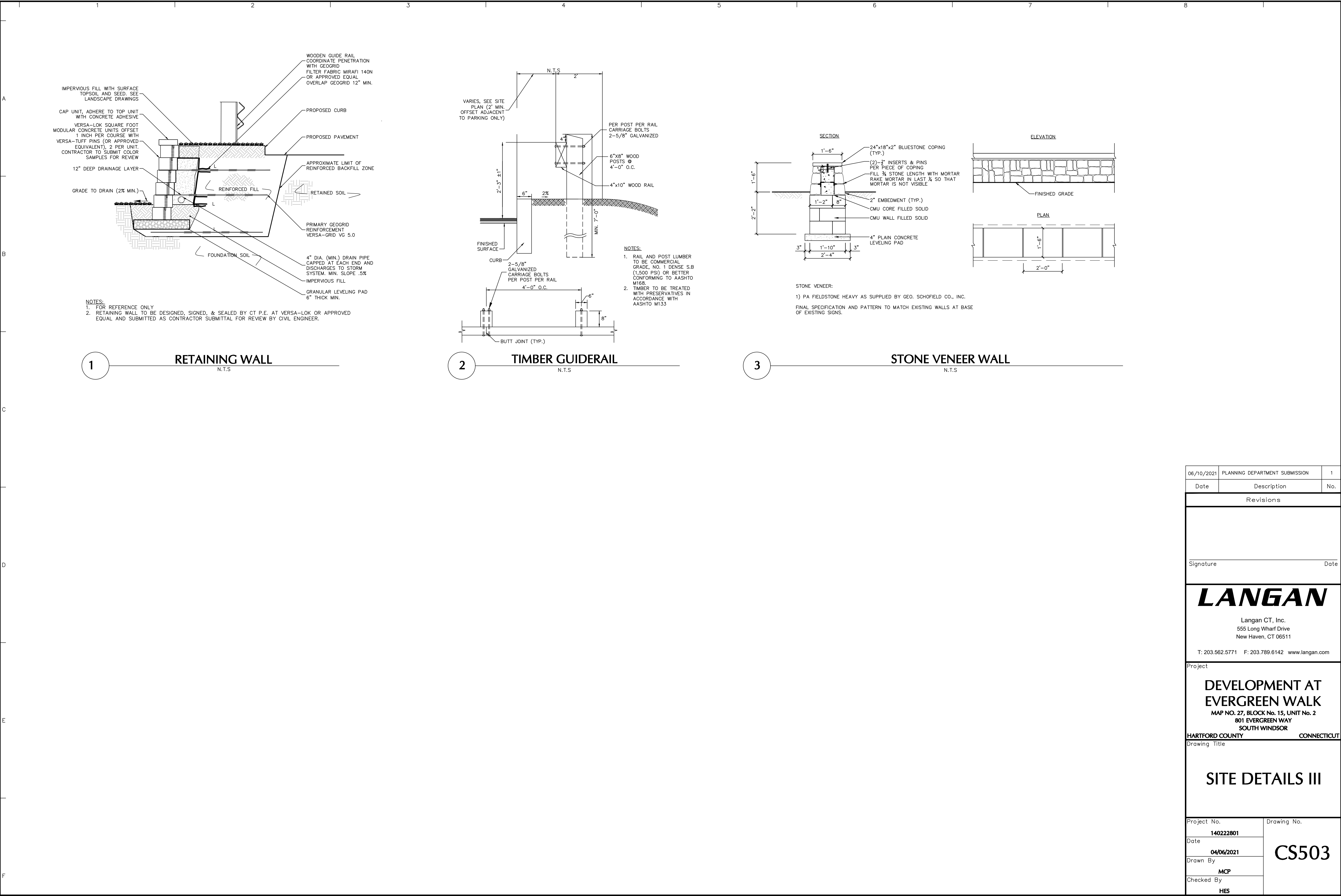
MAP NO. 27, BLOCK No. 15, UNIT No. 2
801 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

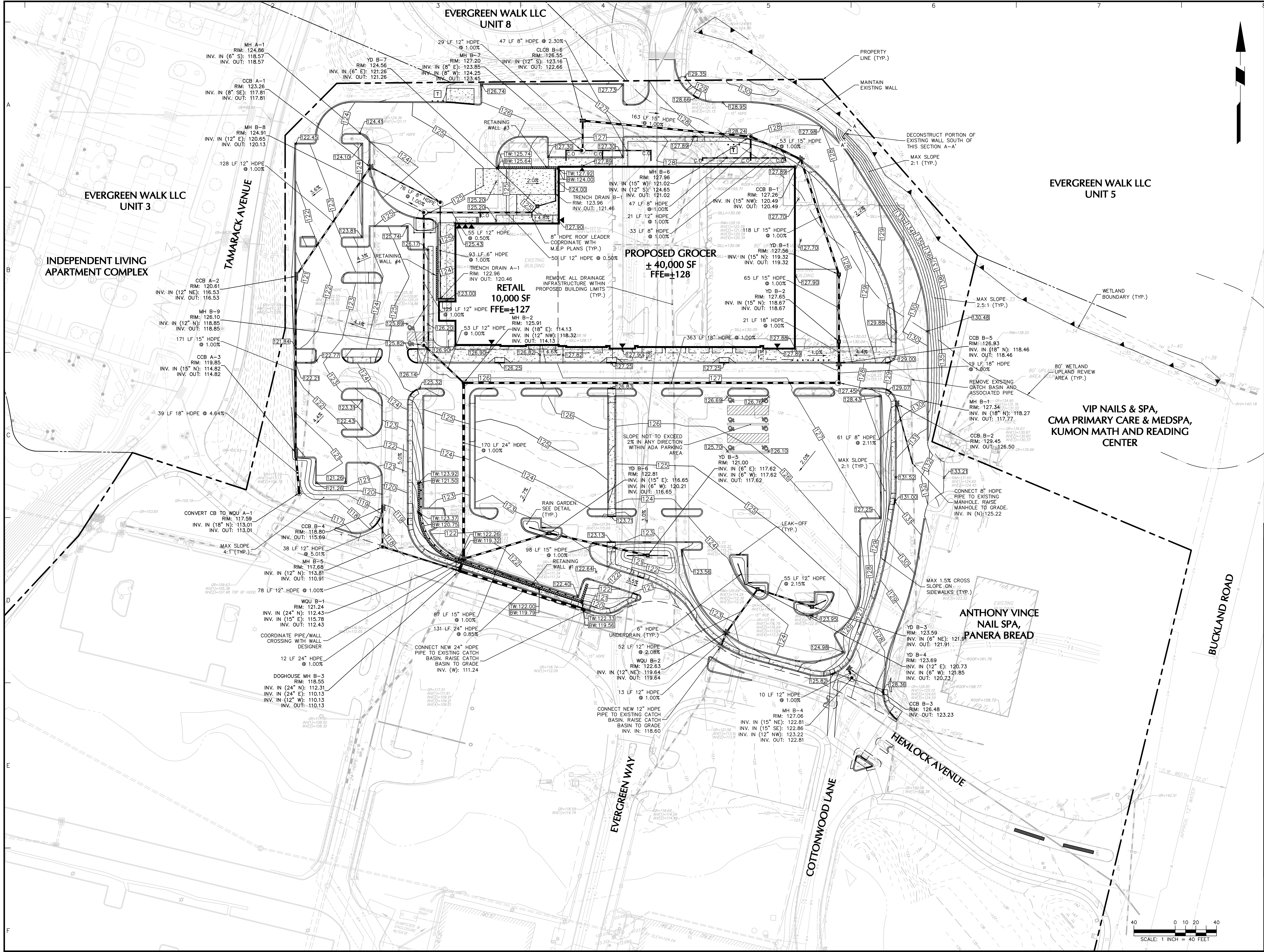
Drawing Title

SITE DETAILS II

Project No.	Drawing No.
140222801	CS502
Date	
04/06/2021	
Drawn By	
IJAB	DTG
Checked By	



06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.
Revisions		
Signature _____ Date _____		
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Project		
DEVELOPMENT AT EVERGREEN WALK MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title		
SITE DETAILS III		
Project No.	CS503	
140222801		
Date		
04/06/2021		
Drawn By		
MCP		
Checked By		
HES		



06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.

Revisions		
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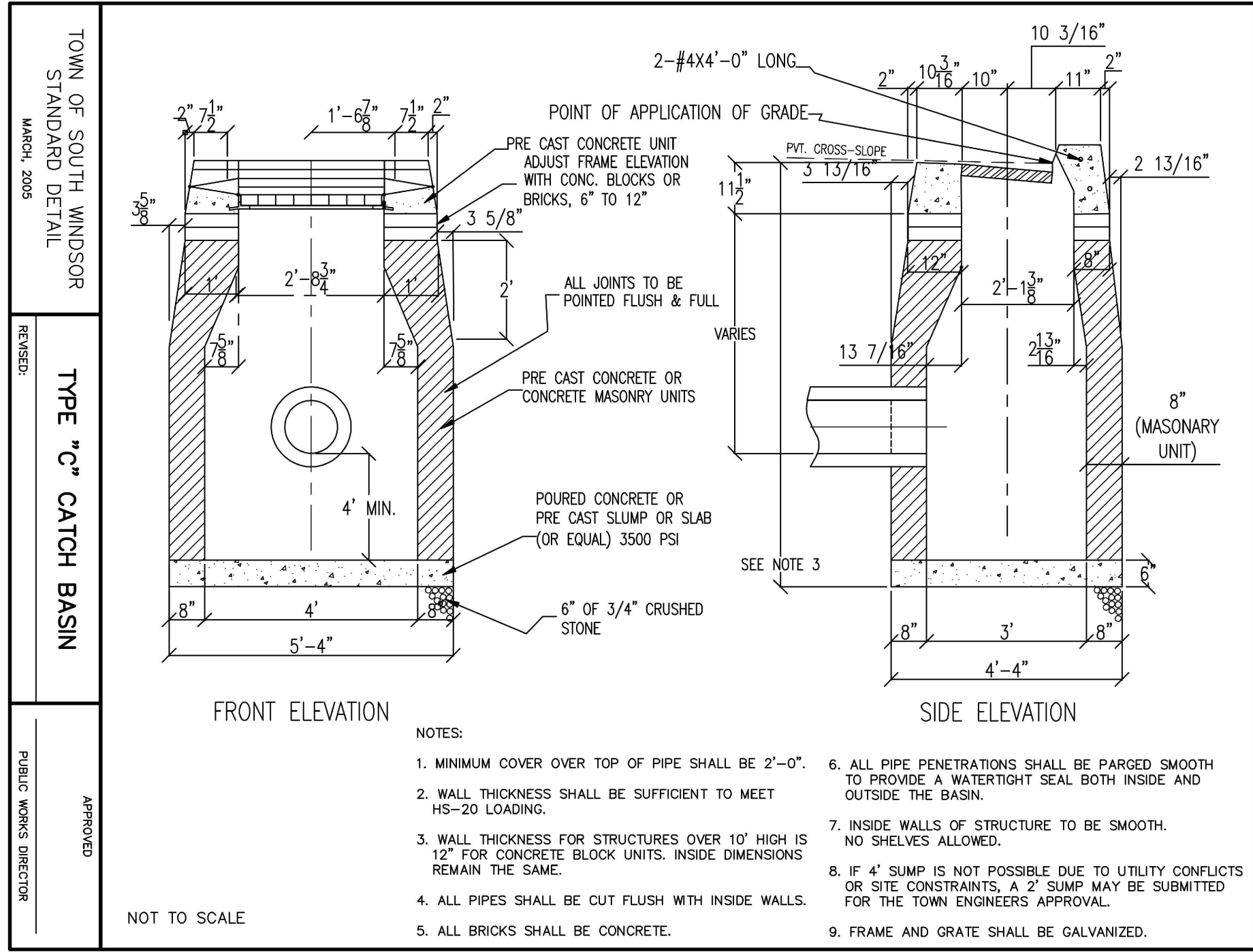
Project

**DEVELOPMENT AT
EVERGREEN WALK**
MAP NO. 27, BLOCK No. 15, UNIT No. 2
801 EVERGREEN WAY
SOUTH WINDSOR

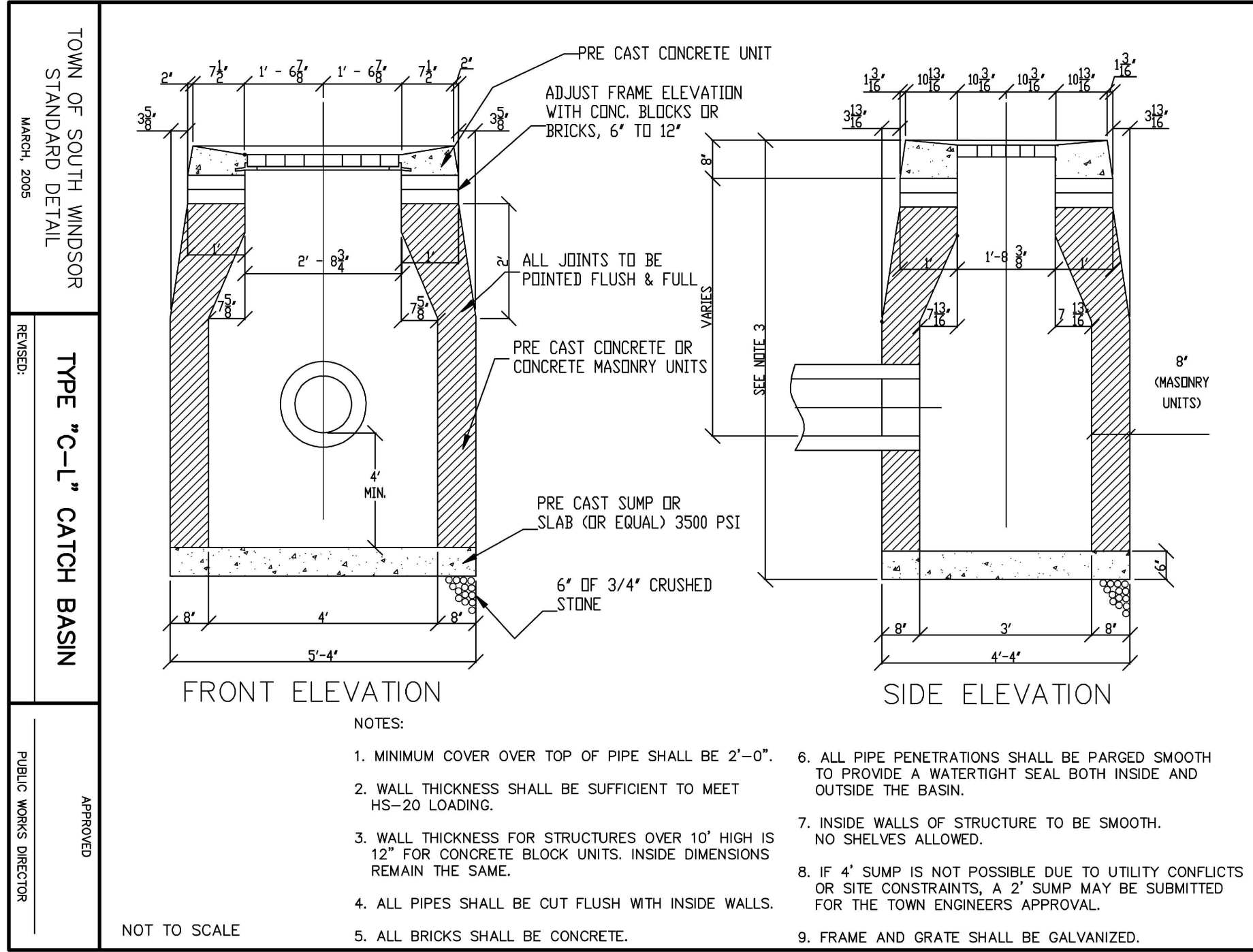
HARTFORD COUNTY CONNECTICUT
Drawing Title

