

MEDICAL OFFICE BUILDING

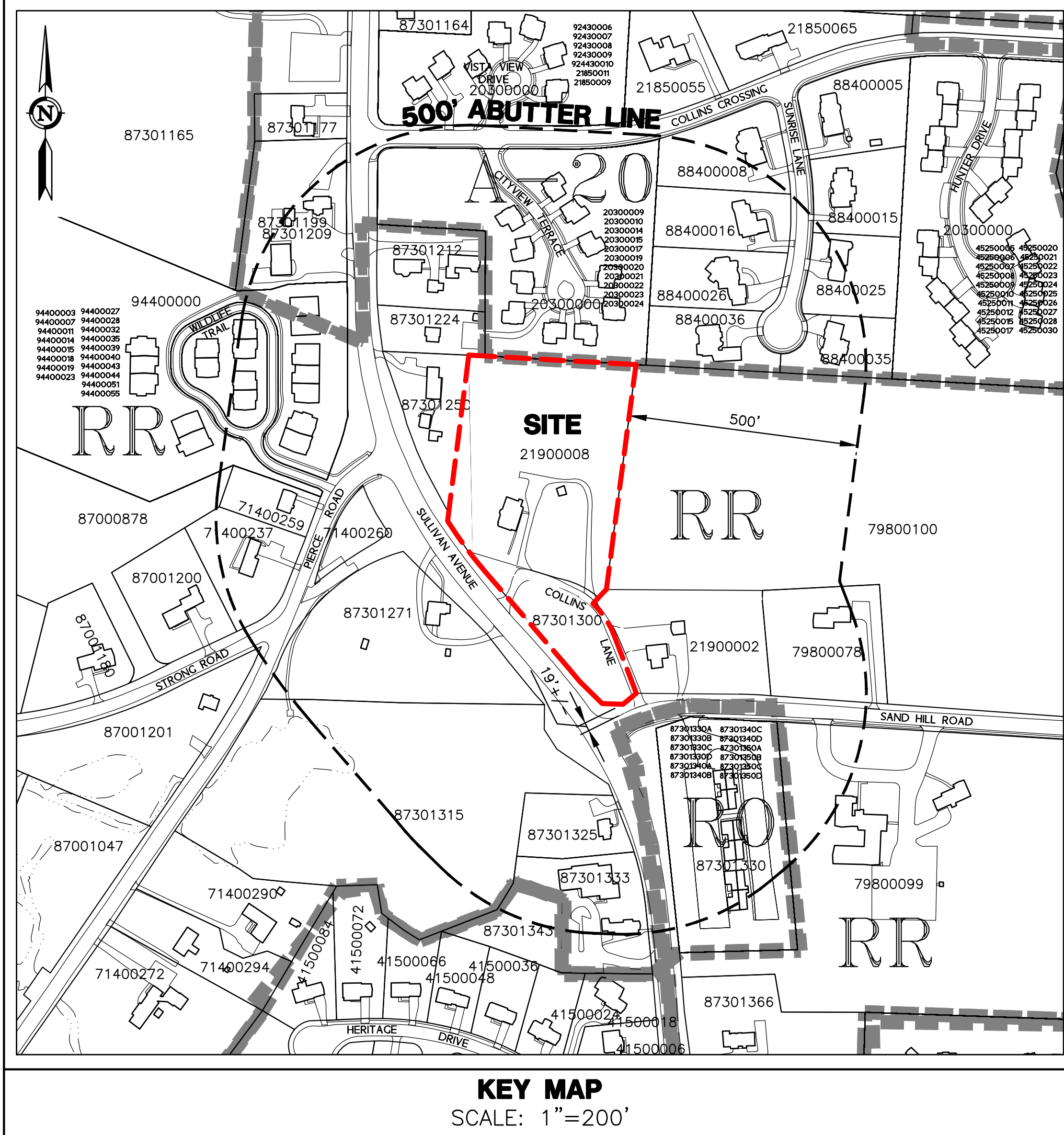
SPECIAL EXCEPTION APPLICATION

1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR ~ CT
GIS PIN: 21900008, 87301300

N/F 500' ABUTTERS

Parcel ID	Site Address	Owner Name
20300000	COLLINS CROSSING	NA
20300009	9 CITYVIEW TERRACE	SANSON FREDERICK M & LOUISE A
20300010	10 CITYVIEW TERRACE	NAPOLITANO FRANK & JANE
20300014	14 CITYVIEW TERRACE	SAMSEL THERESA G L/U
20300015	15 CITYVIEW TERRACE	SEXTON MARINA V & JOHN FRANCIS
20300017	17 CITYVIEW TERRACE	LACROIX RONALD E & BLANCHE D
20300019	19 CITYVIEW TERRACE	CLARK JAMES H
20300020	20 CITYVIEW TERRACE	SCHILLINGER MARILYN S
20300021	21 CITYVIEW TERRACE	HOBBY DAVID A & JANET B
20300022	22 CITYVIEW TERRACE	BURNHAM JUDY
20300023	23 CITYVIEW TERRACE	ALMEDA ANA
20300024	24 CITYVIEW TERRACE	STACK SANDRA L &
21850009	9 COLLINS CROSSING	KOENIG MARY
21850011	11 COLLINS CROSSING	KOENIG MARY
21900002	2 COLLINS LANE	TAYLOR THOMAS & SARAH
21900008	8 COLLINS LANE	4 ELEMENTS VITALITY INSTITUTE LLC
71400237	237 PIERCE ROAD	SCHMEDDING DAVID R & MARGARET E
71400239	259 PIERCE ROAD	NGUYEN THAI & THAI ANNE &
71400260	260 PIERCE ROAD	SOUTH WINDSOR TOWN OF
79800078	78 SAND HILL ROAD	HALLE RAYMOND W
79800099	99 SAND HILL ROAD	PARISH OF ST PETERS CHURCH
79800100	100 SAND HILL ROAD	SOUTH WINDSOR TOWN OF
87000078	878 STRONG ROAD	MCDONALD BONNIE
87301199	1199 SULLIVAN AVENUE	MITCHELL JOHN J ESTATE OF
87301209	1209 SULLIVAN AVENUE	MITCHELL JOHN J SR ESTATE OF
87301212	1212 SULLIVAN AVENUE	BARRY DIRK &
87301224	1224 SULLIVAN AVENUE	JOHANNES NOLA C
87301250	1250 SULLIVAN AVENUE	LEDDEN NELSON & CHEMAA A
87301300	1300 SULLIVAN AVENUE	SCALORA SEBASTIANO F
87301315	1315 SULLIVAN AVENUE	4 ELEMENTS VITALITY INSTITUTE LLC
87301325	1325 SULLIVAN AVENUE	CONN WATER COMPANY
87301333	1333 SULLIVAN AVENUE	RHINO PROPERTIES LLC
87301343	1343 SULLIVAN AVENUE	SOUTH WINDSOR CHLD DEV CTR
88400008	8 SUNRISE LANE	IPSO FACTO LLC
88400015	15 SUNRISE LANE	SYED JASMINE RASHEED & UMMA SALMA
88400016	16 SUNRISE LANE	CHINSKY MARY BETH TR
88400025	25 SUNRISE LANE	HANCOCK MARTIN J & BARBARA ANN
88400026	26 SUNRISE LANE	SUDAGAR MAHESWARAN & TORRES INVESTMENT FIRM LLC
88400035	35 SUNRISE LANE	GOVINDJIRALA SHANTANU
88400036	36 SUNRISE LANE	BOSH NANNETTE L
92430006	6 VISTA VIEW DRIVE	THRALL TAMMY J & BRADLEY A
92430007	7 VISTA VIEW DRIVE	HARNEY CHRISTINE A
92430008	8 VISTA VIEW DRIVE	NEVILLE RICHARD E & PATRICIA F
92430008	8 VISTA VIEW DRIVE	NEVILLE RICHARD E & PATRICIA F
92430009	9 VISTA VIEW DRIVE	PERROLD RAYMOND P & CAROL A
92430010	10 VISTA VIEW DRIVE	CLEMENITINO IRENE T
94400000	SRD 9440	NA

94400003	3 WILDLIFE TRAIL	GIBBONS SHANNON R
94400007	7 WILDLIFE TRAIL	BARBOUR LIVING TRUST
94400011	11 WILDLIFE TRAIL	EMERSON CAROLYN V
94400014	14 WILDLIFE TRAIL	PUTASKI TERRY & KAREN
94400015	15 WILDLIFE TRAIL	TRUDEAU M LUOLLE
94400018	18 WILDLIFE TRAIL	BECKER THOMAS J
94400019	19 WILDLIFE TRAIL	PISTOLA FILOMENA
94400023	23 WILDLIFE TRAIL	MICHAEL JAMES P & KATHLEEN M
94400027	27 WILDLIFE TRAIL	DACOSTA ELISE
94400028	28 WILDLIFE TRAIL	GRIGORIAN MICHELE
94400032	32 WILDLIFE TRAIL	GIDEZ PAMELA S
94400035	35 WILDLIFE TRAIL	DUMONT RL & JM LIVING TRUST
94400039	39 WILDLIFE TRAIL	MITCHELL MATTHEW D
94400040	40 WILDLIFE TRAIL	BURKE PAULA J TR
94400043	43 WILDLIFE TRAIL	O'CONNOR TERESA H REV TR
94400044	44 WILDLIFE TRAIL	MILLER KRISTINE R
94400051	51 WILDLIFE TRAIL	GOBETZ FRANK W &
94400055	55 WILDLIFE TRAIL	VALACER STASIA M
87301330A	1330 SULLIVAN AVENUE #A	JSH REALTY LLC
87301330B	1330 SULLIVAN AVENUE #B	JSH REALTY LLC
87301330C	1330 SULLIVAN AVENUE #C	1330 SULLIVAN AVENUE LLC
87301330D	1330 SULLIVAN AVENUE #D	CALABRESE LORI
87301340A	1340 SULLIVAN AVENUE #A	BAD DOG PROPERTIES LLC
87301340B	1340 SULLIVAN AVENUE #B	BAD DOG PROPERTIES LLC
87301340C	1340 SULLIVAN AVENUE #C	BIJOUX PROPERTIES LLC
87301340D	1340 SULLIVAN AVENUE #D	BIJOUX PROPERTIES LLC
87301350A	1350 SULLIVAN AVENUE #A	CONNECT PROPERTIES LLC
87301350B	1350 SULLIVAN AVENUE #B	CONNECT PROPERTIES LLC
87301350C	1350 SULLIVAN AVENUE #C	SC REALTY LLC
87301350D	1350 SULLIVAN AVENUE #D	SC REALTY LLC



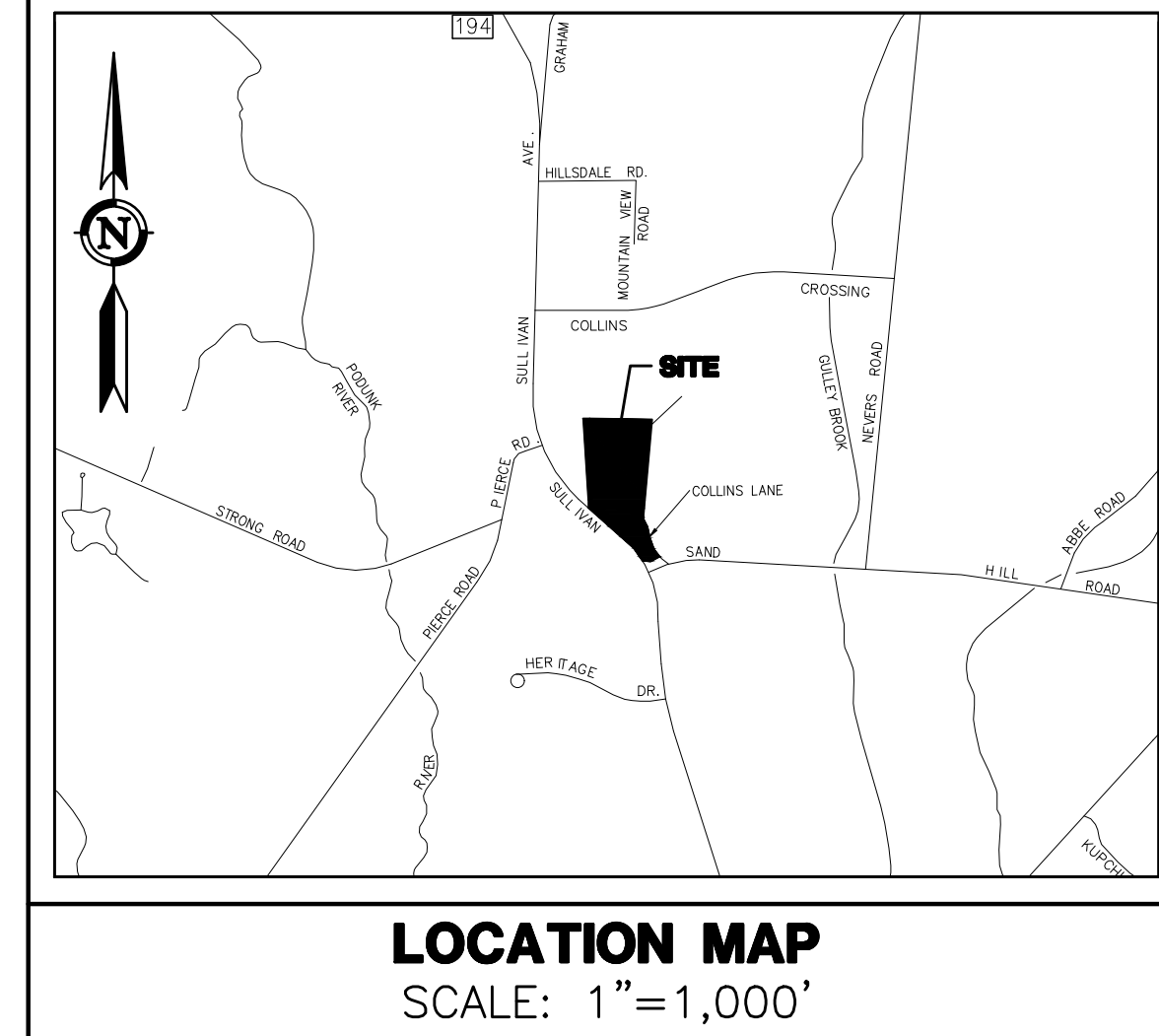
KEY MAP
SCALE: 1"=200'

CIVIL ENGINEER,
LANDSCAPE ARCHITECT
& LAND SURVEYOR:

design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
www.designprofessionalsinc.com



LOCATION MAP
SCALE: 1"=1,000'

SHEET INDEX

C-T1	TITLE SHEET	1 of 16
V-1	PROPERTY & TOPOGRAPHIC SURVEY	2 of 16
C-SP1	TRAFFIC PLAN	3 of 16
C-SP2	SITE PLAN	4 of 16
C-GD1	GRADING, DRAINAGE AND UTILITIES PLAN	5 of 16
C-ES1	EROSION & SEDIMENTATION CONTROL PLAN	6 of 16
C-ES2	EROSION & SEDIMENTATION NOTES & DETAILS	7 of 16
C-LS1	LANDSCAPE PLAN	8 of 16
C-LS2	LANDSCAPE NOTES & DETAILS	9 of 16
C-LS3	LANDSCAPE SECTIONS	10 of 16
C-LT1	SITE LIGHTING PLAN	11 of 16
C-D1	NOTES, LEGEND & DETAILS	12 of 16
C-D2 - C-D4	DETAILS	13-15 of 16
C-A1	EXISTING ELEVATIONS	16 of 16

PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
MEDICAL OFFICE	4 SP/1,000 GSF	3,800 GSF	N/A	15.2
TOTAL				15.2

RESERVE PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
MEDICAL OFFICE ADDITION (PHASE 2)	4 SP/1,000 GSF	1,800 GSF	N/A	7.2
BARN (PHASE 3)	1 SP/250 GSF	1,008 GSF	N/A	4.0
TOTAL				11.2

TOTAL PARKING REQUIRED: 15.2 + 11.2 = 26.4 SPACES

PARKING PROVIDED

LOCATION	QUANTITY
AUTO PARKING	20
RESERVE PARKING	8
TOTAL	28

PARKING NOTES:
* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLE 6.4.3B

ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES SHALL BE PROVIDED AS LEVEL 2 EV INSTALLED AND LEVEL 2 EV READY.
10% OF PROPOSED SPACES ARE REQUIRED TO BE LEVEL 2 EV READY. 2 LEVEL 2 EV READY SPACES ARE REQUIRED (20 SPACES X .10 = 2).
7% OF EV READY SPACES ARE REQUIRED TO BE INSTALLED. (20 X .07 = 1.4).
THEREFORE, 2 LEVEL 2 EV INSTALLED SPACES ARE PROVIDED.
IN ADDITION, FOR 20 PROPOSED PARKING SPACES 1 SPACE IS REQUIRED TO BE VAN ACCESSIBLE RESTRICTED TO EV CHARGING AND 1 SPACE RESTRICTED TO EV CHARGING AND HANDICAPPED PARKING.

