

MEDICAL OFFICE BUILDING

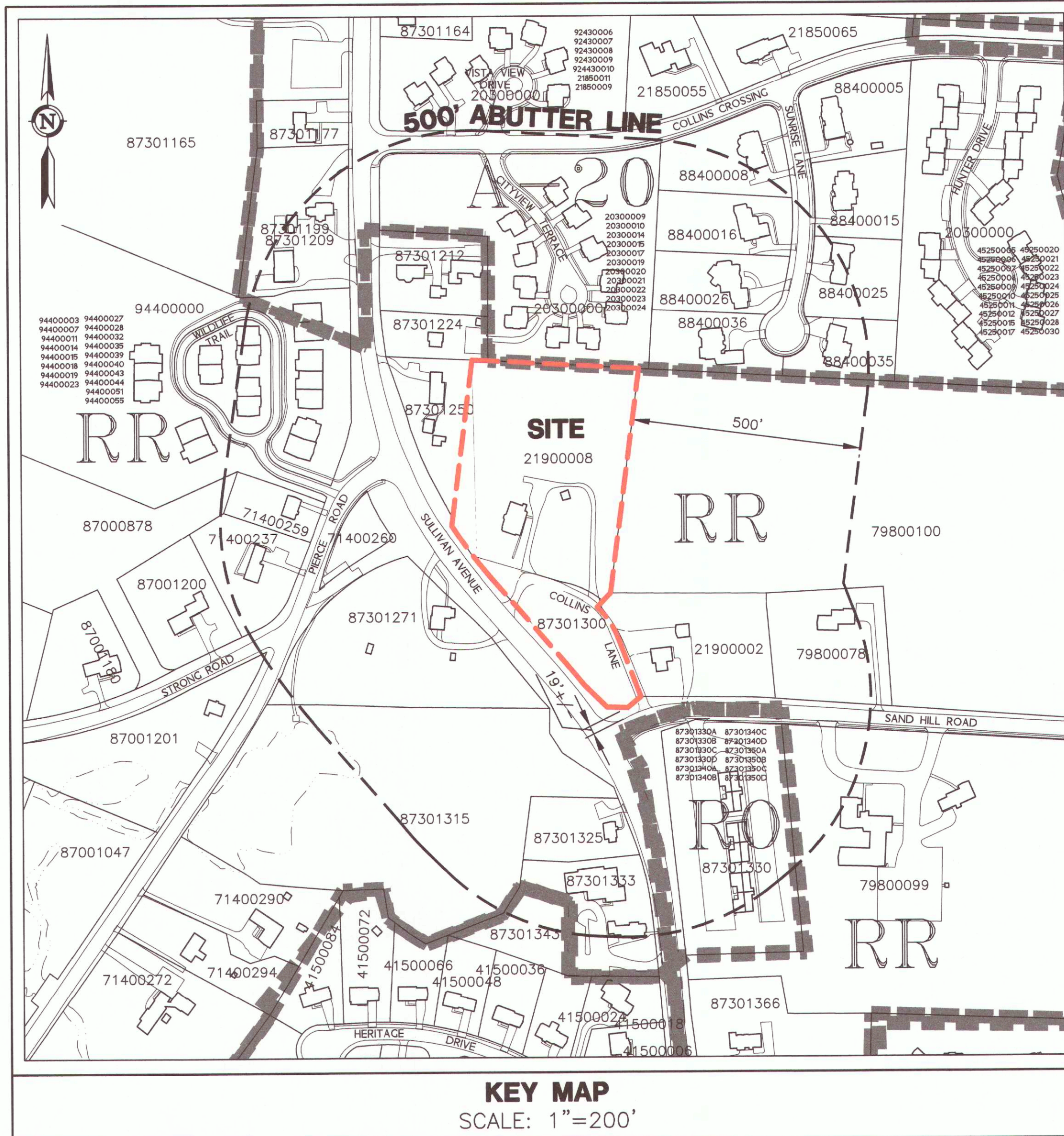
SPECIAL EXCEPTION APPLICATION

1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR ~ CT
GIS PIN: 21900008, 87301300

N/F 500' ABUTTERS

Parcel ID	Site Address	Owner Name
20300000	COLLINS CROSSING	NA
20300009	9 CITYVIEW TERRACE	SANSON FREDERICK M & LOUISE A
20300010	10 CITYVIEW TERRACE	NAPOITANO FRANK & JANE
20300014	14 CITYVIEW TERRACE	SANSEL THERESA C L/U
20300015	15 CITYVIEW TERRACE	SEXTON MARINA V & JOHN FRANCIS
20300017	17 CITYVIEW TERRACE	LASKOV RONALD E & BLANCHE D
20300019	19 CITYVIEW TERRACE	CLARK JAMES H
20300020	20 CITYVIEW TERRACE	SCHILLINGER MARILYN S
20300021	21 CITYVIEW TERRACE	HOBBY DAVID A & JANET B
20300022	22 CITYVIEW TERRACE	BURNHAM JUDY
20300023	23 CITYVIEW TERRACE	ALMEIDA ANA
20300024	24 CITYVIEW TERRACE	STACK SANDRA L &
21850009	9 COLLINS CROSSING	KOENIG MARY
21850011	11 COLLINS CROSSING	KOENIG MARY
21900002	2 COLLINS LANE	TAYLOR THOMAS & SARAH
21900008	8 COLLINS LANE	4 ELEMENTS VITALITY INSTITUTE LLC
71400237	237 PIERCE ROAD	SCHMEDDING DAVID R & MARGARET E
71400259	259 PIERCE ROAD	NGUYEN THAI & THAI ANNE &
71400260	260 PIERCE ROAD	SOUTH WINDSOR TOWN OF
79800078	78 SAND HILL ROAD	HALL RAYMOND N
79800099	99 SAND HILL ROAD	PARISH OF ST PETERS CHURCH
79800100	100 SAND HILL ROAD	SOUTH WINDSOR TOWN OF
87000878	878 STRONG ROAD	WIDONALD BONNIE
87301199	1199 SULLIVAN AVENUE	MITCHELL JOHN J ESTATE OF
87301209	1209 SULLIVAN AVENUE	MITCHELL JOHN J SR ESTATE OF
87301212	1212 SULLIVAN AVENUE	BARRY DIRK &
87301224	1224 SULLIVAN AVENUE	JOHANNES NOLA C
87301230	1230 SULLIVAN AVENUE	LEDDEN NELSON & OHEMA A
87301271	1271 SULLIVAN AVENUE	SCALORA SEBASTIAN F
87301300	1300 SULLIVAN AVENUE	4 ELEMENTS VITALITY INSTITUTE LLC
87301315	1315 SULLIVAN AVENUE	CONN WATER COMPANY
87301325	1325 SULLIVAN AVENUE	RHINO PROPERTIES LLC
87301333	1333 SULLIVAN AVENUE	SOUTH WINDSOR CHILD DEV CTR
87301343	1343 SULLIVAN AVENUE	IPSO FACTO LLC
88400008	8 SUNRISE LANE	SYED JASMINE RASHEED & UMMA SALMA
88400015	15 SUNRISE LANE	CHINSKY MARY BETH TR
88400016	16 SUNRISE LANE	HANCOCK MARTIN J & BARBARA ANN
88400025	25 SUNRISE LANE	SUDAGAR MAHESWARAN & TORRES INVESTMENT FIRM LLC
88400036	36 SUNRISE LANE	GOVINDJANALA SHANTANU BOSH NANNETTE L
92430006	6 VISTA VIEW DRIVE	THARAL TAMMY J & BRADLEY A
92430007	7 VISTA VIEW DRIVE	HARNEY CHRISTINE A
92430008	8 VISTA VIEW DRIVE	NEVILLE RICHARD E & PATRICIA P
92430008	8 VISTA VIEW DRIVE	NEVILLE RICHARD E & PATRICIA P
92430009	9 VISTA VIEW DRIVE	PERDICAL RAYMOND P & CAROL A
92430010	10 VISTA VIEW DRIVE	CLEMENTINE IRENE T
94400000	SRD 9440	NA

94400003	3 WILDLIFE TRAIL	GIBBONS SHANNON R
94400007	7 WILDLIFE TRAIL	BARBOUR LIVING TRUST
94400011	11 WILDLIFE TRAIL	EMERSON CAROLYN V
94400014	14 WILDLIFE TRAIL	PUTASKI TERRY & KAREN
94400015	15 WILDLIFE TRAIL	TRUDEAU M LUGLIE
94400018	18 WILDLIFE TRAIL	BECKER THOMAS J
94400019	19 WILDLIFE TRAIL	PISTOA FILomenA
94400023	23 WILDLIFE TRAIL	MOHALE JAMES P & KATHLEEN M
94400027	27 WILDLIFE TRAIL	DACOSTA ELISE
94400028	28 WILDLIFE TRAIL	GRIGORIAN MICHELE
94400032	32 WILDLIFE TRAIL	GIDEZ PAMELA S
94400035	35 WILDLIFE TRAIL	DUMONT RL & JM LIVING TRUST
94400039	39 WILDLIFE TRAIL	MITCHELL MATTHEW D
94400040	40 WILDLIFE TRAIL	BURKE PAULA J TR
94400043	43 WILDLIFE TRAIL	O'CONNOR TERESA H REV TR
94400044	44 WILDLIFE TRAIL	MILLER KRISTINE R
94400051	51 WILDLIFE TRAIL	GOBETT FRANK W &
94400055	55 WILDLIFE TRAIL	VALACER STASIA M
87301330A	1330 SULLIVAN AVENUE #A	JSH REALTY LLC
87301330B	1330 SULLIVAN AVENUE #B	JSH REALTY LLC
87301330C	1330 SULLIVAN AVENUE #C	1330 SULLIVAN AVENUE LLC
87301330D	1330 SULLIVAN AVENUE #D	CALABRESE LORI
87301340A	1340 SULLIVAN AVENUE #A	BAD DOG PROPERTIES LLC
87301340B	1340 SULLIVAN AVENUE #B	BAD DOG PROPERTIES LLC
87301340C	1340 SULLIVAN AVENUE #C	BUJOUX PROPERTIES LLC
87301340D	1340 SULLIVAN AVENUE #D	BUJOUX PROPERTIES LLC
87301350A	1350 SULLIVAN AVENUE #A	CONNECT PROPERTIES LLC
87301350B	1350 SULLIVAN AVENUE #B	CONNECT PROPERTIES LLC
87301350C	1350 SULLIVAN AVENUE #C	SC REALTY LLC
87301350D	1350 SULLIVAN AVENUE #D	SC REALTY LLC



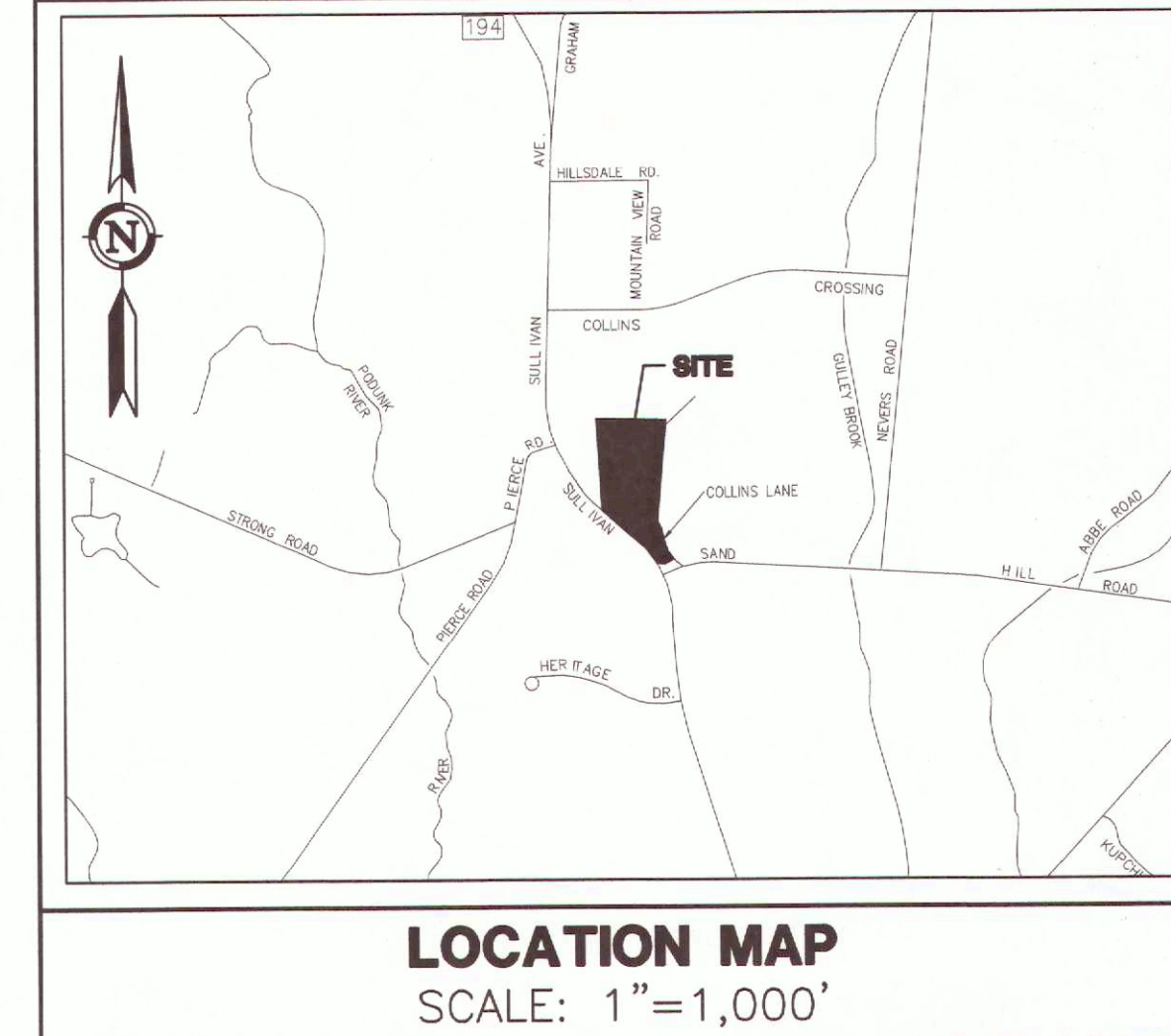
KEY MAP
SCALE: 1"=200'

CIVIL ENGINEER,
LANDSCAPE ARCHITECT
& LAND SURVEYOR:

design professionals
INC
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
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LOCATION MAP
SCALE: 1"=1,000'

ZONING TABLE			
ZONE: RURAL RESIDENTIAL (RR)/OFFICE CONVERSION OVERLAY (OCO)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	208,758 SF (4.792 AC)	208,758 SF (4.792 AC)
LOT FRONTAGE	175'	526.85'	SAME
LOT DEPTH	200'	359'	SAME
FRONT YARD	50'	85.3'	SAME
SIDE YARD	20'	112.8'	SAME
REAR YARD	50'	303.1'	SAME
BUILDING HEIGHT	30'/2.5 STORIES	EXISTING HOUSE	SAME
LOT COVERAGE	15%	1.2%	SAME*
IMPERVIOUS COVERAGE	40%**	6.7%	9.7%***

- * PROPOSED BUILDING ADDITION AND BARN (FUTURE PHASES) WILL INCREASE LOT COVERAGE TO 2.1%
- ** MAXIMUM IMPERVIOUS COVERAGE IN THE OFFICE CONVERSION OVERLAY ZONE IS 40%
- *** PROPOSED BUILDING ADDITION AND BARN (FUTURE PHASES) AND RESERVE PARKING WILL INCREASE IMPERVIOUS COVERAGE TO 12.1%

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PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
MEDICAL OFFICE	4 SP/1,000 GSF	3,800 GSF	N/A	15.2
TOTAL				15.2

RESERVE PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
BARN (PHASE 2)	-	1,008 GSF	N/A	0
MEDICAL OFFICE ADDITION (PHASE 3)	4 SP/1,000 GSF	1,800 GSF	N/A	7.2
TOTAL				7.2

TOTAL PARKING REQUIRED: 15.2 + 7.2 = 22.4 SPACES

PARKING PROVIDED

LOCATION	QUANTITY
AUTO PARKING	20
RESERVE PARKING	7
TOTAL	27

PARKING NOTES:
* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES SHALL BE PROVIDED AS LEVEL 2 EV INSTALLED AND LEVEL 2 EV READY.

ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES SHALL BE PROVIDED AS LEVEL 2 EV INSTALLED AND LEVEL 2 EV READY.
10% OF PROPOSED SPACES ARE REQUIRED TO BE LEVEL 2 EV READY. 2 LEVEL 2 EV READY SPACES ARE REQUIRED. (20 SPACES X .10 = 2)
7% OF EV READY SPACES ARE REQUIRED TO BE INSTALLED. (20 X .07 = 1.4).
THEREFORE, 2 LEVEL 2 EV INSTALLED SPACES ARE PROVIDED WITH ONE BEING VAN ACCESSIBLE RESTRICTED TO EV CHARGING.