GRADING & DRAINAGE PLAN

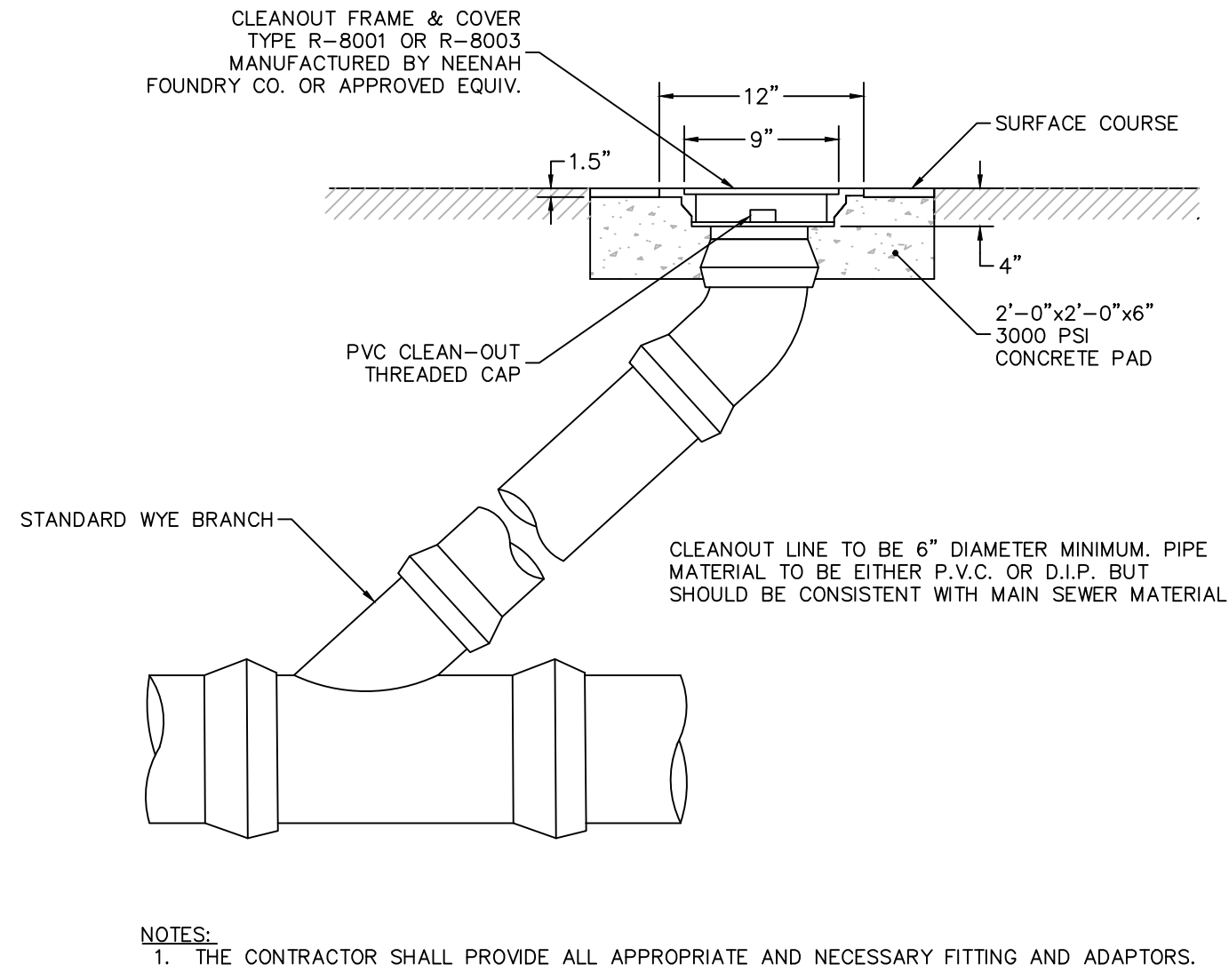
Project No.	140222801	CG101
Date	04/06/2021	
Drawn By	HES	
Checked By	JEL	



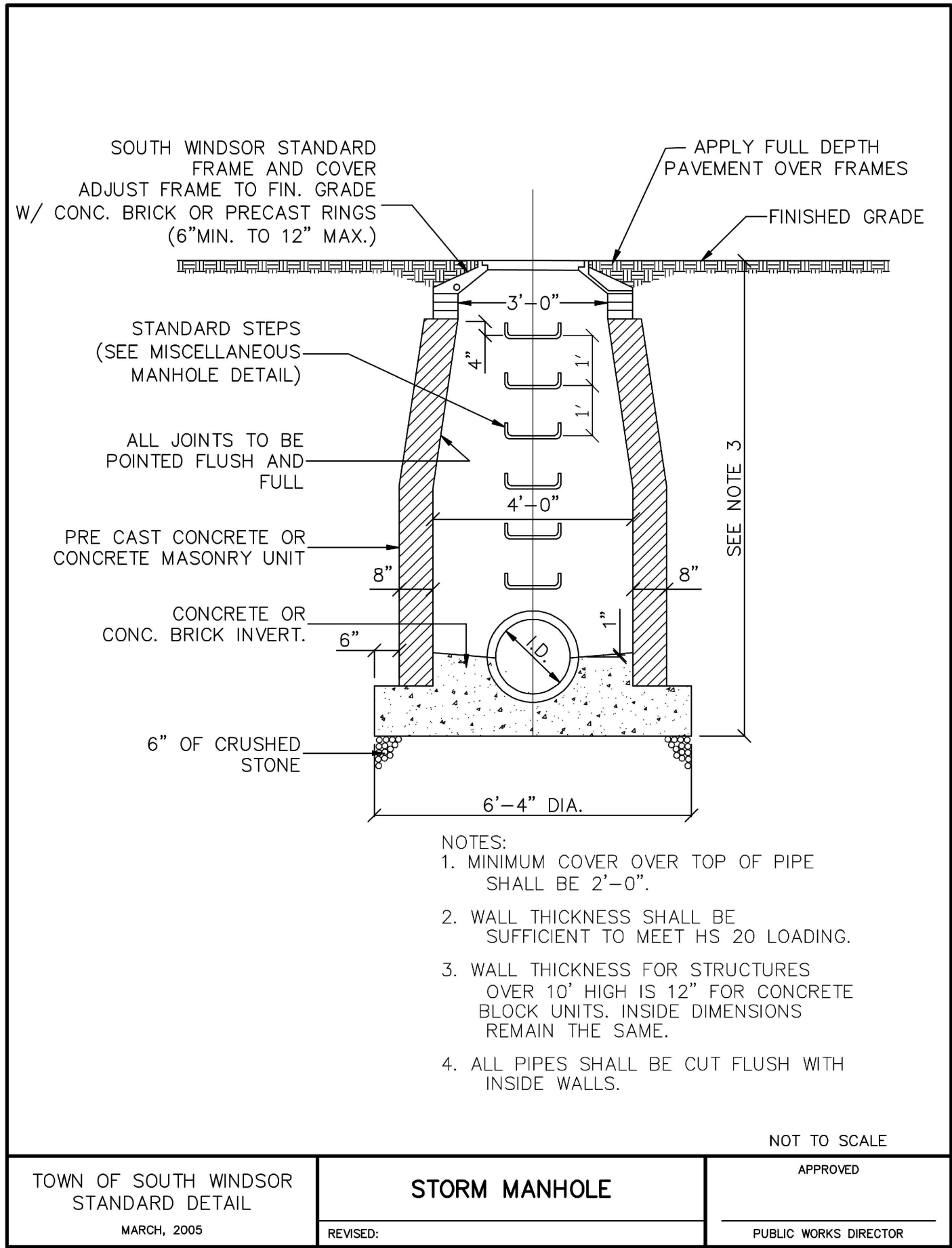
1 TYPE C CATCH BASIN
N.T.S



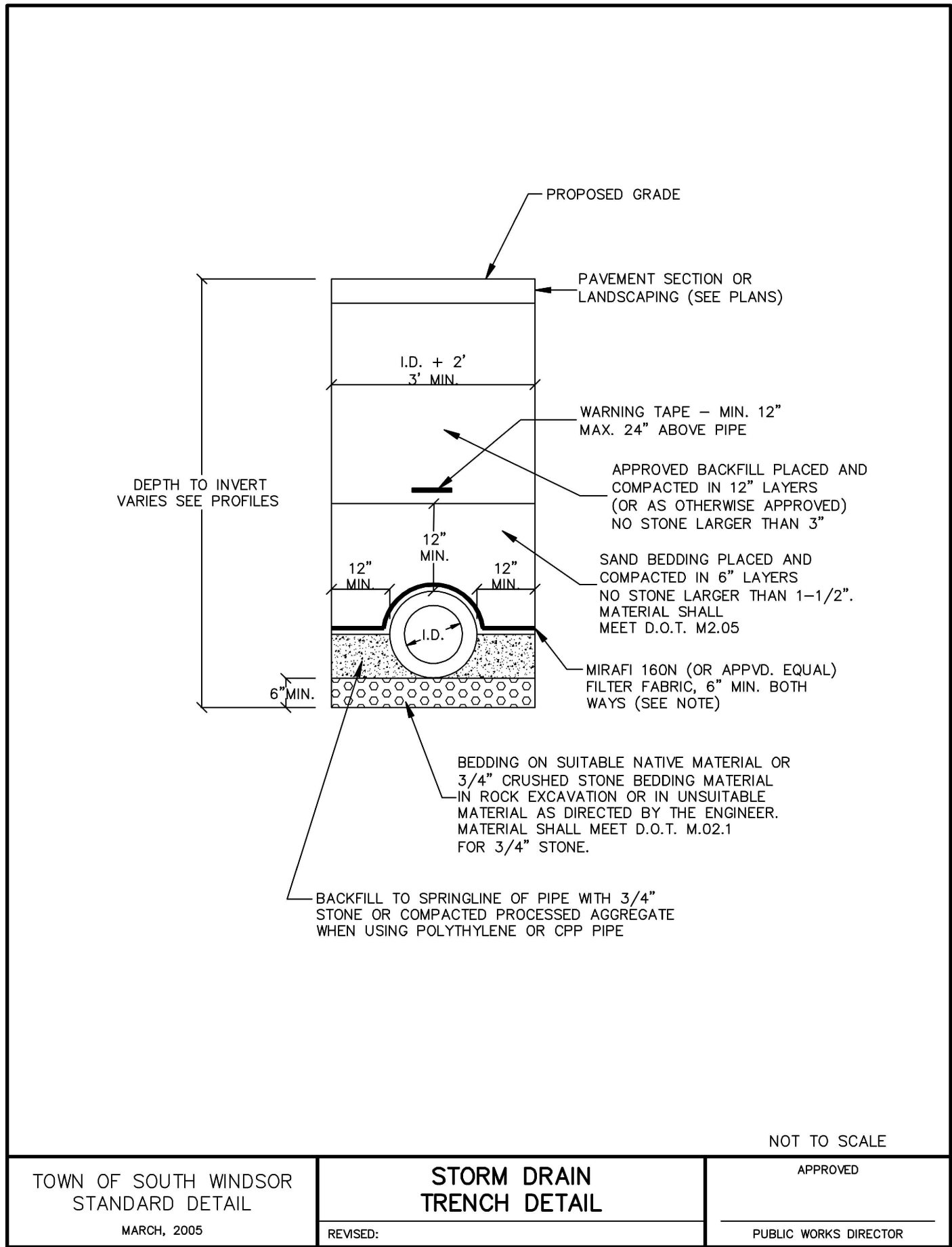
2 TYPE C-L CATCH BASIN
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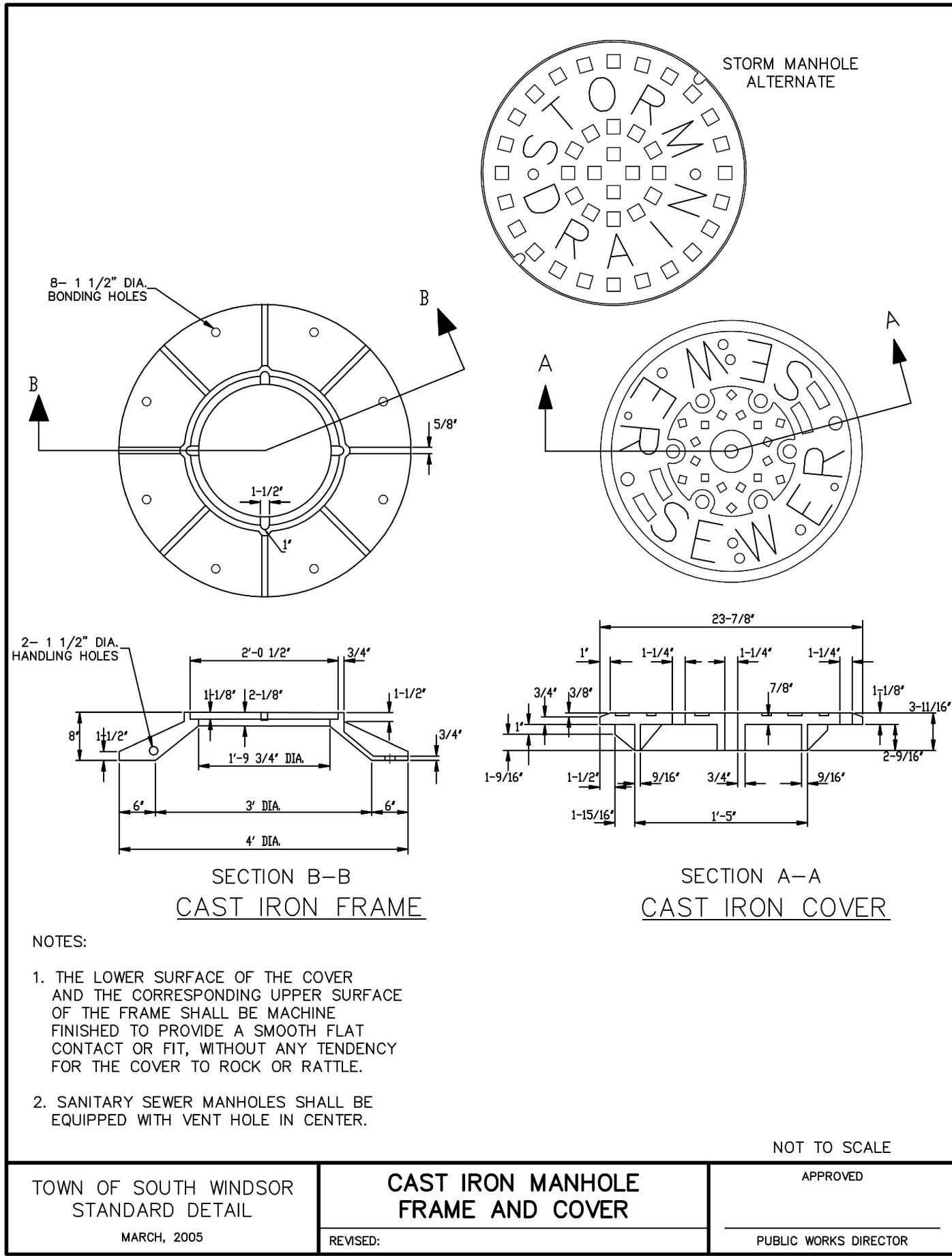
3 CLEANOUT
N.T.S