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

* THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.

* REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.

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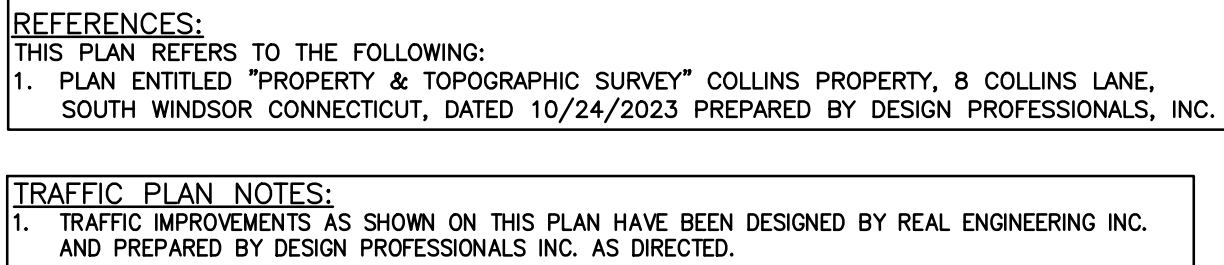
PREPARED FOR:
Dr. Vasanth Kalkiyaran
162 Cornerstone Drive
South Windsor, CT 06074

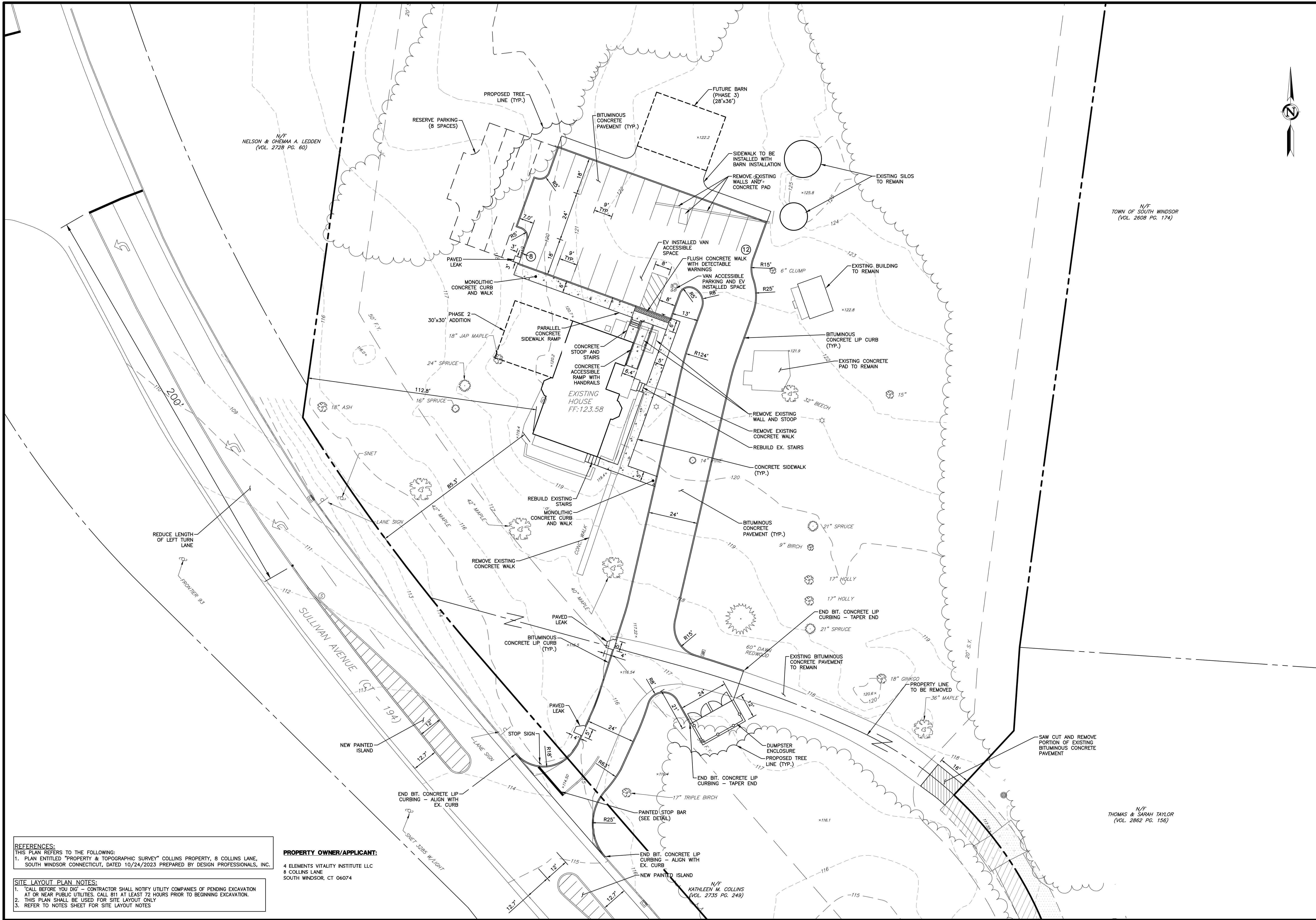
PROJECT NO.:
21900008
DATE: 3/27/24
DESIGNED BY:
CHECKED BY:
CIVIL: JAC
LANDSCAPE: JAC

MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

BY:
NO. DATE
REVISIONS

TITLE SHEET
SHEET
C-T1
SHEET 1 OF 16





REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE,
SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

SITE LAYOUT PLAN NOTES:
1. CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION
AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

NO.

DATE

REVISIONS

BY

SITE PLAN

SCALE: 0 10' 20' 40'

T = 20'

SHEET

C-SP2

SHEET 4 OF 16

PREPARED FOR:
Dr. Vasanth Kalikarayan
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.:
06074

DATE:
3/27/24

DESIGN BY:
JAM

CHECK BY:
JAM

design professionals

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

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MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT



GRADING, DRAINAGE AND UTILITIES PLAN		REVISIONS		MEDICAL OFFICE BUILDING		PREPARED FOR:		DESIGN PROFESSIONALS	
NO.	DATE	BY		DR. VASANTH KAIKARYAM	162 CORNERSTONE DRIVE	SOUTH WINDSOR, CT 06074	Dr. Vasanth Kaikaryam	162 Cornerstone Drive	South Windsor, CT 06074
SCALE: 0' 10' 20' 40'		SHEET 5 OF 16		1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE)		C-CD1		CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS	
C-CD1		SHEET 5 OF 16		SOUTH WINDSOR, CONNECTICUT		www.designprofessionals.com		21 JEFFREY DRIVE PO BOX 1167 SOUTH WINDSOR, CT 06074 860-291-8757 - F 860-291-8757 - F	

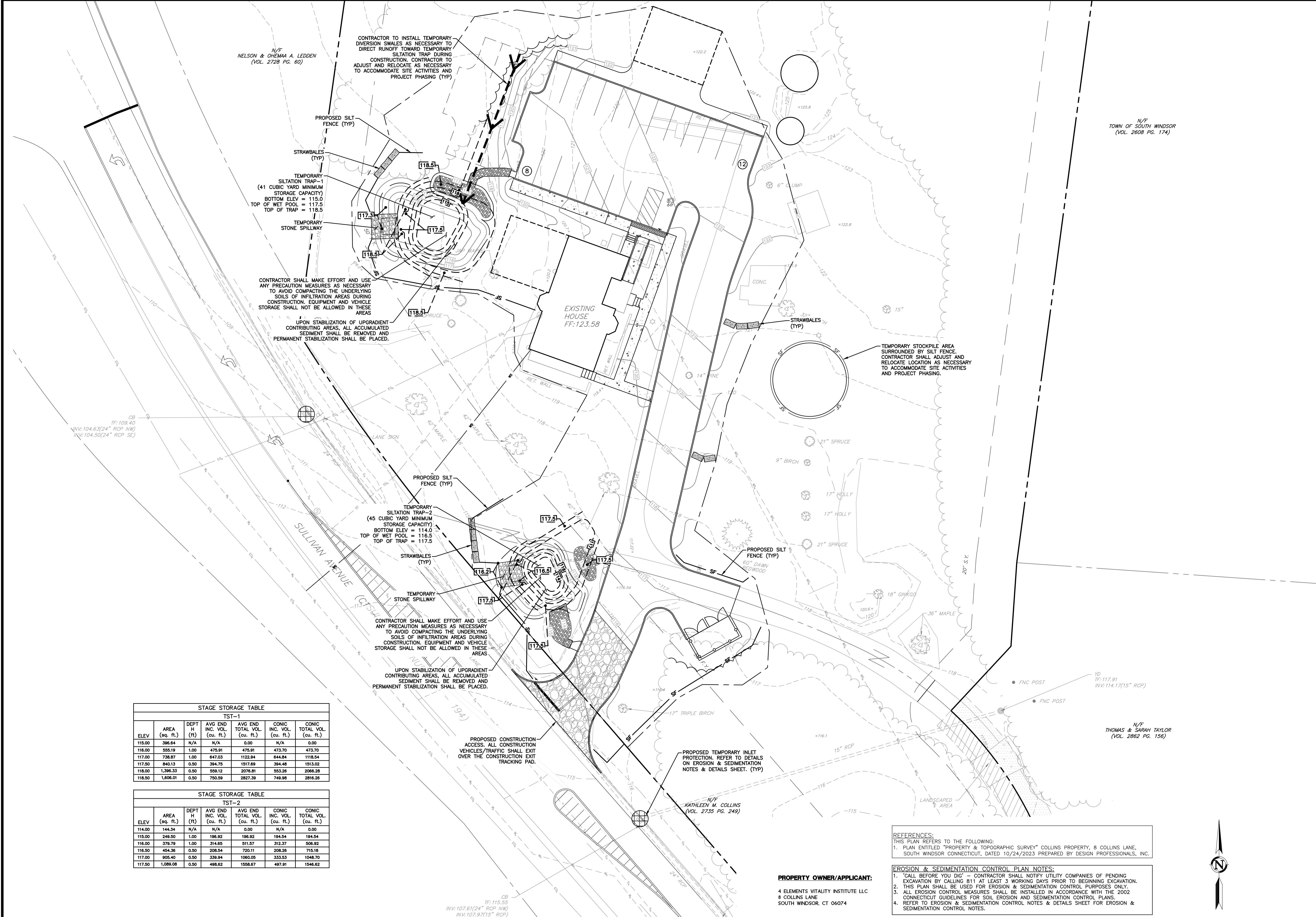
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STAGE STORAGE TABLE						
TST-1						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
115.00	396.64	N/A	N/A	0.00	N/A	0.00
116.00	595.19	1.00	475.91	475.91	473.70	473.70
117.00	738.87	1.00	647.03	1122.94	644.84	1118.54
117.50	840.13	0.50	394.75	1517.69	394.48	1513.02
118.00	1,396.33	0.50	559.12	2076.81	553.28	2066.28
118.50	1,606.01	0.50	750.59	2827.39	749.98	2816.28

STAGE STORAGE TABLE						
TST-2						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
114.00	144.34	N/A	N/A	0.00	N/A	0.00
115.00	249.50	1.00	196.92	196.92	194.54	194.54
116.00	379.79	1.00	314.65	511.57	312.37	506.92
116.50	454.36	0.50	208.54	720.11	208.26	716.18
117.00	905.40	0.50	339.94	1060.05	333.53	1046.70
117.50	1,089.08	0.50	498.62	1558.67	497.91	1546.62



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

EROSION & SEDIMENTATION CONTROL PLAN
SHEET 6 OF 16
C-ES1

NO. DATE BY REVISIONS

DESIGNED BY: JAC
CHECKED BY: JAC
DATE: 3/27/24
DRAWN BY: JAC
DATE: 3/27/24

PREPARED FOR:
Dr. Vasanth Kalkaryam
162 Cornerstone Drive
South Windsor, CT 06074

MEDICAL OFFICE BUILDING
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- TREE PROTECTION
N.T.S.