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074



MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

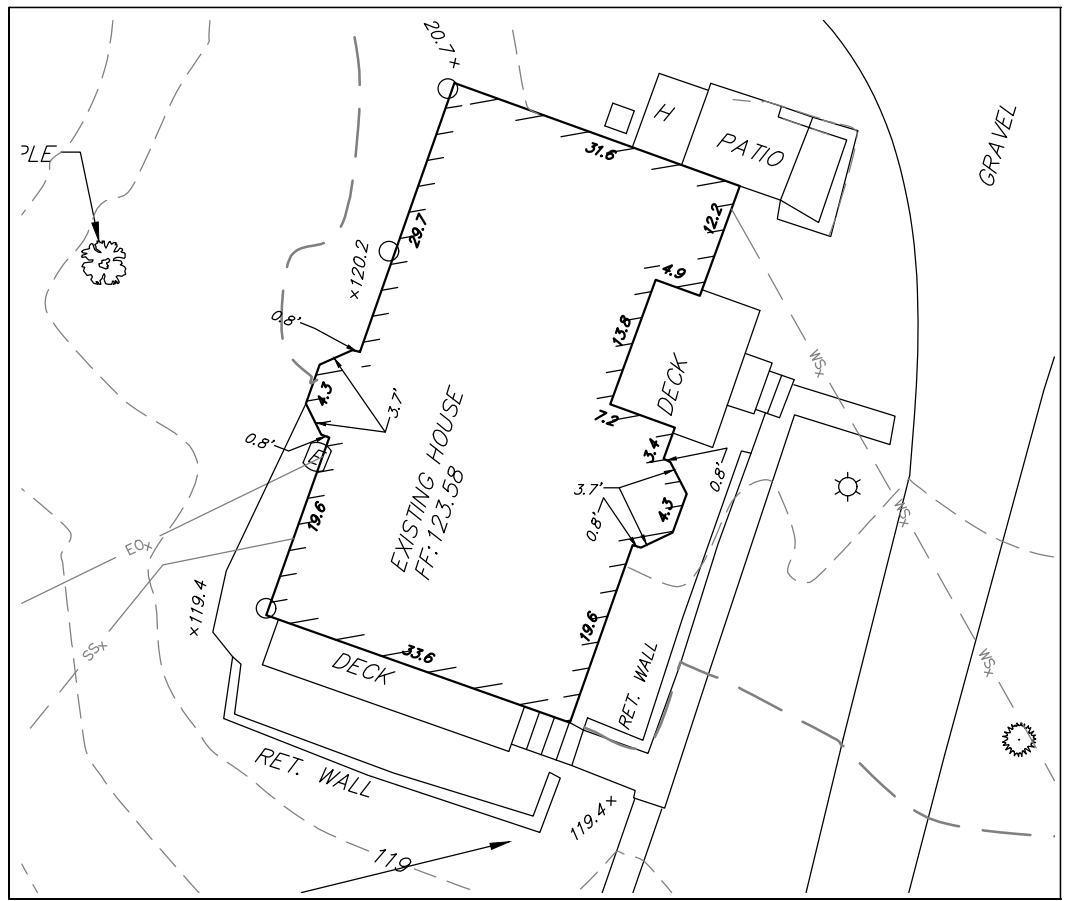
TITLE SHEET

SHEET
C-T1
SHEET 1 OF 16

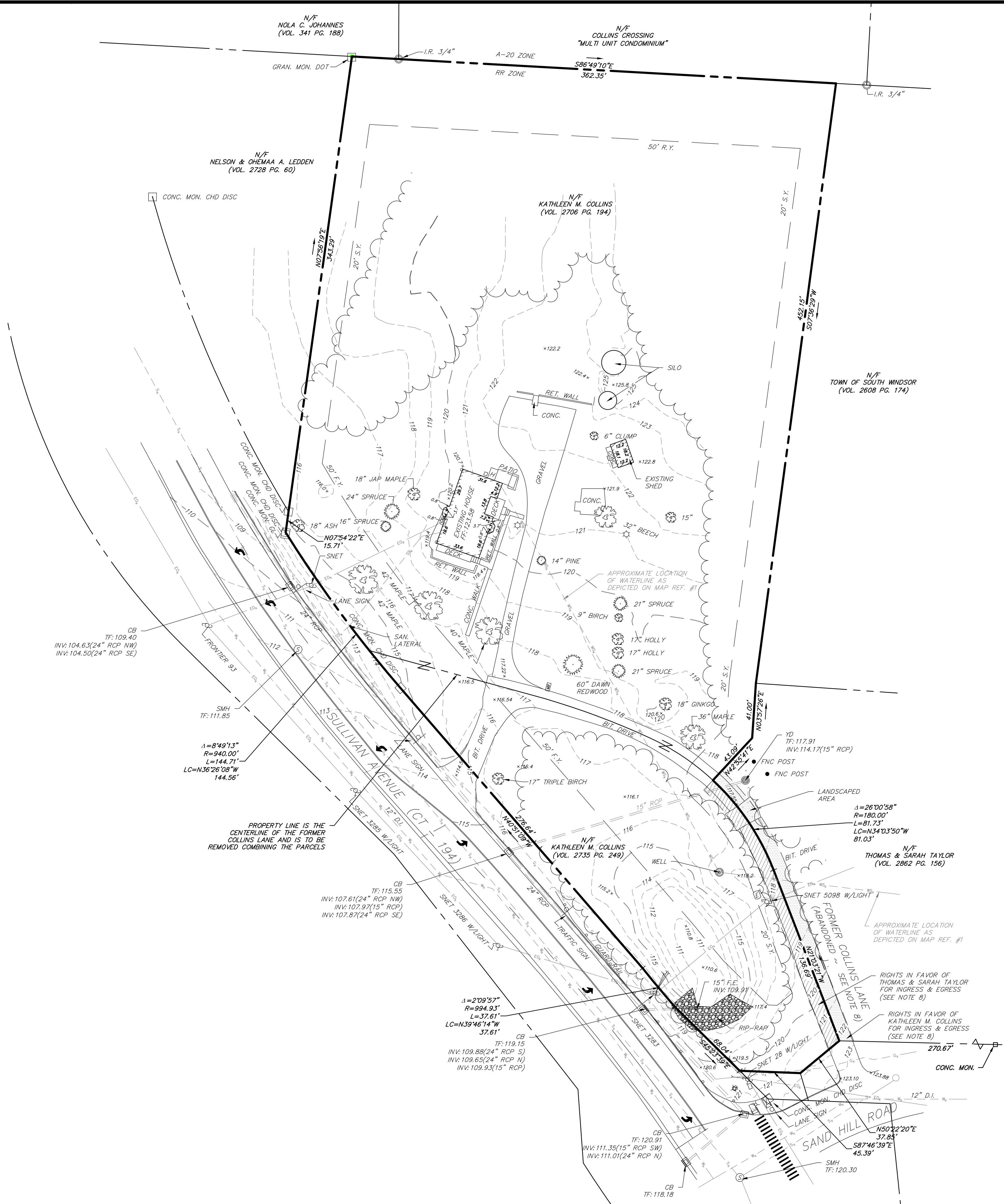
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LEGEND	
EXISTING	DESCRIPTION
BORINGS	
	BORING / TEST PIT LOCATION
COMMUNICATION	
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
	APPROX. UNDERGROUND COMMUNICATION LINES
CONTROL POINTS	
	BENCHMARK
DOMESTIC WATER	
	APPROX. WATER MAIN
	APPROX. WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
LIGHTING	
	POLE MOUNTED LIGHT
NATURAL GAS	
	GAS VALVE
	APPROX. GAS MAIN
	APPROX. GAS SERVICE LINE
POWER	
	ELECTRICAL LINES, OVERHEAD
	APPROX. ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
	UTILITY POLE WITH LIGHT
	UTILITY POLE WITH TRANSFORMER
PROPERTY	
	PROPERTY LINE
	EASEMENT LINE
	IRON PIPE
	IRON ROD
	MONUMENT
ROADS	
	GUARD RAIL
	SIGN
SITE FEATURES	
	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	STONE WALL
	TREE
	TREE LINE
SANITARY SEWER	
	APPROX. SANITARY SEWER MAIN
	APPROX. SANITARY SEWER SERVICE LINE
	SANITARY SEWER MANHOLE
	SEWER CLEAN OUT
STORM SEWER	
	APPROX. STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY	
	CONTOUR
	SPOT ELEVATION
WETLANDS	
	WETLANDS LINE



HOUSE DETAIL
SCALE: 1" = 20'



- NOTES:
1. PROPERTY IS IN THE RR ZONE.
 2. TOTAL COMBINED PARCELS CONTAINS 208,758 SQUARE FEET OR 4.792 ACRES.
 3. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD88.
 4. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 0903030383" TOWN OF SOUTH WINDSOR CONNECTICUT HARTFORD COUNTY EFFECTIVE DATE: 9/26/2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
 5. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.
 7. THERE ARE NO WETLANDS ON THE PROPERTY PER A SITE INSPECTION BY GEORGE T. LOGAN OF REMA ECOLOGICAL SERVICES, LLC ON OCTOBER 9, 2023.
 8. PER THE TOWN OF SOUTH WINDSOR TOWN COUNCIL MEETING DATED SEPTEMBER 18, 2023 THE TOWN COUNCIL VOTED TO ABANDON COLLINS LANE. SUBJECT TO RIGHTS IN FAVOR OF KATHLEEN M. COLLINS & THOMAS & SARAH TAYLOR FOR INGRESS EGRESS AND ANY RIGHTS IN FAVOR OF UTILITY COMPANIES FOR MAINTENANCE OF EXISTING SERVICES.
 9. EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT TO MAINTAIN 18" RCP AND R.C. CULVERT SLOPE & RIP RAP SPLASH PAD. (SEE MAP REF. #4)
 10. EASEMENT TO SLOPE IN FAVOR OF THE STATE OF CONNECTICUT. (SEE MAP REF. #4)
 11. PARCELS ARE TO BE COMBINED.

MAP REFERENCES:

1. TOWN OF SOUTH WINDSOR MAP SHOWING LAND ACQUIRED FROM PORTER A. COLLINS ET AL BY THE STATE OF CONNECTICUT ROUTE 194 SHEET 1 OF 1 DATE MAY 1977 SCALE: 1"=40' PREPARED BY KARL F. CRAWFORD TRANSPORTATION CHIEF ENGINEER - BUREAU OF HIGHWAYS
2. BOUNDARY SURVEY ZONE CHANGE MAP, INDEPENDENT RESURVEY PREPARED FOR COLLINS CROSSING, L.L.C. SULLIVAN AVENUE & NEVERS ROAD SOUTH WINDSOR - CONNECTICUT DATE: MAR. 26, 1996 SCALE 1" = 40 FT. SHEET 1 AND 2 OF 2 PREPARED BY DESIGN PROFESSIONALS, INC.
3. CONVEYANCE MAP INDEPENDENT RESURVEY PREPARED FOR: COLLINS CROSSING, LLC SULLIVAN AVENUE & NEVERS ROAD SOUTH WINDSOR, CT DATE: OCT. 3, 1996 SCALE 1 INCH = 40 FT. PREPARED BY DESIGN PROFESSIONALS, INC.
4. STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR EAST WINDSOR HILL - WAPPING ROAD FROM WAPPING CENTER NORTHERLY ABOUT 7,600 FEET SCALE 1" = 40' DATE: JANUARY 17, 1991 SHEET 2A OF 3.
5. PROPERTY AND TOPOGRAPHIC SURVEY SAND HILL ROAD, SOUTH WINDSOR, CONNECTICUT PREPARED FOR TOWN OF SOUTH WINDSOR SCALE: 1"=10' SEPT. 1965.
6. PARCEL OF ADDITIONAL LAND TO BE ACQUIRED FROM ASHER P. & PORTER A. COLLINS BY THE TOWN OF SOUTH WINDSOR SCALE: 1"=40' DATE: APRIL 2009 URS CORPORATION AES SHEET 1 OF 3.

SURVEY NOTES:

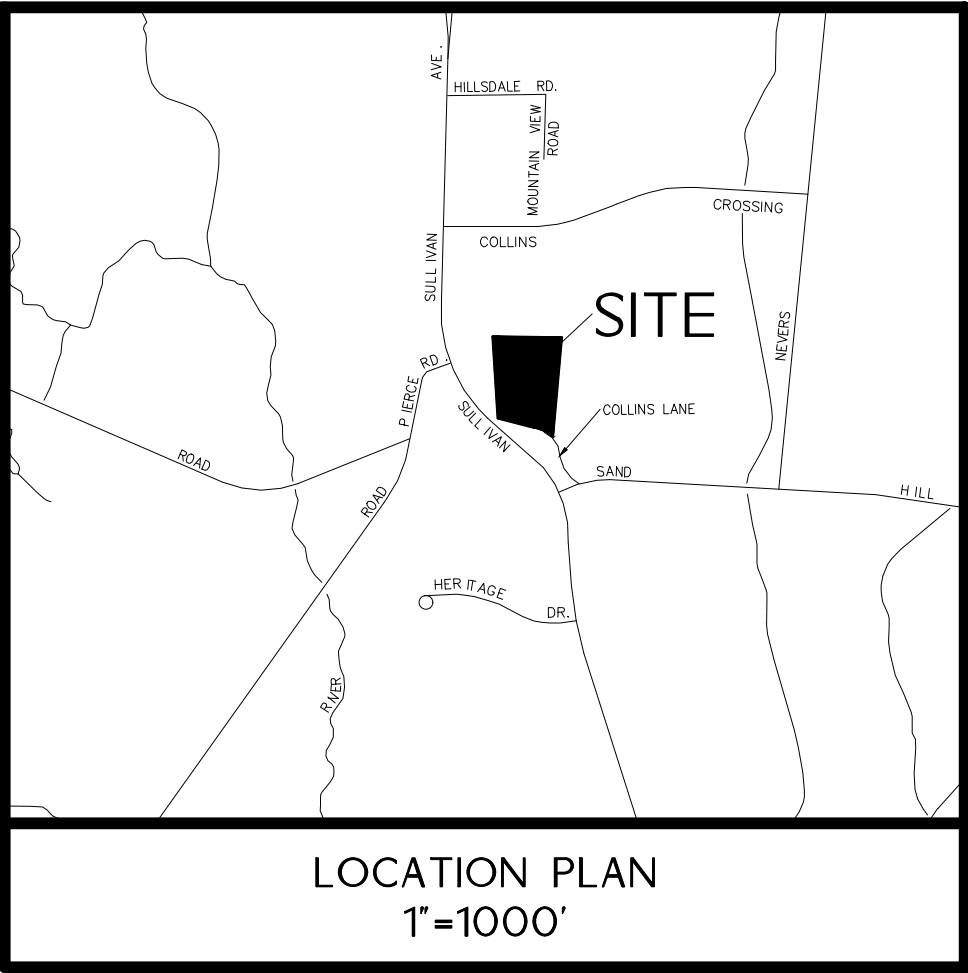
THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-302b-1 THRU 20-302b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A INDEPENDENT RESURVEY BASED ON MAP REFERENCE #1.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS 1-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S.

12327
LIC. NO.



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PREPARED FOR:
Dr. Vasanth Kankaryam
162 Cornerstone Drive
South Windsor, CT 06074

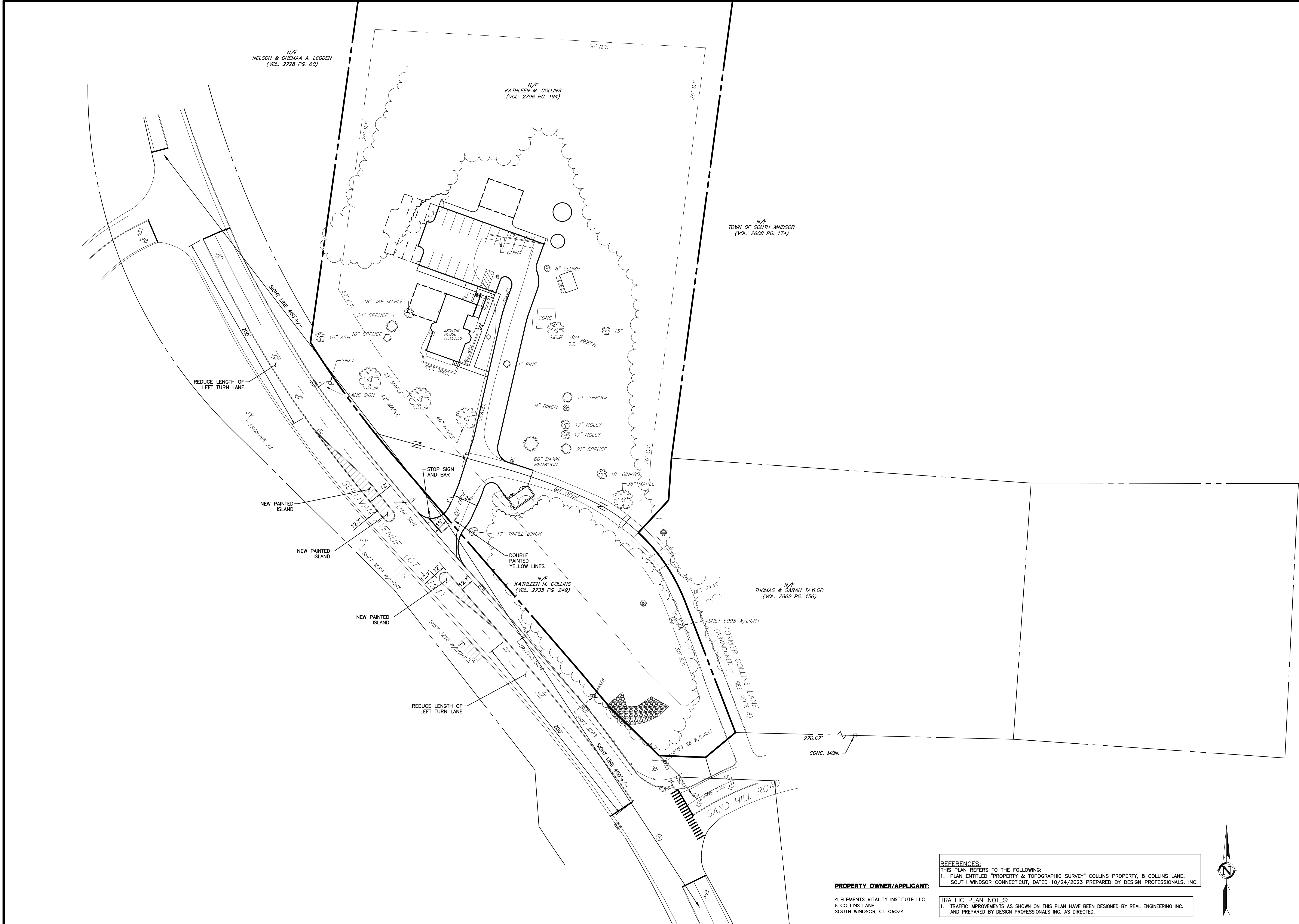
PROJECT NO. 5195
DATE: 10/24/23
DESIGN BY: [blank]
DRAWN BY: [blank]
CHECKED BY: [blank]
LIC. NO. [blank]

COLLINS PROPERTY
8 COLLINS LANE
SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY

PROPERTY & TOPOGRAPHIC SURVEY

SCALE: 0 20' 40' 80'
1" = 40'
SHEET
V-1



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

TRAFFIC PLAN NOTES:
1. TRAFFIC IMPROVEMENTS AS SHOWN ON THIS PLAN HAVE BEEN DESIGNED BY REAL ENGINEERING INC. AND PREPARED BY DESIGN PROFESSIONALS INC. AS DIRECTED.

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

TRAFFIC PLAN

REVISIONS

NO.	DATE	REVISIONS PER TOWN STAFF COMMENTS	BY
1	4/17/24		CRM

SCALE: 0 20' 40' 80'

T = 40'

SHEET 3 OF 16

C-SP1

MEDICAL OFFICE BUILDING

1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

PREPARED FOR:
Dr. Vasanth Kalikaryam
162 Cornerstone Drive
South Windsor, CT 06074

DESIGN PROFESSIONALS

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
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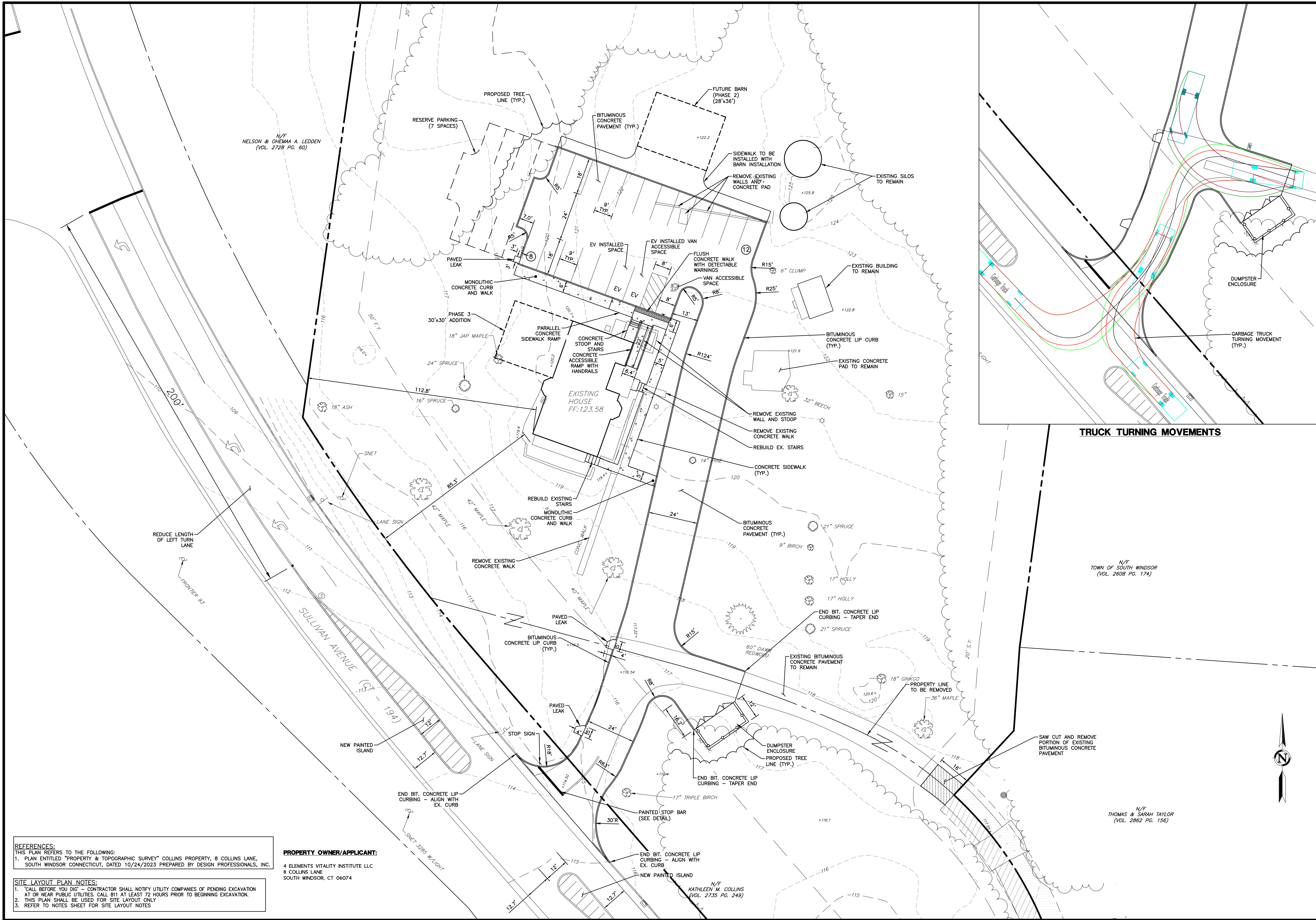
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REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE,
SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