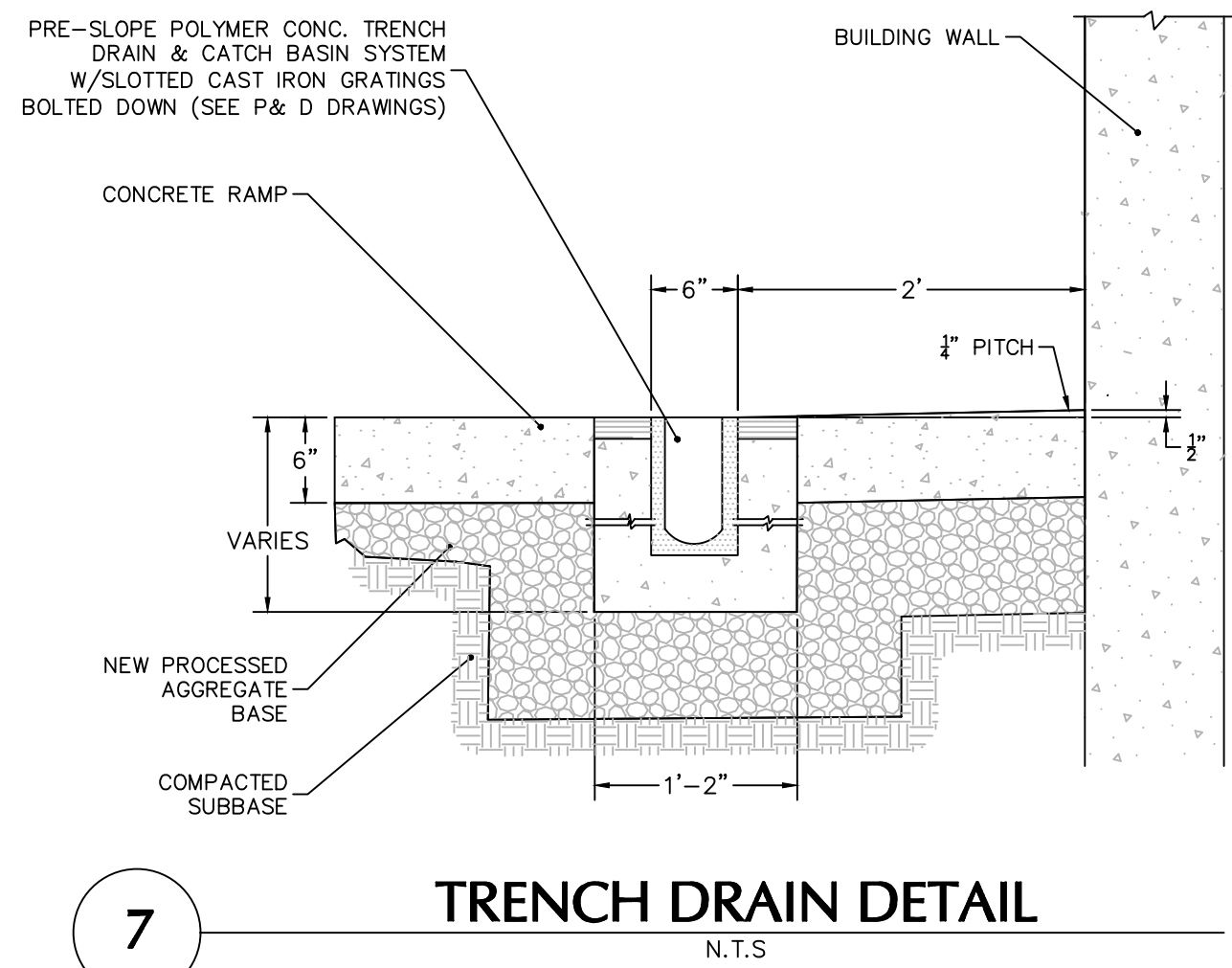
4 STORM MANHOLE
N.T.S



5 STORM PIPE-BEDDING DETAIL
N.T.S

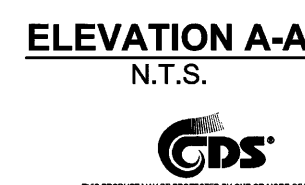


6 MANHOLE FRAME & COVER
N.T.S



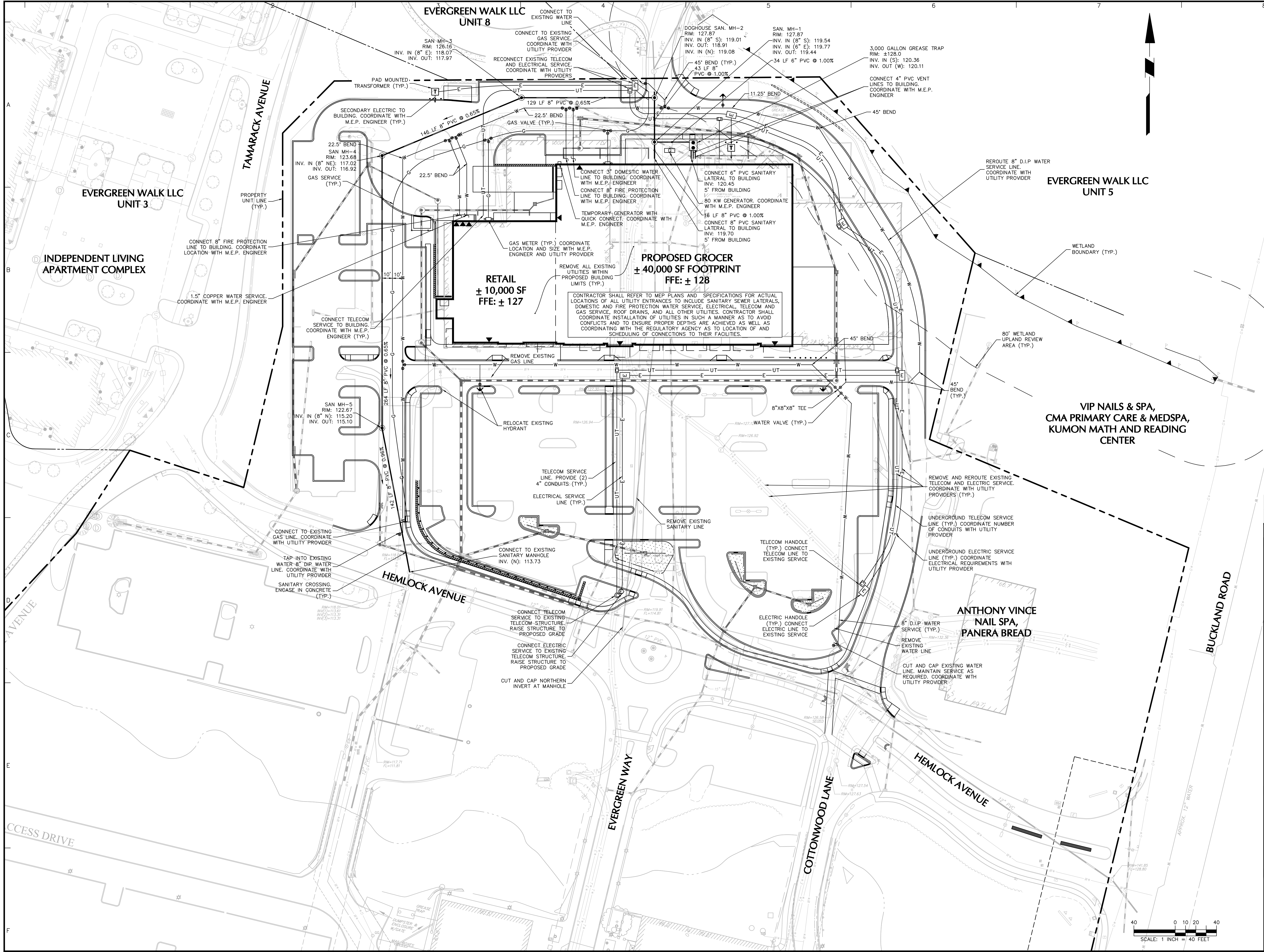
7 TRENCH DRAIN DETAIL
N.T.S

06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.
Revisions		
Signature		Date
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Project		
<div>DEVELOPMENT AT EVERGREEN WALK</div> <div>MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR</div> <div>HARTFORD COUNTY CONNECTICUT</div>		
Drawing Title		
<div>GRADING & DRAINAGE DETAILS</div> <div>I</div>		
Project No. 140222801		Drawing No. <div>CG501</div>
Date 04/06/2021		
Drawn By IJAB		
Checked By DTG		



CDS3035-6-C
 INLINE CDS
 STANDARD DETAIL

N.T.S



06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.

Revisions

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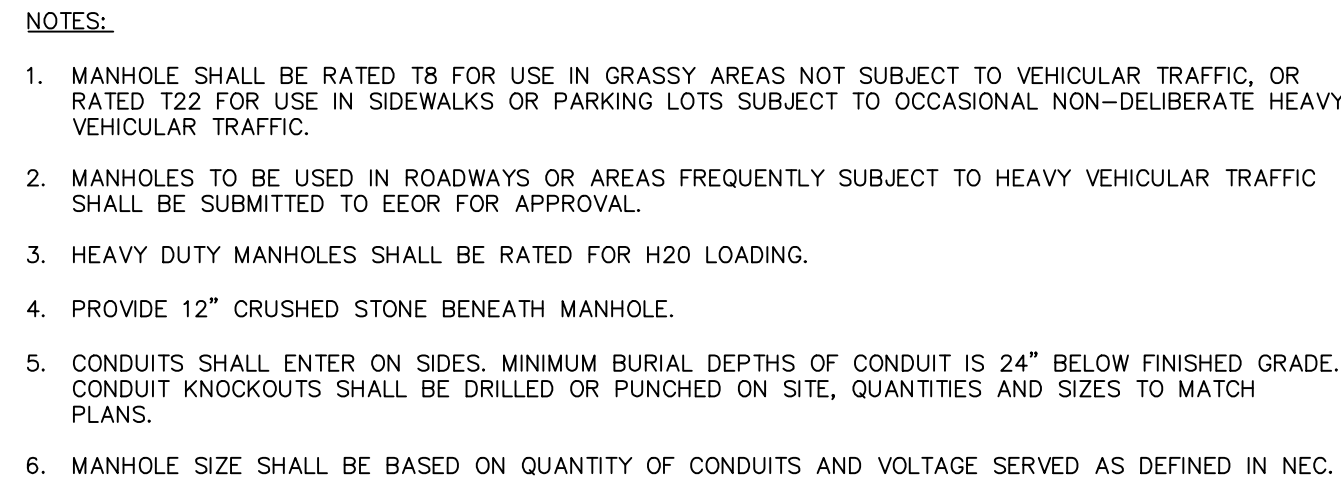
Project

**DEVELOPMENT AT
EVERGREEN WALK**
MAP NO. 27, BLOCK No. 15, UNIT No. 2
801 EVERGREEN WAY
SOUTH WINDSOR
HARTFORD COUNTY CONNECTICUT

Drawing Title

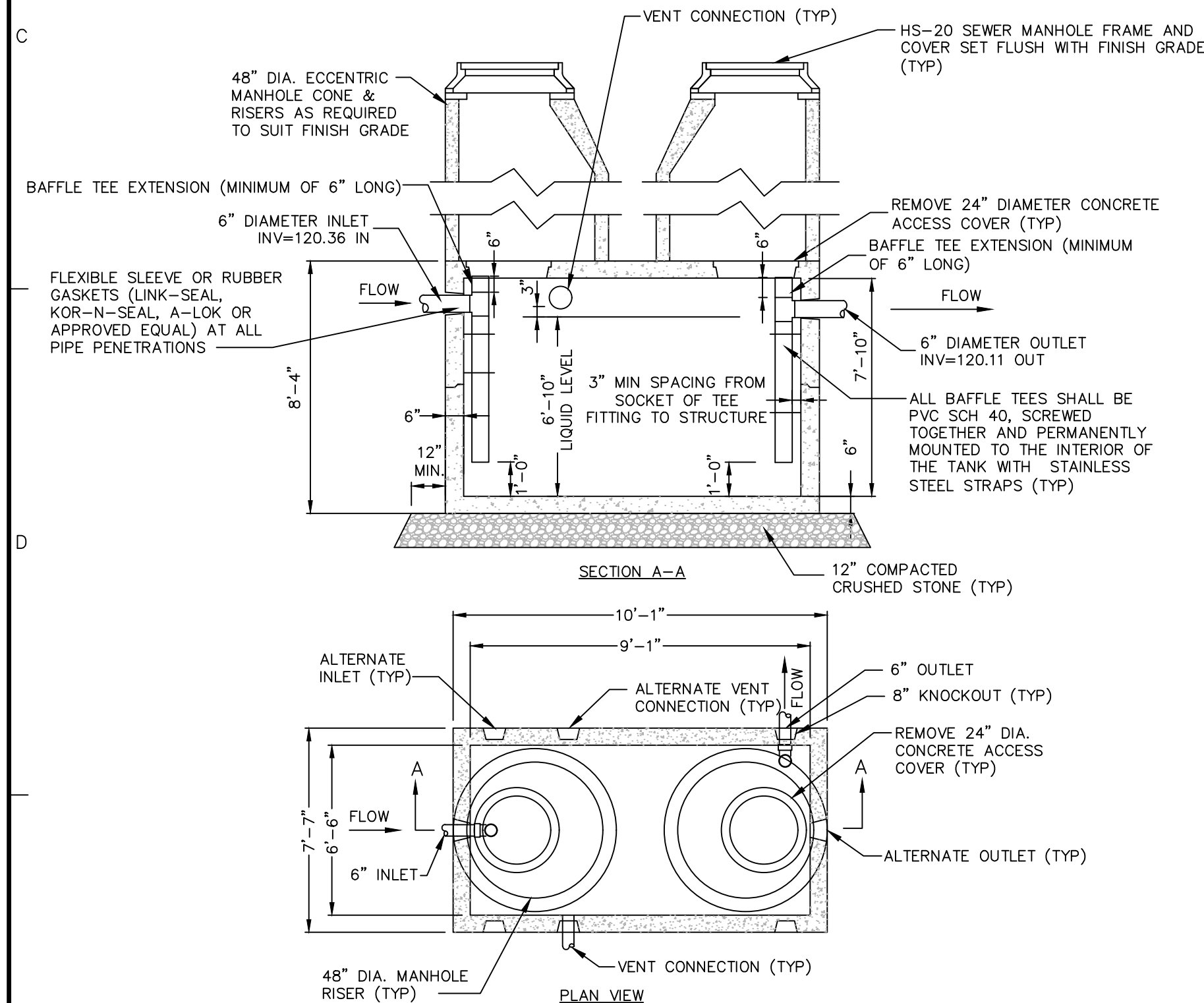
UTILITY PLAN

Project No.	140222801	CU101
Date	04/06/2021	
Drawn By	HES	
Checked By	JEL	



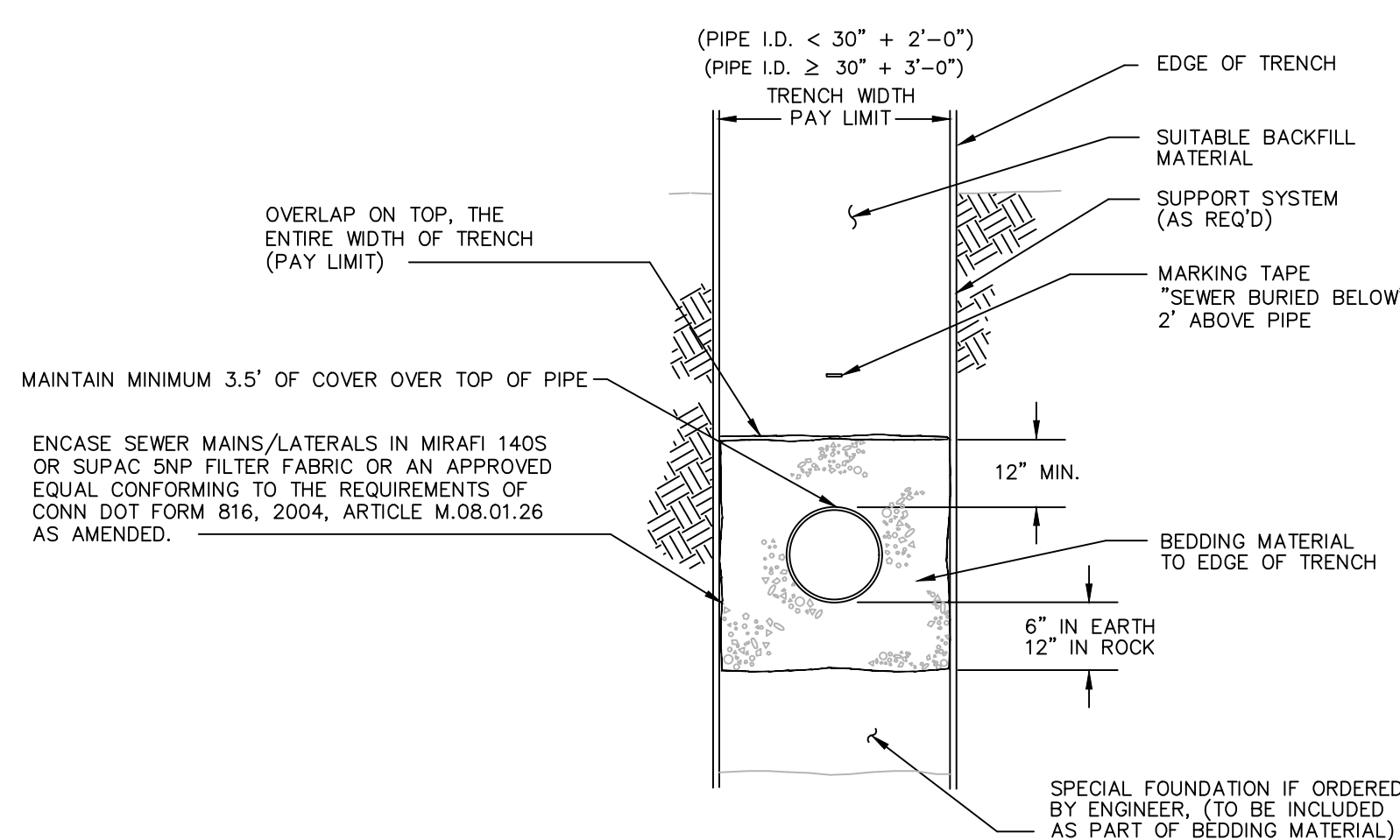
TYPICAL ELECTRIC MANHOLE

N.T.S.