N.T.S

SHEET 7 OF 16

LANDSCAPE NOTES:

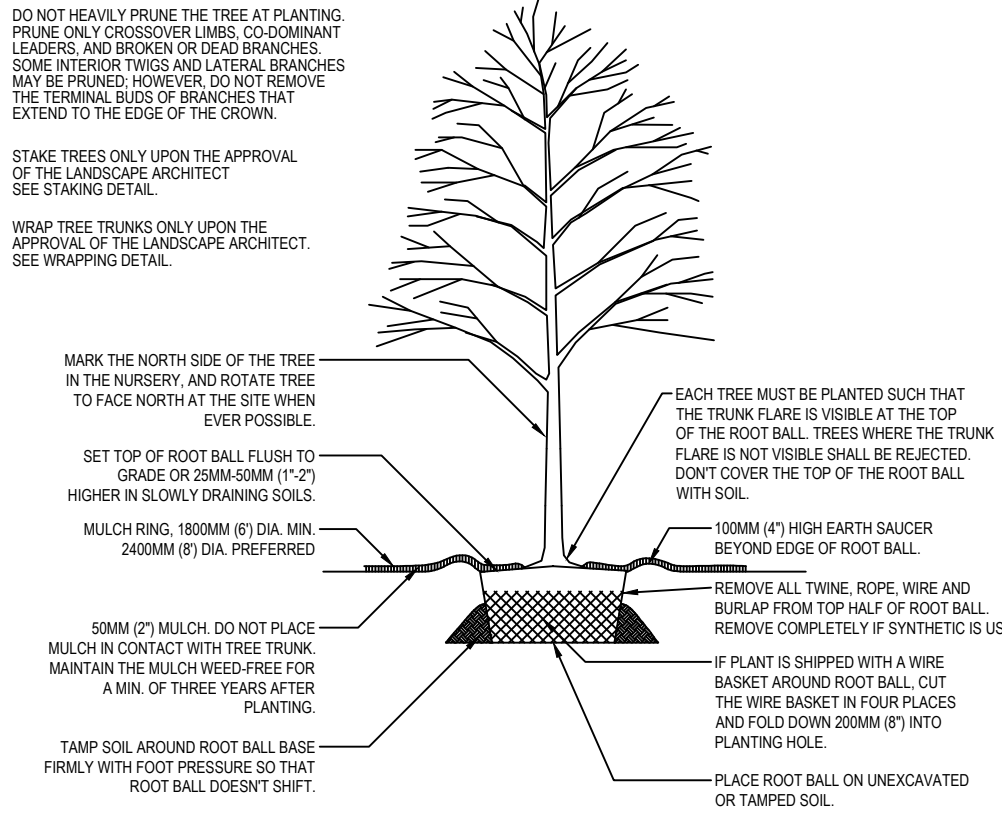
- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIGHT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY, DISEASED TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDING SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH. WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK," PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED ROOT WITHOUT VOIDS AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM. NECESSARY FOR FULL RECOVERY OF PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK." CRACKED OR HUSHKOOPIED BALLS ARE NOT ACCEPTABLE. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM, THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- CONTAINER STOCK SHALL NOT BE POT BOUND.
- CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO MAINTAIN PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL WARRANTY AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIFIC CONDITIONS EXIST TO PREVENT PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
- ROOT TYPES MAY BE USED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTIONS OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
 - A. BARK MULCH: 20-25%
 - B. COARSE SAND: 40-45%
 - C. TOPSOIL: 40-50%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIME SHALL BE PELLETED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MINIMUM OF 60% OXIDE, (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETEIORATION.
- DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS. MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DIRECT SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
- INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH OWNER.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- STOCK FURNISHED SHALL MEET THE MINIMUM SIZE INDICATED ON THE DRAWING. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES. PERMITABLE TO PERMIT TRANSPIRANCE WITH AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
 - REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
 - MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH HAS THE BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
 - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
- ALL TREES DIRECTLY ADJACENT TO HIGHWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
- MULCH TO BE APPLIED AS FOLLOWS:
 - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
 - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
 - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
 - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAND/UST.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS.
- MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
- MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
- RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
- WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
- REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
- LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
- CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
- ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT, THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
- TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
- THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
 - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
 - CHENINGS RED FESCUE 30% OF MIXTURE
 - PERENNIAL RYEGRASS 20% OF MIXTURE
 - APPLICATION RATE: 4.50LBS. PER 1000 S.F.
- SEEDING MIXTURE TYPE II (BASIN BOTTOM):
 - PERENNIAL RYEGRASS 10% OF MIXTURE
 - CREeping RED FESCUE 10% OF MIXTURE
 - ALSIKE CLOVER 5% OF MIXTURE
 - RED TOP 5% OF MIXTURE
 - TURF-TYPE TALL FESCUE 70% OF MIXTURE
 - APPLICATION RATE: 5.00 LBS PER 1,000 S.F.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDED AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

TREE NOTES:

- ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY THE TRUNK OF THE TREE.
- ALL ROPE OR THINE SHALL BE COMPLETELY REMOVED ONCE THE TREE HAS BEEN PLACED IN THE PLANTING AREA. BURLAP SHALL BE ROLLED DOWN AND CUT OR TUCKED UNDER THE ROOT BALL.
- ANY WIRE BASKETS SHALL BE CUT AND THE UPPER 2/3 REMOVED AFTER THE TREE IS PLACED IN THE PLANTING AREA.
- ALL TREES SHALL BE FRESHLY DUG WITHIN 30 DAYS OF DELIVERY TO THE PLANTING SITE.
- ALL THINE, ROPE OR ANY OTHER OBJECTS AROUND THE ROOT BALL SHALL BE REMOVED.
- A PLANTING AREA OF TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE TWO INCHES LESS THAN THE OVERALL HEIGHT OF THE ROOT BALL AS MEASURED FROM THE ROOT FLAIR ON THE TRUNK TO THE BOTTOM OF THE ROOT BALL.
- ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED SITE.
- WHEN BACK FILLING TREES, GROWING MEDIUM SHALL BE WORKED IN TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO COMPACT GROWING MEDIUM EXCESSIVELY.
- THE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES ABOVE FINAL GRADE.
- WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE.
- ALL TREE TRUNKS SHALL BE FREE FROM ANY INJURY OR DAMAGE.
- ALL TREES SHALL HAVE A SINGLE CENTRAL DOMINANT LEADER.
- TREES SHALL NOT BE STAKED OR GUYED UNLESS DICTATED BY THE TREE WARDEN.
- THE DEPTH OF ALL MULCH SHALL NOT EXCEED MORE THAN TWO INCHES.
- ALL TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED.
- NO PRUNING SHALL BE PERFORMED UNLESS DIRECTED BY THE TREE WARDEN.
- NO FERTILIZERS OR WATER POLYMERS SHALL BE APPLIED AT PLANTING.



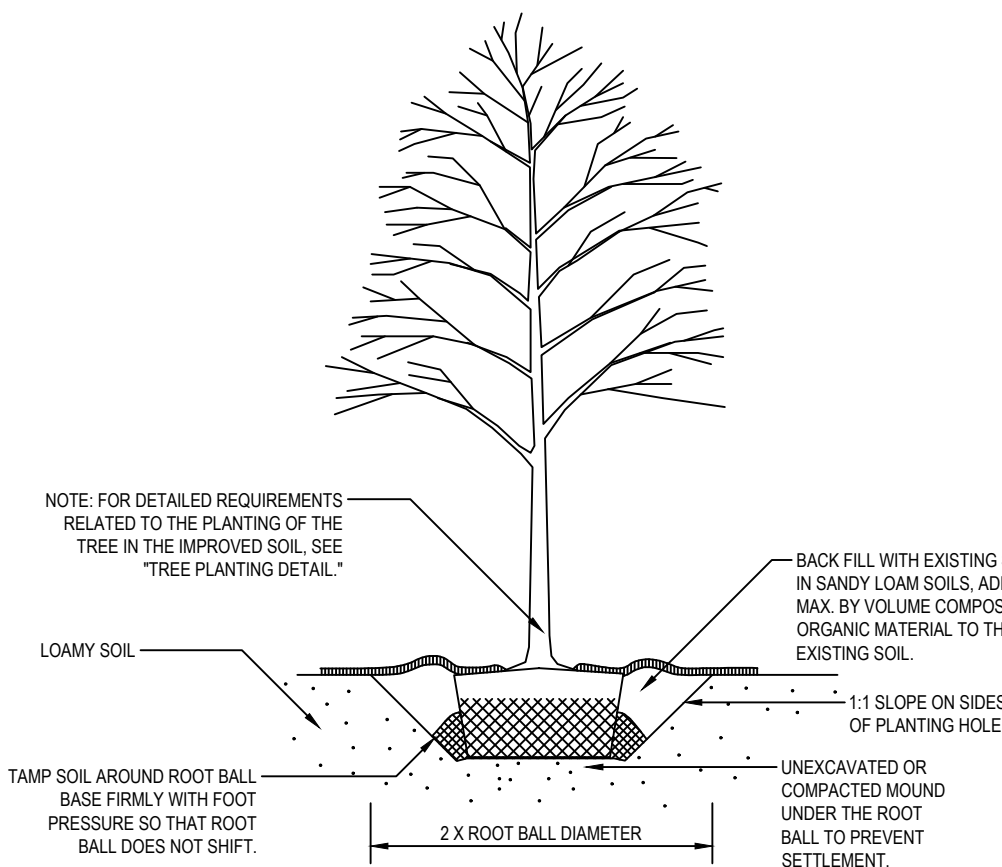
NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS".

NOTES:

- NO MULCH WITHIN 2" OF TREE TRUNK
- THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 3000 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR COATINGS.

1 TREE PLANTING DETAIL

Not to Scale



LOAMY SOILS INCLUDE THE FOLLOWING USDA TEXTURAL CLASSIFICATIONS AND HAVE A CLAY CONTENT OF BETWEEN 15 TO 20% LOAM, SANDY LOAM AND SILT LOAM. NOTE THAT SOILS AT THE OUTER LIMITS OF THE LOAM CLASSIFICATIONS MAY PRESENT SPECIAL PLANTING PLANTING PROBLEMS NOT ANTICIPATED BY THIS DETAIL.

LOAMY SOILS ARE DEFINED AS GRANULAR OR BLOCKY FRAGILE SOILS, A MIXTURE OF SAND, SILT AND CLAY PARTICLES WITH A MINIMUM OF 15% BY DRY WEIGHT ORGANIC MATTER. THE SOIL MUST NOT BE SO COMPACTED AS TO IMPEDE ROOT GROWTH OR DRAINAGE. THE SOIL STRUCTURE SHALL NOT BE PLATY OR MASSIVE. THE SOIL MUST BE TESTED FOR TEXTURE, DRAINAGE CAPABILITY, PH, AND NUTRIENT VALUES PRIOR TO DETERMINING PLANT SELECTIONS AND ANY ADDITIONAL SOIL IMPROVEMENTS.

- NOTES:
- FOR TREES PLANTED IN NON-RESTRICTED SOIL CONDITIONS.
 - THIS DETAIL ASSUMES THAT THE AREA OF LOAMY SOIL AVAILABLE TO EACH TREE IS A MINIMUM OF 45 SQ. M (500 SQ. FT.)

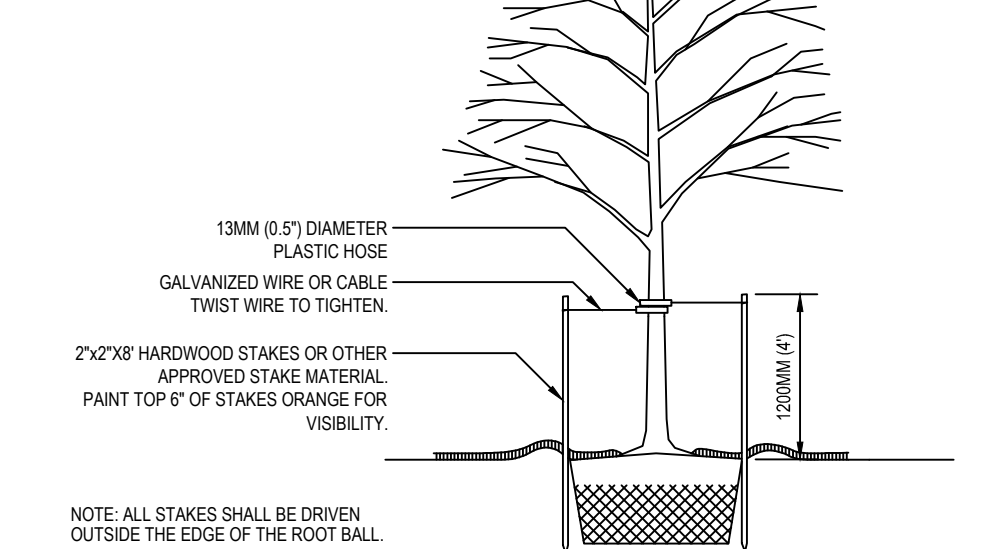
2 SOIL IMPROVEMENT DETAIL

Not to Scale

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
TREES UP TO 65MM (2.5 IN) CALIPER: 14 GAUGE
TREES 65 MM (2.5 IN) TO 75 MM (3 IN) CALIPER: 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 38MM (1.5 IN) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.



ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN).

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:

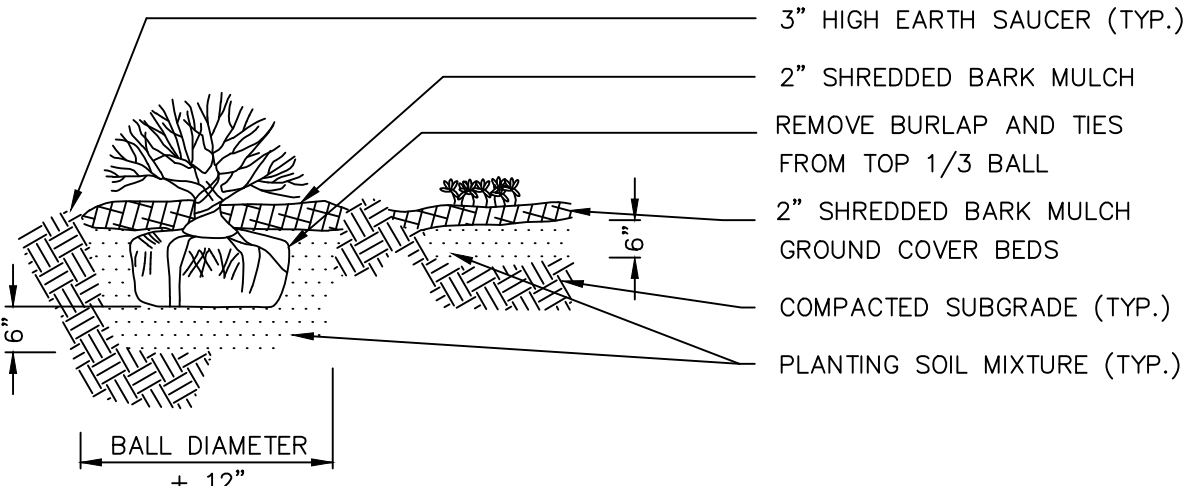
- o TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
- o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- o PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL CORRECT THE PLANTING PROCEDURE.
- o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
- o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.

3 TREE STAKING DETAIL (3" CAL. OR SMALLER)

Not to Scale

4 SHRUB & GROUND COVER PLANTING DETAIL

Not to Scale



- 3" HIGH EARTH SAUCER (TYP.)
- 2" SHREDDED BARK MULCH
- REMOVE BURLAP AND TIES FROM TOP 1/3 BALL
- 2" SHREDDED BARK MULCH
- GROUND COVER BEDS
- COMPACTED SUBGRADE (TYP.)
- PLANTING SOIL MIXTURE (TYP.)