SITE LAYOUT PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION
AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

PREPARED FOR:
Dr. Vasanth Kalikaryam
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.:
06074

DATE:
3/27/24

DESIGN BY:
CAM

CHECKED BY:
CAM

APPROVED BY:
JAC

MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

SITE PLAN

REVISIONS
NO. DATE REVISIONS PER TOWN STAFF COMMENTS BY

1 4/17/24

BY: CAM

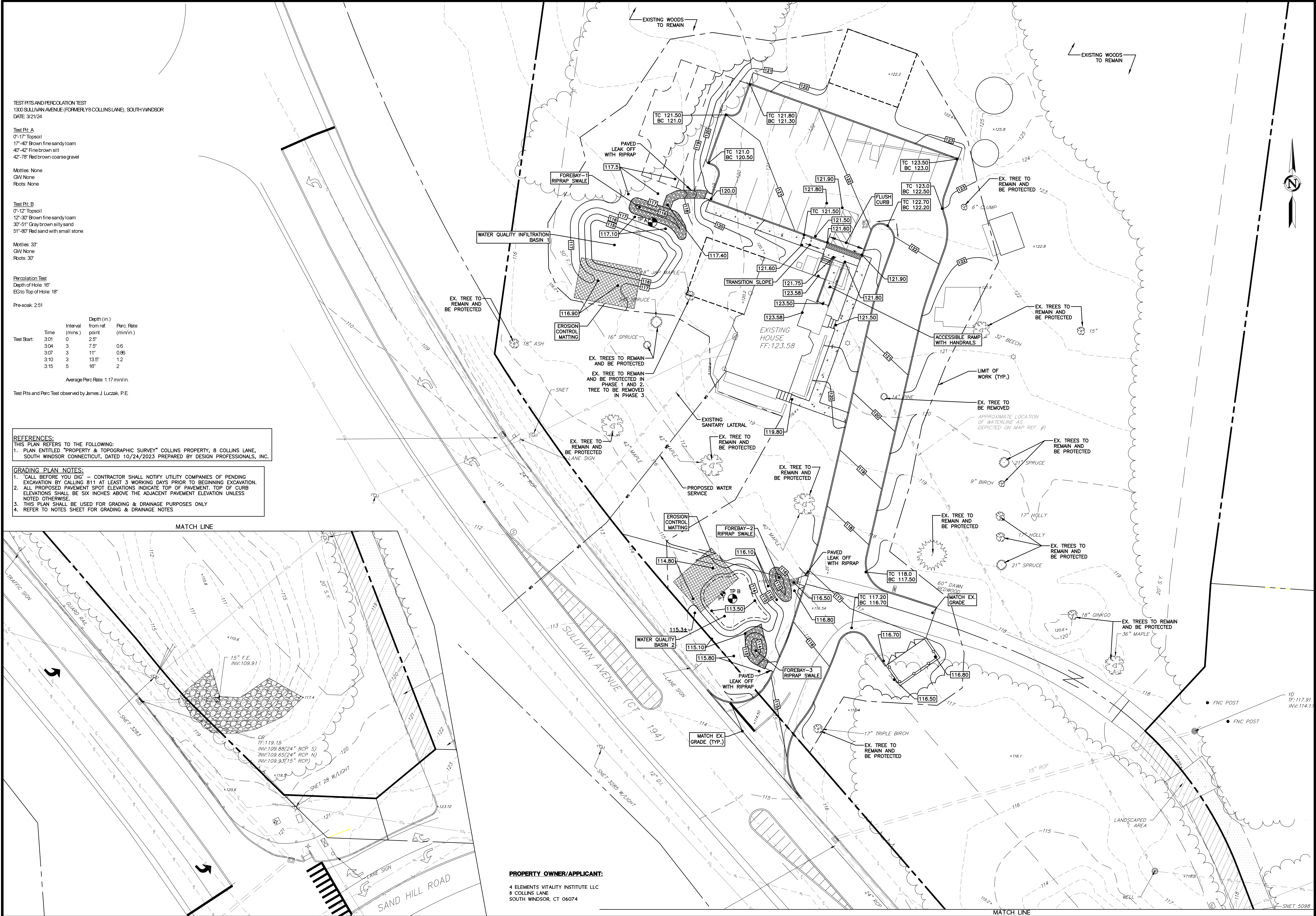
SCALE: 0' 10' 20' 40'

T = 20'

SHEET
C-SP2
SHEET 4 OF 16

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GRADING, DRAINAGE AND UTILITIES PLAN

NO. 1 DATE 4/17/24

REVISIONS

NO.	DATE	REVISIONS PER TOWN STAFF COMMENTS	BY
1	4/17/24		GM

MEDICAL OFFICE BUILDING

1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE) SOUTH WINDSOR, CONNECTICUT

REVISIONS

NO.	DATE	REVISIONS PER TOWN STAFF COMMENTS	BY
1	4/17/24		GM

SCALE: 0' 10' 20' 40'

T = 20'

SHEET

C-GD1

SHEET 5 OF 16

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PREPARED FOR:

Dr. Vasanth Kalkaryam
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.

0395

DATE

3/27/24

DESIGN BY

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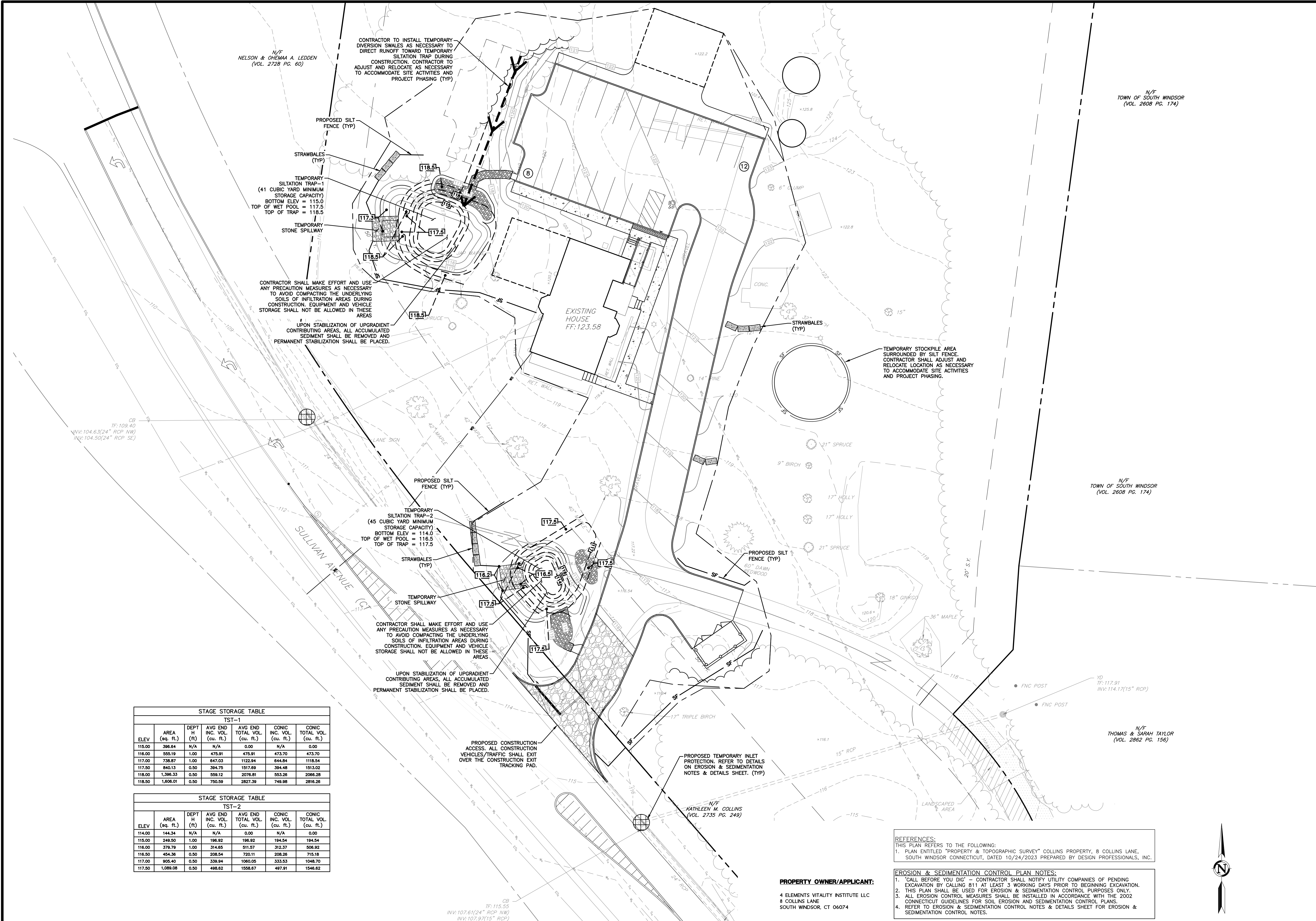
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APPROVED BY

GM

STAGE STORAGE TABLE						
TST-1						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
115.00	396.64	N/A	N/A	0.00	N/A	0.00
116.00	595.19	1.00	475.91	475.91	473.70	473.70
117.00	738.87	1.00	647.03	1122.94	644.84	1118.54
117.50	840.13	0.50	394.75	1517.69	394.48	1513.02
118.00	1,396.33	0.50	559.12	2076.81	553.28	2066.28
118.50	1,606.01	0.50	750.59	2827.39	749.98	2816.26

STAGE STORAGE TABLE						
TST-2						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
114.00	144.34	N/A	N/A	0.00	N/A	0.00
115.00	249.50	1.00	196.92	196.92	194.54	194.54
116.00	379.79	1.00	314.65	511.57	312.37	506.92
116.50	454.36	0.50	208.54	720.11	208.26	716.18
117.00	905.40	0.50	339.94	1060.05	333.53	1046.70
117.50	1,089.08	0.50	498.62	1558.67	497.91	1546.62



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

EROSION & SEDIMENTATION CONTROL PLAN
SHEET 6 OF 16
C-ES1

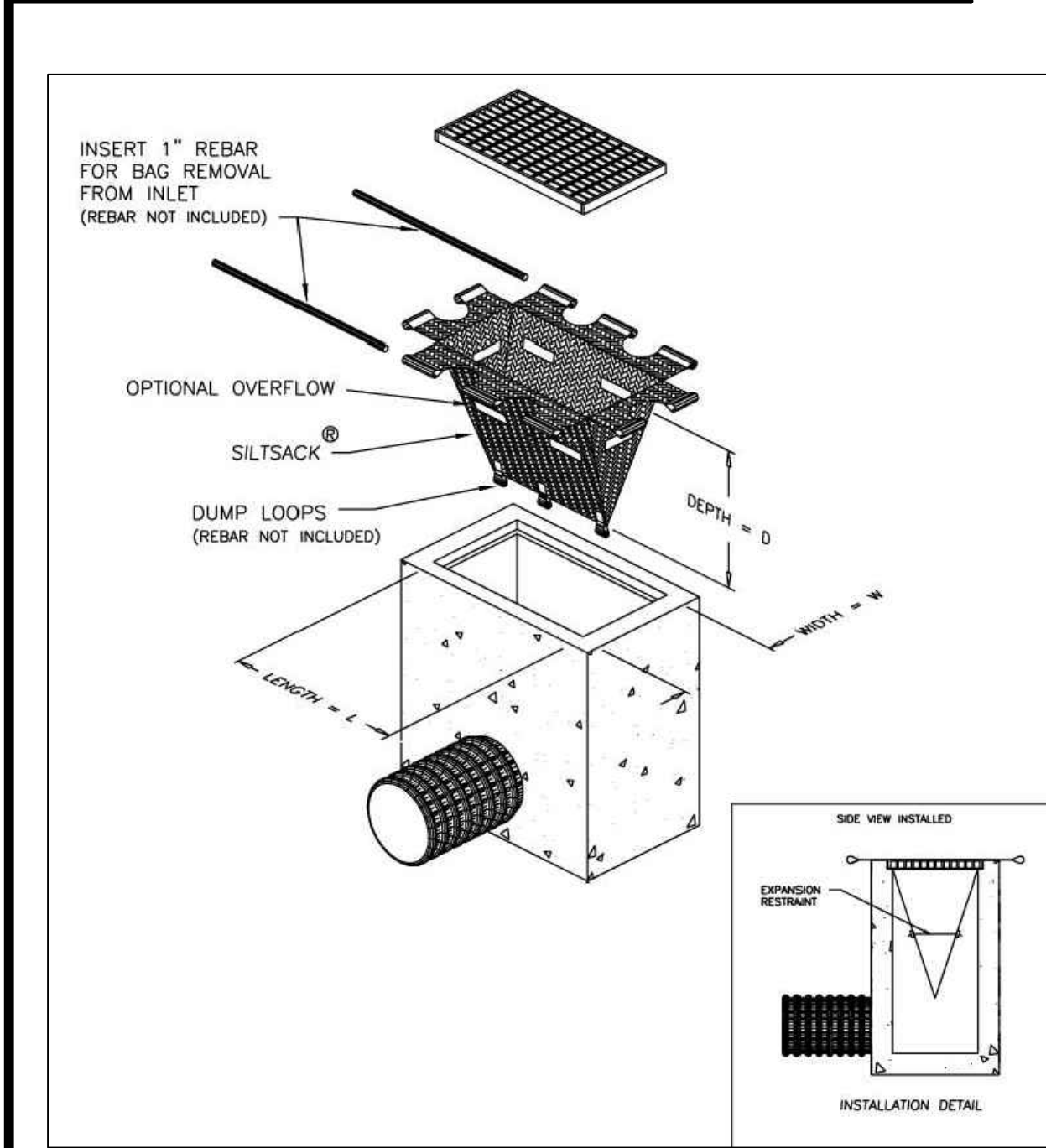
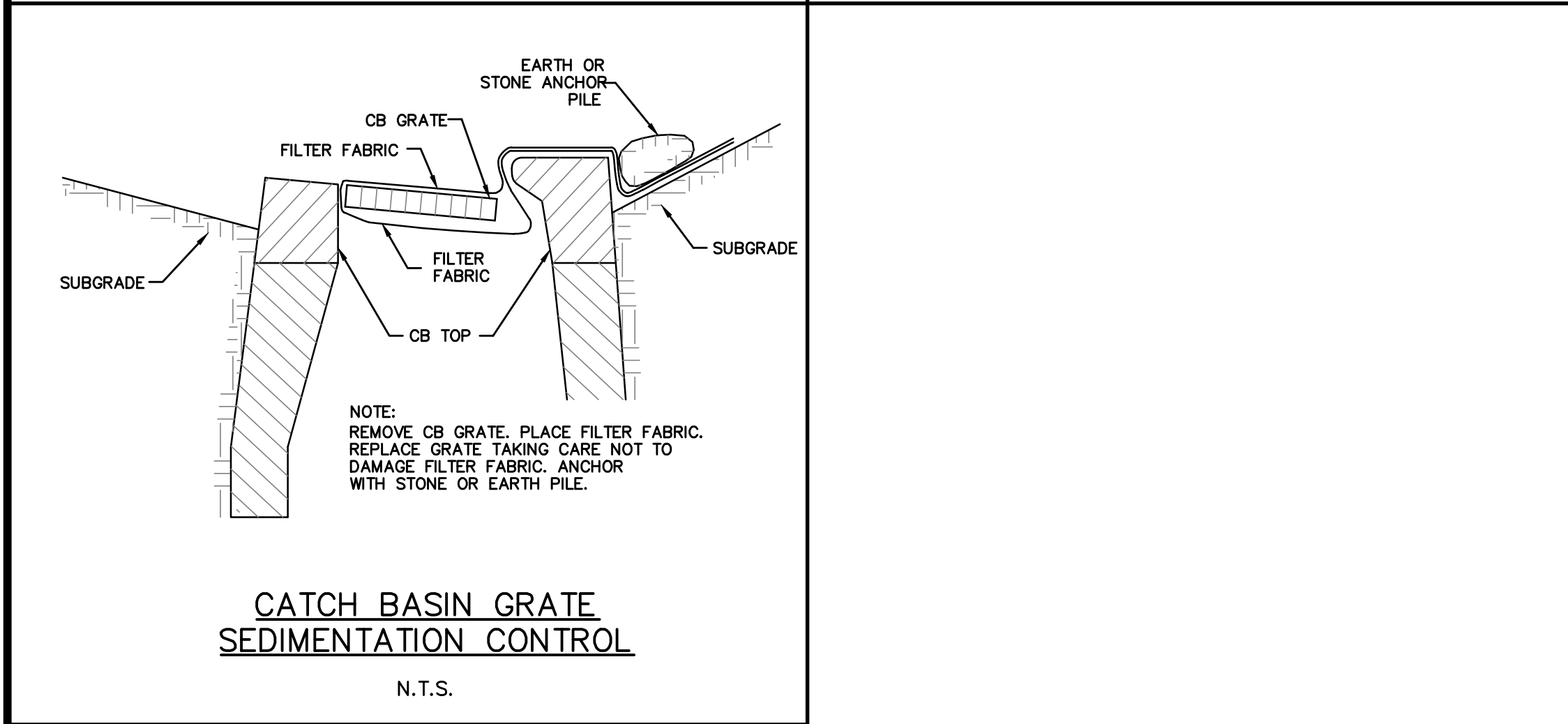
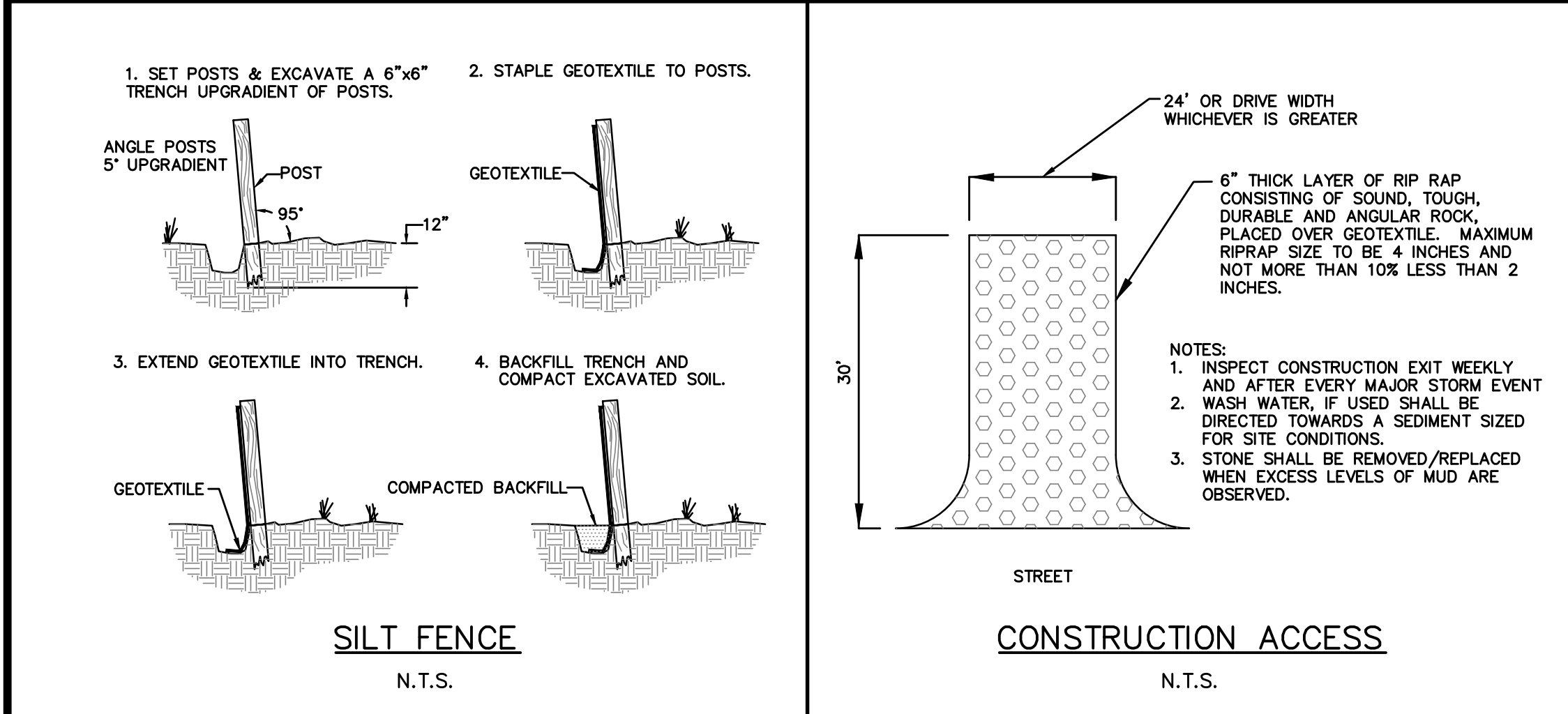
REVISIONS
NO. DATE REVISIONS PER TOWN STAFF COMMENTS BY
1 4/17/24