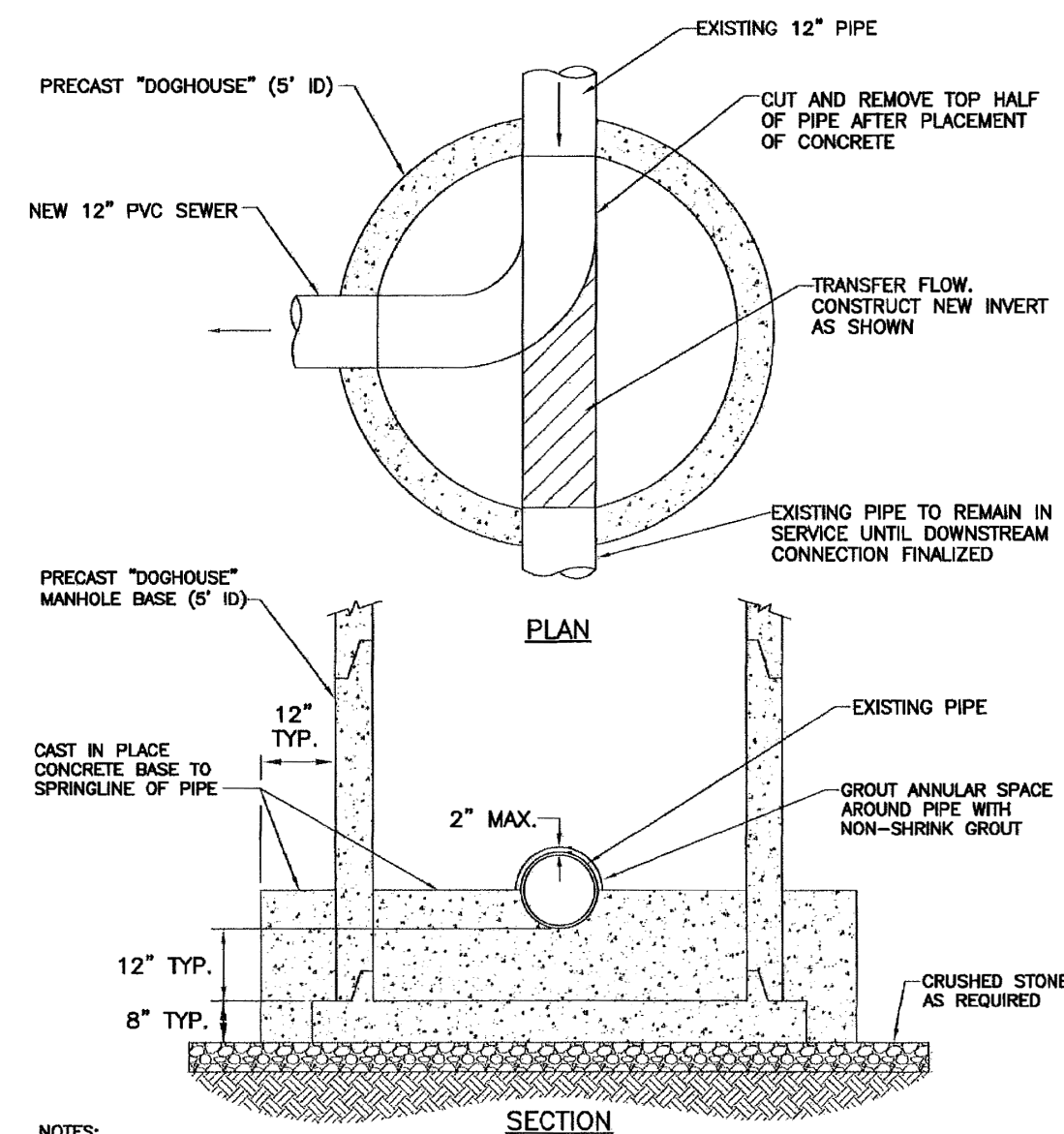
3000 GALLON GREASE TRAP - FOR REFERENCE ONLY

N.T.S



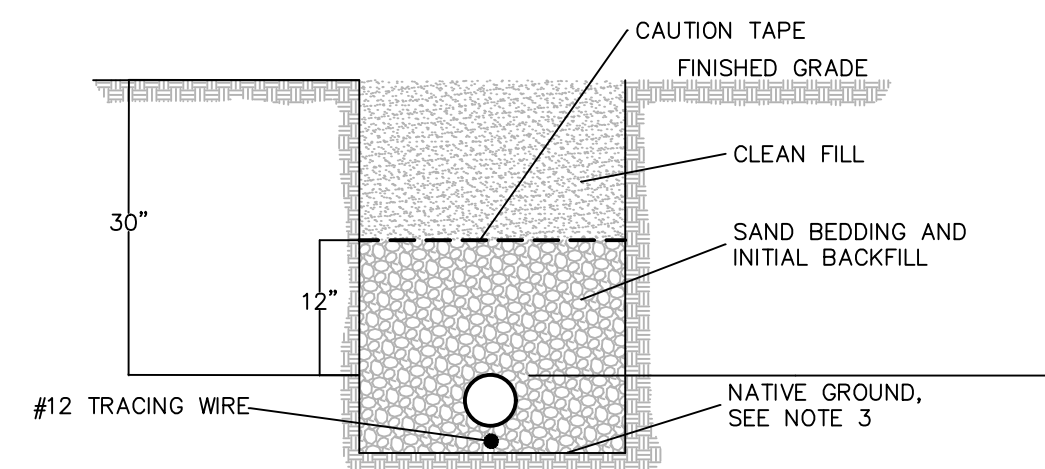
SANITARY TRENCH

N.T.S



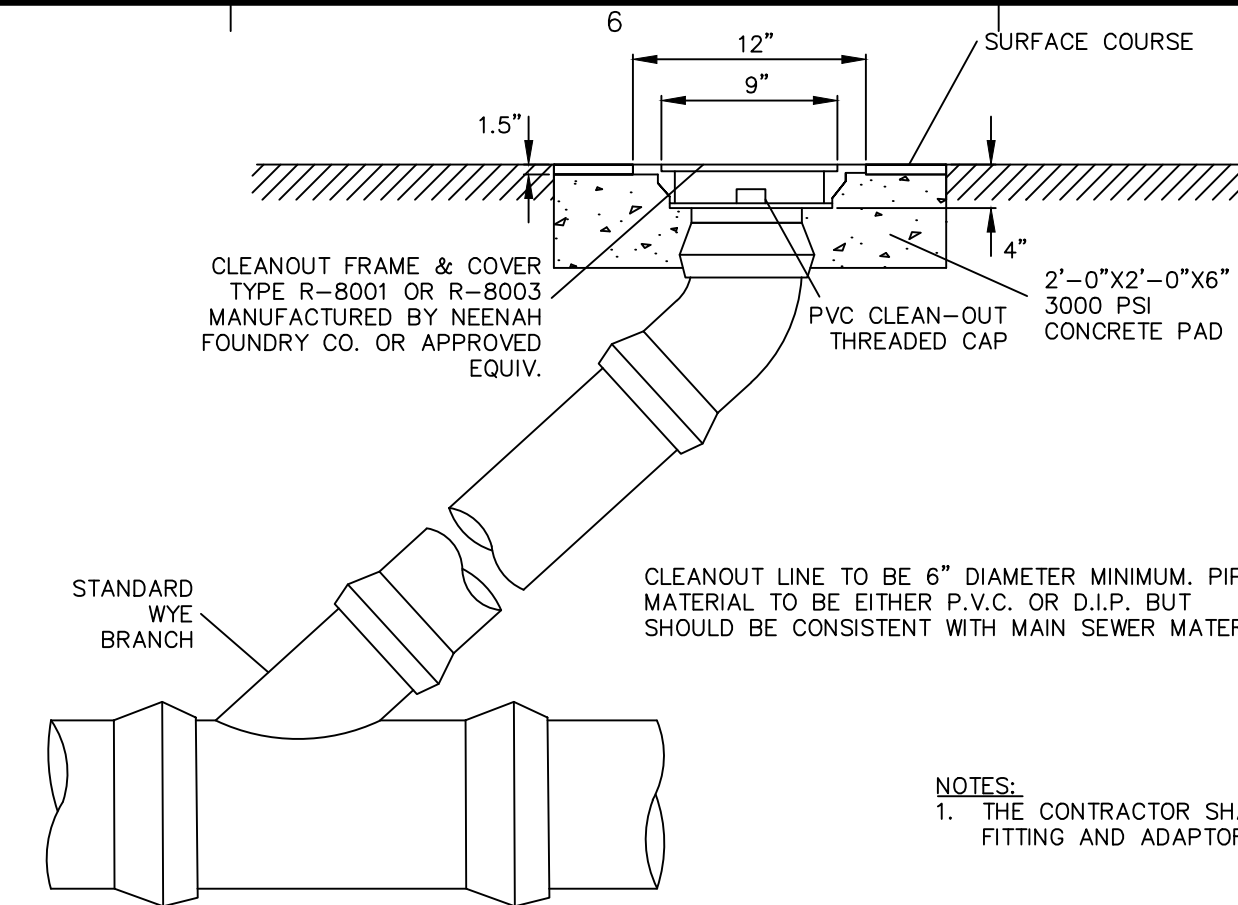
SANITARY DOG HOUSE MANOLE BASE-PRECAST

N.T.S



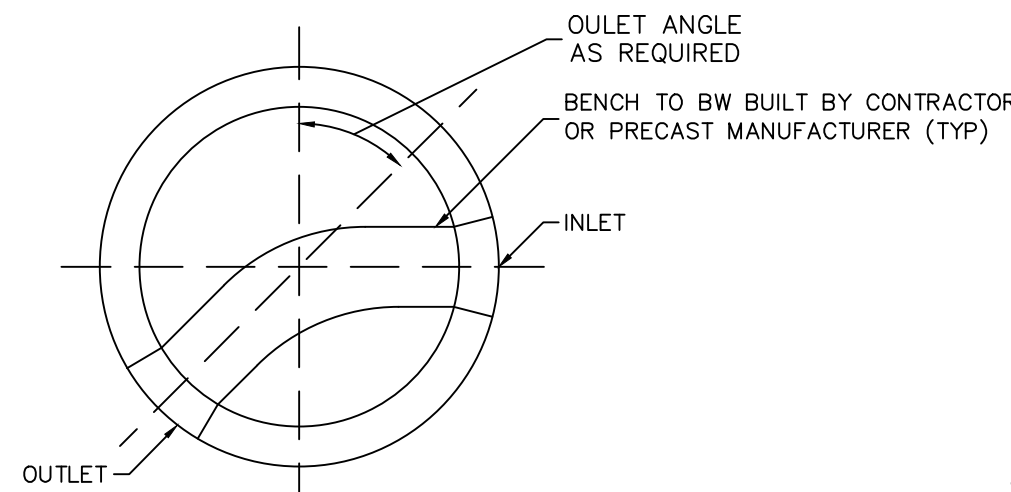
GAS MAIN TRENCH DETAIL

N.T.S.



SANITARY CLEANOUT

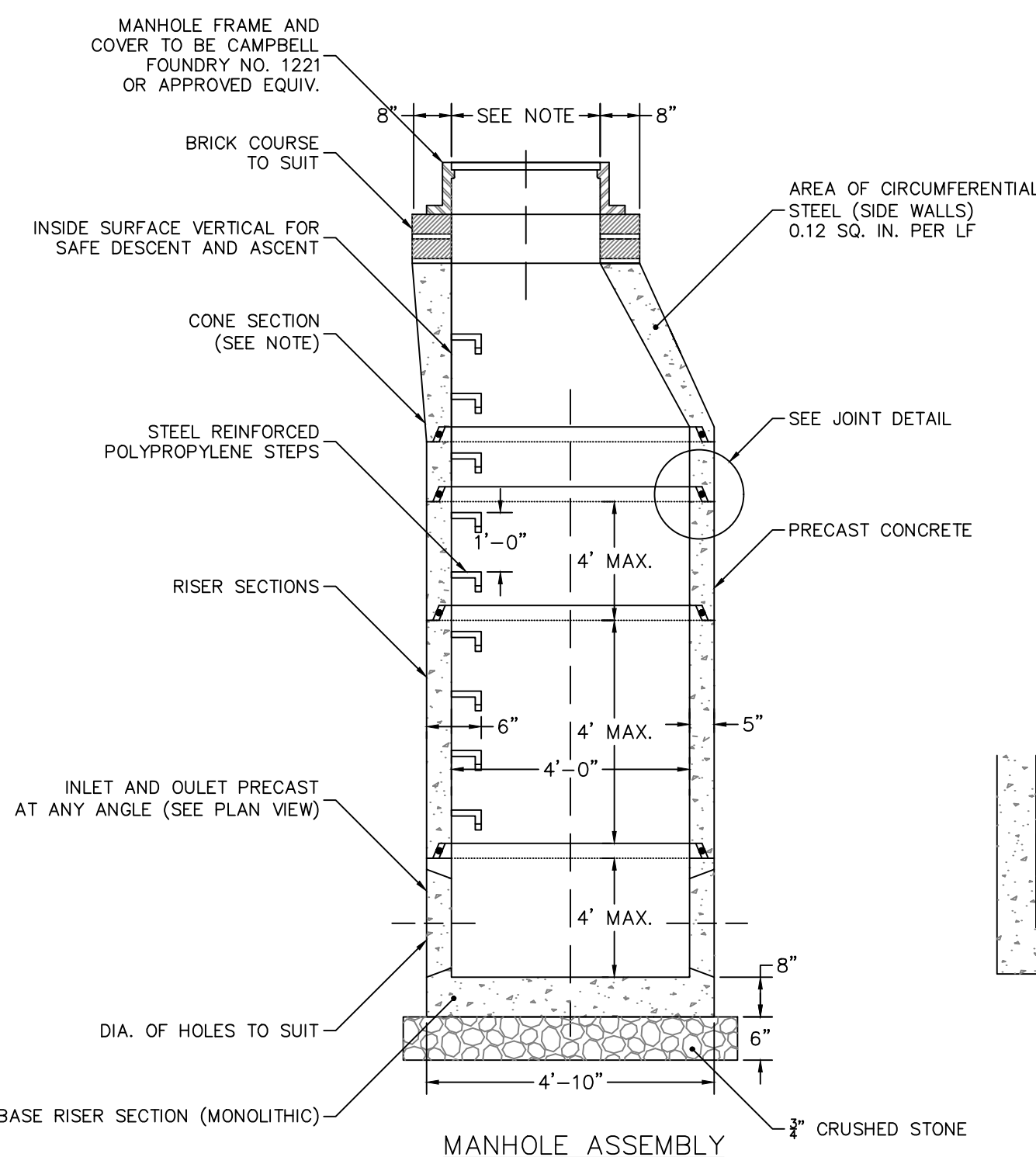
N.T.:



PLAN VIEW OF PRECAST MANHOLE BASE

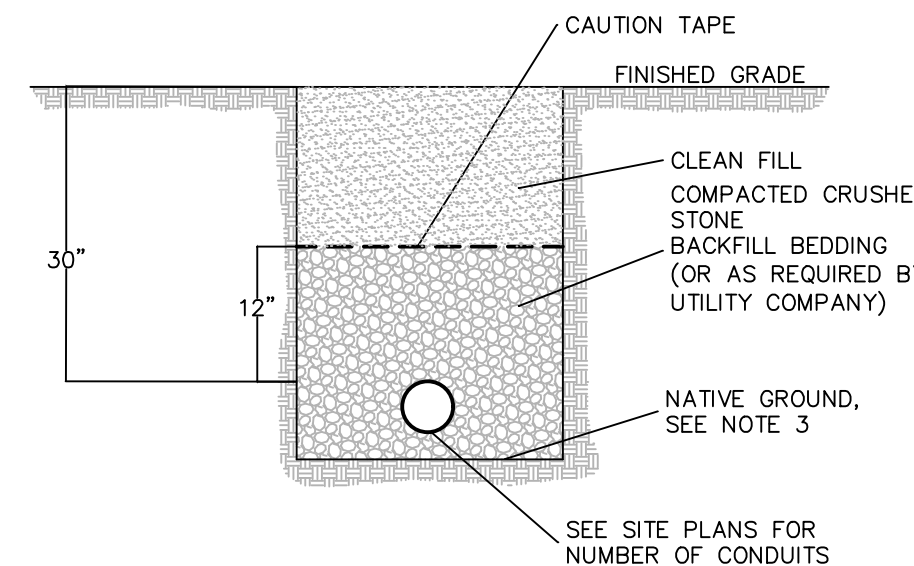


JOINT DETAIL



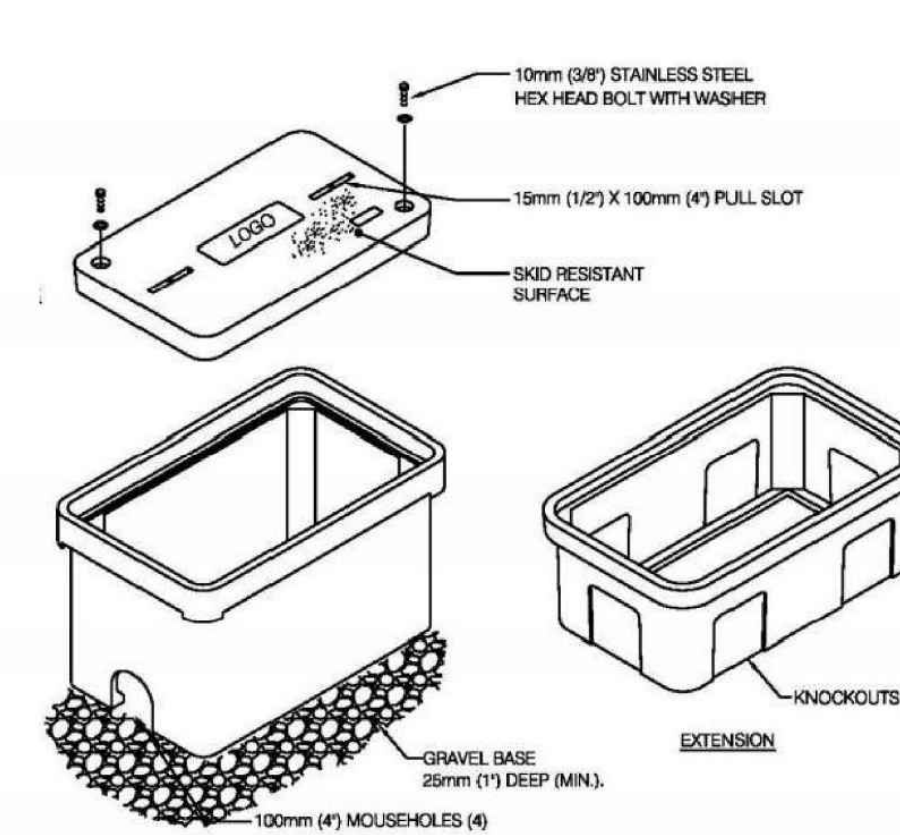
SANITARY MANHOLE

N.T.:



TELEPHONE TRENCH DETAIL

N.T.S.