4 SHRUB & GROUND COVER PLANTING DETAIL

Not to Scale

21 EFFEY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8295
860-291-8757 - F
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Design Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Dr. Vasanth Kankarayan
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.:
DATE:
3/27/24

DESIGNED BY:
CHECKED BY:
DATE:
DATE:

NO. DATE

REVISIONS

BY

DATE

NO. DATE

REVISIONS

BY

DATE

MEDICAL OFFICE BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

LANDSCAPE NOTES & DETAILS

SHEET 9 OF 16

C-L-52

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

SHEET 9 OF 16

SITE LIGHTING NOTES:

- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
- CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
- MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
- LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
- ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
- LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
- INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
- PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LIGHTING PLAN NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Efficiency	Distribution	Mounting Height
	A		8	Lithonia Lighting	MRP LED 42C 530 40K SR5 MVOLT	MRP POST TOP LIGHT 42 LEDs 530 mA DRIVE CURRENT 40K COLOR TEMP TYPE 5	LED	1	MRP_LED_42C 530_40K_SR5_MVOLT.dwg	6959	0.92	75	100%	TYPE IV, SHORT, BUG RATING: B3 - U1 - G3	12'

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1	+	0.2 fc	3.7 fc	0.0 fc	N/A	N/A



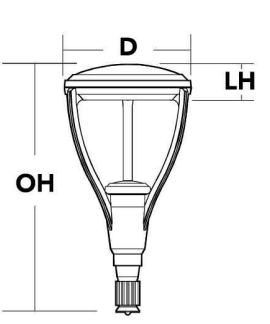
MRP LED LED Area Luminaire



Catalog Number	
Notes	
Type	

Specifications

EPA: 1,125 ft² (0.105 m²)
Luminaire Height: 6'-3/8" (163.0 cm)
Overall Height: 32" (81.3 cm)
Diameter: 18" (45.7 cm)
Weight (max): 37.5 lbs (17 kg)



- Capable Luminaire**
- This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
 - This luminaire is A+ Certified when ordered with DTL[®] controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
 - This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**
- To learn more about A+, visit www.acuitybrands.com/aplus.
- See ordering tree for details.
 - A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#); [Link to DTL DLL](#)



Ordering Information

Series	LEDs	Drive current	Color Temperature	Distribution	Voltage	Mounting
MRP LED	42C 42 LEDs (bare engine)	350 350mA 530 530mA 700 700mA 1000 1000mA (1A)	30K 3000K 40K 4000K 50K 5000K	SR2 Type II SR3 Type II SR4 Type IV SR5 Type V	MVOLT 1 277V 120V 347V 208V 480V 240V	Shipped included (blank) Fix 4" OD round pole Shipped separately MRP120 2-3/8" tenon slipfitter MRP125 3" OD round pole adapter MRP135 5" OD round pole adapter

Control options	Other options	Finish required
Shipped installed PER 10MA (w/4-wire receptacle only (normal ordered separate)) PERS 5-wire receptacle only (normal ordered separate) PER7 5-wire receptacle only (normal ordered separate)	PWM1003 Part night, dim 10 hrs PWN1003 Part night, dim 5 hrs PWN1003 Part night, dim 5 hrs PWN1003 Part night, dim 7 hrs SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V)	DOBK Dark bronze DBLK Black DNAL Natural aluminum DWH White DOBK Dark bronze DBLK Black DNAL Natural aluminum DWH White



One Lithonia Way • Cary, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com
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MRP LED
Rev. 10/26/19

MEDICAL OFFICE

BUILDING

1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

REVISIONS

SITE LIGHTING PLAN

SHEET
C-LT11
SHEET 11 OF 16

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PREPARED FOR:
Dr. Vasanth Kalkiyam
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.:
DATE:
3/27/24
DESIGNED BY:
CHECKED BY:
DATE:
DATE:

CONSTRUCTION NOTES:

1.

At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2.

It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
3.

The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
4.

The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
5.

Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
6.

Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
7.

The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
8.

Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
9.

Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
10.

The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
11.

The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
12.

Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
13.

Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
14.

Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
15.

Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
16.

At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
17.

Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
18.

The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
19.

The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

20.

The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21.

Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22.

Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23.

The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24.

The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
25.

All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26.

The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27.

All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28.

All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29.

All materials and work shall conform to the state Department of Transportation standard specifications (latest edition, and any amendments or revisions thereto), unless otherwise specified in these plans.
30.

The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
31.

Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
32.

The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
33.

Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
34.

Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:

Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.

RCP Class V pipe shall be used in paved areas with less than 1 ft. of cover or in locations noted on the plans.

High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.

Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
35.

Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
36.

Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
37.

Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.

38.

Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
39.

Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
40.

The contractor shall ensure that all work located in existing pavement be required in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
41.

Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
42.

For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
43.

Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
44.

All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
45.

Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
46.

All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
47.

The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
48.

All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
49.

The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:

- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

•

Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.

•

Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).

•

Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.

•

A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.

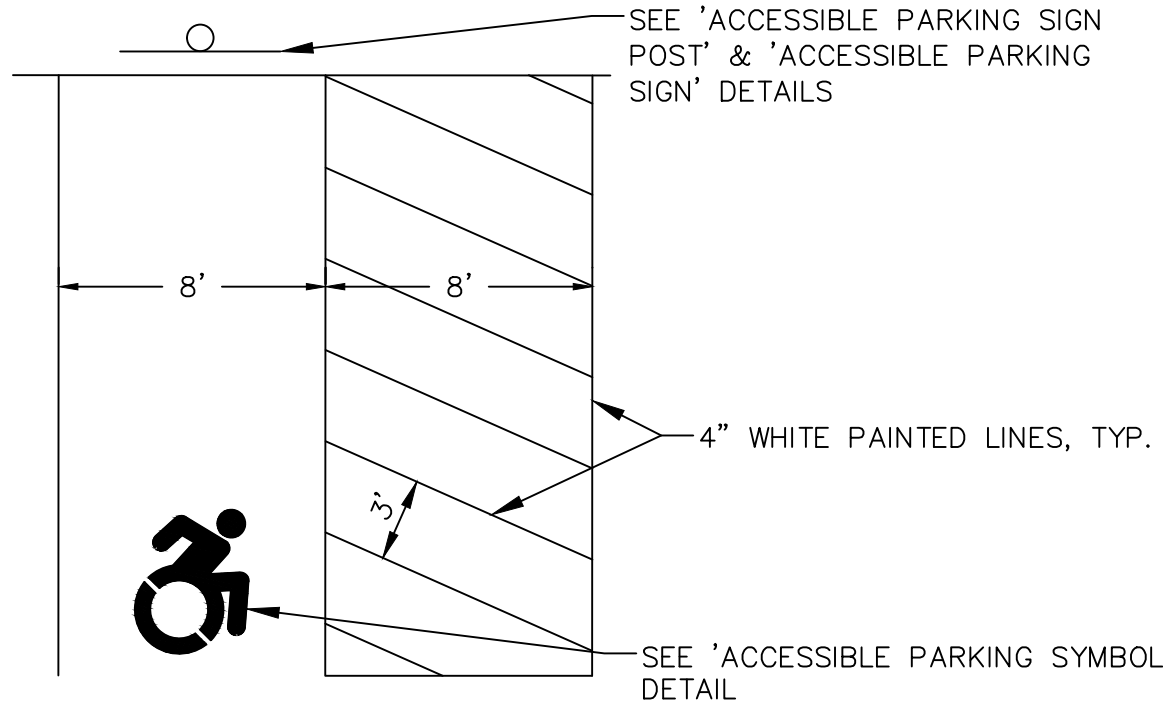
•

Curb ramps-- shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.

•

The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	BORING / TEST PIT LOCATION	
	COMMUNICATION	
	UNDERGROUND COMMUNICATION LINES	
	DOMESTIC WATER	
	WATER MAIN	
	WATER SERVICE	
	FIRE SERVICE LINE	
	NON-POTABLE WATER LINE	
	WATER VALVE / FIXTURES	
	FIRE HYDRANT	
	LIQUID FUEL	
	MAIN LIQUID FUEL LINE	
	LIQUID FUEL SERVICE LINE	
	LIQUID FUEL LINE, ABANDONED	
	IRRIGATION	
	IRRIGATION LINES	
	LIGHTING	
	POLE / GROUND MOUNTED LIGHT	
	NATURAL GAS	
	GAS MAIN	
	GAS SERVICE LINE	
	POWER	
	ELECTRICAL LINES, OVERHEAD	
	ELECTRICAL LINES, UNDERGROUND	
	UTILITY POLE	
	PROPERTY	
	PROPERTY LINE	
	EASEMENT LINE	
	IRON PIPE	
	IRON ROD	
	MONUMENT	
	ROADS	
	GUARD RAIL	
	EROSION CONTROL	
	SILT FENCE	
	SITE FEATURES	
	4" DOUBLE SOLID YELLOW LINE	
	4" SINGLE SOLID WHITE LINE	
	BIT CONC. LIP CURB	
	PRECAST CONCRETE CURB	
	SANITARY SEWER	
	SANITARY SEWER MAIN	
	SANITARY SEWER SERVICE LINE	
	SANITARY SEWER MANHOLE	
	STORM SEWER	
	STORM DRAIN PIPE	
	ROOF LEADER	
	UNDERDRAIN	
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
	TOPOGRAPHY	
	CONTOUR	
	SPOT ELEVATION	
	RAMP	
	LANDSCAPE AREA	

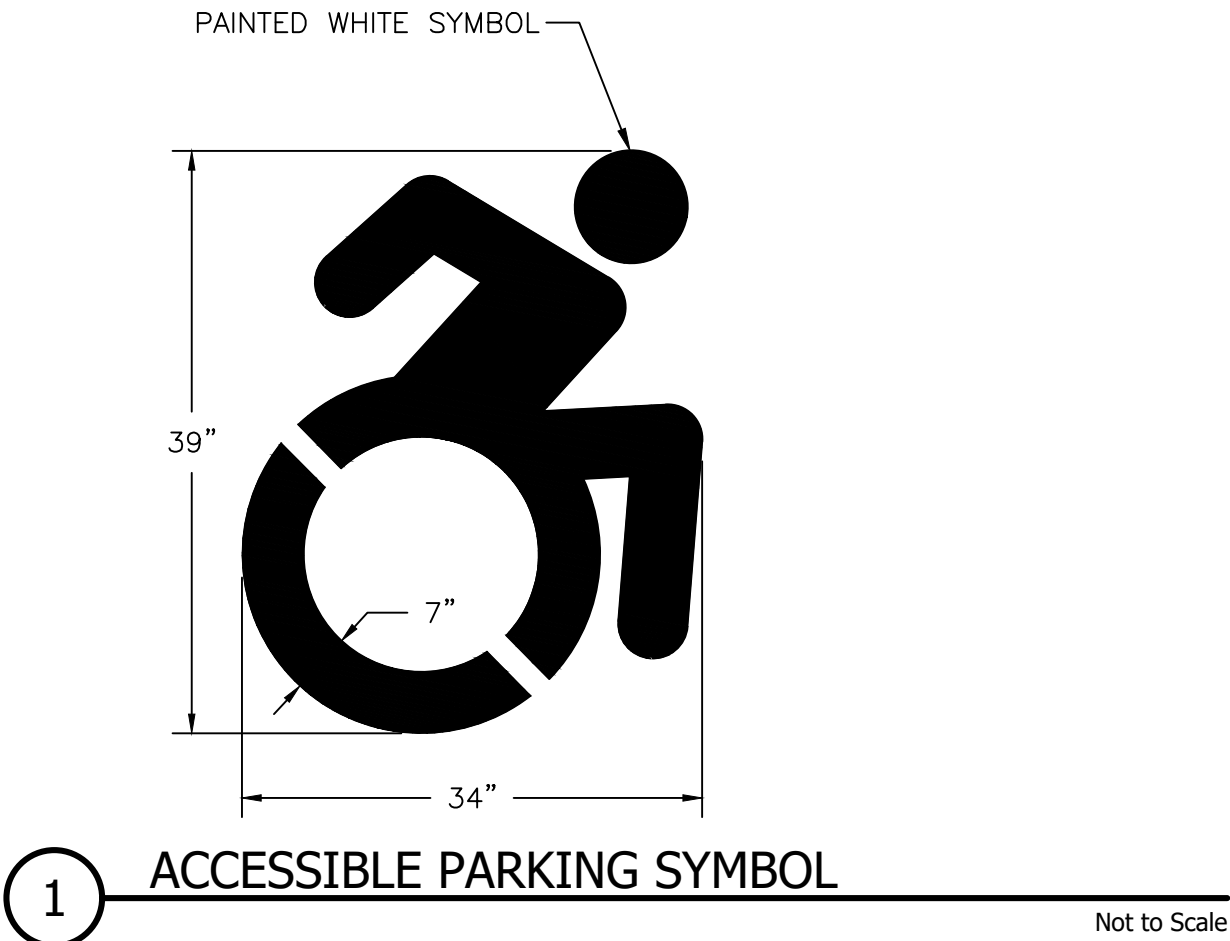


NOTES:

1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

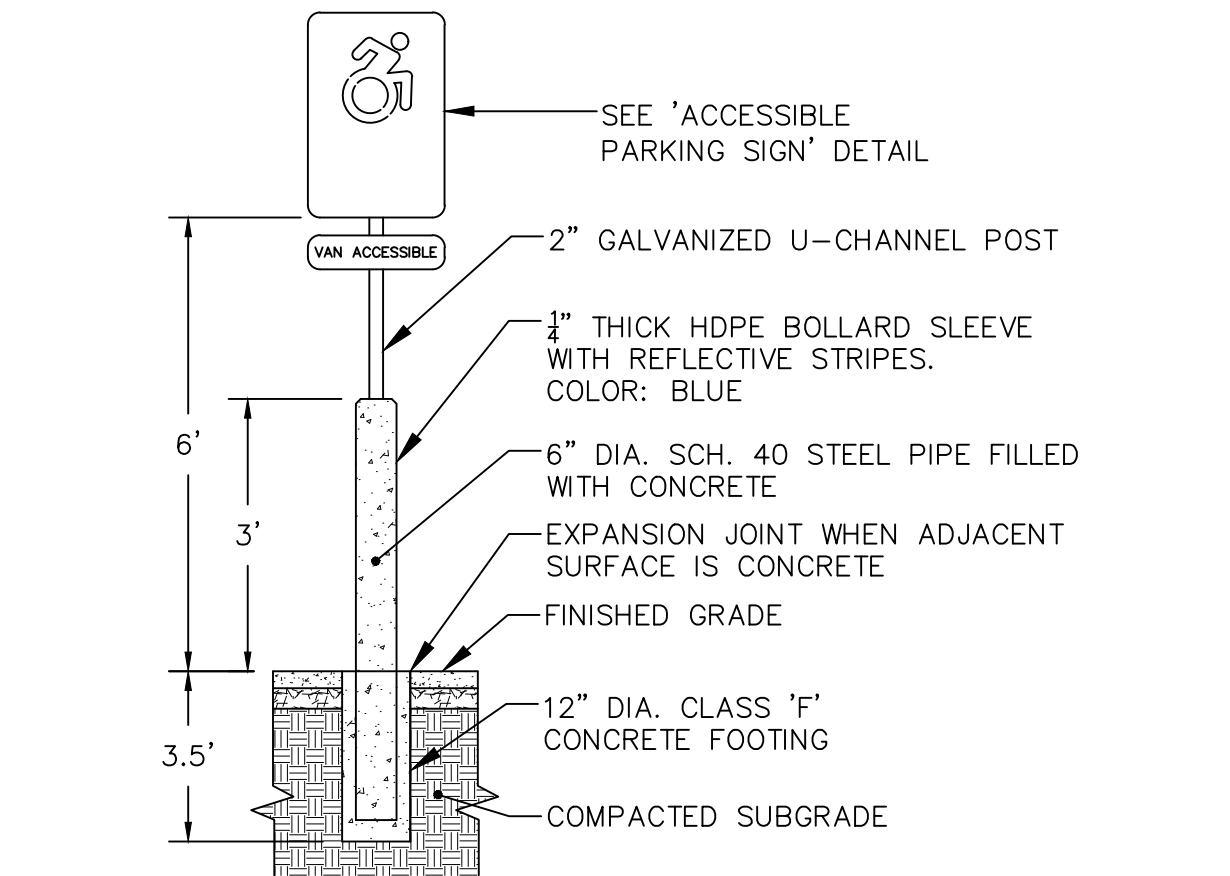
4 VAN ACCESSIBLE PARKING SPACE

Not to Scale



1 ACCESSIBLE PARKING SYMBOL

Not to Scale

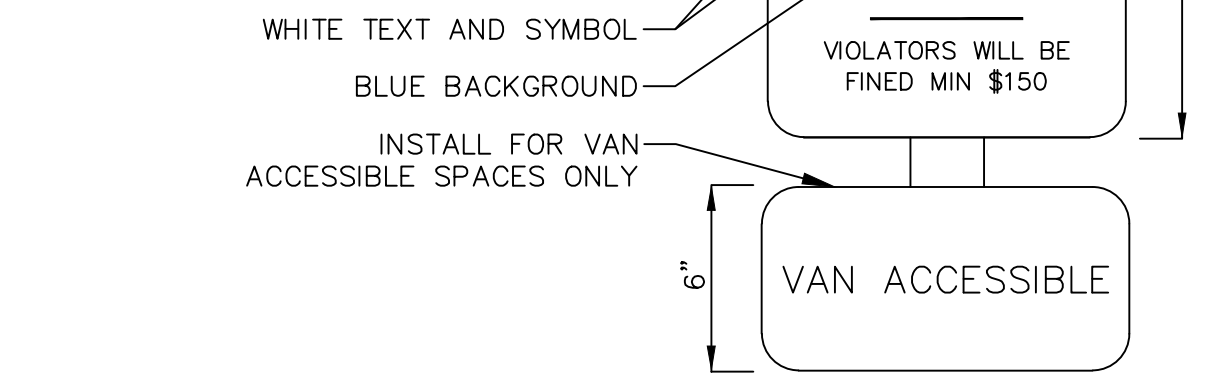


2 ACCESSIBLE PARKING SIGN POST

Not to Scale

NOTES:

1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.
3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



3 ACCESSIBLE PARKING SIGN

Not to Scale

REVISIONS		NO.	DATE	BY

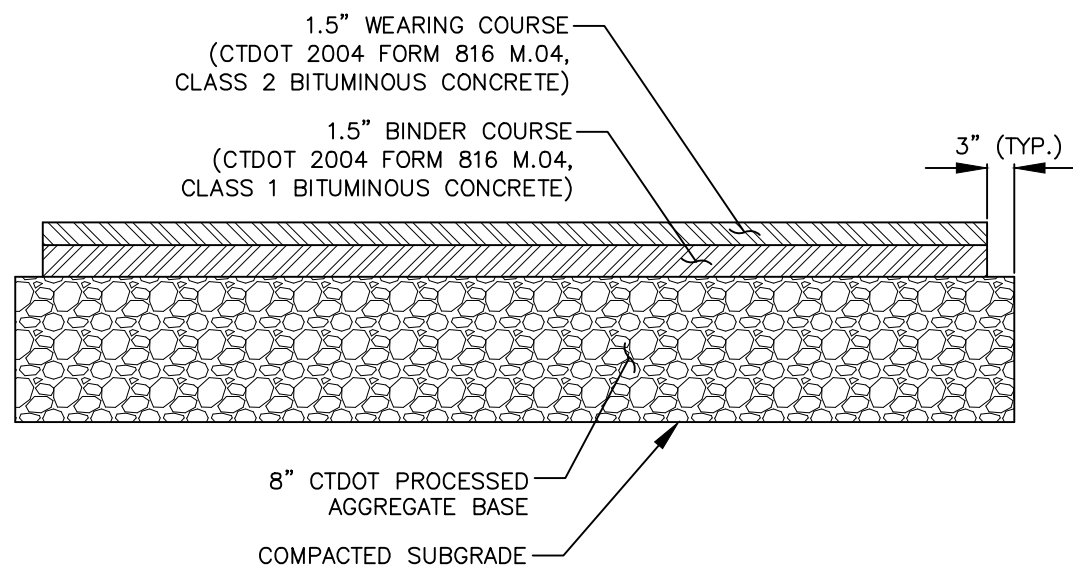
NOTES, LEGEND, & DETAILS	
SHEET	
C-D1	
SHEET 12 OF 16	

MEDICAL OFFICE BUILDING	
1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE) SOUTH WINDSOR, CONNECTICUT	

PREPARED FOR:	
Dr. Vasanth Kalkaryam 162 Cornerstone Drive South Windsor, CT 06074	

PROJECT INFO:	
DATE: 3/27/24	DATE: 3/27/24
DESIGNER: JDS	DESIGNER: JDS
CHECKED BY: JDS	CHECKED BY: JDS

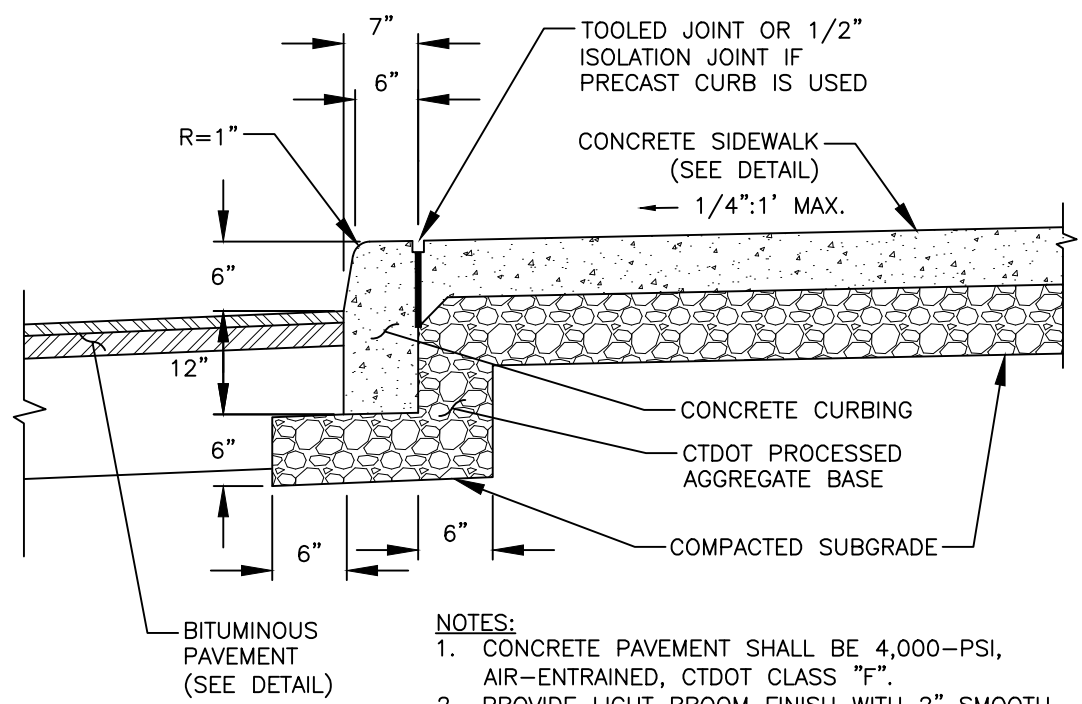
design professionals	
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21 JEFFREY DRIVE P.O. BOX 167 SOUTH WINDSOR, CT 06074 860-291-8295 860-291-8297 - F www.designprofessionals.com	



- NOTES:
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

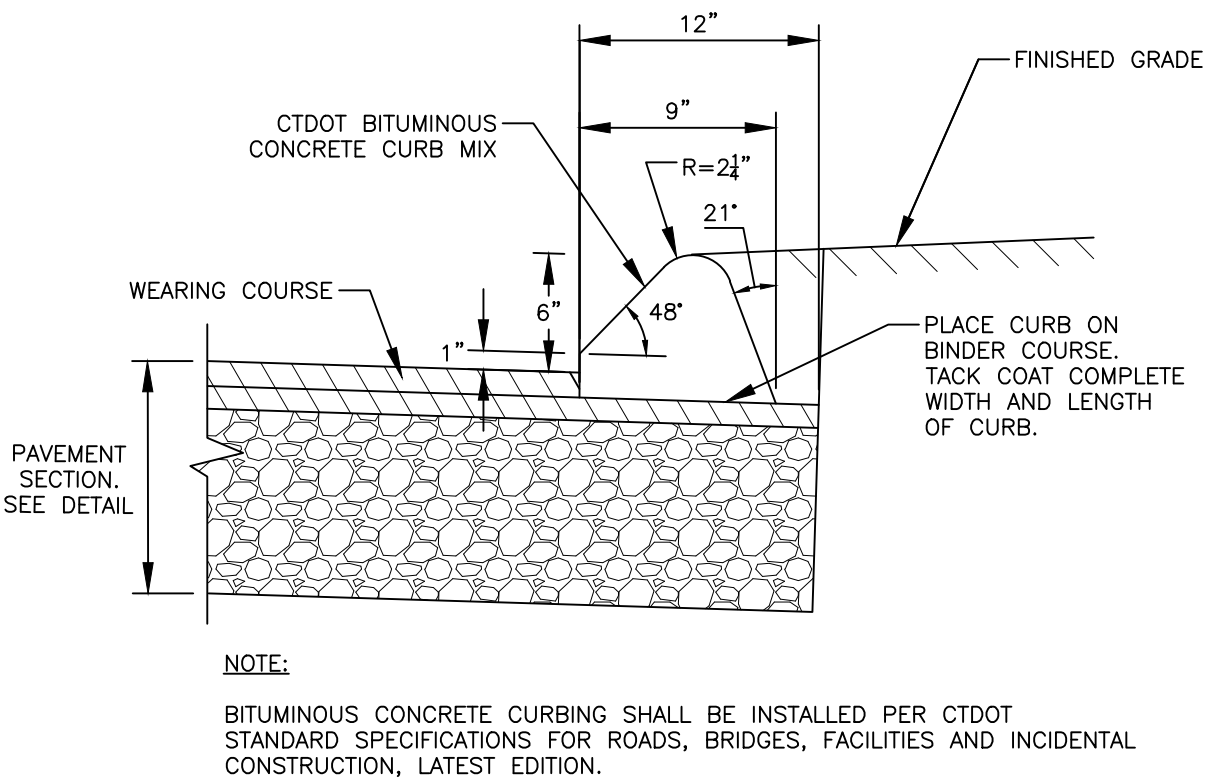
1 BITUMINOUS CONCRETE PAVEMENT SECTION - STANDARD DUTY

Not to Scale



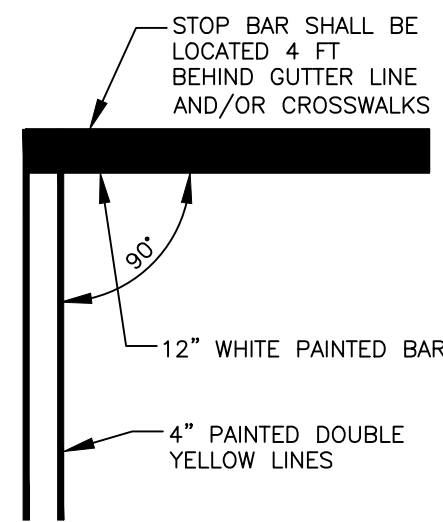
2 MONOLITHIC CONCRETE CURB & WALK

Not to Scale



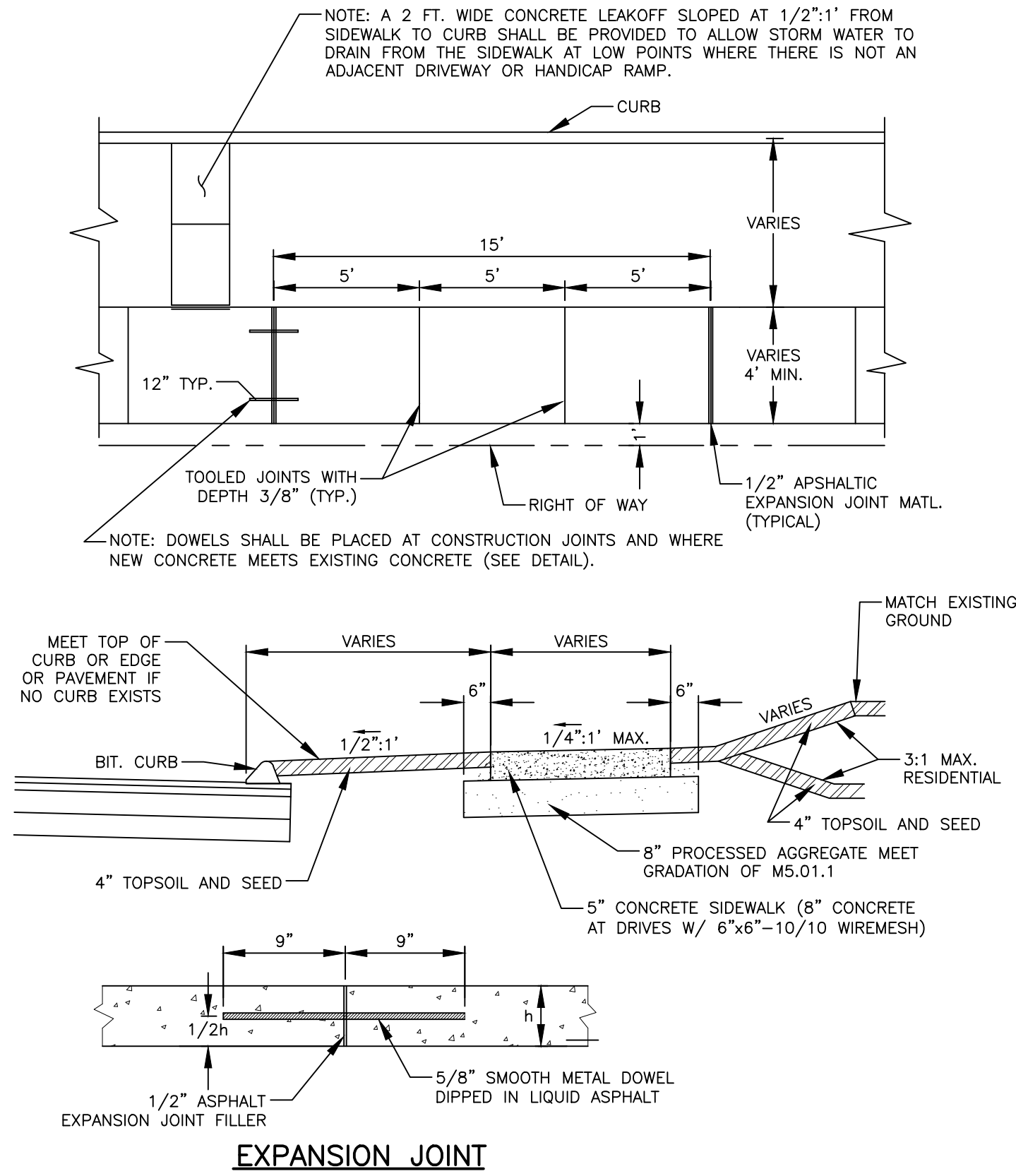
3 BITUMINOUS CONCRETE LIP CURB

Not to Scale



4 PAINTED STOP BAR

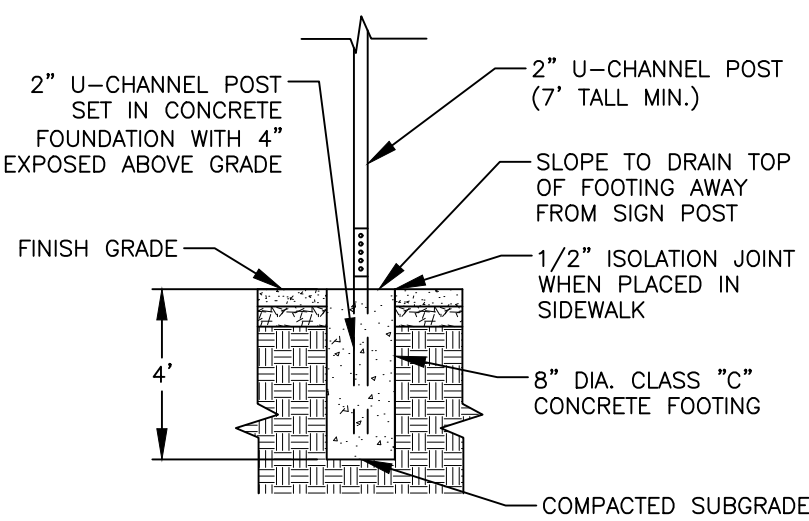
Not to Scale



- NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
 2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
 3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
 4. PROVIDE LIGHT BROOMED FINISH PERPENDICULAR TO TRAVEL PATH