DESIGNED BY: JAC
CHECKED BY: JAC
DATE: 3/27/24
DESIGNED BY: JAC
CHECKED BY: JAC

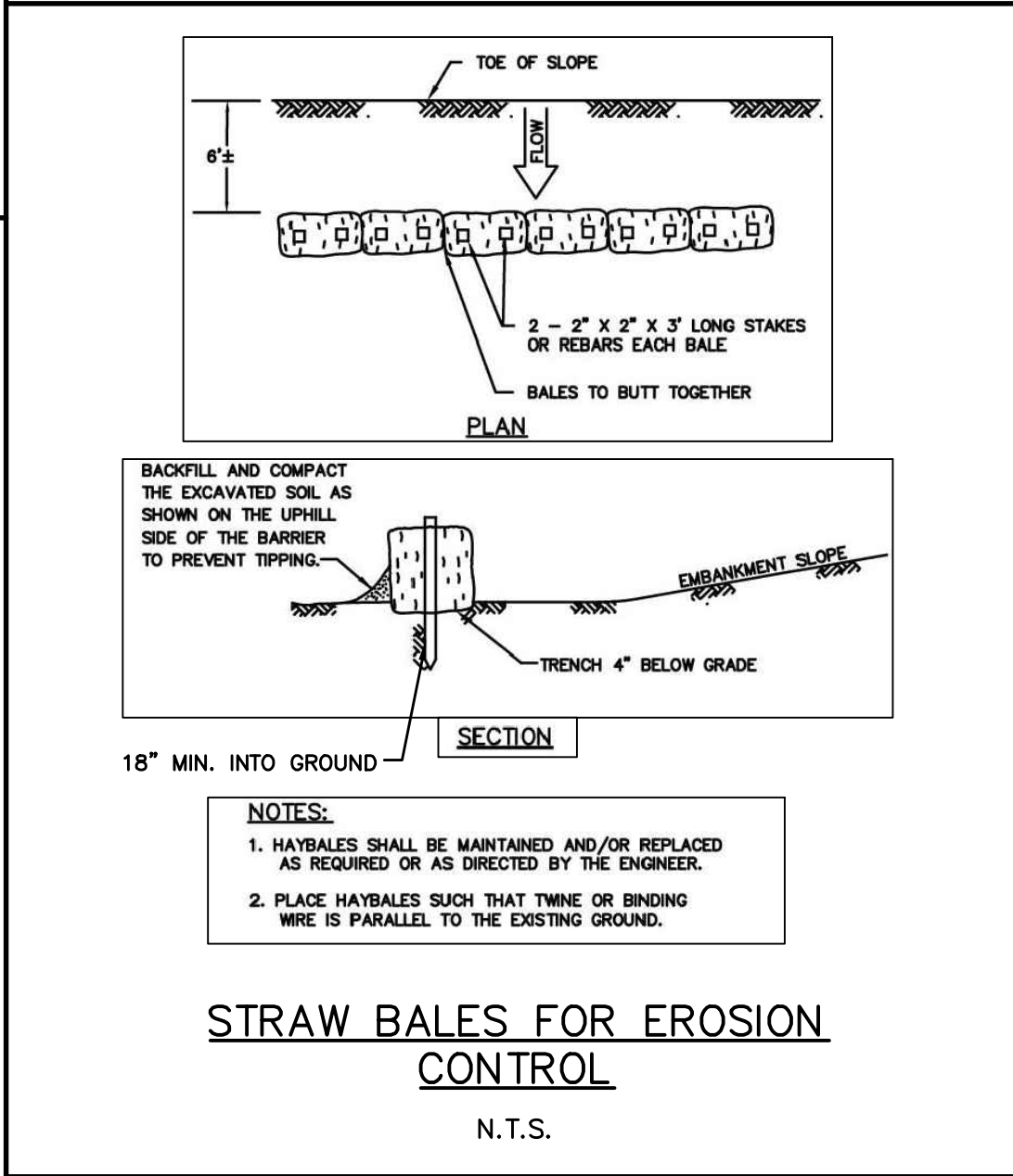
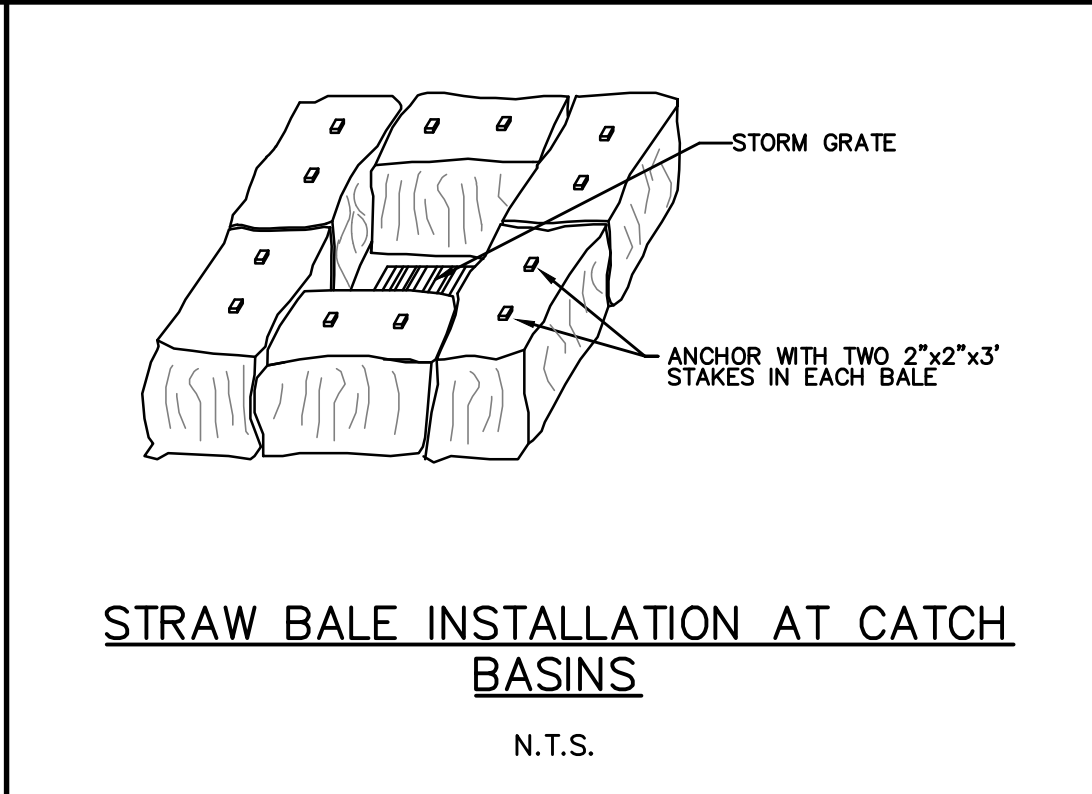
PREPARED FOR:
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MEDICAL OFFICE BUILDING
1300 SULLIVAN AVENUE
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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
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CURB-LESS INLET PROTECTION DETAIL
N.T.S.



- CONSTRUCTION SEQUENCE:**
1. INSTALL CONSTRUCTION ACCESS AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
 2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
 3. CONSTRUCT TEMPORARY SEDIMENT BASINS AND/OR TRAPS AS SHOWN ON THE PLANS.
 4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
 5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL." (IF DRAINING TO IMPAIRED WATER: ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 14 DAYS. SEED WITHIN 3 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.")
 6. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
 7. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUIV. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
 8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
 9. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
 10. AFTER STABILIZATION OF UPGRADIENT CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASINS AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
 11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
 12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, INFILTRATION BASINS, AND SEDIMENT FOREBAYS THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR. ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

SEDIMENT FOREBAYS: SHALL BE INSPECTED BIENNIALY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

WATER QUALITY BASINS: SHALL BE INSPECTED TWICE PER YEAR, ALL WOODY, NON LANDSCAPE GROWTH SHALL BE REMOVED. ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABILIZED SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF THE BASIN OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIATED IMMEDIATELY. THE BASIN SHALL BE MONITORED TO ASSURE PROPER DEWATERING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DEWATER/EMPTY WITH 72 HOURS AFTER A STORM EVENT. IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIOD, THE BOTTOM OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPLACE WITH 4" OF LOAM AND SEED.

- EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM (WEEKLY CONSTRUCTION REPORTS):**
- PER RECOMMENDATIONS MADE IN THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.
- EROSION & SEDIMENTATION CONTROL NARRATIVE**
1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
 2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
 3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
 5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OFF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
 6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH:	RATE:
STRAW	90# / 1000 S.F.
TEMPORARY SEEDING:	RATE:
PERENNIAL RYEGRASS	1.0# / 1000 S.F.
7. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.	
8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SEDIMENT, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.	
9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.	
10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.	
11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE	

PROJECT CONTACT INFO:

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- APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
 13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
 14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILES OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
 15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
 16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
 17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
 18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC. PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL, AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

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design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
Dr. Vasanth Kainaryam
162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO.:
0395
DATE:
3/27/24
DRAWN BY:
GMM
CHECKED BY:
GMM
INCHES:
1"=20'

EROSION & SEDIMENTATION NOTES & DETAILS

NO. DATE REVISIONS REVISIONS PER TOWN STAFF COMMENTS BY

1 4/17/24

EROSION & SEDIMENTATION NOTES & DETAILS

BY GMM

REVISIONS PER TOWN STAFF COMMENTS

1 4/17/24

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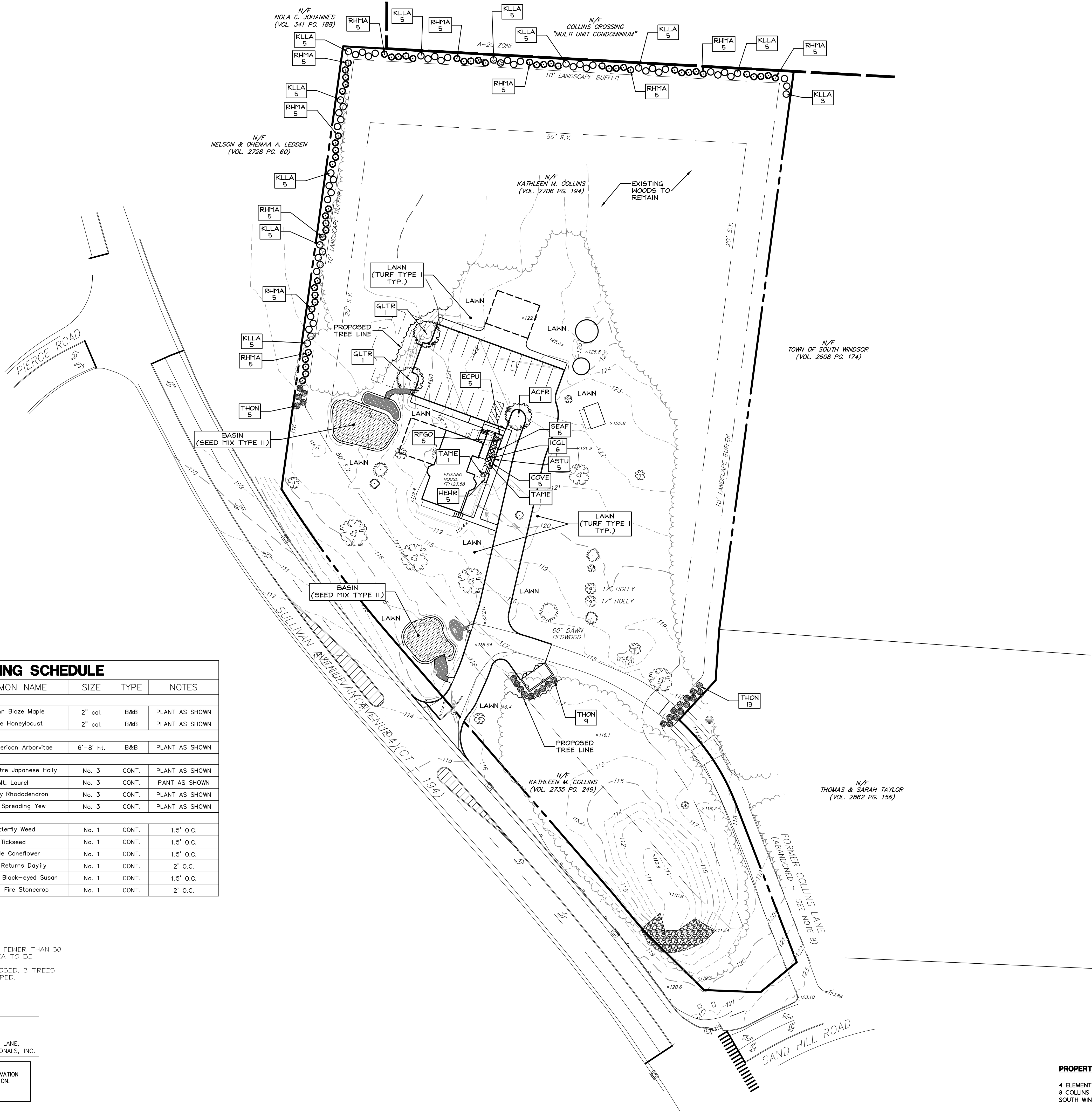
SHEET 7 OF 16

LANDSCAPE PLANTING SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
ACFR	1	Acer x. freemanii 'Jeffer's Red'	Autumn Blaze Maple	2" cal.	B&B	PLANT AS SHOWN
GLTR	2	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2" cal.	B&B	PLANT AS SHOWN
EVERGREEN TREES						
THON	27	Thuja occidentalis 'Nigra'	Dark American Arborvitae	6'-8' ht.	B&B	PLANT AS SHOWN
SHRUBS						
ICGL	6	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	No. 3	CONT.	PLANT AS SHOWN
KLLA	53	Kalmia latifolia	Mt. Laurel	No. 3	CONT.	PANT AS SHOWN
RHMA	55	Rhododendron maximum	Rosebay Rhododendron	No. 3	CONT.	PLANT AS SHOWN
TAME	2	Taxus x media 'Densiformis'	Dense Spreading Yew	No. 3	CONT.	PLANT AS SHOWN
PERENNIALS						
ASTU	5	Asclepias tuberosa	Butterfly Weed	No. 1	CONT.	1.5' O.C.
COVE	5	Coreopsis verticillata	Tickseed	No. 1	CONT.	1.5' O.C.
ECPU	5	Echinacea purpurea	Purple Coneflower	No. 1	CONT.	1.5' O.C.
HEHR	5	Hemerocallis 'Happy Returns'	Happy Returns Daylily	No. 1	CONT.	2' O.C.
RFGO	5	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-eyed Susan	No. 1	CONT.	1.5' O.C.
SEAF	5	Sedum spectabile 'Autumn Fire'	Autumn Fire Stonecrop	No. 1	CONT.	2' O.C.

LANDSCAPING NOTES:

- PER ZONING REGULATION TABLE 6.4.6A PARKING AREAS WITH FEWER THAN 30 PARKING SPACES REQUIRE 5% OF THE INTERIOR PARKING SPACE AREA TO BE LANDSCAPED AND ONE TREE FOR EACH 10 PARKING SPACES.
2 TREES ARE REQUIRED PER THE 20 PARKING SPACES PROPOSED. 3 TREES ARE PROVIDED AND 7.4% OF THE PARKING AREA IS LANDSCAPED.
- REFER TO SHEET C-LS2 FOR SEED MIXES.

REFERENCES:	
THIS PLAN REFERS TO THE FOLLOWING:	
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.	
LANDSCAPE PLAN NOTES:	
1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.	
2. THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY	
3. REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES	



PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

LANDSCAPE PLAN

SCALE: 0' 20' 40'

80'

T = 40'

REVISIONS

NO.	DATE	REVISIONS PER TOWN STAFF COMMENTS	BY
1	4/17/24		CRM

MEDICAL OFFICE BUILDING

1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

PREPARED FOR:

Dr. Vasanth Kalikaryam
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DESIGN PROFESSIONALS

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PROJECT NO.