TELECOM HANDHOLE

N.T.

06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.

Revisions

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DEVELOPMENT AT EVERGREEN WALK

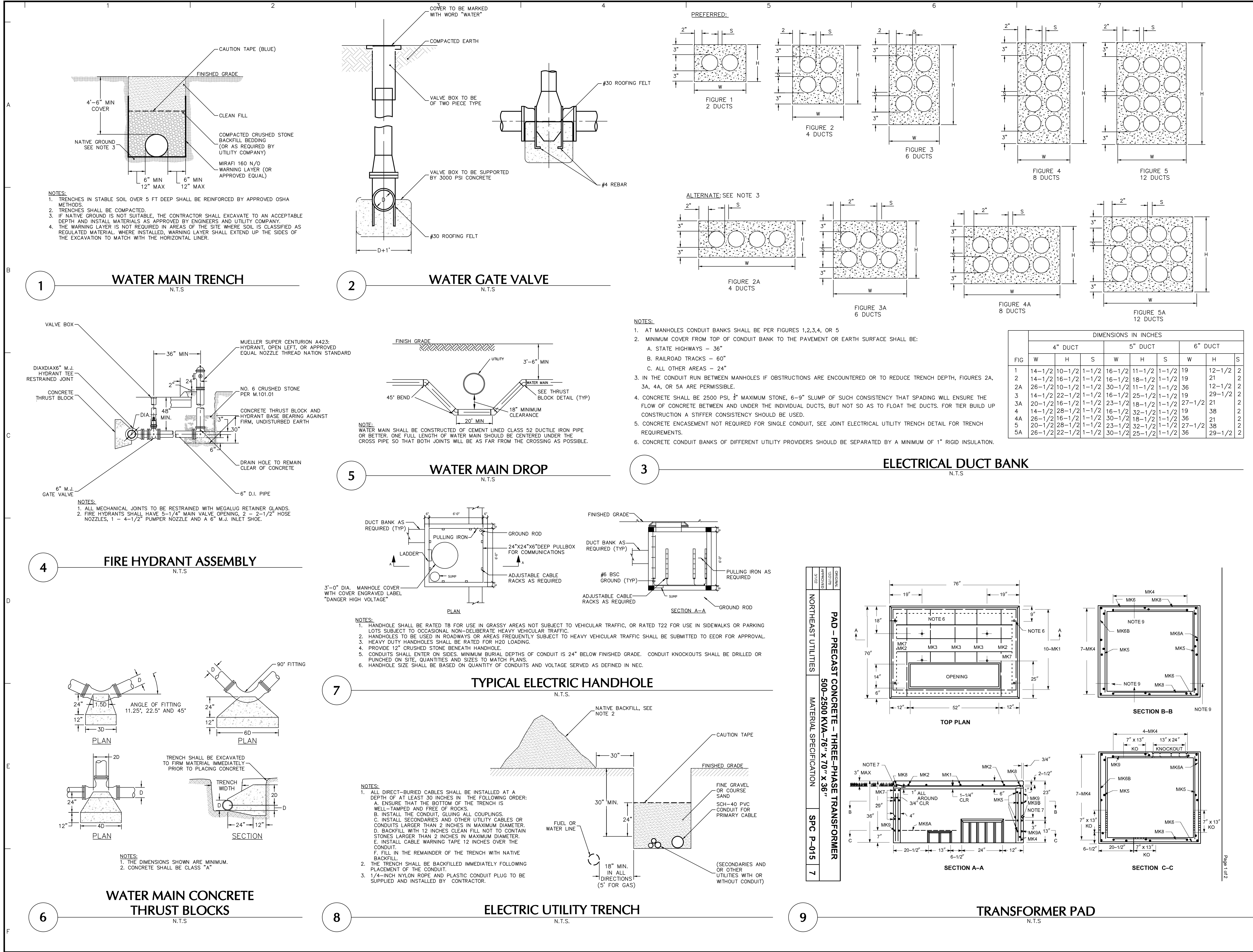
MAP NO. 27, BLOCK No. 15, UNIT No. 2
801 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

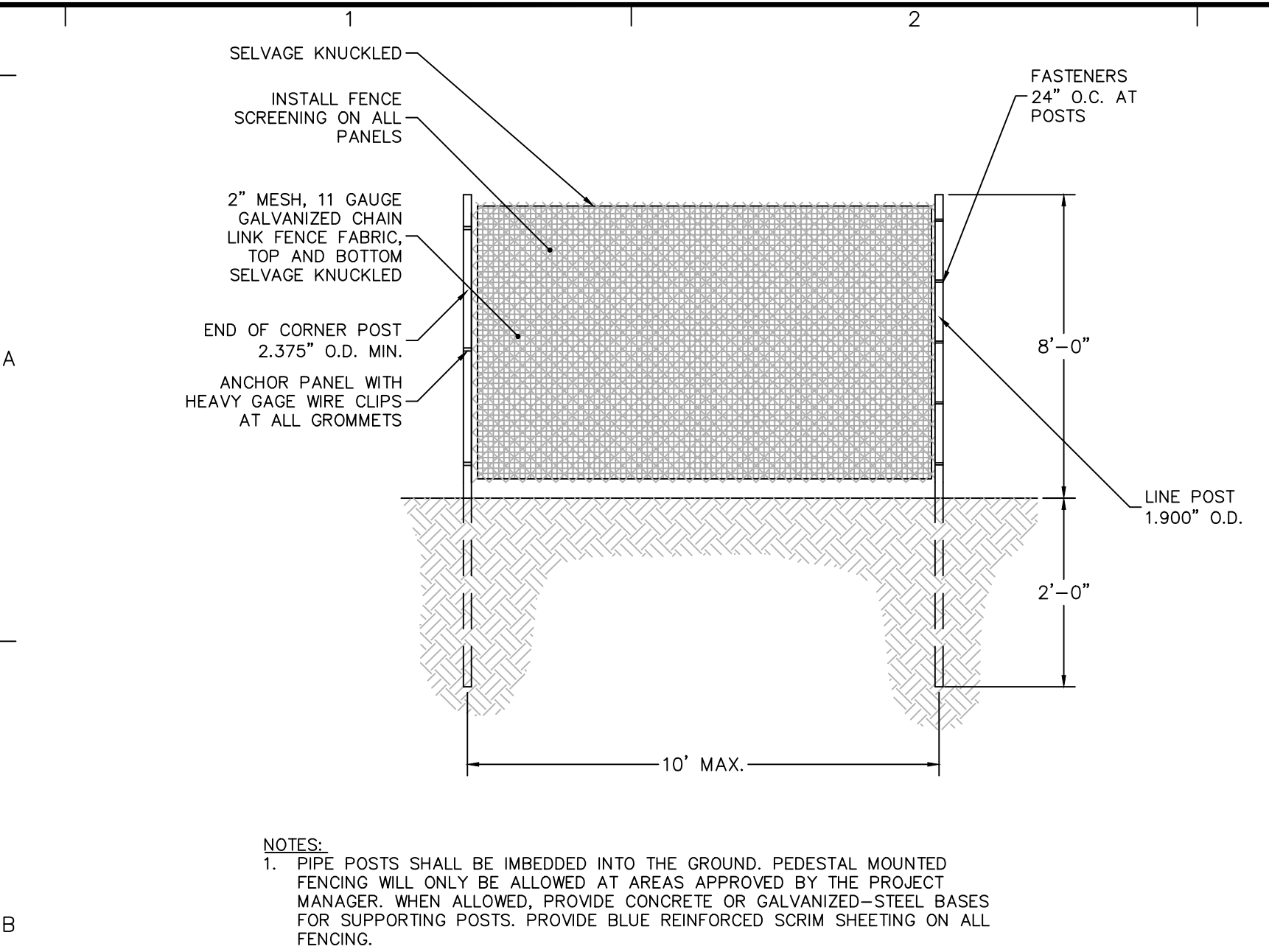
Drawing Title

UTILITY DETAILS I

Project No.	Drawing No. CU501
140222801	
Date	
04/06/2021	
Drawn By	
IJAB	
Checked By	
DTG	

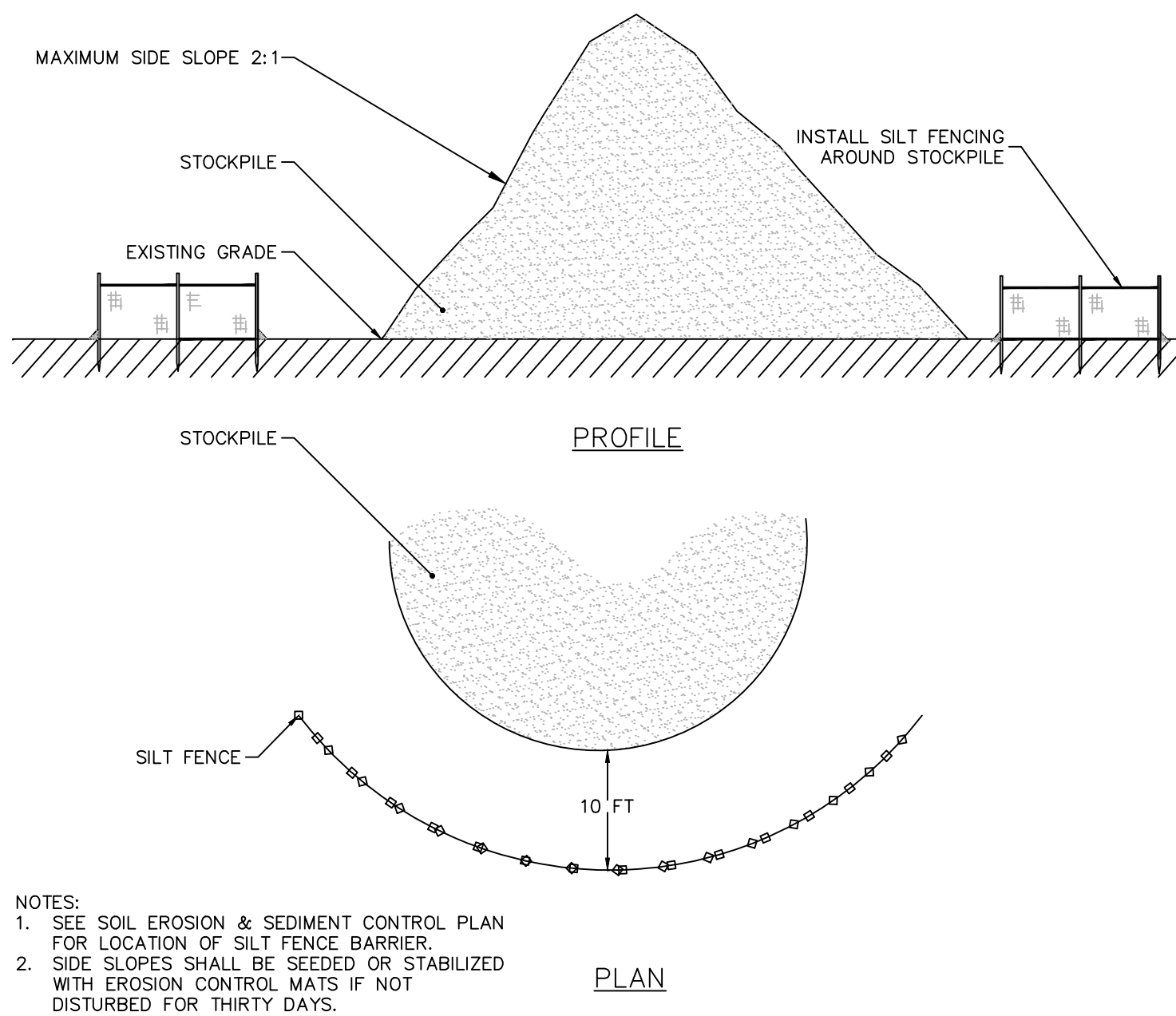


06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.
Revisions		
Signature		Date
<div>LANGAN</div> <div>Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com</div>		
Project		
<div>DEVELOPMENT AT EVERGREEN WALK</div> <div>MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR</div> <div>HARTFORD COUNTYCONNECTICUT</div>		
Drawing Title		
<div>UTILITY DETAILS II</div>		
Project No.		Drawing No.
140222801		CU502
Date		
04/06/2021		
Drawn By		
IAB		
Checked By		DTG



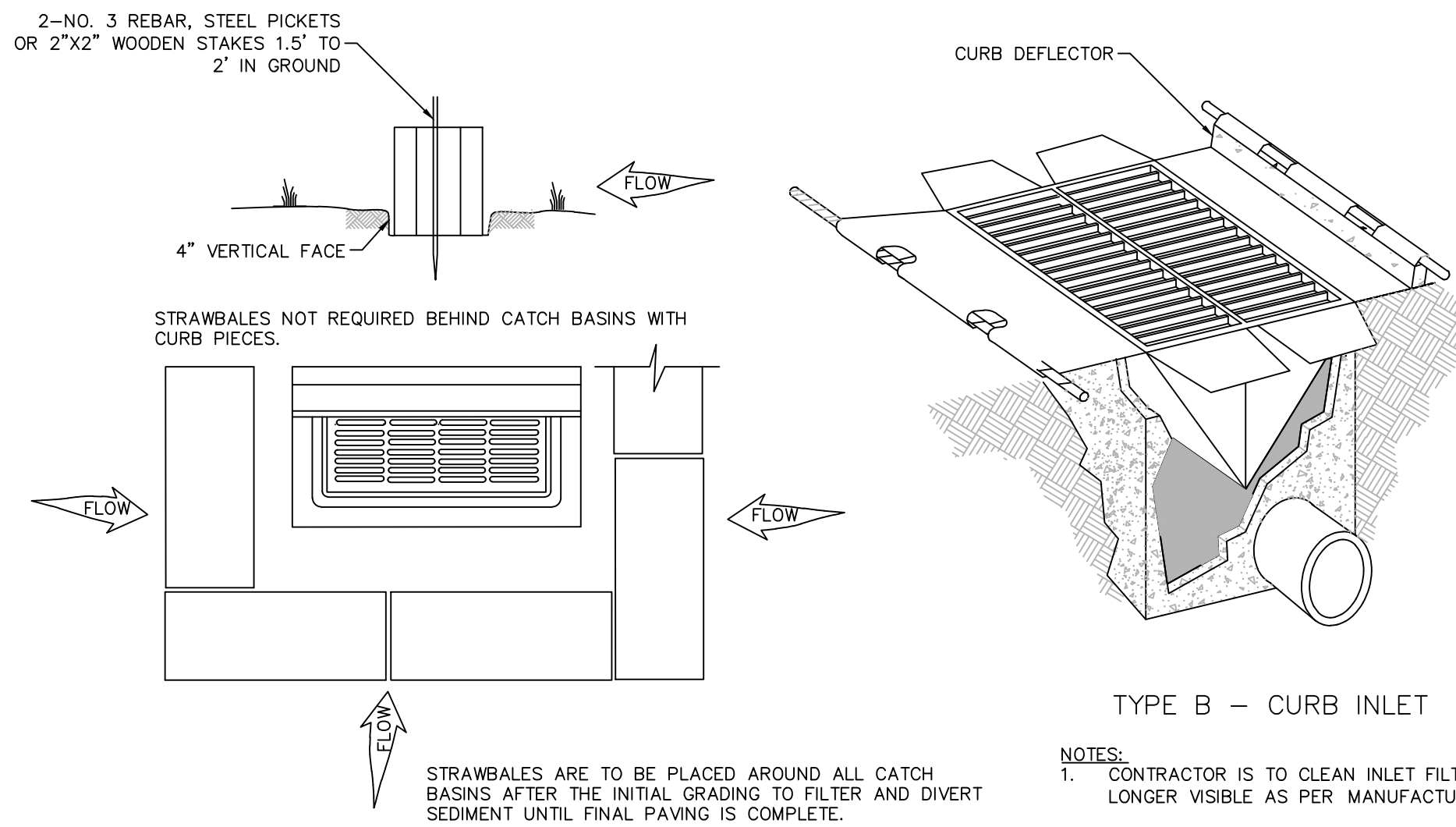
1 TEMPORARY CONSTRUCTION FENCE

N.T.S.