5 CONCRETE SIDEWALK

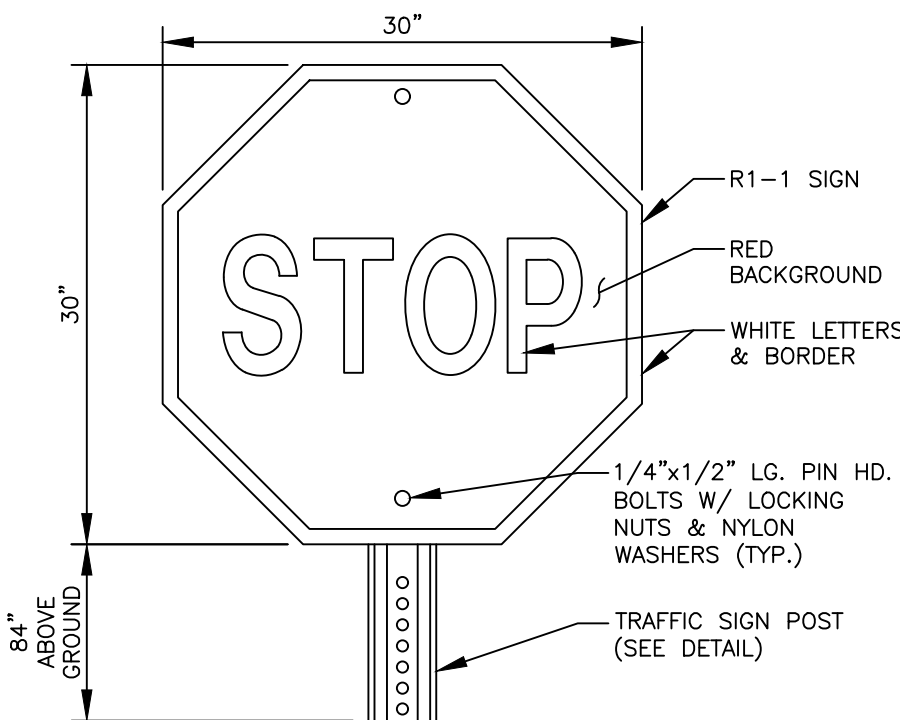
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- NOTES:
1. SUPPORTS SHALL BE METAL GALVANIZED STEEL POSTS (4 LB. / FT.) WITH BREAKAWAY COUPLING SYSTEM.
 2. USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS FOR POST CONNECTION.
 2. USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH NYLON WASHERS AND LOCKING NUTS FOR SIGN MOUNTING.
 3. CONCRETE FOOTING SHALL EXTEND MINIMUM 4\"/>
 4. SIGN HEIGHT SHALL CONFORM TO MUTCD STANDARDS UNLESS NOTED OTHERWISE ON THE PLANS.
 5. MAINTAIN 12\"/>

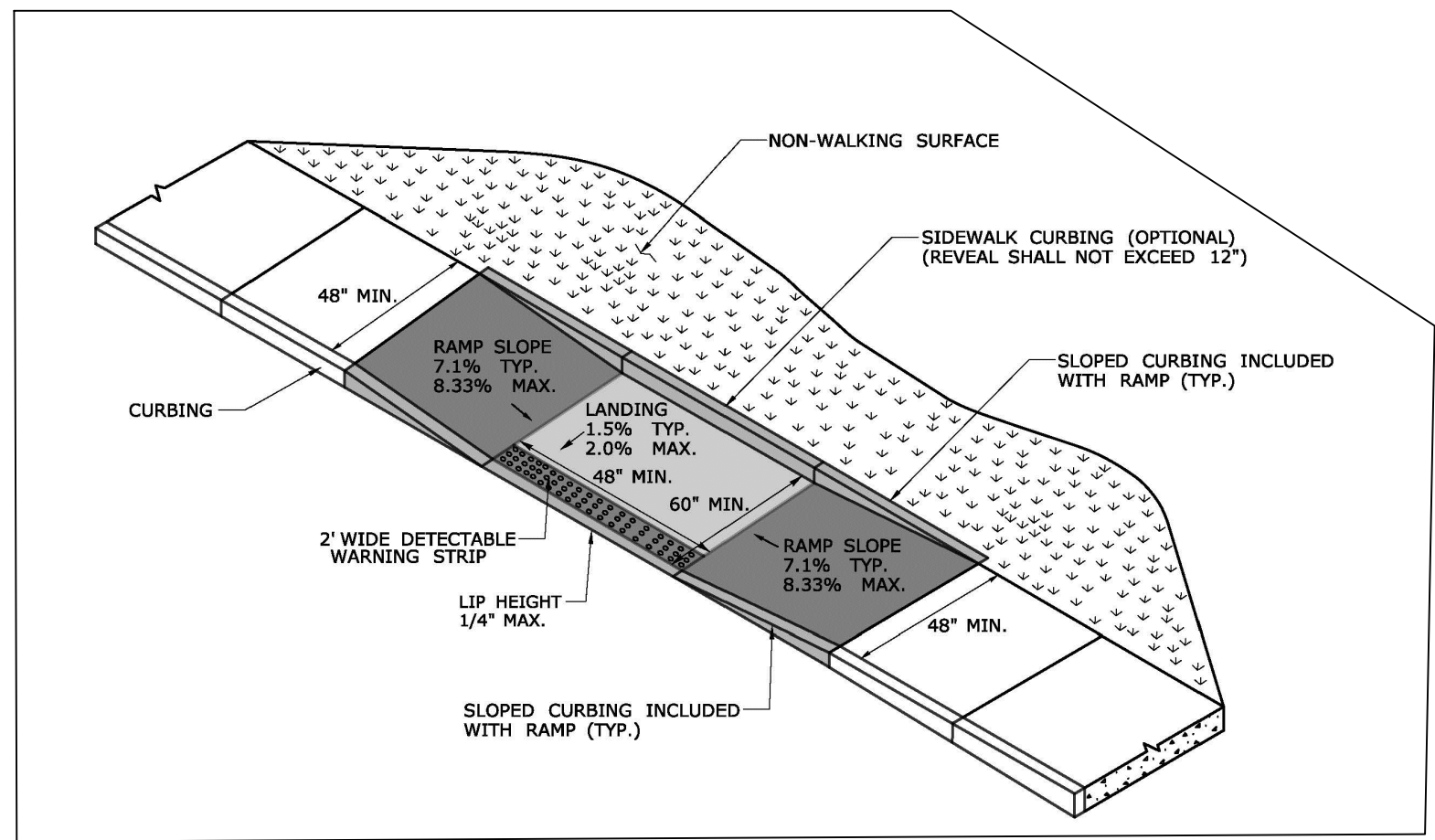
6 TRAFFIC SIGN POST

Not to Scale



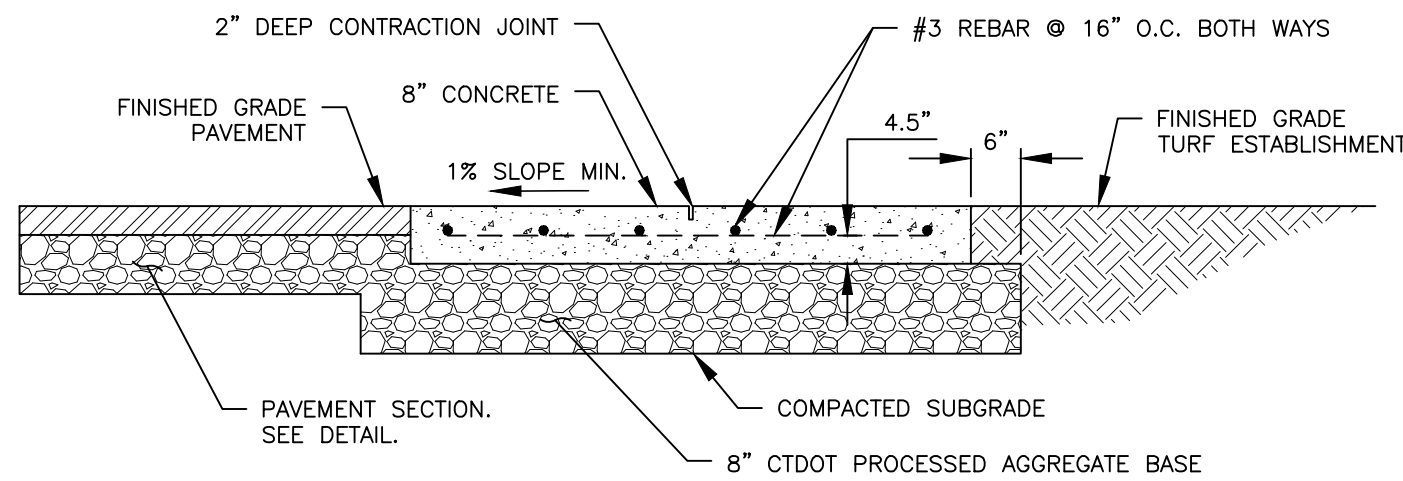
7 STOP SIGN

Not to Scale



8 PARALLEL CONCRETE SIDEWALK RAMP

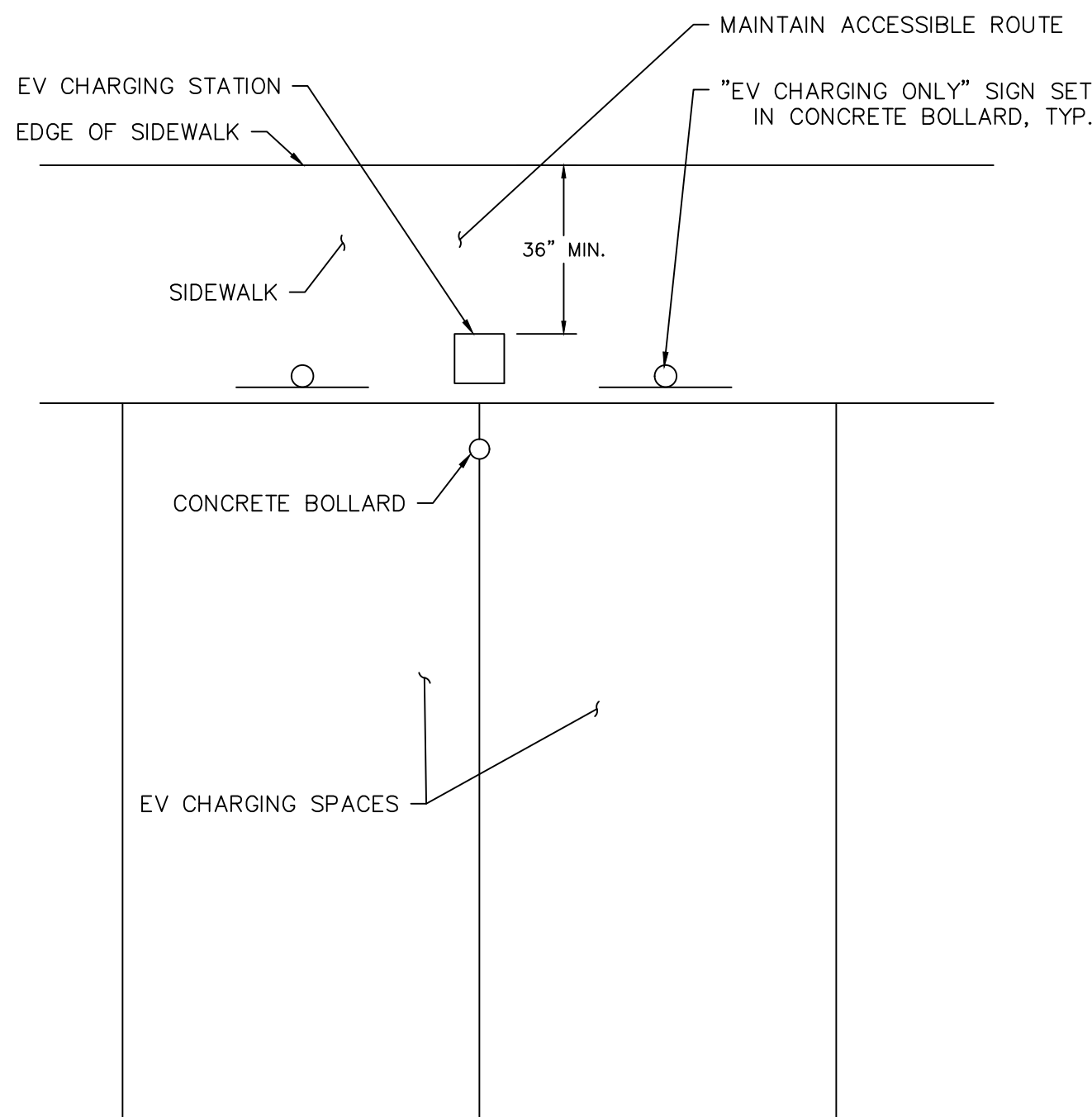
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- NOTES:
3. CONCRETE PAVEMENT SHALL BE 4,000-PSI, AIR-ENTRAINED, CTDOT CLASS 'F'.
 4. PROVIDE LIGHT BROOM FINISH WITH 2\"/>
 5. MAINTAIN MINIMUM OF 3\"/>
 6. SEE SITE PLANS FOR LAYOUT AND DIMENSIONS.

9 DUMPSTER PAD SECTION

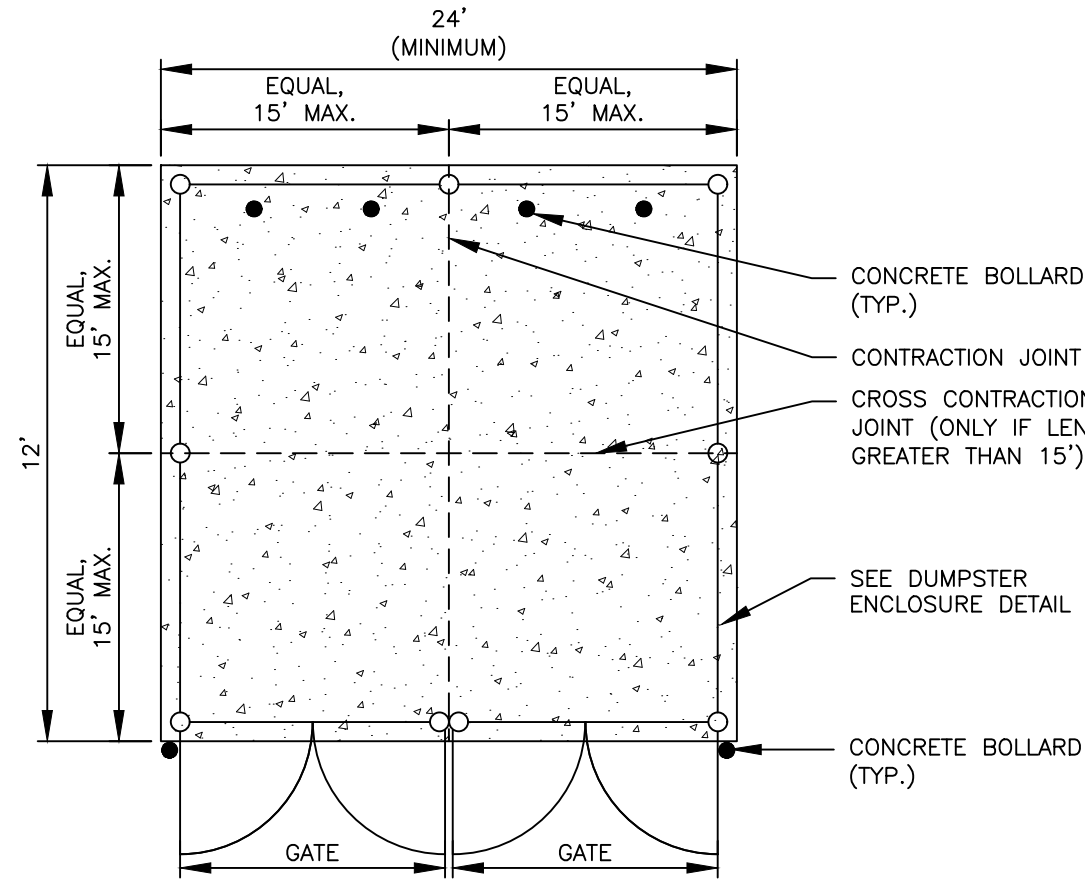
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- NOTES:
1. ALIGN CHARGING STATION WITH STRIPE IN BETWEEN STANDARD PARKING SPACES
 2. LOCATE CHARGING STATIONS FOR ACCESSIBLE SPACES TO MAINTAIN ACCESSIBLE ROUTE, INCLUDING HATCHED AREA NEXT TO PARKING. THIS INCLUDES WHEN CHARGING CORDS ARE EXTENDED AND CHARGING VEHICLES IN ACCESSIBLE PARKING SPACES.