595

DATE

3/27/24

DESIGNED BY

CRM

CHECKED BY

CRM

DATE

4/15/24

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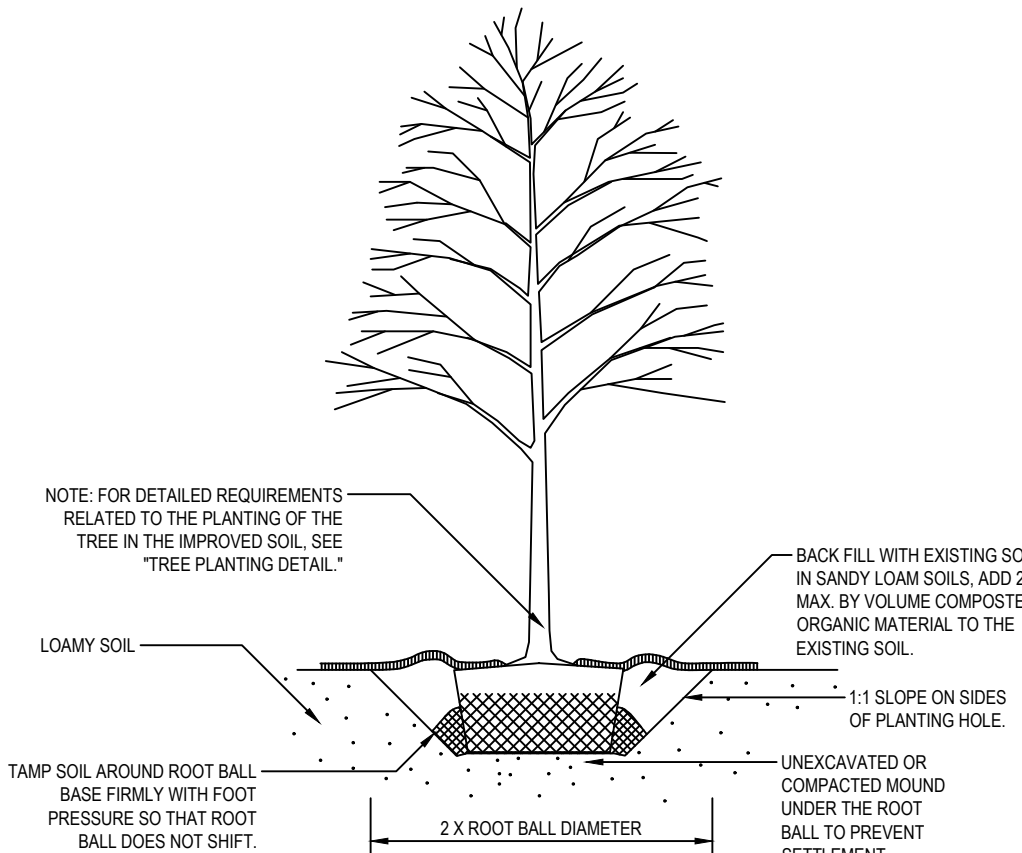
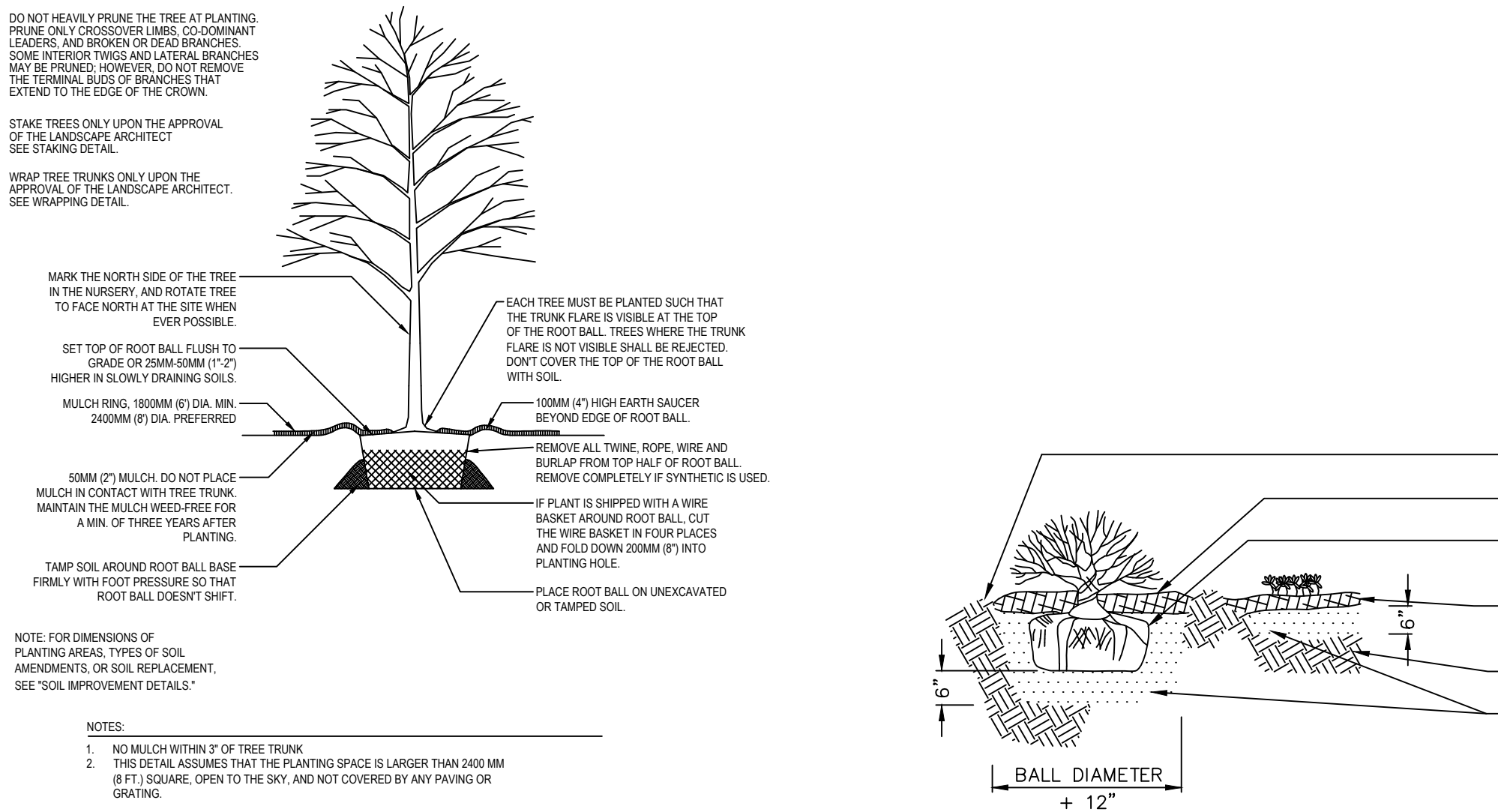
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1. ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE
2. PROPERTY LINE. UNDESIRABLE TREES SHALL BE REMOVED. ALL EXISTING TREES TO BE REMOVED SHALL BE
3. DEBRIS AND DEAD. UNWEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM
4. THE PROPERTY. UNDESIRABLE TREES SHALL BE REMOVED.
5. ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS
6. AND MULCH. WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY
7. THE OWNER.
8. ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1
9. SPECIFICATIONS FOR THE QUALITY OF PLANTS. PLANTS SHALL BE SPECIALLY SELECTED VARIETIES OF
10. NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND,
11. GROWTH, AND UNIFORM PLANTS. PLANTS SHALL BE FREE OF DISEASE, INJURY, AND DEFOLIATION. ALL PLANTS
12. SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES.
13. A. BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS
14. OF SOIL. PLANTS SHALL BE PLANTED WITHIN THE SPECIFIED PLANTING DEPTH. PLANTS SHALL BE
15. NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION
16. OF THE STANDARD SPECIFICATIONS FOR BALLS AND BURLAP. PLANTS SHALL BE PLANTED WITHIN THE
17. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORMLY THICK COATING
18. OF MULCH. PLANTS SHALL BE PLANTED WITHIN THE SPECIFIED PLANTING DEPTH. PLANTS SHALL BE
19. MOIST.
20. B. CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT
21. SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
22. C. CONTAINER STOCK SHALL NOT BE POT BOUND.
23. D. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF
24. THE PROJECT.
25. E. CONTRACTOR RESPONSIBLE TO HARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS
26. AND UNIFORM. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF PLANTS
27. UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE
28. BY OTHERS OR UNUSUAL WEATHER CONDITIONS, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
29. F. CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN
30. UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND
31. SHRUBS WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED PLANTS. CONTRACTOR TO PROVIDE
32. FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
33. G. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
34. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
35. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
36. ADDITIONAL COMPENSATION, IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE
37. SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S
38. REPRESENTATIVE. VARIANCE OF THE PLANTING DATES SHALL BE AT THE CONTRACTOR'S RISK. NO PLANTING
39. GUARANTEE PERIOD.
40. H. PLANT SUBSTITUTIONS: IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF
41. NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION
42. MATERIAL WILL NOT BE ACCEPTED UNLESS THE EQUIVALENT MATERIAL IS OF THE SAME SPECIES AND SIZE
43. ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER
44. GROWN PLANTS. SUBSTITUTIONS OF PLANTS OF THE SAME SPECIES AND SIZE AS THE REPLACED PLANTS ARE
45. NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER.
46. I. PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
47. J. PLANTING MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
48. A. BARK MULCH/COMPOST 10%-12%
49. B. TOPSOIL 80%-90%
50. K. BEFORE PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR
51. ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF
52. PLANTS TO BE PLANTED.
53. L. THE SOIL SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A
54. MAXIMUM OF 60% OXIDE, (I.E., CALCULCI OXIDE PLUS MAGNESIUM OXIDE).
55. M. FERTILIZER SHALL BE APPLIED TO THE PLANTING BEDS AS NOTED OTHERWISE. APPLY 2" OF
56. FERTILIZER TO THE PLANTING BEDS. FERTILIZER SHALL BE APPLIED TO ACHIEVE A MINIMUM OF ONE
57. POUND OF NITROGEN PER 1000 SF. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC
58. COMPOSITE COMPOST.
59. N. NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED
60. WETLANDS.
61. O. CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED
62. CONTAINERS. PROVIDE ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT
63. WETTING AND DETEIORATION.
64. P. DRY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITH A FEN DAYS.
65. Q. FERTILIZER SHALL BE APPLIED TO THE PLANTING BEDS AS NOTED OTHERWISE. APPLY 2" OF
66. BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
67. R. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
68. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
69. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
70. STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
71. S. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
72. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
73. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
74. SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY.
75. WRITTEN REQUEST SHALL BE SUBMITTED TO DAYS PRIOR.
76. T. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
77. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
78. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
79. AUTHORITY. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY
80. THE CONTRACTOR. ALL PLANTS SHALL BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY
81. THE CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS.
82. U. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
83. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
84. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
85. TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST
86. QUALITY STANDARDS SHALL BE REJECTED.
87. V. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO
88. PREVENT DEHYDRATION.
89. W. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
90. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
91. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
92. OF THE AMERICAN ASSOCIATION OF NURSERMEN.
93. X. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
94. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
95. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
96. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING
97. THE PLANTING PERIOD.
98. Y. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO
99. THE CONTRACTOR. ALL PLANTS SHALL BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY
100. THE CONTRACTOR. ALL PLANTS SHALL BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY
101. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE
102. BRANCHES.
103. Z. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
104. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
105. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
106. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS
107. SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN
108. THE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION. THE CONTRACTOR SHALL
109. TUNE FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS
110. ALLOWED. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
111. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
112. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
113. THE SIZE INDICATED ON THE DRAWINGS.
114. AA. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
115. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
116. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
117. PLANT LIST SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE
118. BRANCHES.
119. BB. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1" INCH AND SUCH WOUNDS MUST
120. BE PROTECTED WITH AN ANTITRANSPIRANT. PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT
121. WOUNDS. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
122. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
123. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
124. MANUFACTURER'S INSTRUCTIONS.
125. CC. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
126. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
127. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
128. ANTITRANSPIRANT. PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT
129. WOUNDS. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
130. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
131. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
132. MANUFACTURER'S INSTRUCTIONS.
133. DD. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
134. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
135. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
136. ANTITRANSPIRANT. PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT
137. WOUNDS. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
138. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
139. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
140. MANUFACTURER'S INSTRUCTIONS.
141. EE. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
142. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
143. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
144. ANTITRANSPIRANT. PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT
145. WOUNDS. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
146. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
147. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPECIES AND SIZE AS THE REPLACED
148. MANUFACTURER'S INSTRUCTIONS.
149. FF. CONTRACTOR TO MAINTAIN PLANTS UNDER UNUSUAL WEATHER CONDITIONS AND RECOMMENDED
150. SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF
151. THE CONTRACTOR, PLANTS MAY BE REPLACED WITHIN THE SAME SPEC

1. SEEDING MIXTURE TYPE I (LAWN AREAS).
 BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
 CHEWINGBIRD RED FESCUE 30% OF MIXTURE
 PERENNIAL RYEGRASS 20% OF MIXTURE
 APPLICATION RATE: 450 LBS. PER 1,000 S.F.
2. SEEDING MIXTURE TYPE II (BASIN BOTTOM)
 PERENNIAL RYEGRASS 10% OF MIXTURE
 CHEWINGBIRD RED FESCUE 10% OF MIXTURE
 ALSIKE CLOVER 5% OF MIXTURE
 RED TOP 5% OF MIXTURE
 TURF-TYPE TALL FESCUE 70% OF MIXTURE
 APPLICATION RATE: 500 LBS. PER 1,000 S.F.
3. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDED AREAS UNTIL SATISFACTORY GROWTH IS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

- 1 ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY
- 2 THE TRUNK OR BRANCHES.
- 3 ALL ROPE OR TWINE SHALL BE COMPLETELY REMOVED ONCE THE
- 4 TREE HAS BEEN PLACED IN THE PLANTING AREA. BURLAP SHALL BE
- 5 REMOVED FROM THE TRUNK AND THE UPPER 2/3 REMOVED FROM
- 6 ANY NINE BASKETS SHALL BE CUT AND THE UPPER 2/3 REMOVED
- 7 FROM THE TRUNK.
- 8 ALL TREES SHALL BE FREELY DUG WITHIN 30 DAYS OF DELIVERY
- 9 TO THE PLANTING AREA.
- 10 ALL TWINE, ROPE OR ANY OTHER OBJECTS AROUND THE ROOT BALL
- 11 SHALL BE REMOVED.
- 12 ALL PLANTING LESSA OF TWO TIMES THE DIAMETER OF THE ROOT BALL
- 13 SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE
- 14 MEASURED FROM THE ROOT FLAIR ON THE TRUNK TO THE BOTTOM
- 15 OF THE ROOT BALL.
- 16 ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED
- 17 SITE.
- 18 WHEN BACK FILLING TREES, GROWING MEDIUM SHALL BE HOKRED IN
- 19 TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO
- 20 COMPROMISE THE ROOT BALL.
- 21 THE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES
- 22 ABOVE GRADE.
- 23 WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE.
- 24 TREES SHALL BE PROTECTED FROM DAMAGE BY TRUCKS, DAMAGE
- 25 ALL TREES SHALL HAVE A SINGLE CENTRAL DOMINANT LEADER.
- 26 TREES SHALL NOT BE STAKED OR GUYED UNLESS DICTATED BY THE
- 27 TREE.
- 28 THE DEPTH OF ALL MULCH SHALL NOT EXCEED MORE THAN TWO
- 29 INCHES.
- 30 TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED.
- 31 NO PLANTING SHALL BE PERFORMED UNLESS DIRECTED BY THE
- 32 LANDSCAPE.
- 33 NO UTILIZERS OR WATER POLYTHERS SHALL BE APPLIED AT
- 34 THE PLANTING SITE.



LOAMY SOILS INCLUDE THE FOLLOWING USDA TEXTURAL CLASSIFICATIONS AND HAVE A CLAY CONTENT OF BETWEEN 15 TO 27%: LOAM, SANDY LOAM AND SILT LOAM. NOTE THAT SOILS AT THE OUTER LIMITS OF THE LOAM CLASSIFICATIONS MAY PRESENT SPECIAL PLANTING PLANTING PROBLEMS NOT ANTICIPATED BY THIS DETAIL.

LOAMY SOILS ARE DEFINED AS GRANULAR OR BLOCKY FRIABLE SOILS, A MIXTURE OF SAND, SILT AND CLAY PARTICLES WITH A MINIMUM OF 1.5% BY DRY WEIGHT ORGANIC MATTER. THE SOIL MUST NOT BE SO COMPACTED AS TO IMPEDE ROOT GROWTH OR DRAINAGE. THE SOIL STRUCTURE SHALL NOT BE PLATY OR MASSIVE. THE SOIL MUST BE TESTED FOR TEXTURE, DRAINAGE CAPABILITY, PH, AND NUTRIENT VALUES PRIOR TO DETERMINING PLANT SELECTIONS AND ANY ADDITIONAL SOIL IMPROVEMENTS.

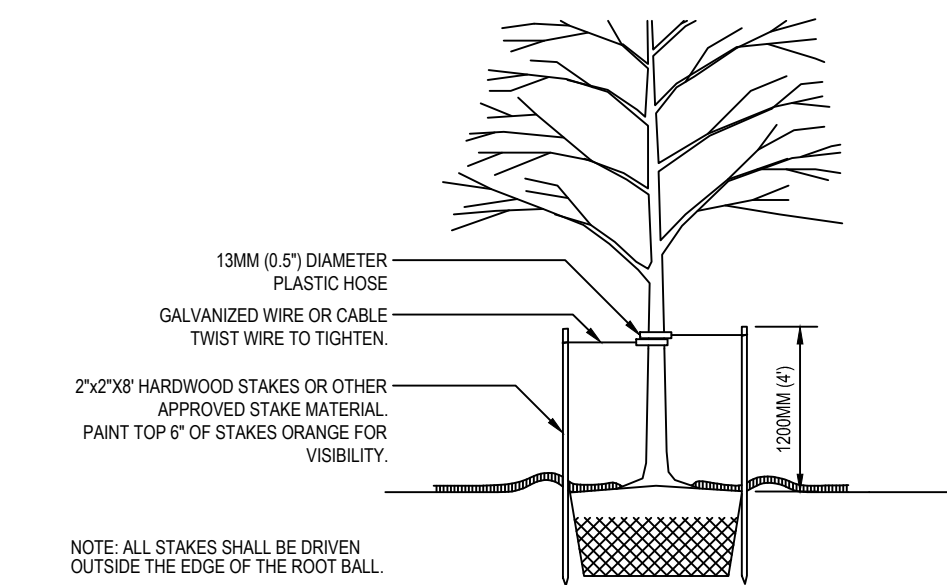
NOTES:

1. FOR TREES PLANTED IN NON-RESTRICTED SOIL CONDITIONS.
2. THIS DETAIL ASSUMES THAT THE AREA OF LOAMY SOIL AVAILABLE TO EACH TREE IS A MINIMUM OF 45 SQ. M (500 SQ. FT)

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
TREES UP TO 65 MM (2.5 IN.) CALIPER - 14 GAUGE
TREES 65 MM (2.5 IN.) TO 75 MM (3 IN.) CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35MM (1.5 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

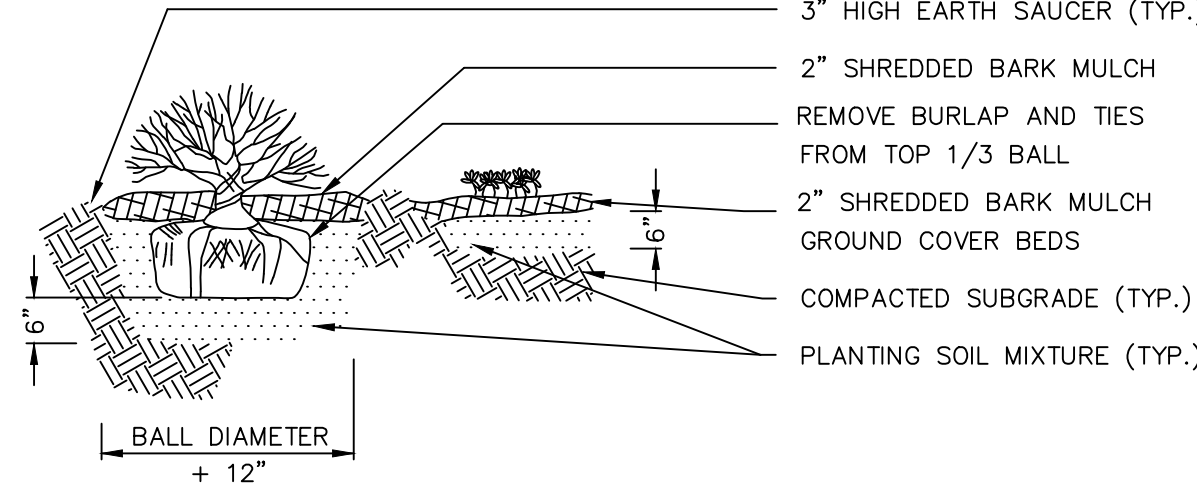


ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN.).

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:

- o TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE
- o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- o TREES THAT HAVE BEEN PLANTED IN A PLACE THAT DOES NOT ABSORB WATER. REJECT AND RELOCATE THE TREE. CORRECT THE PLANTING PROBLEM.
- o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- o ROOT BALLS WITH VERY SANDY SOIL OR VERY WEY CLAY SOIL. STAKING ADVISABLE.
- o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.



1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)

LANDSCAPE NOTES & DETAILS

SHEE

C-LS2

SHEET 9 OF 16

21 JEFFREY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-8755 - T
860-291-8757 - F
www.classroomofessencemaking.com

design

- This plan is invalid unless it bears the seal or stamp, and original signature of the Professional Engineer, Land Surveyor, or Landscape Architect
- Reproduction techniques used in the production of this plan can stretch or shrink the paper. Scaling of this drawing may be inaccurate. Contact DRI if additional information is required.