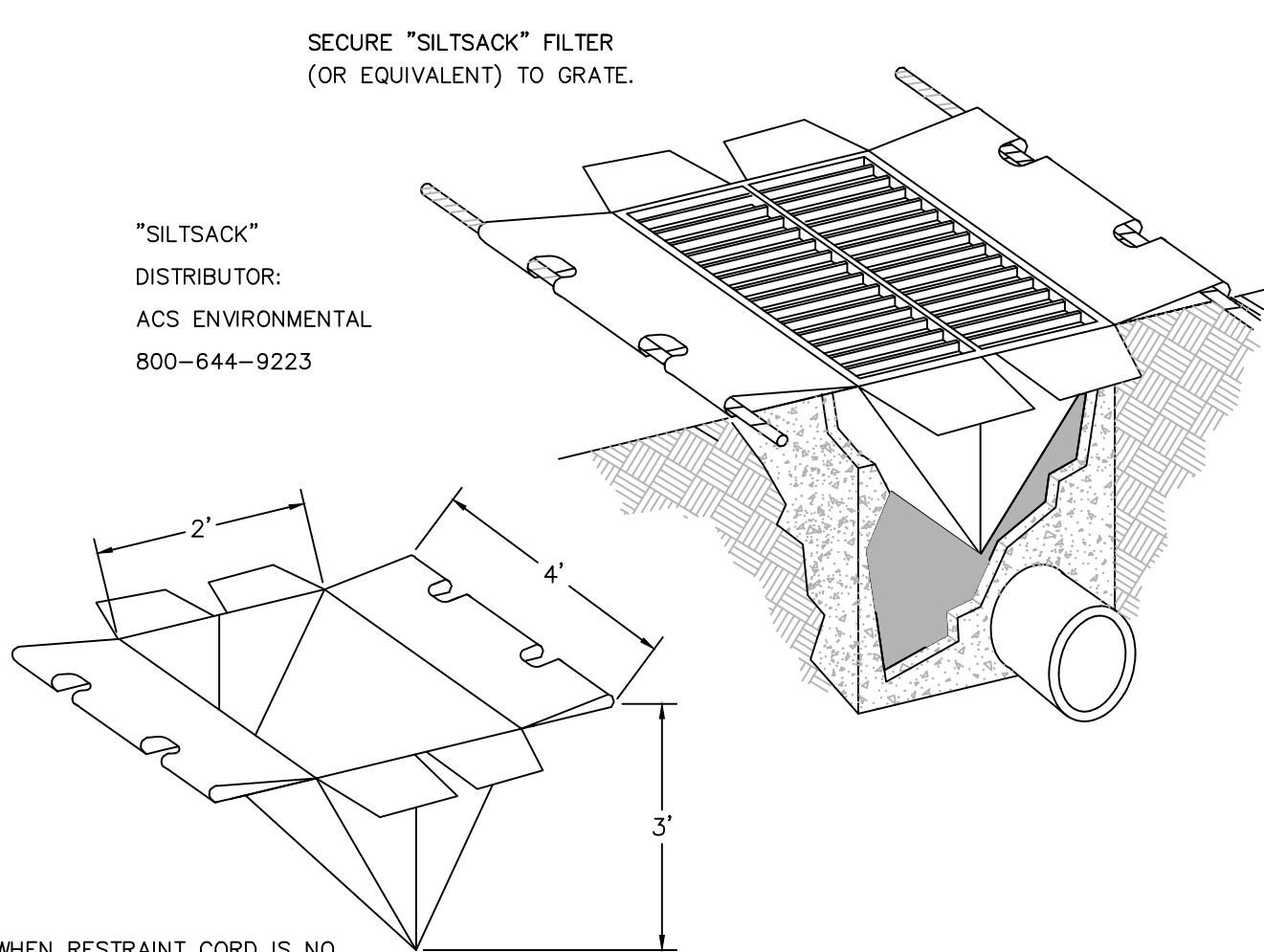
2 TEMPORARY STOCKPILE

N.T.S.



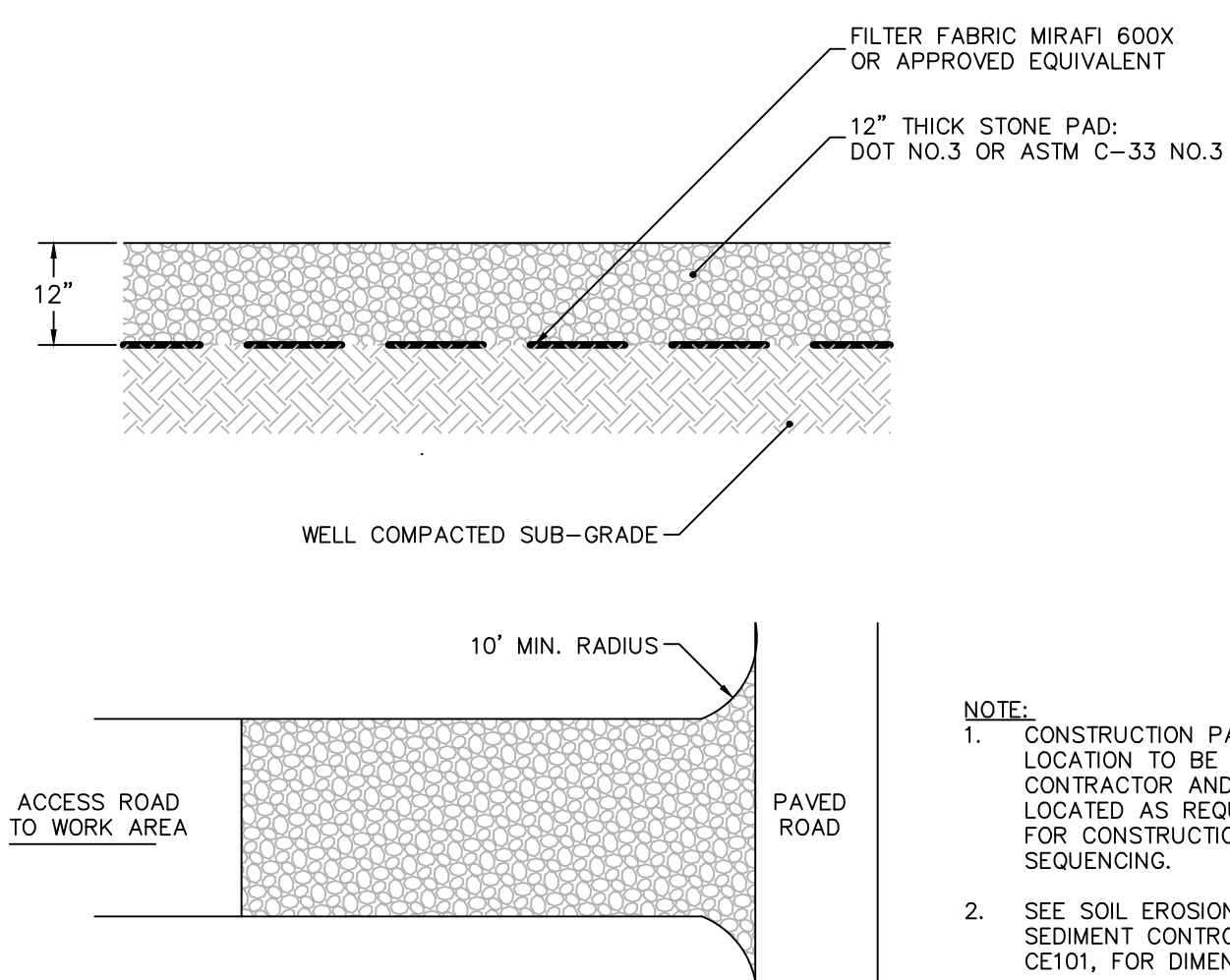
INLET PROTECTION

N.T.S.



3 COMPOST FILTER TUBE

N.T.S.



CONSTRUCTION ENTRANCE

N.T.S.

SOIL EROSION-SEDIMENT CONTROL NOTES

PROPOSED DEVELOPMENT

- CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
- THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN ON DRAWING CE101. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING OF SOIL AND SEDIMENT CONTROL PRACTICES TO ENSURE SOIL AND SEDIMENT ARE PREVENTED FROM LEAVING THE DEVELOPMENT AREA THROUGHOUT DEMOLITION & CONSTRUCTION.
- THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION AND DISTURBANCE OF SITE CONTRIBUTORY DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES, AS INDICATED HEREIN. ALL EARTH CHANGES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
- DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
- FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW STANDARDS.
- ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
- ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.
- SEDIMENT TRAPS MUST BE CLEANED WHEN CAPACITY HAS BEEN REDUCED BY AN AVERAGE OF 2'-0" OVER ITS TOTAL AREA OR TO 70% OF ITS DESIGN VOLUMES, WHICHEVER OCCURS FIRST.
- ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR

FROM THE EARTH CHANGE AREA SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

- THE CONTRACTOR SHALL CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- SOIL EROSION AND SEDIMENT CONTROLS MUST BE INSPECTED BY THE ZONING ENFORCEMENT OFFICER BEFORE WORK MAY COMMENCE.
- THE PROPERTY OWNER AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

TEMPORARY STABILIZATION

SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:

- SOIL AMENDMENTS AS NECESSARY.
- ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
- MULCH ALL NEWLY SEEDDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF.
- WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING THEY MAY BE MULCHED AND SEEDDED PER ITEM C ABOVE.

PERMANENT STABILIZATION

REFER TO PLANS FOR PERMANENT STABILIZATION METHODS + PROPOSED SEED MIXES.

- PERMANENT VEGETATION IS TO BE SEEDDED OR SODDED ON ALL DISTURBED LAND AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. AMEND SOIL AS NEEDED PRIOR TO PERMANENT SEEDING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER COMPLETION OF AN EARTH CHANGE OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL DISTURBED AREAS, STOCKPILES OF FILL OR EXCAVATED MATERIAL SHALL BE STABILIZED IN SUCH A MANNER AS NOT TO CAUSE UNREASONABLE HAZARD TO PERSONS OR PROPERTY.
- MATERIALS SPECIFICATION: LAWN + MEADOW AREAS

- ANY SOIL HAVING A pH OF FOUR OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
- MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNROTATED SALT HAY.
- LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAY MULCHES.
- APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

- USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS. BINDERS SUCH AS CURASOL, DCA-70, PETRO SET, TERRA TACH, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.

- FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.

- CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.

- ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.

- THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.

- SEEDBED PREPARATION:

- TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (LIGHTLY COMPACTED) BEFORE SEEDING.

- TOPSOIL SHALL BE TESTED PRIOR TO SEEDING.

- WORK SOIL AMENDMENTS INTO SOIL AS NECESSARY AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.

- REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.

- INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

- THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION.

- THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SESC MEASURES:

- 25% OF THE INSTALLED LENGTH OF SILT FENCE
- EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 2 STABILIZATION ENTRANCES. STONE COULD BE USED FOR SLOPE REPAIRS, ENERGY DISSIPATER ENHANCEMENTS, ETC.
- HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF IN A CONTROLLED MANNER.
- HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS

- ANY STUMP GRINDINGS OR WOOD CHIPS GENERATED ON-SITE SHOULD BE RETAINED FOR USE TO BACK UP SILT FENCES.

INSTALLATION NOTES:

- EXCAVATE AND SECURE BOTTOM 6" OF SILT FENCE BELOW GRADE AS SHOWN.
- EXCEPT FOR THE END POST, DRIVE ALL POSTS INTO THE GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT O. C.
- SECURE FILTER FABRIC WITH DRAWSTRING TO POST WITH METAL FASTENERS AND REINFORCEMENT BETWEEN FASTENER AND FABRIC.

06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.

Revisions

Signature _____ Date _____

LANGAN

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Project

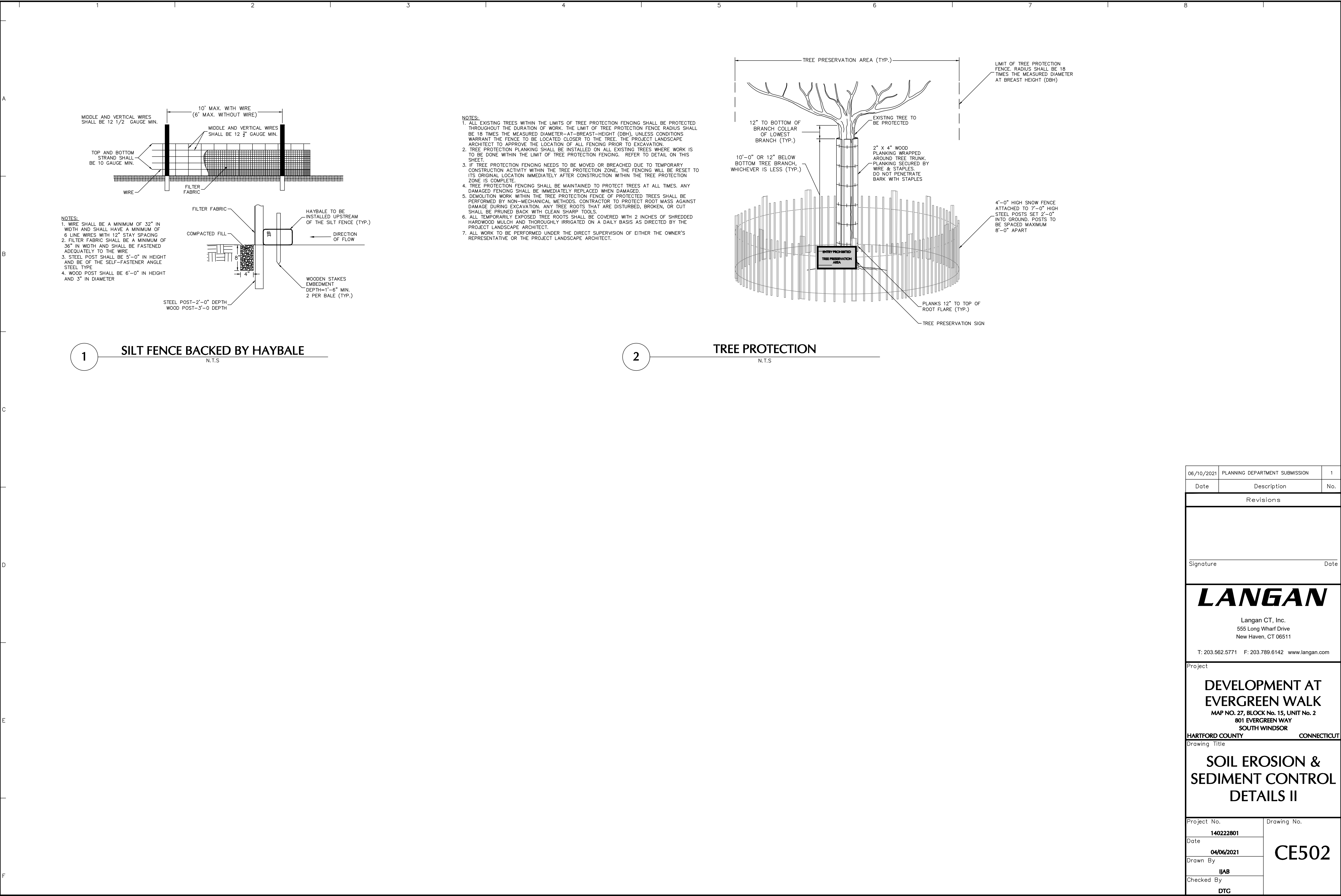
**DEVELOPMENT AT
EVERGREEN WALK**
MAP NO. 27, BLOCK No. 15, UNIT No. 2
801 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