10 EV CHARGING STATION LAYOUT

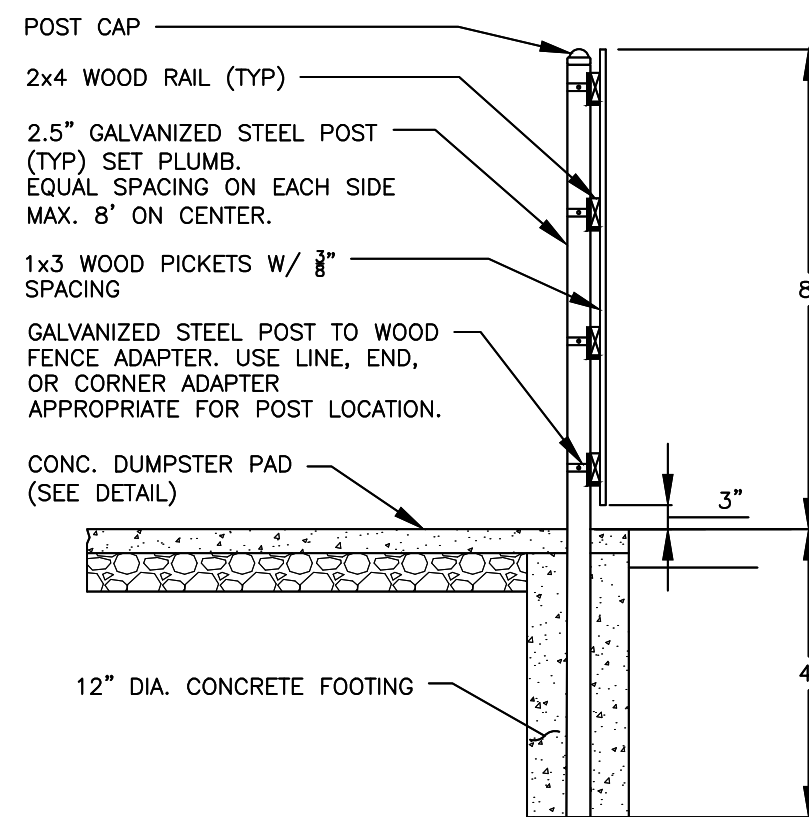
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- NOTES:
1. GATES TO INCLUDE PLUNGER RODS AND LOCKS

11 DUMPSTER PAD PLAN

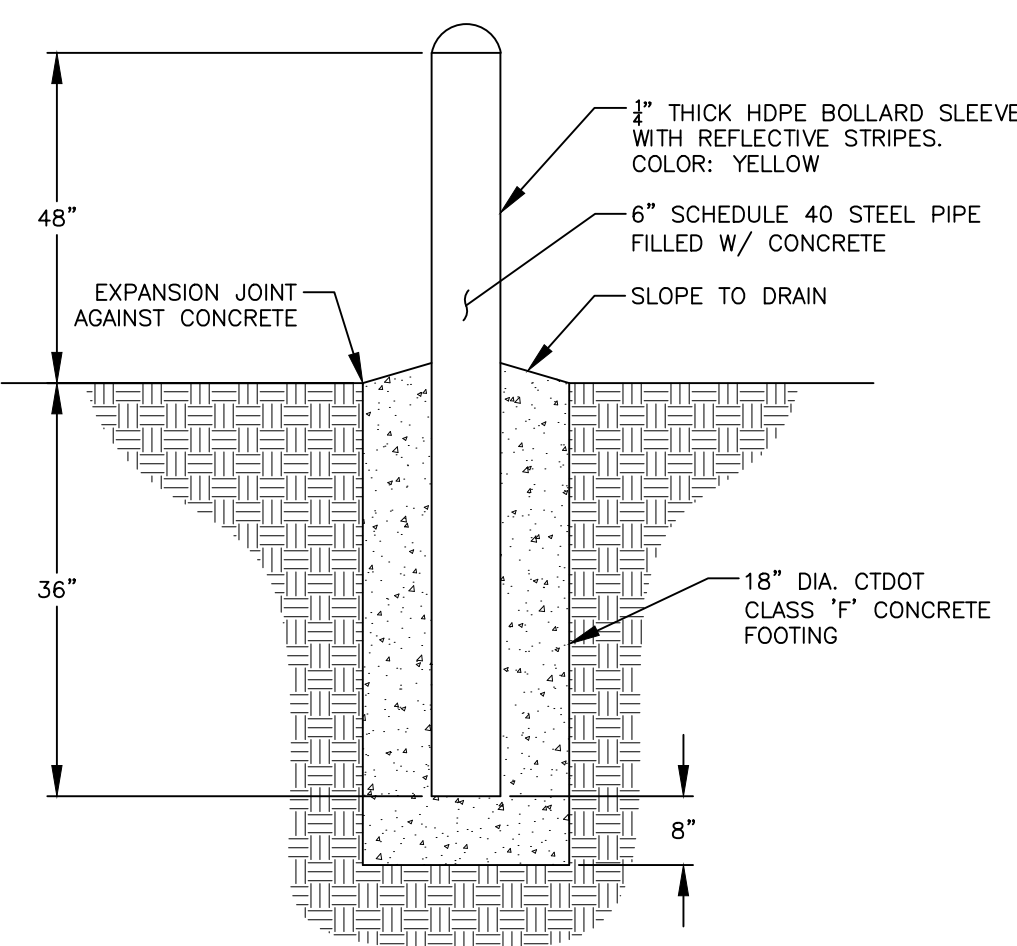
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- NOTES:
1. FINISH SIDE TO FACE AWAY FROM DUMPSTER PAD.
 2. ALL FASTENERS TO BE HOT-DIPPED GALVANIZED.
 3. ALL WOOD TO BE SPRUCE OR PRESSURE TREATED.

12 DUMPSTER ENCLOSURE SECTION

Not to Scale



13 CONCRETE BOLLARD

Not to Scale

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Dr. Vasanth Kalikaryam
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.	DATE	BY	CHKD	APPD
06074	3/27/24			

MEDICAL OFFICE BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

NO.

DATE

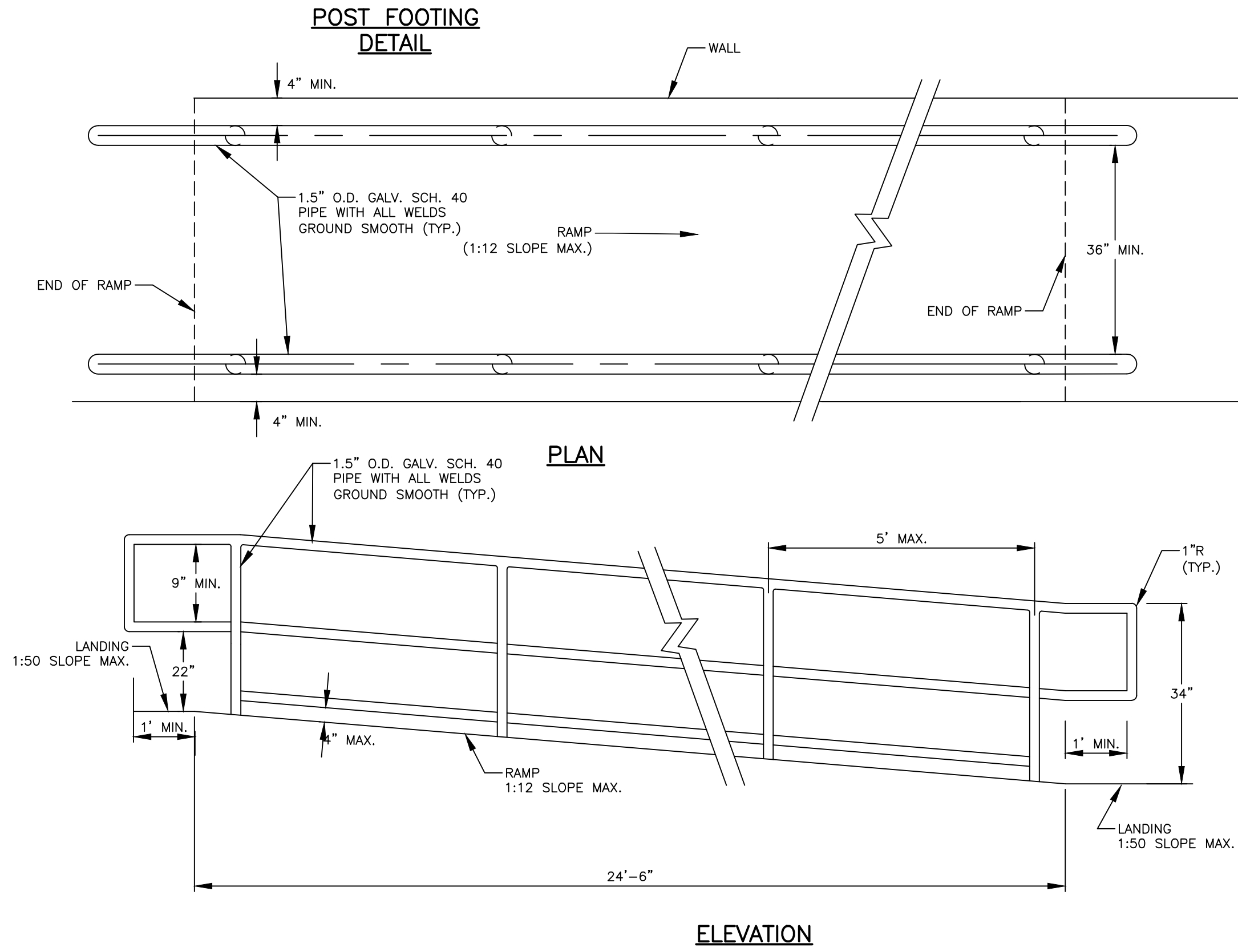
REVISIONS

BY

DETAILS

SHEET
C-D2
SHEET 13 OF 16

1 ACCESSIBLE RAMP WITH HANDRAILS

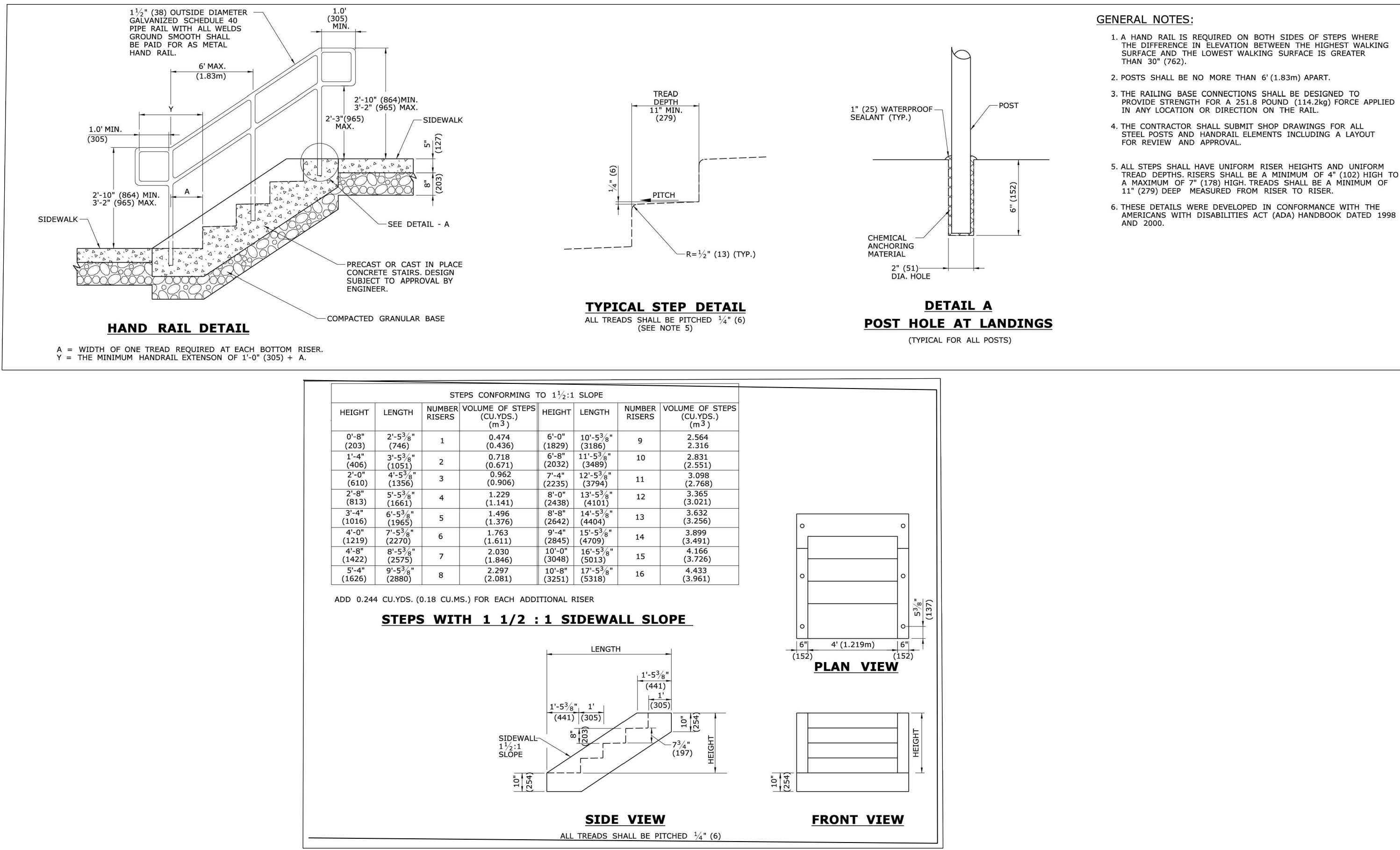


NOTES:

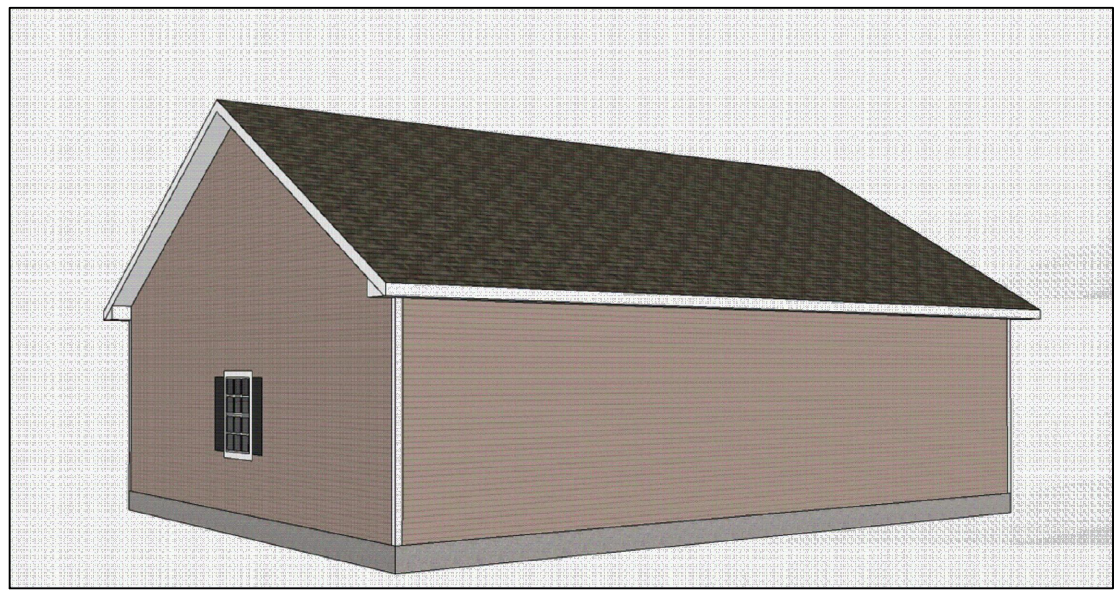
1. COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS, THE CURRENT ADA REGULATIONS, GUIDELINES, AND CONSTRUCTION STANDARDS, AND APPROPRIATE BUILDING CODES.
2. DETAIL IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND DETAILS OF COMPLETE HANDRAIL SYSTEM FOR APPROVAL PRIOR TO FABRICATION.