PREPARED FOR:
Dr. Vasanth Kaikaa
162 Cornerstone Drive

PROJECT NO:	5195
DATE:	3/27/24
DESIGN BY:	GMM

BY	
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COMMENTS	GMM
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REVISIONS

	REVISIONS PER TOWN STAFF

NO.	DATE
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1	4/17/20
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9 OF 16

SITE LIGHTING NOTES:

1. THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
2. CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
3. MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
4. LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
5. ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
6. LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
7. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE LIGHTING PLAN NOTES:

1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

Schedule		Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LUF	Wattage	Efficiency	Distribution	Mounting Height
Symbol	Label														
	A		8	Lithonia Lighting	MRP LED 42C S30 30K SR5 MVOLT	MRP POST TOP LIGHT 42 LEDs 530 mA DRIVE CURRENT 30K COLOR TEMP TYPE 5 DISTRIBUTION	LED	1	MRP_LED_42C_S30_30K_SR5_MVOLT.ies	5748	0.92	75	100%	TYPE IV, SHORT, BUG RATING: B3 - U1 - G3	12'

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1	+	0.2 fc	2.4 fc	0.0 fc	N/A	N/A



MRP LED LED Area Luminaire



Specifications

EPA: 1,125 ft² (103 m²)
Luminaire Height: 6'-3/8" (193 cm)
Overall Height: 32" (81.3 cm)
Diameter: 18" (45.7 cm)
Weight (max): 37.5 lbs (17 kg)



Ordering Information

Series	LEDs	Drive current	Color Temperature	Distribution	Voltage	Mounting
MRP LED	42C 42 LEDs (bare ring)	350 350mA	30K 3000K	SR2 Type II	MVOLT 1 277V	Shipped included (blank) Fits 4" OD round pole
		530 530mA	40K 4000K	SR3 Type III	120V 347V	
		700 700mA	50K 5000K	SR4 Type IV	208V 480V	Shipped separately ¹ MRP120 2-3/8" tenon slipfitter MRP125 3" OD round pole adapter MRP135 5" OD round pole adapter ²
		1000 1000mA (1A)	SR5 Type V	SR5	240V	

Control options

Shipped installed
PER 10MA (w/5-wire receptacle only (control ordered separately))
PERS 5-wire receptacle only (control ordered separately)
PER7 5-wire receptacle only (control ordered separately)

Other options
PWH1003 Part night, dim 10 hrs¹
PWH1003 Part night, dim 5 hrs¹
PWH1003 Part night, dim 7 hrs¹

Finish required
SF Single fuse (120, 277, 347V)¹
DF Double fuse (208, 240, 480V)¹



One Lithonia Way • Cary, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com
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MRP LED
Rev. 10/28/19

MEDICAL OFFICE

BUILDING

1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

REVISIONS

REVISIONS PER TOWN STAFF COMMENTS

SITE LIGHTING PLAN

SHEET

C-LT11
SHEET 11 OF 16

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21 EREY DRIVE
P.O. BOX 167
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860-291-8295
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PREPARED FOR:

Dr. Vasanth Kalkaryam

162 Cornerstone Drive
South Windsor, CT 06074

PROJECT NO:

DATE:

DESIGNED BY:

CHECKED BY:

DATE:

CONSTRUCTION NOTES:

1. At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
19. The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

20. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29. All materials and work shall conform to the state Department of Transportation standard specifications (latest edition, and any amendments or revisions thereto), unless otherwise specified in these plans.
30. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
31. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
32. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
33. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
34. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:

Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.

RCP Class V pipe shall be used in paved areas with less than 1 ft. of cover or in locations noted on the plans.

High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.

Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
35. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
36. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
37. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.

38. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
39. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
40. The contractor shall ensure that all work located in existing pavement be required in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
41. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
42. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
43. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
44. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
45. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
46. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
47. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
48. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
49. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:

- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.

Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).

Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.

A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.

Curb ramps-- shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.

The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.
- | LEGEND | | |
|----------|---------------------------------|----------|
| EXISTING | DESCRIPTION | PROPOSED |
| | BORING / TEST PIT LOCATION | |
| | COMMUNICATION | |
| | UNDERGROUND COMMUNICATION LINES | |
| | DOMESTIC WATER | |
| | WATER MAIN | |
| | WATER SERVICE | |
| | FIRE SERVICE LINE | |
| | NON-POTABLE WATER LINE | |
| | WATER VALVE / FIXTURES | |
| | FIRE HYDRANT | |
| | LIQUID FUEL | |
| | MAIN LIQUID FUEL LINE | |
| | LIQUID FUEL SERVICE LINE | |
| | LIQUID FUEL LINE, ABANDONED | |
| | IRRIGATION | |
| | IRRIGATION LINES | |
| | LIGHTING | |
| | POLE / GROUND MOUNTED LIGHT | |
| | NATURAL GAS | |
| | GAS MAIN | |
| | GAS SERVICE LINE | |
| | POWER | |
| | ELECTRICAL LINES, OVERHEAD | |
| | ELECTRICAL LINES, UNDERGROUND | |
| | UTILITY POLE | |
| | PROPERTY | |
| | PROPERTY LINE | |
| | EASEMENT LINE | |
| | IRON PIPE | |
| | IRON ROD | |
| | MONUMENT | |
| | ROADS | |
| | GUARD RAIL | |
| | EROSION CONTROL | |
| | SILT FENCE | |
| | SITE FEATURES | |
| | 4" DOUBLE SOLID YELLOW LINE | |
| | 4" SINGLE SOLID WHITE LINE | |
| | BIT CONC. LIP CURB | |
| | PRECAST CONCRETE CURB | |
| | SANITARY SEWER | |
| | SANITARY SEWER MAIN | |
| | SANITARY SEWER SERVICE LINE | |
| | SANITARY SEWER MANHOLE | |
| | STORM SEWER | |
| | STORM DRAIN PIPE | |
| | ROOF LEADER | |
| | UNDERDRAIN | |
| | STORM DRAIN MANHOLE | |
| | CURB INLET | |
| | CATCH BASIN | |
| | YARD DRAIN | |
| | TOPOGRAPHY | |
| | CONTOUR | |
| | SPOT ELEVATION | |
| | RAMP | |
| | LANDSCAPE AREA | |
-
- NOTES:
1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.
- 4 VAN ACCESSIBLE PARKING SPACE
- Not to Scale
-
- 1 ACCESSIBLE PARKING SYMBOL
- Not to Scale
-
- 2 ACCESSIBLE PARKING SIGN POST
- Not to Scale
- NOTES:
1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.

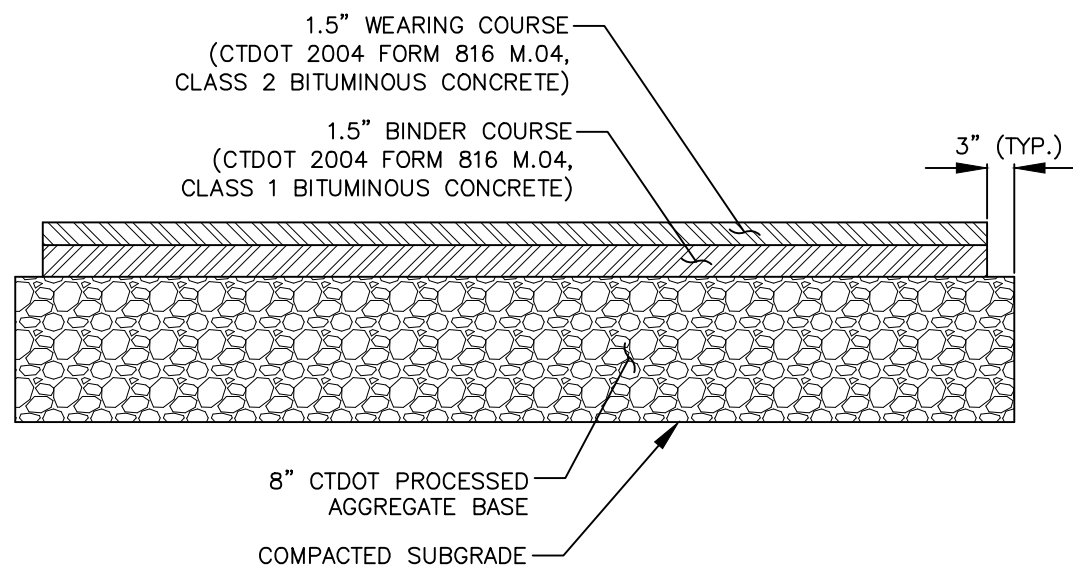
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.

3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.
-
- 3 ACCESSIBLE PARKING SIGN
- Not to Scale
- MEDICAL OFFICE BUILDING
- 1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT
- REVISIONS
- | NO. | DATE | BY | REVISIONS PER TOWN STAFF COMMENTS |
|-----|---------|-----|-----------------------------------|
| 1 | 4/17/24 | GRM | |
- NOTES, LEGEND, & DETAILS
- SHEET
- C-D1
- SHEET 12 OF 16
- 21 JEFFREY DRIVE
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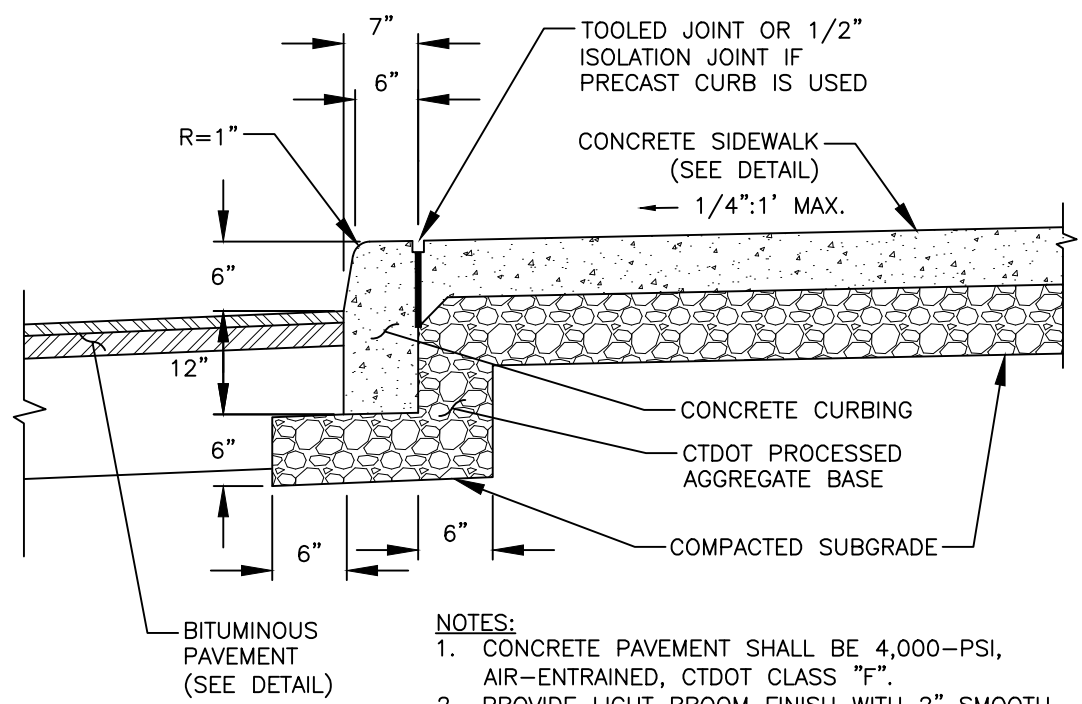
PREPARED FOR:
Dr. Vasanth Kalkarayan
162 Cornerstone Drive
South Windsor, CT 06074
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- NOTES:
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

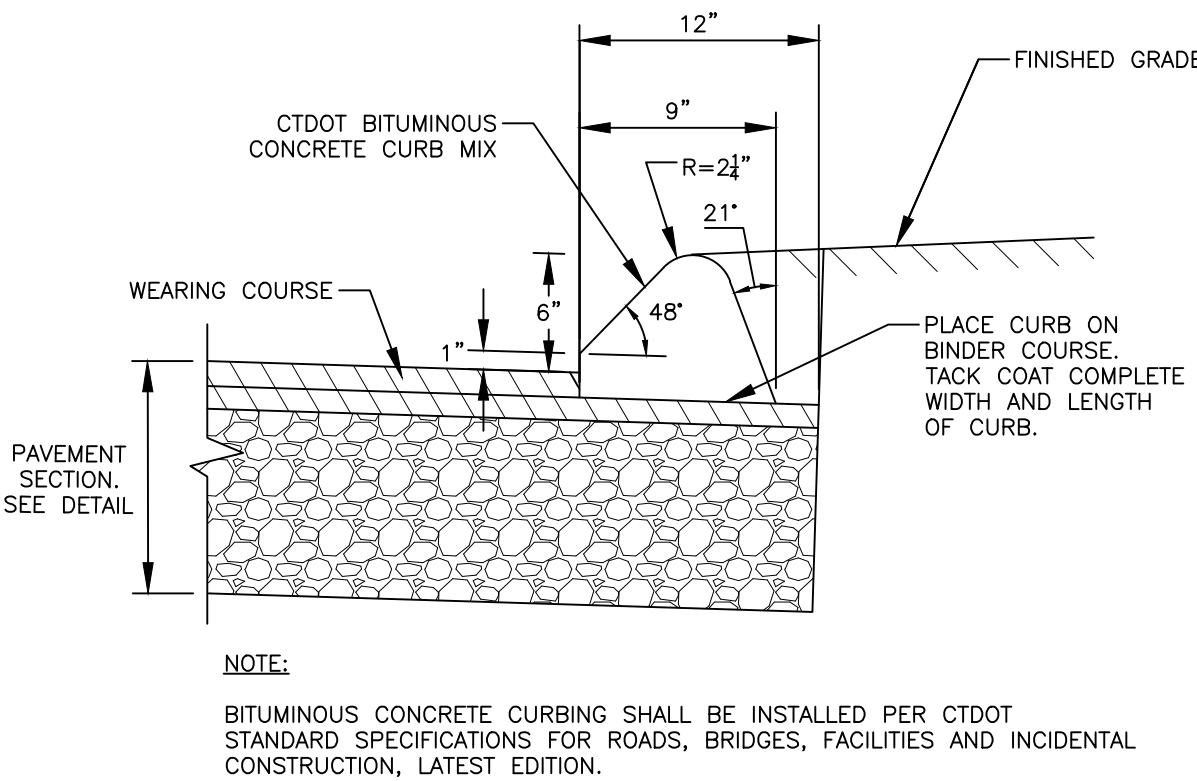
1 BITUMINOUS CONCRETE PAVEMENT SECTION - STANDARD DUTY

Not to Scale



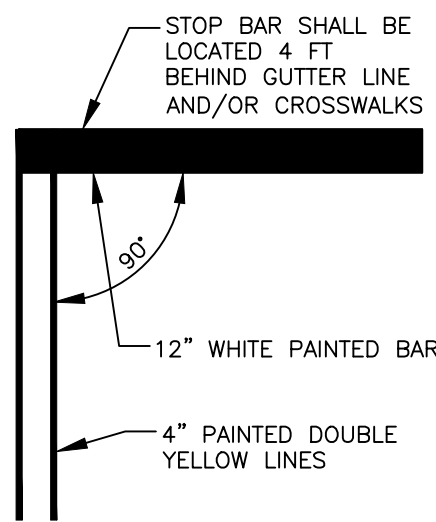
2 MONOLITHIC CONCRETE CURB & WALK

Not to Scale



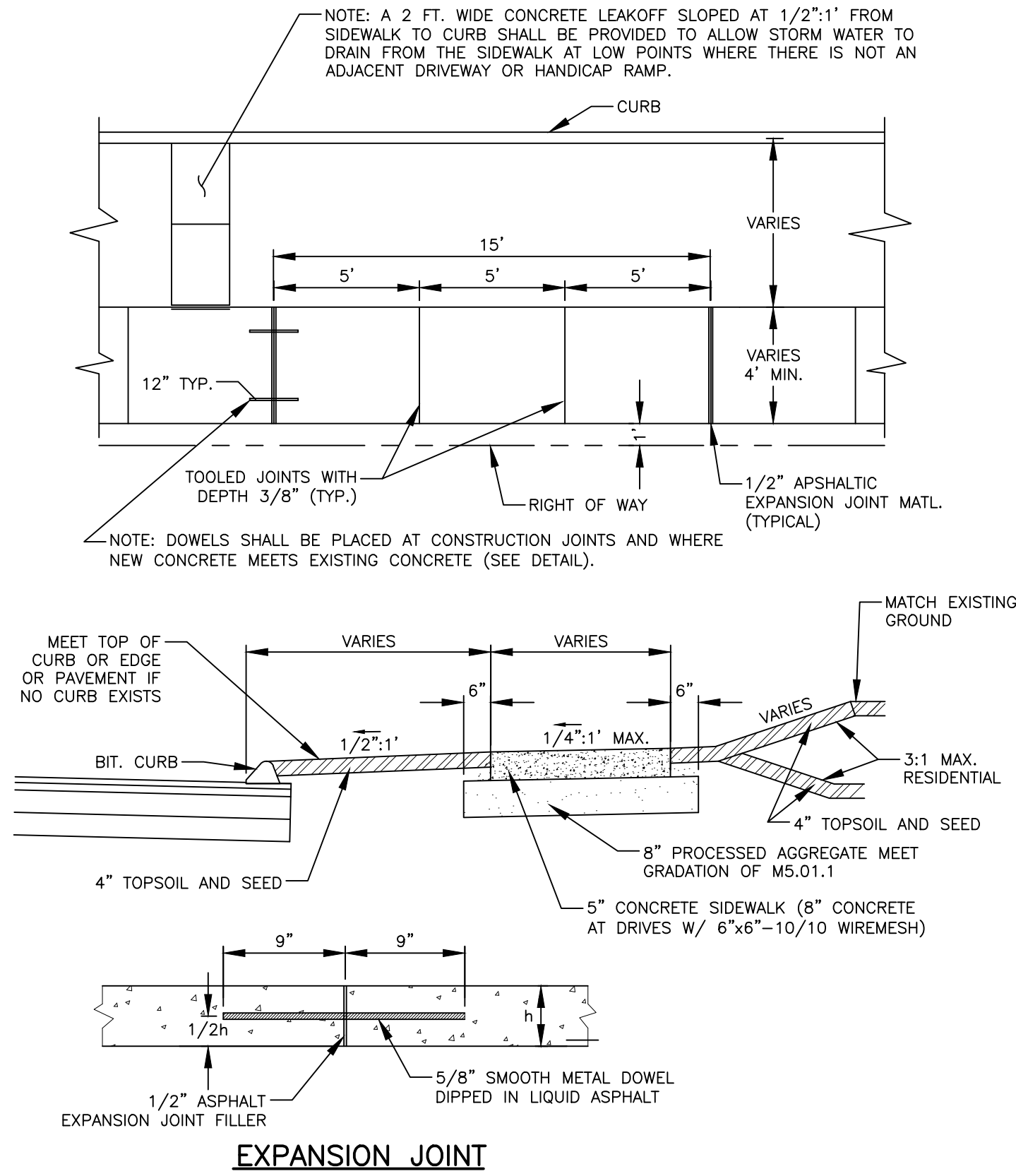
3 BITUMINOUS CONCRETE LIP CURB

Not to Scale



4 PAINTED STOP BAR

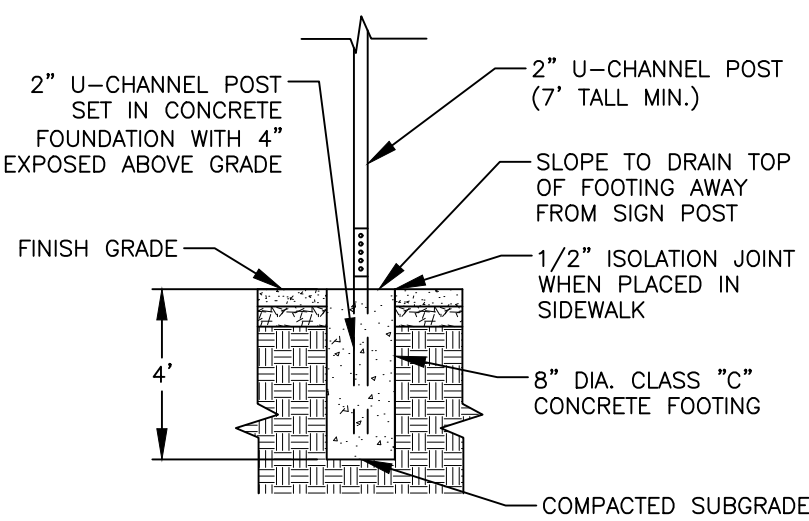
Not to Scale



- NOTES:
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.
 2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.
 3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.
 4. PROVIDE LIGHT BROOMED FINISH PERPENDICULAR TO TRAVEL PATH

5 CONCRETE SIDEWALK

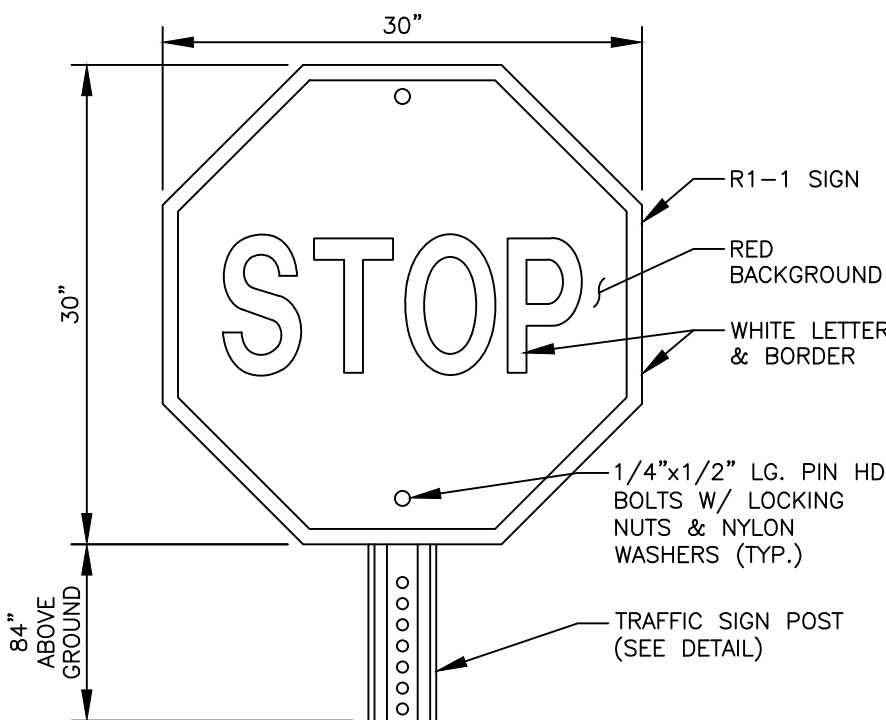
Not to Scale



- NOTES:
1. SUPPORTS SHALL BE METAL GALVANIZED STEEL POSTS (4 LB. / FT.) WITH BREAKAWAY COUPLING SYSTEM.
 2. USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS FOR POST CONNECTION.
 3. CONCRETE FOOTING SHALL EXTEND MINIMUM 4" BELOW BOTTOM OF POST.
 4. SIGN HEIGHT SHALL CONFORM TO MUTCD STANDARDS UNLESS NOTED OTHERWISE ON THE PLANS.
 5. MAINTAIN 12" SETBACK FROM CURB OR SIDEWALK.