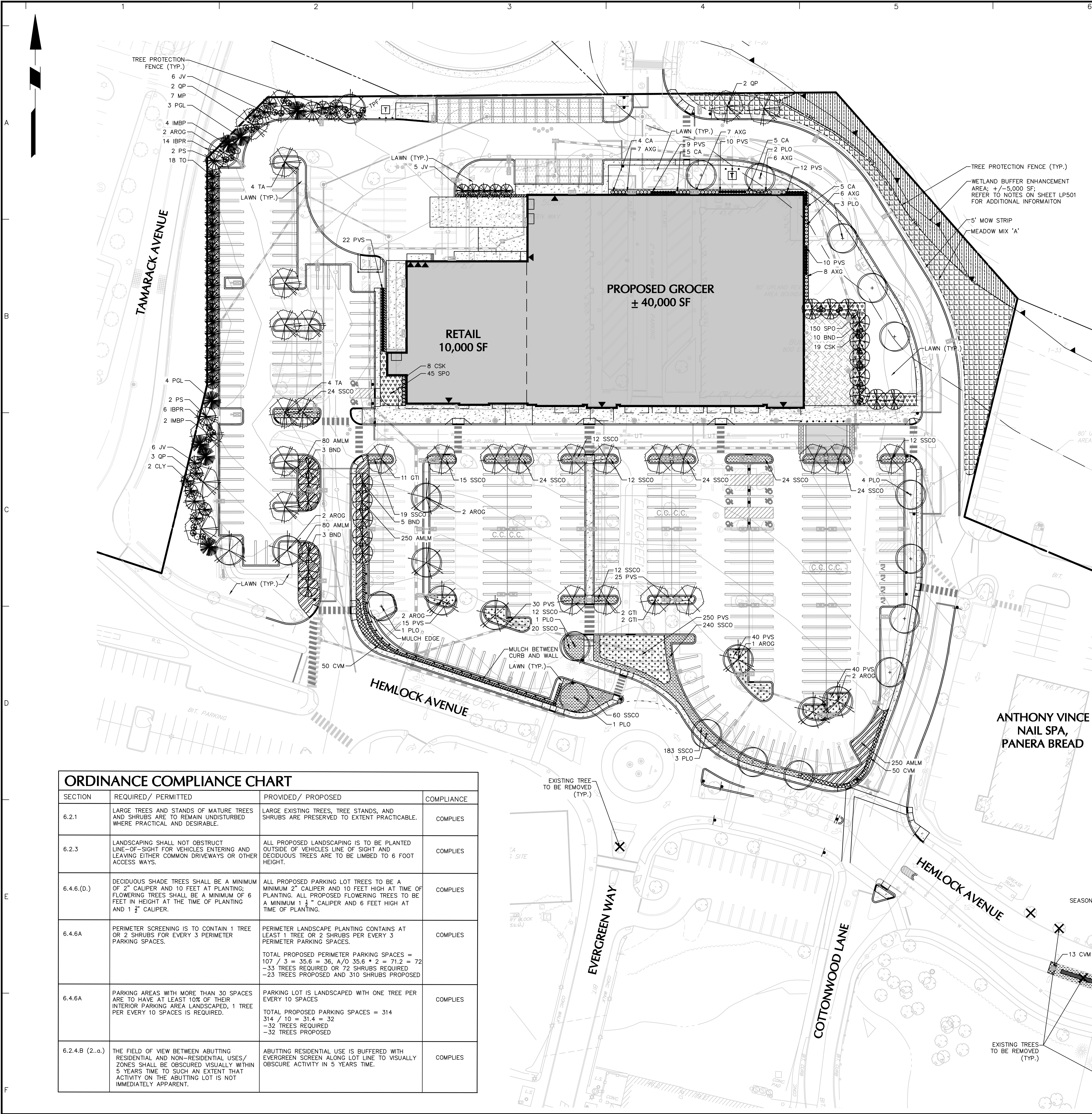
Drawing Title

SOIL EROSION & SEDIMENT CONTROL DETAILS I

Project No.	Drawing No.
140222801	CE501
Date	04/06/2021
Drawn By	IJAB
Checked By	DTG



06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
Date	Description	No.
Revisions		
Signature		Date
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Project		
<div>DEVELOPMENT AT EVERGREEN WALK</div> <div>MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR</div> <div>HARTFORD COUNTY CONNECTICUT</div>		
Drawing Title		
<div>SOIL EROSION & SEDIMENT CONTROL DETAILS II</div>		
Project No. 140222801		Drawing No. <div>CE502</div>
Date 04/06/2021		
Drawn By IJAB		
Checked By DTG		



INTERMITTENT STREAM AND BUFFER ENHANCEMENT AREA PLANT SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
SHADE TREE(S)					
10	CORNUS AMOMUM	SILKY DOGWOOD	3-4'	5-10 FEET	-
5	CORNUS RACEMOSA	GRAY DOGWOOD	3-4'	5-10 FEET	-
5	JUNIPERUS COMMUNIS	COMMON JUNIPER	3-4'	10 FEET	-
10	SALIX DISCOLOR	PUSSY WILLOW	3-4'	5-10 FEET	-
10	VIBURNUM LENTAGO	NANNYBERRY	3-4'	5-10 FEET	-
10	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3-4'	5-10 FEET	-

- NOTE:
- INTERMITTENT STREAM AND BUFFER ENHANCEMENT AREA PLANT SCHEDULE AS PROVIDED BY ALL-POINTS TECHNOLOGY CORPORATION.
 - PLANTING STOCK USED IN THE WETLAND MITIGATION AREA SHALL BE INSPECTED FOR PESTS, DISEASE AND OVERALL HEALTH TO ENSURE SUITABLE SPECIMENS ARE USED. UNSUITABLE SPECIMENS WILL BE REJECTED AND REPLACED WITH SUITABLE SPECIMENS. ANY PLANTING SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ALL WOODY PLANT STOCK SHALL BE CONTAINER-GROWN OR BURLAP BALLED. DEVIATIONS TO THE PLANTING PLAN MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ONLY PLANT MATERIALS NATIVE AND INDIGENOUS TO CONNECTICUT SHALL BE USED. INVASIVE PLANT SPECIES WILL NOT BE USED IN THE MITIGATION AREA.
 - ALL PLANTINGS TO BE SPACED GENERALLY AS NOTED ON THE PLANTING SCHEDULE WITH ASSISTANCE FROM A WETLAND SCIENTIST, AS NECESSARY, TO SIMULATE NATURAL GROWTH PATTERNS.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	11	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	-
GTI	15	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	2 1/2-3" CAL.	B+B	-
PLO	15	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	3-3 1/2" CAL.	B+B	-
QP	7	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3" CAL.	B+B	-
TA	8	TILIA AMERICANA	BASSWOOD	2 1/2-3" CAL.	B+B	-
ORNAMENTAL TREE(S)						
BND	21	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12'	B+B	-
EVERGREEN TREE(S)						
PGL	7	PICEA GLAUCA	WHITE SPRUCE	6-7'	B+B	-
TO	18	THUJA OCCIDENTALIS 'GREEN GIANT'	'GREEN GIANT' EASTERN ARBORVITAE	6-7'	B+B	-
JV	17	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-7'	B+B	-
PS	4	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B	-
EVERGREEN SHRUB(S)						
BMWG	8	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	18-24"	CONTAINER	-
IBPR	20	ILEX X MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	24-30"	CONTAINER	-
IMBP	6	ILEX X MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	24-30"	CONTAINER	-
RM	7	RHOODODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHOODODENDRON	24-30"	CONTAINER	-
DECIDUOUS SHRUB(S)						
AMLM	660	ARONIA MELANOCARPA 'LOWSCAPE MOUND'	LOWSCAPE MOUND BLACK CHOKEBERRY	2 GAL.	CONTAINER	spaced @ 30" o.c.
AXG	34	ABELIA X GRANDIFLORA	GLOSSY ABELIA	2 GAL.	CONTAINER	-
CA	19	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	2 GAL.	CONTAINER	-
CSK	27	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF OSIER DOGWOOD	2 GAL.	CONTAINER	-
PERENNIAL(S)						
CVM	176	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	1 GAL.	CONTAINER	spaced @ 24" o.c.
HHR	40	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER	spaced @ 24" o.c.
ORNAMENTAL GRASS(S)						
PVS	463	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER	spaced @ 30" o.c.
SPO	195	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	2 GAL.	CONTAINER	spaced @ 30" o.c.
SSCO	826	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GAL.	CONTAINER	spaced @ 30" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

IRRIGATION NOTES:

- THE IRRIGATION CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE IRRIGATION INSTALLATION PLAN AND CUT-SHEETS FOR ALL COMPONENTS FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE IRRIGATION INSTALLATION PLAN SHALL BE COMPLETE WITH ZONE DESIGNATIONS AND WATER USAGE IN GALLONS PER MINUTE PER ZONE, RUN TIME SCHEDULE, LEGEND OF COMPONENTS AND PLAN GRAPHICS WITH QUANTITIES, MINIMUM SYSTEM REQUIREMENTS INCLUDING STATIC PRESSURE AT THE WATER CONNECTION POINT, ESTIMATED WATER BUDGET, CONSTRUCTION DETAILS AND IRRIGATION NOTES. THE PLAN SHALL ALSO INCLUDE LOCATIONS OF ALL PROPOSED SLEEVES AND THEIR SIZES, LOCATIONS OF ALL LATERAL LINE SIZE STEP-DOWNS WITH SIZE INDICATIONS, LOCATION OF ALL SOIL MOISTURE SENSORS, CONTROLLER, VALVES AND ALL OTHER COMPONENTS NECESSARY FOR THE SYSTEMS OPERATION.
- LANDSCAPE AREAS SHALL BE IRRIGATED IN SUFFICIENT DENSITY TO COVER THE ENTIRE AREA.
- CONTRACTOR TO AVOID DISTURBANCE OF EXISTING PLANT MATERIAL WHEN LOCATING VALVES AND PIPE LINES. ANY PLANT MATERIAL DAMAGED AS A RESULT OF IRRIGATION INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXCAVATION MATERIAL SHALL BE PLACED BACK IN TRENCHES.
- ALL DISTURBED LANDSCAPE AND PAVED AREAS SHALL BE RESTORED TO THE CONDITION FOUND PRIOR TO START OF INSTALLATION.
- DEPTH OF TRENCHES SHALL BE SUFFICIENT OR PROVIDE A MINIMUM COVER ABOVE THE TOP OF PIPE AS FOLLOWS:
 - 12" OVER NON-PRESSURE LATERAL LINES
 - 18" OVER NON-PRESSURE LATERAL LINES UNDER PAVING
 - 18" OVER CONTROL WIRES
 - 18" OVER MAIN LINE
 - 24" OVER MAIN LINE UNDER PAVING
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE PLUMBING TIE-INS, SLEEVES UNDER PAVEMENTS (AS NECESSARY), AND CONTROL DEVICES WITH THE GENERAL CONTRACTOR, OWNER, AND OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING.
- CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING INSTALLATION WORK.
- WATERPROOF ALL WIRE CONNECTORS USING 3M "DIP" WATERPROOF CONNECTORS OR EQUIVALENT.
- DRAIN VALVES ARE TO BE PROVIDED AT SUFFICIENT INTERVALS TO PROVIDE COMPLETE DRAINAGE OF ALL PIPING.
- COORDINATE THE LOCATION OF CONTROLS, IRRIGATION CONTROLLER, AND SOIL MOISTURE SENSORS WITH THE PROJECT MEP AND OWNER PRIOR TO INSTALLATION.
- IRRIGATION CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO IRRIGATION DESIGN WHERE REQUIRED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS, AS DESIGNATED ON THIS PLAN.
- INSTALLATION MUST COMPLY WITH ALL LOCAL CODES AND CONDITIONS.
- ALL IRRIGATION WORK SHALL BE GUARANTEED FOR 1 YEAR AFTER COMPLETION OF ALL WORK.
- CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS-BUILTS, SERVICE MANUALS AND INSTRUCTIONS TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL SPRINKLER HEADS SHALL BE SET BACK 4" MINIMUM FROM BACK OF ALL CURBS.
- CONTRACTOR MAY SUBMIT ALTERNATE EQUIVALENT MATERIALS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT.

06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
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Revisions

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Project

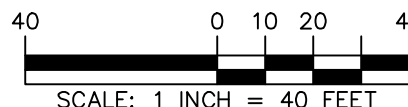
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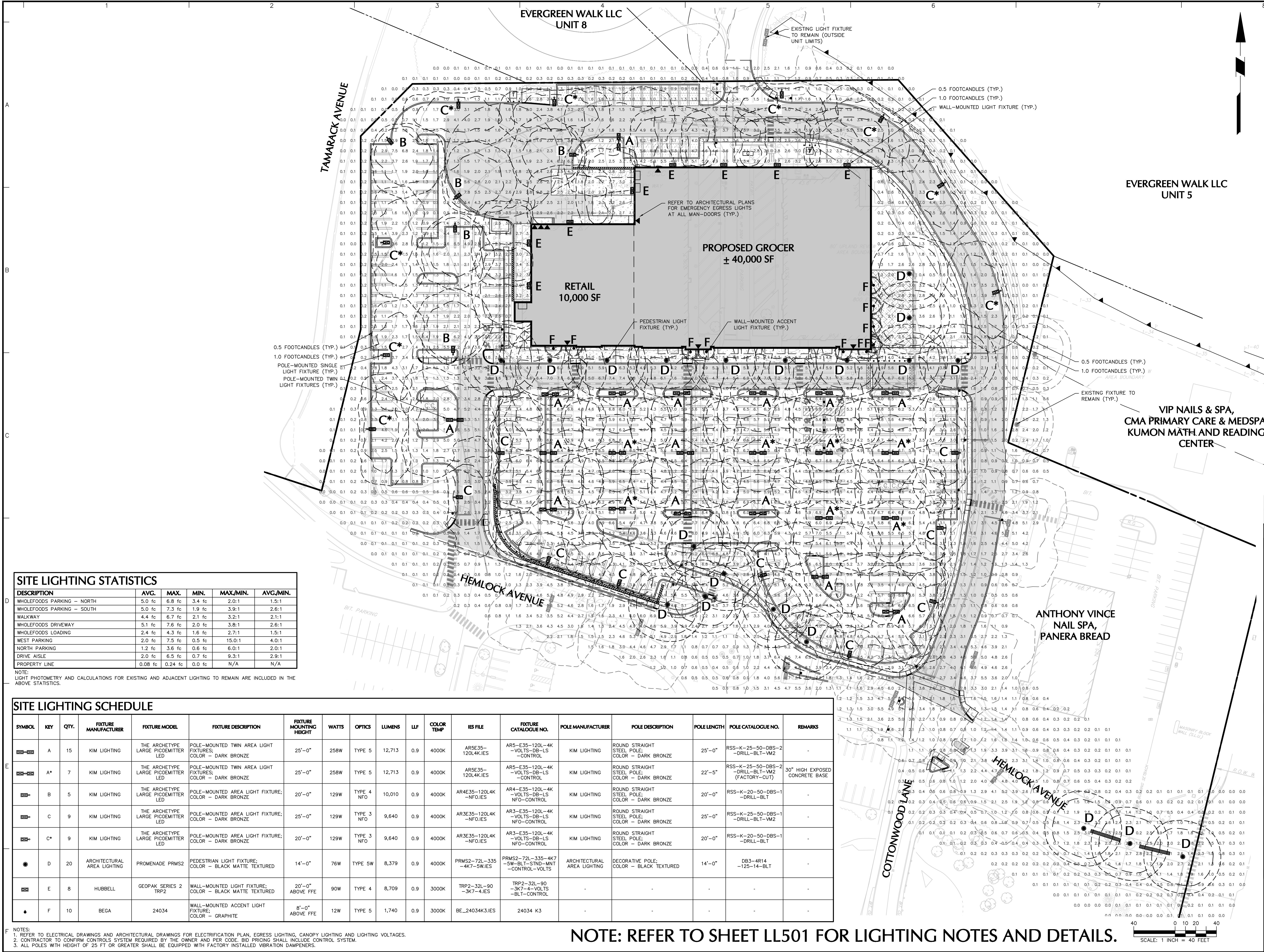
HARTFORD COUNTY CONNECTICUT

Drawing Title

PLANTING PLAN

Project No.	140222801	LP101
Date	04/06/2021	
Drawn By	AC	
Checked By	MH	





SITE LIGHTING STATISTICS					
DESCRIPTION	AVG.	MAX.	MIN.	MAX/MIN.	AVG./MIN.
WHOLEFOODS PARKING – NORTH	5.0 fc	6.8 fc	3.4 fc	2.0:1	1.5:1
WHOLEFOODS PARKING – SOUTH	5.0 fc	7.3 fc	1.9 fc	3.9:1	2.6:1
WALKWAY	4.4 fc	6.7 fc	2.1 fc	3.2:1	2.1:1
WHOLEFOODS DRIVEWAY	5.1 fc	7.6 fc	2.0 fc	3.8:1	2.6:1
WHOLEFOODS LOADING	2.4 fc	4.3 fc	1.6 fc	2.7:1	1.5:1
WEST PARKING	2.0 fc	7.5 fc	0.5 fc	15.0:1	4.0:1
NORTH PARKING	1.2 fc	3.6 fc	0.6 fc	6.0:1	2.0:1
DRIVE AISLE	2.0 fc	6.5 fc	0.7 fc	9.3:1	2.9:1
PROPERTY LINE	0.08 fc	0.24 fc	0.0 fc	N/A	N/A

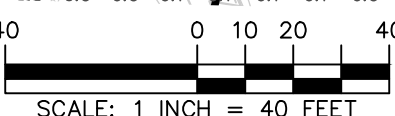
NOTE:
LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE INCLUDED IN THE ABOVE STATISTICS.

SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	WATTS	OPTICS	LUMENS	LLF	COLOR TEMP	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
	A	15	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED TWIN AREA LIGHT FIXTURES; COLOR – DARK BRONZE	25'-0"	258W	TYPE 5	12,713	0.9	4000K	AR5E35-120L4K.IES	AR5-E35-120L-4K -VOLTS-DB-LS -CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR – DARK BRONZE	25'-0"	RSS-K-25-50-DBS-2 -DRILL-BLT-WM2	-
	A*	7	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED TWIN AREA LIGHT FIXTURES; COLOR – DARK BRONZE	25'-0"	258W	TYPE 5	12,713	0.9	4000K	AR5E35-120L4K.IES	AR5-E35-120L-4K -VOLTS-DB-LS -CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR – DARK BRONZE	22'-5"	RSS-K-25-50-DBS-2 -DRILL-BLT-WM2 (FACTORY-CUT)	30" HIGH EXPOSED CONCRETE BASE
	B	5	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED AREA LIGHT FIXTURE; COLOR – DARK BRONZE	20'-0"	129W	TYPE 4 NFO	10,010	0.9	4000K	AR4E35-120L4K -NFO.IES	AR4-E35-120L-4K -VOLTS-DB-LS NFO-CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR – DARK BRONZE	20'-0"	RSS-K-20-50-DBS-1 -DRILL-BLT-WM2	-
	C	9	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED AREA LIGHT FIXTURE; COLOR – DARK BRONZE	25'-0"	129W	TYPE 3 NFO	9,640	0.9	4000K	AR3E35-120L4K -NFO.IES	AR3-E35-120L-4K -VOLTS-DB-LS NFO-CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR – DARK BRONZE	25'-0"	RSS-K-25-50-DBS-1 -DRILL-BLT-WM2	-
	C*	9	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED AREA LIGHT FIXTURE; COLOR – DARK BRONZE	20'-0"	129W	TYPE 3 NFO	9,640	0.9	4000K	AR3E35-120L4K -NFO.IES	AR3-E35-120L-4K -VOLTS-DB-LS NFO-CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR – DARK BRONZE	20'-0"	RSS-K-20-50-DBS-1 -DRILL-BLT-WM2	-
	D	20	ARCHITECTURAL AREA LIGHTING	PROMENADE PRMS2	PEDESTRIAN LIGHT FIXTURE; COLOR – BLACK MATTE TEXTURED	14'-0"	76W	TYPE 5W	8,379	0.9	4000K	PRMS2-72L-335-4K7-SW.IES	PRMS2-72L-335-4K7-SW-VOLTS-DB-LS -CONTROL-VOLTS	ARCHITECTURAL AREA LIGHTING	DECORATIVE POLE; COLOR – BLACK TEXTURED	14'-0"	DB3-4R14 -125-14-BLT	-
	E	8	HUBBELL	GEOPAK SERIES 2 TRP2	WALL-MOUNTED LIGHT FIXTURE; COLOR – BLACK MATTE TEXTURED	20'-0" ABOVE FFE	90W	TYPE 4	8,709	0.9	3000K	TRP2-32L-90-3K7-4.IES	TRP2-32L-90-3K7-4-VOLTS -BLT-CONTROL	-	-	-	-	-
	F	10	BEGA	24034	WALL-MOUNTED ACCENT LIGHT FIXTURE; COLOR – GRAPHITE	8'-0" ABOVE FFE	12W	TYPE 5	1,740	0.9	3000K	BE-24034K3.IES	24034 K3	-	-	-	-	-

F. NOTES:
1. REFER TO ELECTRICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ELECTRIFICATION PLAN, EGRESS LIGHTING, CANOPY LIGHTING AND LIGHTING VOLTAGES.
2. CONTRACTOR TO CONFIRM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PER CODE. BID PRICING SHALL INCLUDE CONTROL SYSTEM.
3. ALL POLES WITH HEIGHT OF 25 FT OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPERS.

NOTE: REFER TO SHEET LL501 FOR LIGHTING NOTES AND DETAILS.



06/10/2021	PLANNING DEPARTMENT SUBMISSION	1
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Revisions

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Project

DEVELOPMENT AT
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MAP NO. 27, BLOCK No. 15, UNIT No. 2
801 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

Drawing Title

LIGHTING
SITE PLAN

Project No.
140222801

Date
04/06/2021

Drawn By
xw

Checked By
MH

LL101

LIGHTING NOTES:

GENERAL

1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/ DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS. NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
2. LIGHT LEVEL POINT SPACING IS 10 FT. LEFT TO RIGHT AND 10 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.
- COMPLIANCE
3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
13. ALL POLES 25 FT OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

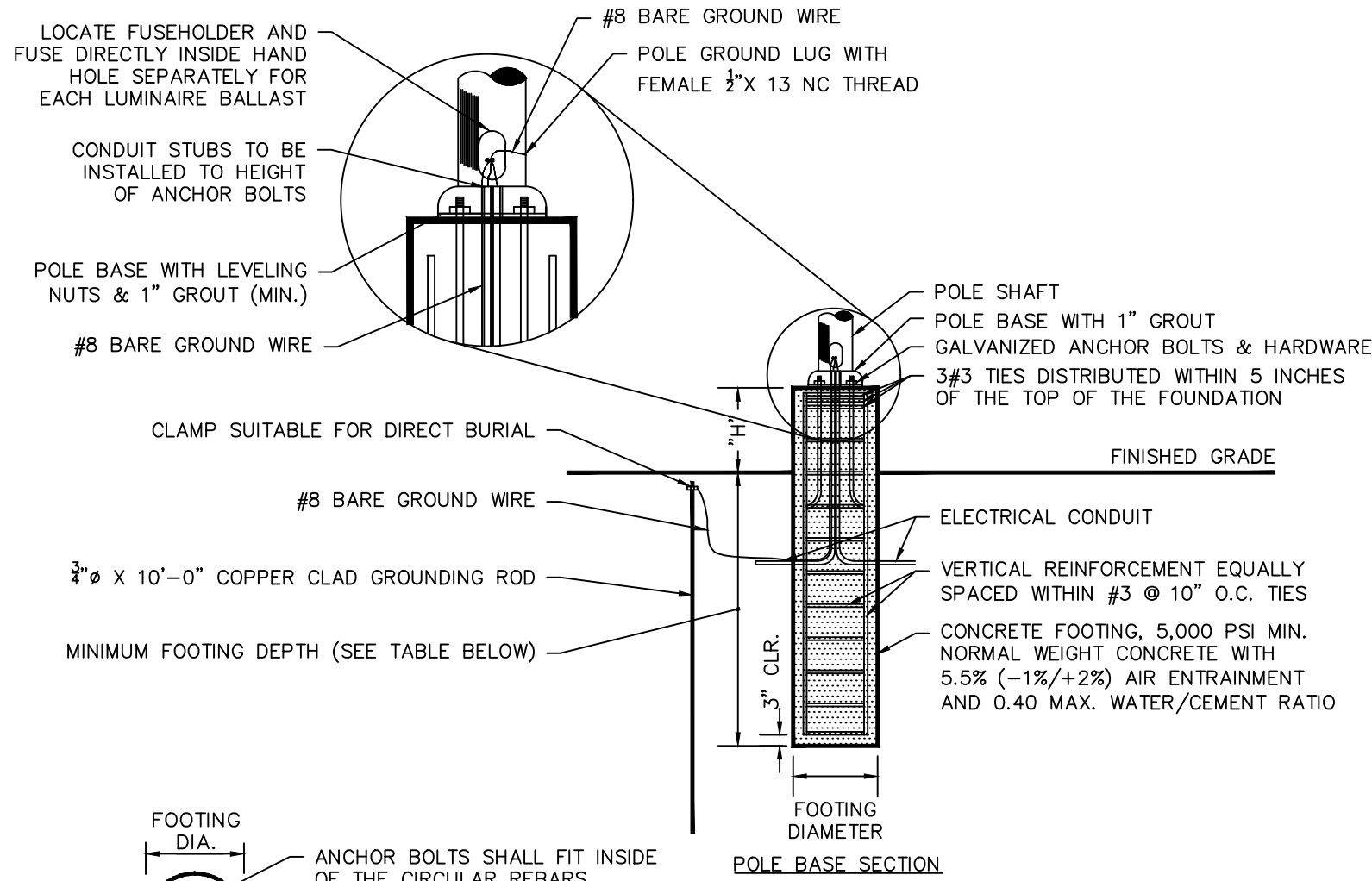
14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

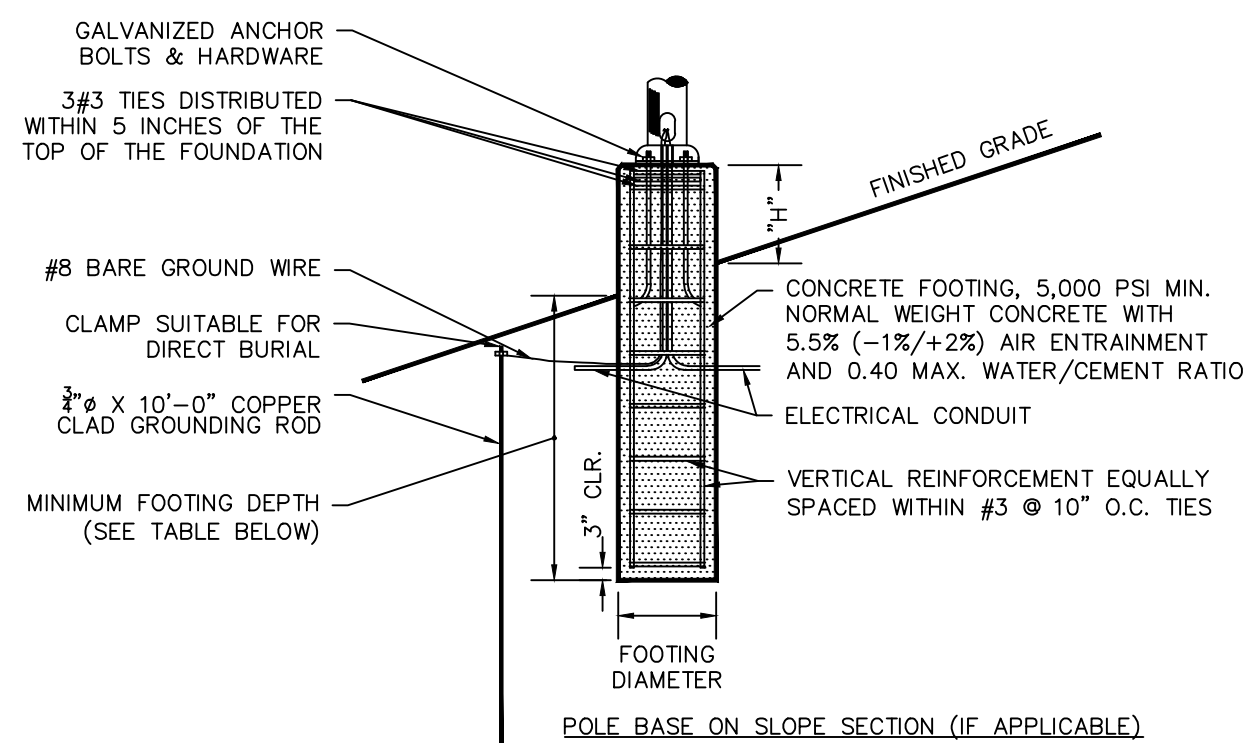
REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
- A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR
- B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOPHOTOCANDLE, THE SYSTEM'S PERFORMANCE.
- C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
- D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
- F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.



NOTES:

EXPOSED HEIGHT OF POLE BASE (H) SHALL BE MEASURED ON THE UPHILL SIDE OF A SLOPE. FOOTING DEPTH (D) SHALL BE MEASURED ON THE DOWNHILL SIDE OF A SLOPE. AN ADDITIONAL VARIABLE HEIGHT (V) WILL BE BASED ON THE SLOPE ON WHICH THE POLE BASE IS LOCATED. CONTRACTOR TO CALCULATE FULL LENGTH OF EACH POLE BASE REQUIRED ON SLOPES (H+D+V = TOTAL BASE LENGTH)



FIXTURE TYPE	MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	EXPOSED HEIGHT 4"	VERTICAL REINFORCEMENT
A, B, C	25'	5'-6"	2'-0"	0'-0"	6#5 BARS
A*	25'	5'-6"	2'-0"	2'-6"	6#5 BARS
C*	20'	4'-6"	2'-0"	0'-0"	6#5 BARS
D	14'	4'-6"	2'-0"	0'-0"	6#5 BARS

NOTES:

1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
2. EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250-86, N.E.C.
3. CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318. CAST-IN-PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT LEAST 5,000 PSI AT 28-DAYS. DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
4. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
5. IF POLE BASE IS CAST-IN-PLACE, POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND-RUBBED SMOOTH.
6. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
7. THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURERS RECOMMENDATIONS.
8. CONTRACTOR TO CONFIRM GROUNDING DESIGN WITH MEP.

2 LIGHT POLE BASE

PRMS2 DECORATIVE & POST TOP

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

PROMENADE

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	6,000-10,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

GEOPAK Series 2

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	1,000-2,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

BEGA

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	1,000-2,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

4 LIGHT FIXTURE TYPE D

RSS-K SERIES POLES

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	1,000-2,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

5 LIGHT FIXTURE TYPE E

DBS - Decorative Pole

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	1,000-2,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

6 LIGHT FIXTURE TYPE F

DBS - Decorative Pole

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	1,000-2,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

1 LIGHT FIXTURE AND POLE

N.T.S.

7 LIGHT POLE FOR FIXTURE TYPE A, B AND C

N.T.S.

8 LIGHT POLE FOR FIXTURE TYPE D

N.T.S.

KIMLIGHTING The Archetype Large Floodlight LED

TYPE: LOCATION: DATE: PROJECT: CATEGORY: IMPACTS:

FEATURES:

- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes
- 100% corrosion resistant stainless steel in three light finishes

INSTALLATION:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

CONTROL CONTRACTOR:

• Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions. Pole must be installed in accordance with manufacturer's instructions.

KEY DATA:

LUMEN RANGE	1,000-2,000
WATTAGE RANGE	100-150
EFFICIENCY RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150
WATTAGE RANGE (lm/w)	100-150

3 LIGHT FIXTURE TYPE A, B AND C

N.T.S.

Date	Description	No.
06/10/2021	PLANNING DEPARTMENT SUBMISSION	1

Revisions

LANGAN

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Project

DEVELOPMENT AT
EVERGREEN WALK
MAP NO. 27, BLOCK NO. 15, UNIT NO. 2
801 EVERGREEN WAY
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

Drawing Title

LIGHTING NOTES AND DETAILS

Project No.	Drawing No.
140222801	LL501
Date	04/06/2021
Drawn By	xw
Checked By	mh