Not to Scale

2 CONCRETE STAIRS WITH HANDRAILS



2



REAR ELEVATION



FRONT ELEVATION

NOTE:

1. PROPOSED BARN SHALL BE STATESMAN STYLE BUILDING AS PROVIDED BY KLOTHER FARMS.

3 PROPOSED BARN ELEVATIONS

Not to Scale

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

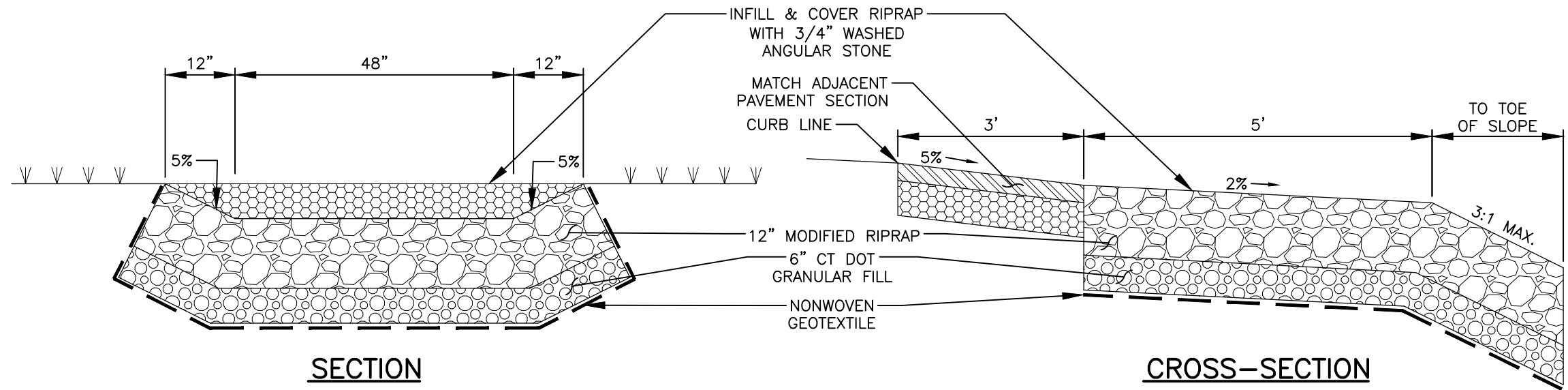
PREPARED FOR
Dr. Vasanth Kankaryam
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.
5195
DATE
3/27/24
DRAWN BY
JAM
CHECKED BY
AKC

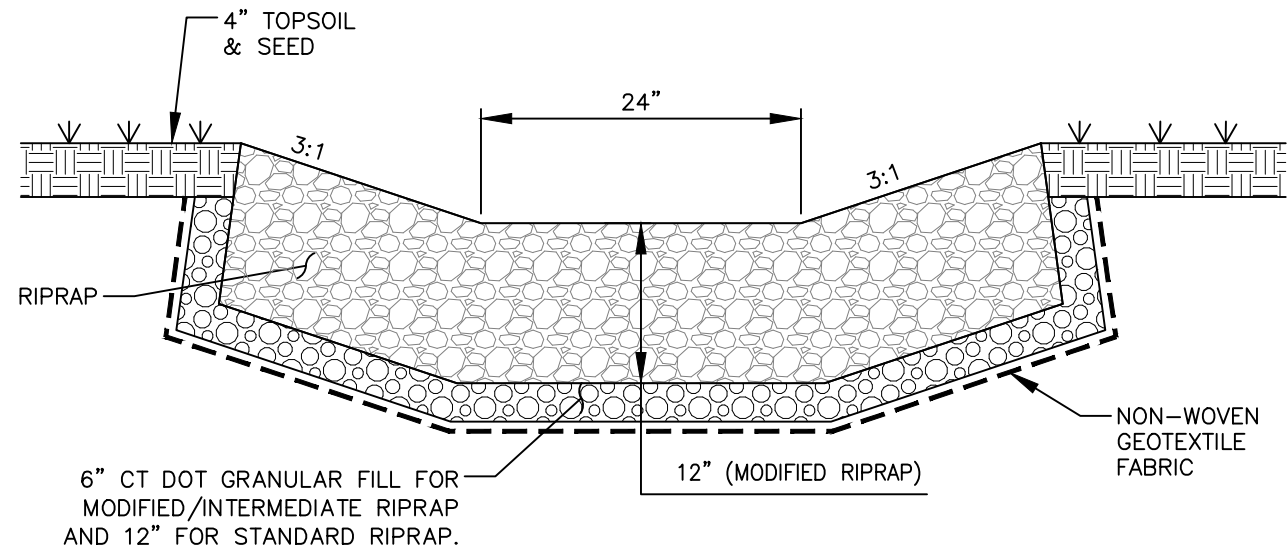
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SHEET
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SHEET 14 OF 16

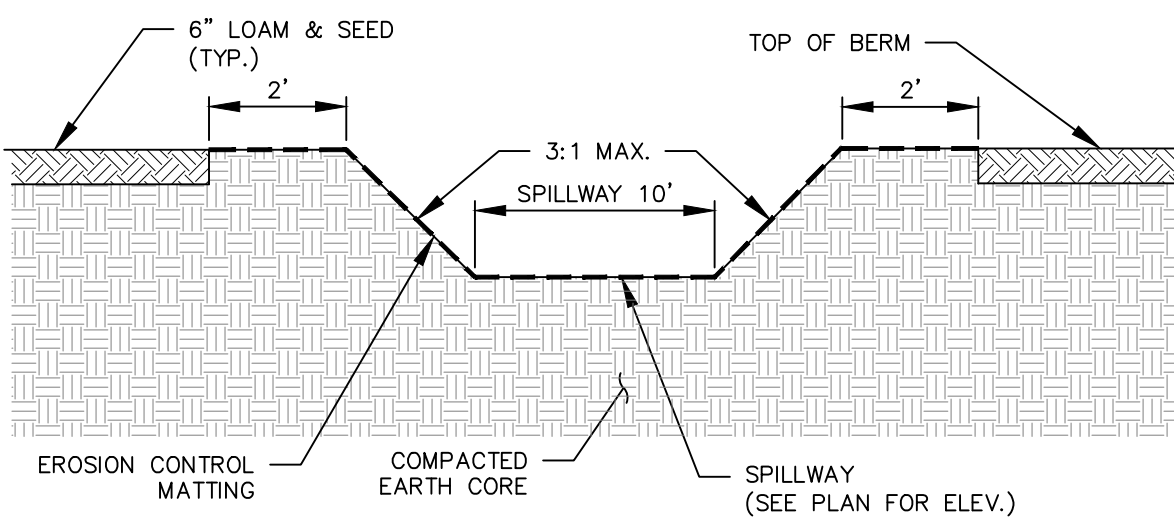
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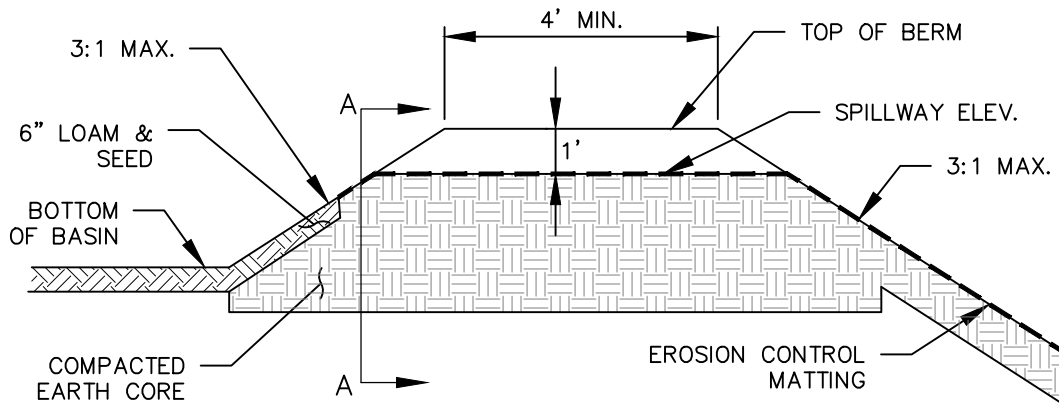
1 PAVED LEAK OFF Not to Scale



2 RIPRAP SWALE Not to Scale

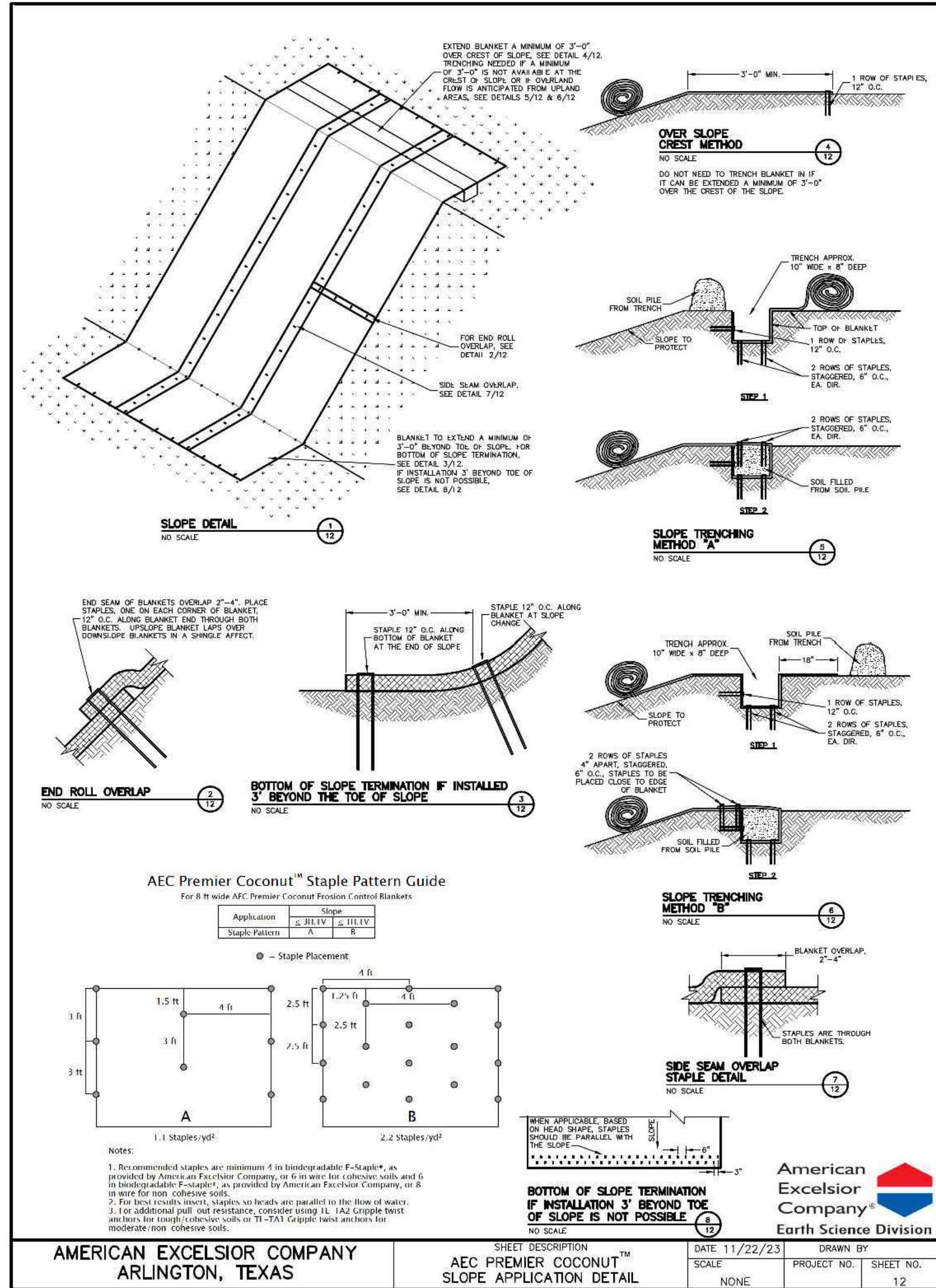


SECTION A-A



CROSS SECTION

3 WATER QUALITY INFILTRATION BASIN SPILLWAY Not to Scale



AMERICAN EXCELSIOR COMPANY
ARLINGTON, TEXAS

SHEET DESCRIPTION
AEC PREMIER COCONUT
SLOPE APPLICATION DETAIL

DATE: 11/22/23
SCALE: NONE
PROJECT NO.:
DRAWN BY:
SHEET NO.: 12

MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

REVISIONS

DETAILS

SHEET
C-D4
SHEET 15 OF 16

PROPERTY OWNER/APPLICANT:
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PREPARED FOR
Dr. Vasanth Kankaryam
162 Cornerstone Drive
South Windsor, CT 06074
PROJECT NO.
5195
DATE
3/27/24
DRAWN BY
JSH
CHECKED BY
JSH



1 FRONT ELEVATION

Not to Scale



2 REAR ELEVATION

Not to Scale



3 WEST ELEVATION

Not to Scale



4 EAST ELEVATION

Not to Scale

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

EXISTING
ELEVATIONS

SHEET

C-A1

SHEET 16 OF 16

REVISIONS

BY

NO. DATE

MEDICAL OFFICE

BUILDING

1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

PROJECT NO.

DATE

3/27/24

DESIGN BY

DATE

DATE

DATE

PREPARED FOR

Dr. Vasanth Kalikaryam
162 Cornerstone Drive
South Windsor, CT 06074

* This plan is a preliminary drawing and is not to be used for construction without the approval of the architect.

* Representations made in this drawing are based on information furnished by the owner and are not to be relied upon for any other purpose.

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