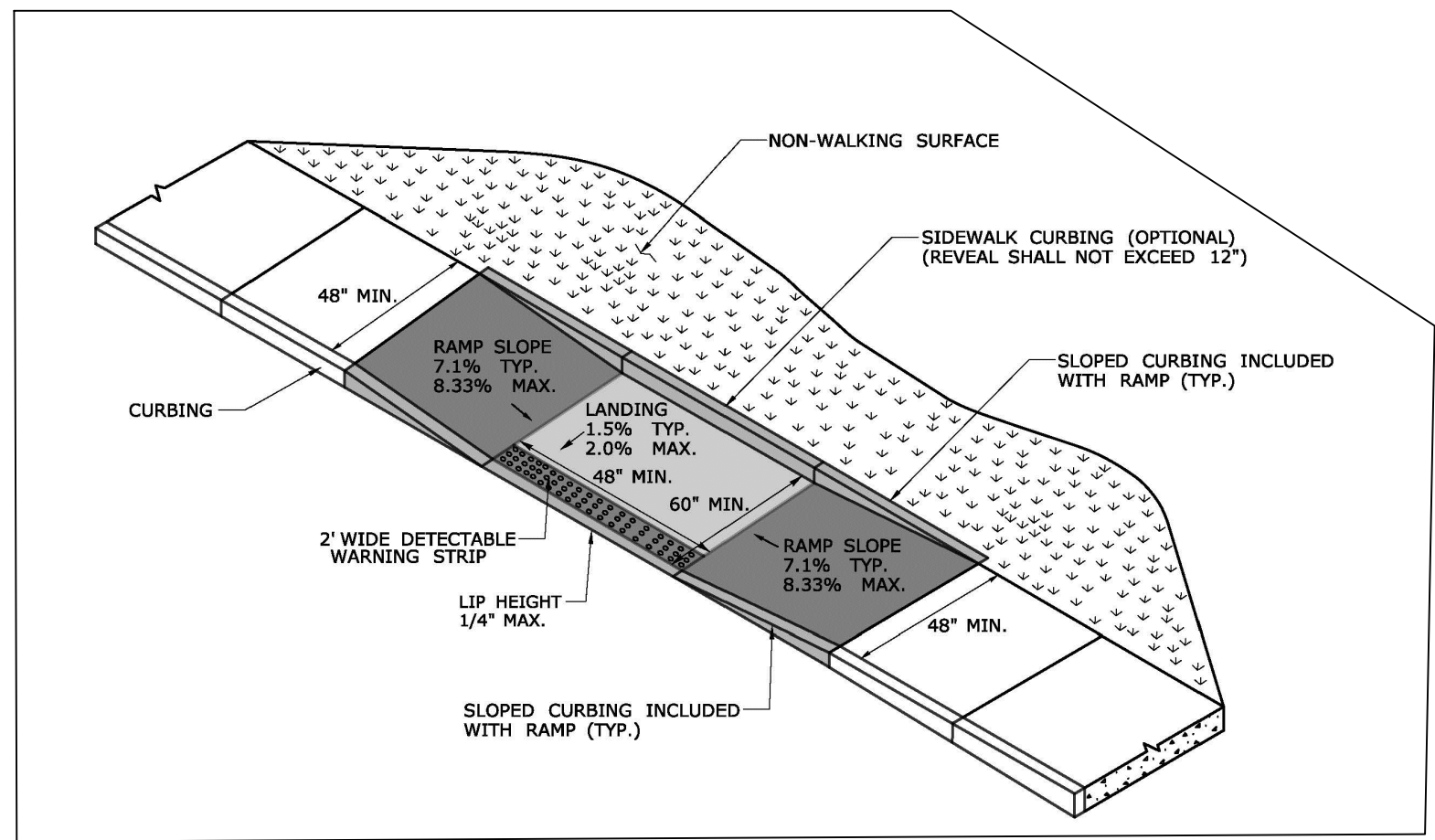
6 TRAFFIC SIGN POST

Not to Scale



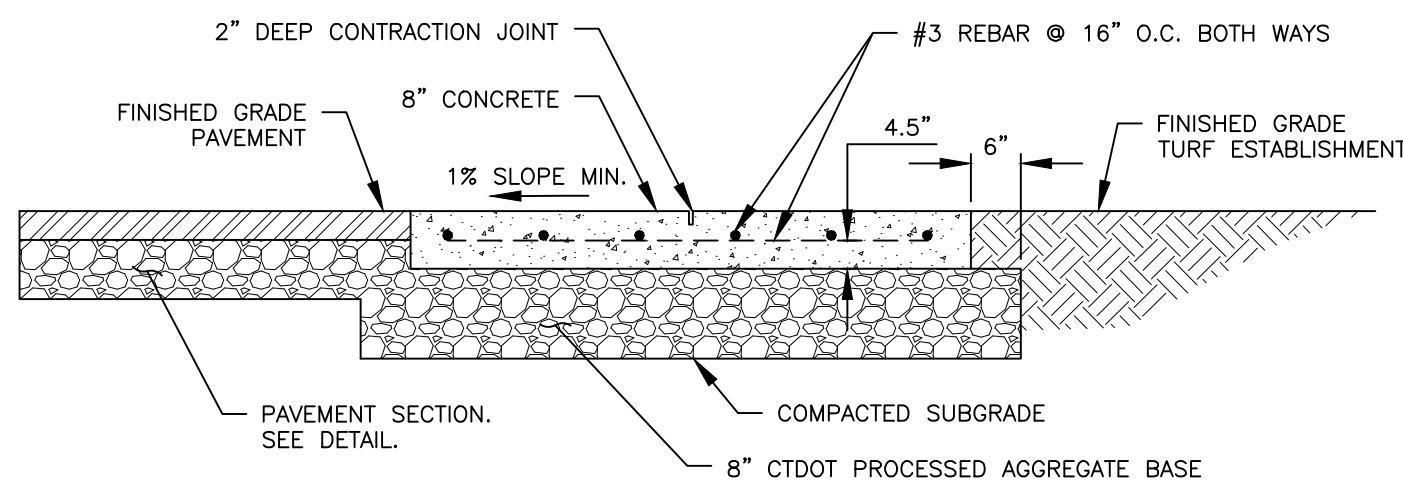
7 STOP SIGN

Not to Scale



8 PARALLEL CONCRETE SIDEWALK RAMP

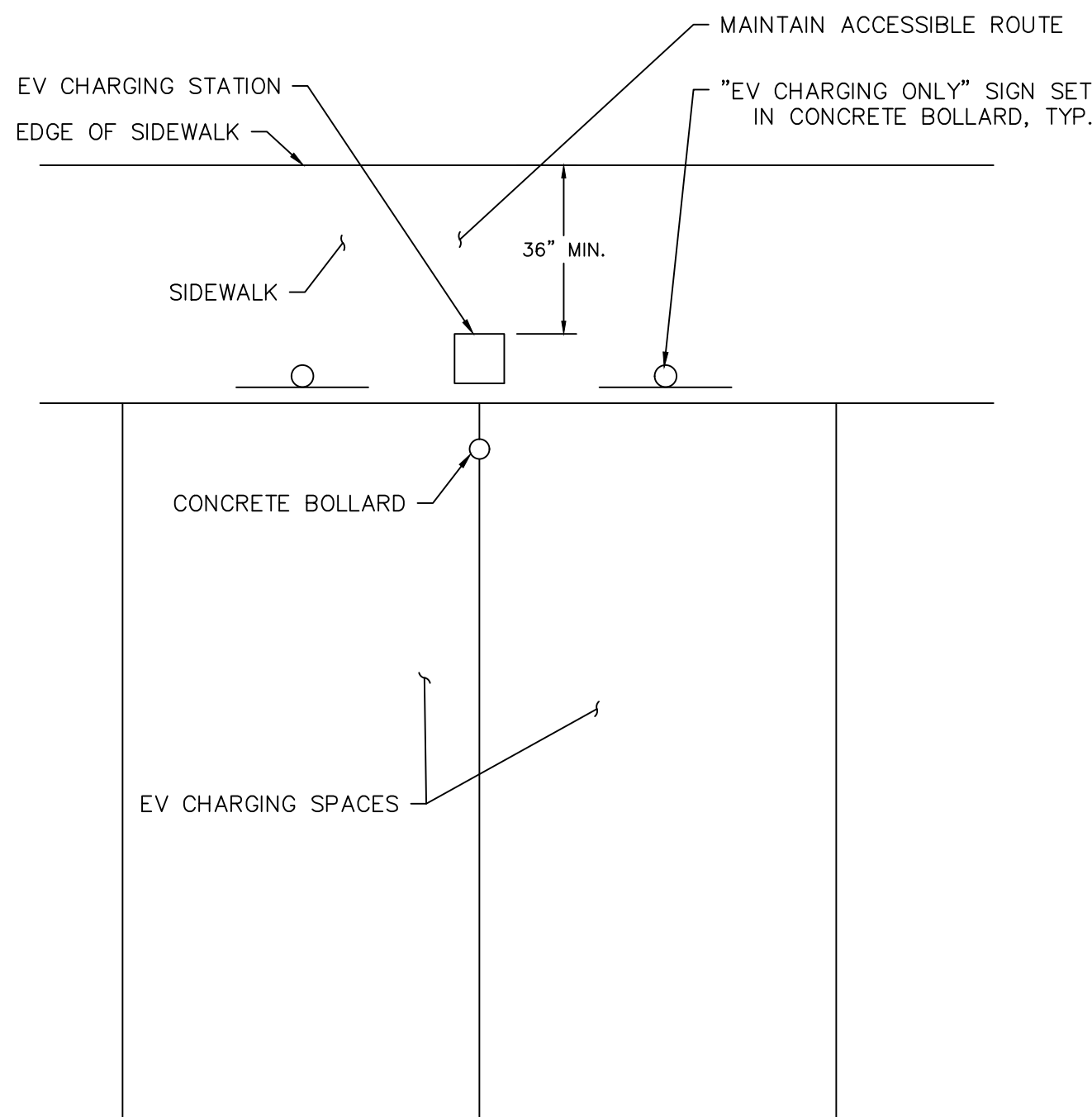
Not to Scale



- NOTES:
3. CONCRETE PAVEMENT SHALL BE 4,000-PSI, AIR-ENTRAINED, CTDOT CLASS "F".
 4. PROVIDE LIGHT BROOM FINISH WITH 2" SMOOTH SURFACE ALONG EDGES AND ON EACH SIDE OF ALL JOINTS.
 5. MAINTAIN MINIMUM OF 3" BETWEEN REBAR AND TOP, BOTTOM, AND SIDES OF CONCRETE.
 6. SEE SITE PLANS FOR LAYOUT AND DIMENSIONS.

9 DUMPSTER PAD SECTION

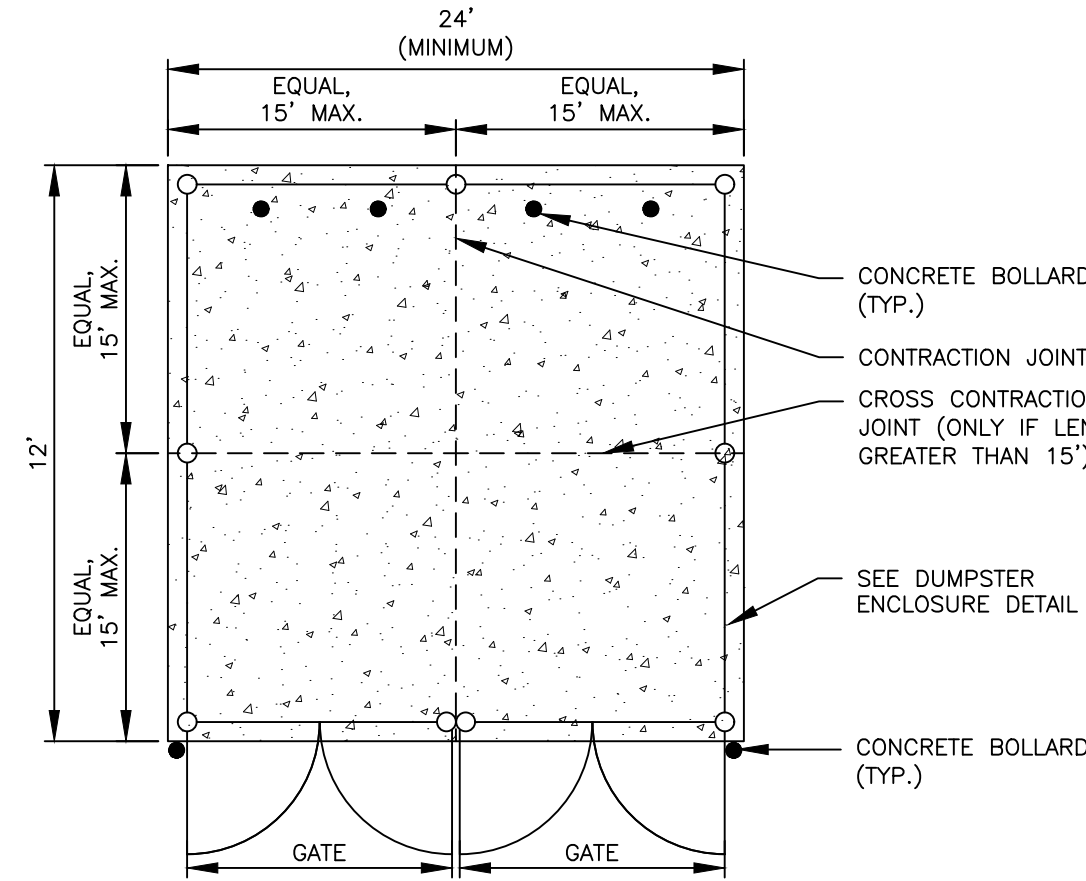
Not to Scale



- NOTES:
1. ALIGN CHARGING STATION WITH STRIPE IN BETWEEN STANDARD PARKING SPACES
 2. LOCATE CHARGING STATIONS FOR ACCESSIBLE SPACES TO MAINTAIN ACCESSIBLE ROUTE, INCLUDING HATCHED AREA NEXT TO PARKING. THIS INCLUDES WHEN CHARGING CORDS ARE EXTENDED AND CHARGING VEHICLES IN ACCESSIBLE PARKING SPACES.

10 EV CHARGING STATION LAYOUT

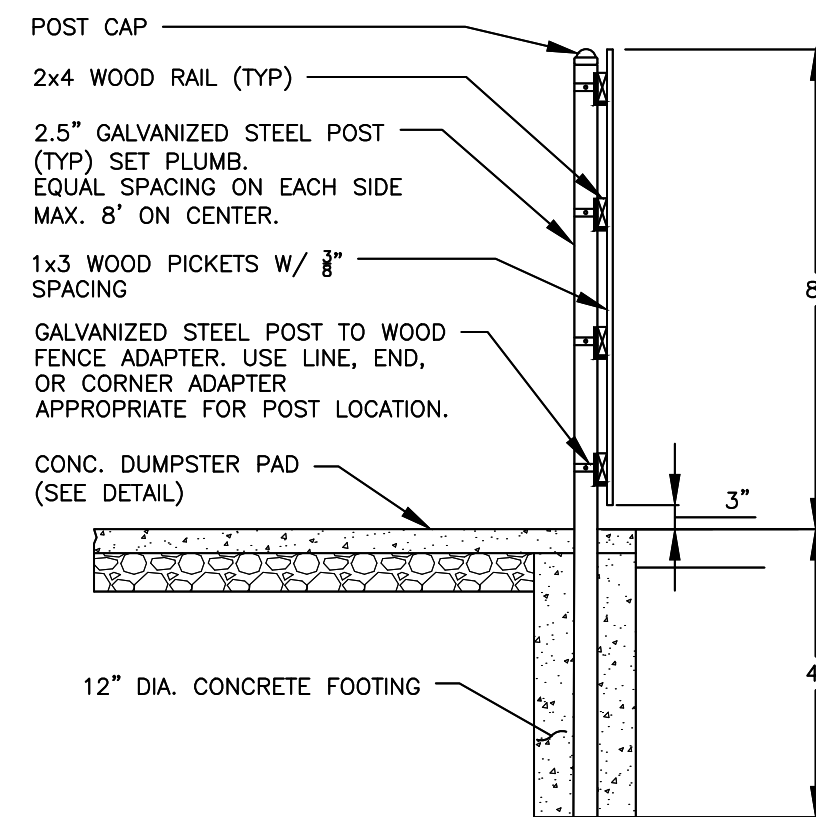
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- NOTES:
1. GATES TO INCLUDE PLUNGER RODS AND LOCKS

11 DUMPSTER PAD PLAN

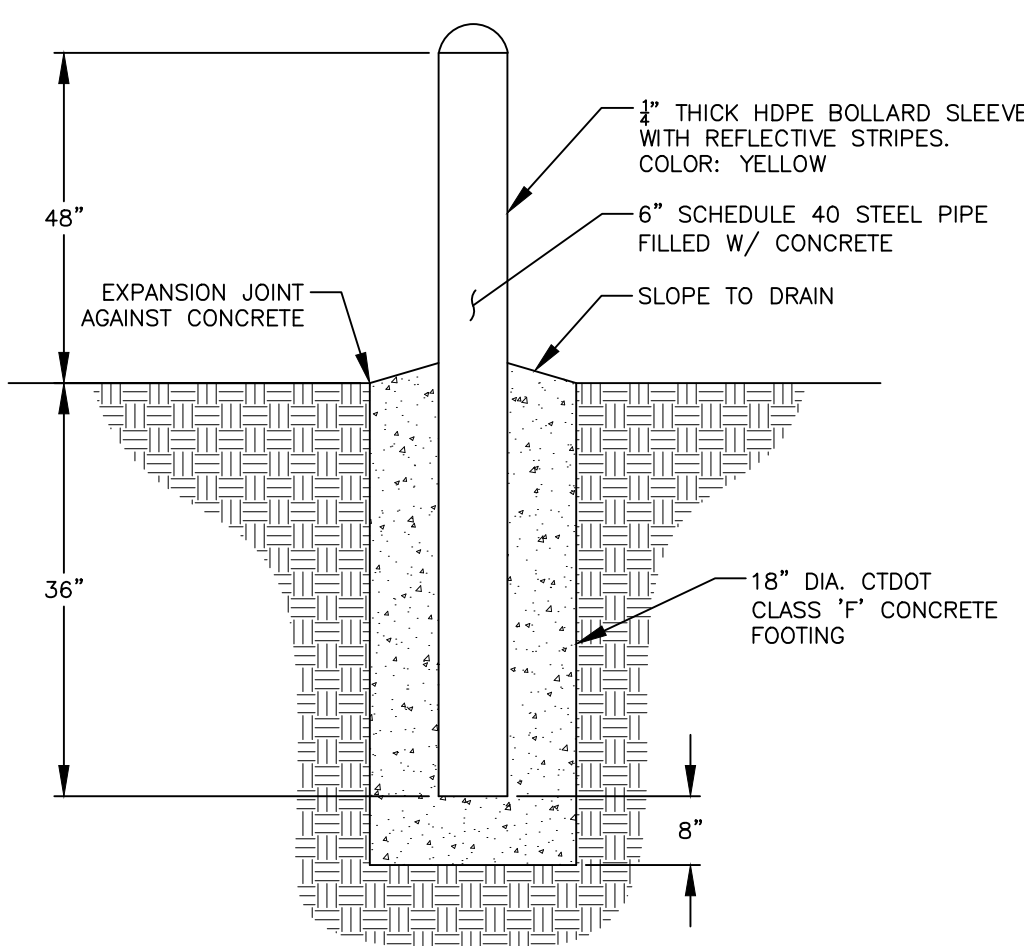
Not to Scale



- NOTES:
1. FINISH SIDE TO FACE AWAY FROM DUMPSTER PAD.
 2. ALL FASTENERS TO BE HOT-DIPPED GALVANIZED.
 3. ALL WOOD TO BE SPRUCE OR PRESSURE TREATED.

12 DUMPSTER ENCLOSURE SECTION

Not to Scale

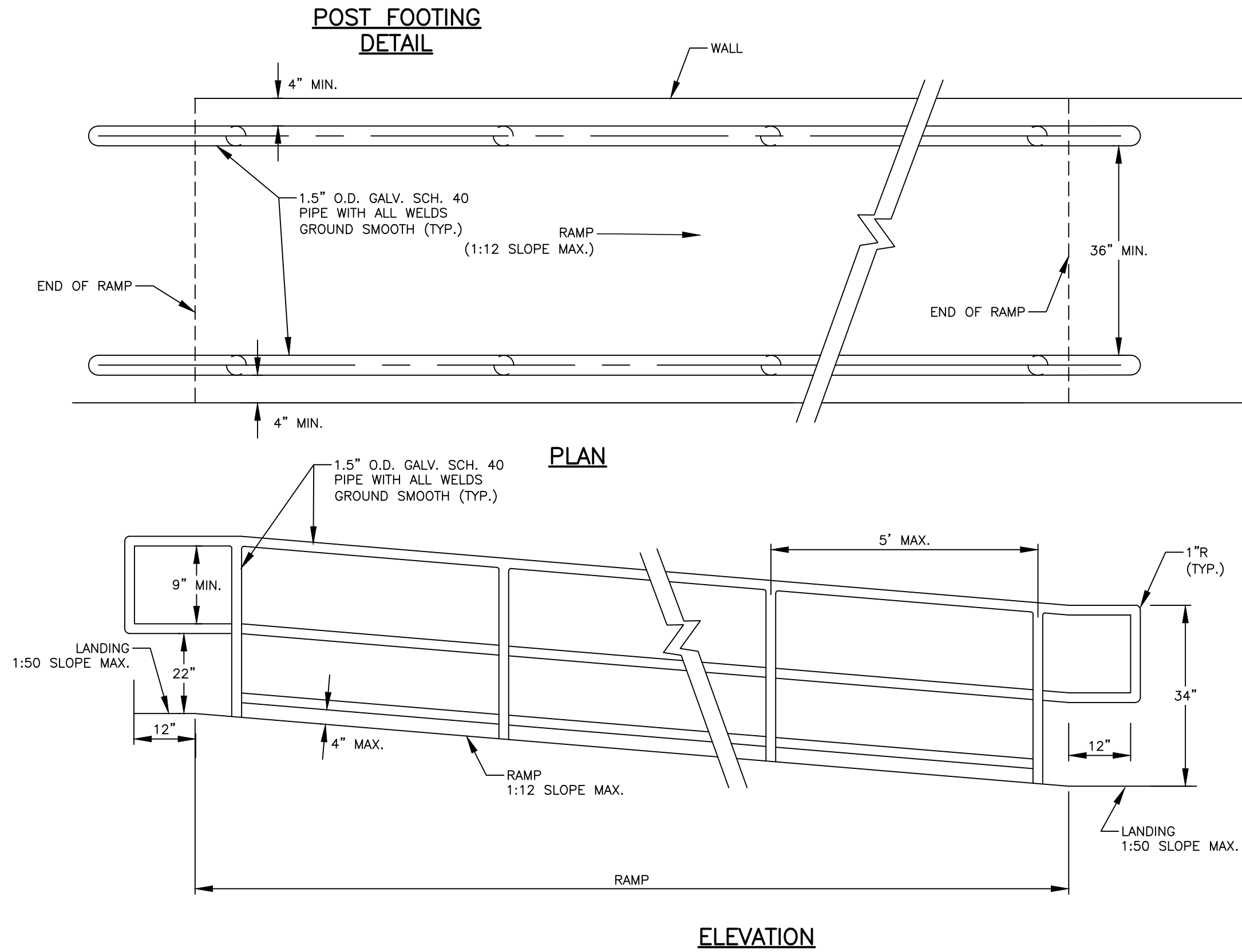


13 CONCRETE BOLLARD

Not to Scale

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

1 ACCESSIBLE RAMP WITH HANDRAILS

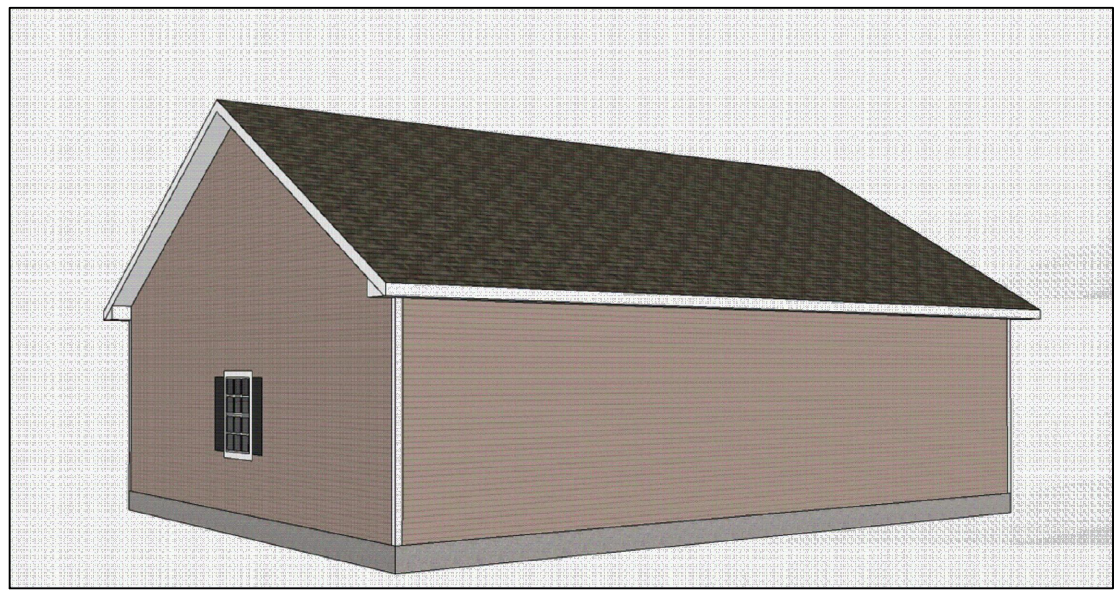
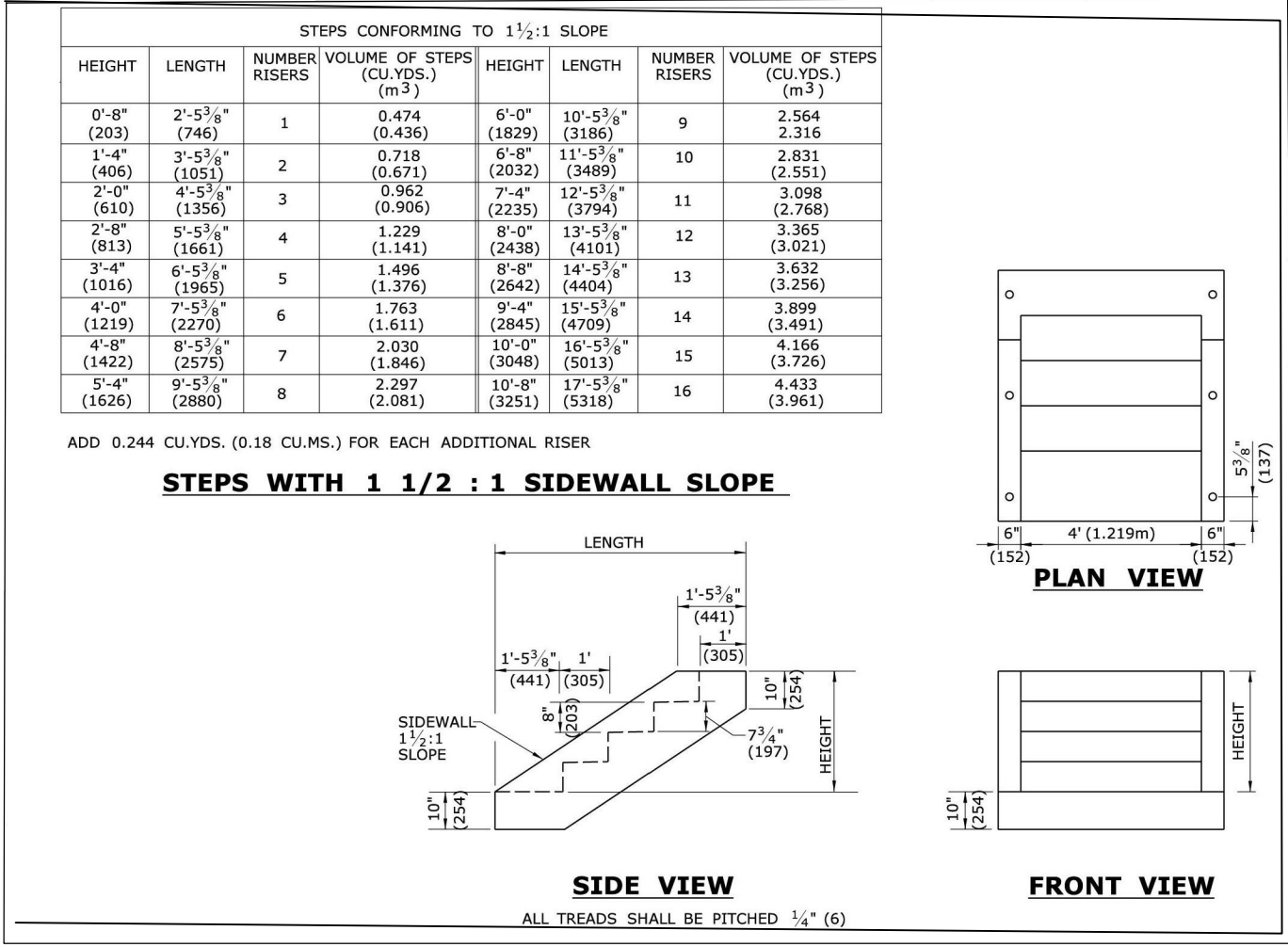
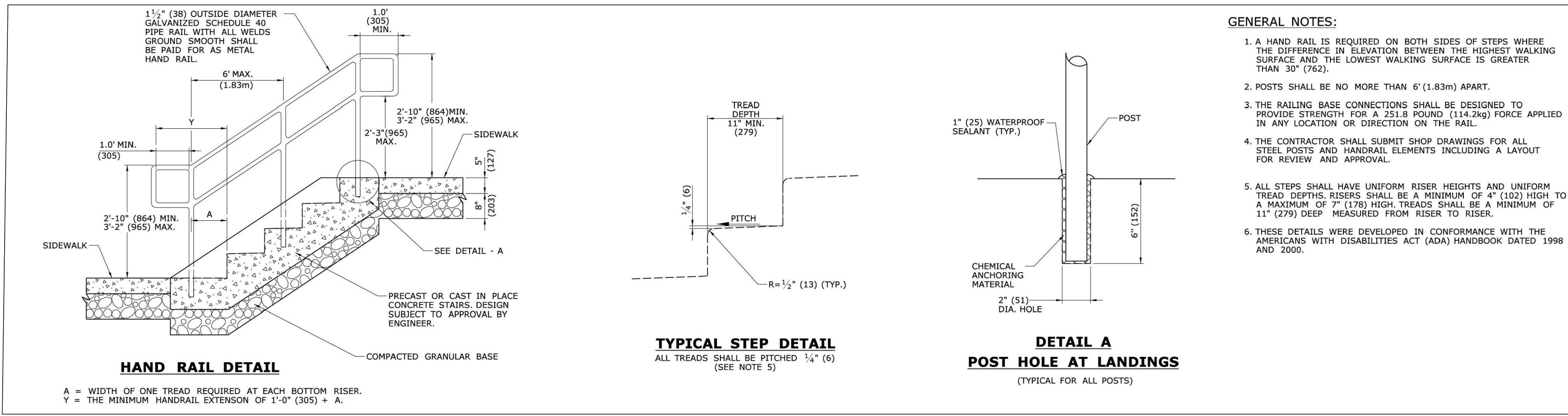


NOTES:

1. COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS, THE CURRENT ADA REGULATIONS, GUIDELINES, AND CONSTRUCTION STANDARDS, AND APPROPRIATE BUILDING CODES.
2. DETAIL IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND DETAILS OF COMPLETE HANDRAIL SYSTEM FOR APPROVAL PRIOR TO FABRICATION.

Not to Scale

2 CONCRETE STAIRS WITH HANDRAILS



REAR ELEVATION



FRONT ELEVATION

NOTE:

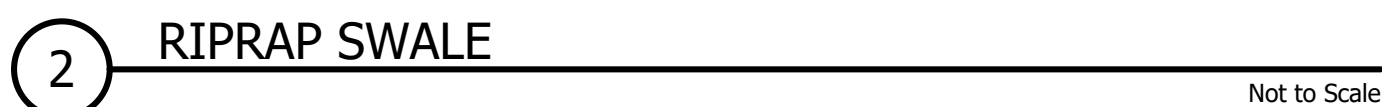
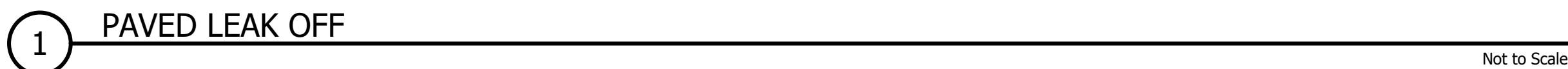
1. PROPOSED BARN SHALL BE STATESMAN STYLE BUILDING AS PROVIDED BY KLOTHER FARMS.

Not to Scale

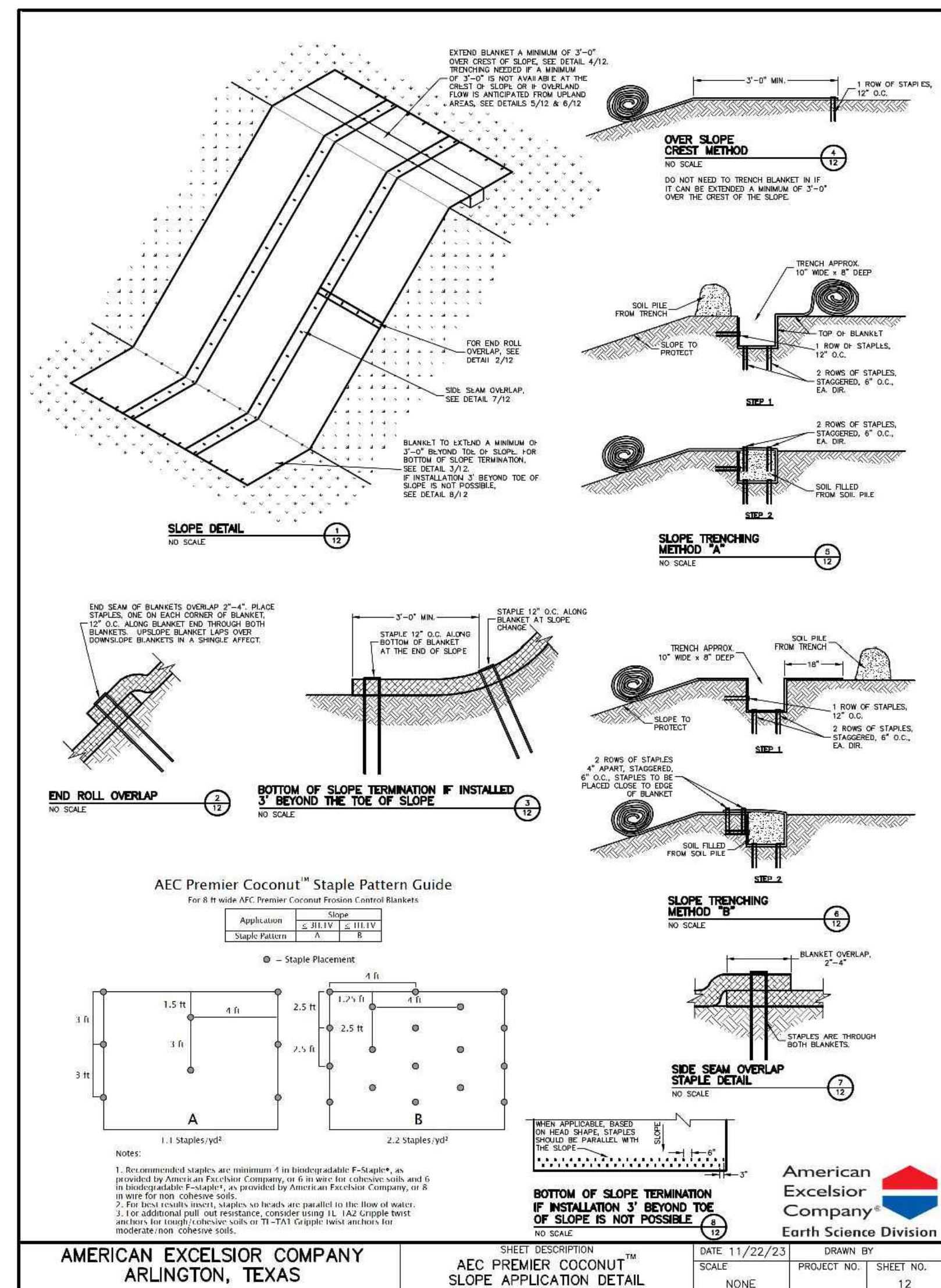
3 PROPOSED BARN ELEVATIONS

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074



4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074



NO.		DATE	REVISIONS	BY
1		4/7/24	REVISIONS PER TOWN STAFF COMMENTS	GMM

DETAILS

SHEET

C-D4

SHEET 15 OF 16



1 FRONT ELEVATION

Not to Scale



2 REAR ELEVATION

Not to Scale



3 WEST ELEVATION

Not to Scale



4 EAST ELEVATION

Not to Scale

PROPERTY OWNER/APPLICANT:
4 ELEMENTS VITALITY INSTITUTE LLC
8 COLLINS LANE
SOUTH WINDSOR, CT 06074

EXISTING
ELEVATIONS

SHEET
C-A1
SHEET 16 OF 16

NO.	DATE	REVISIONS PER TOWN STAFF	COMMENTS	BY
1	4/17/24			CRM

MEDICAL OFFICE
BUILDING
1300 SULLIVAN AVENUE
(FORMERLY 8 COLLINS LANE)
SOUTH WINDSOR, CONNECTICUT

PROJECT NO.	DATE
275	3/27/24
DESIGN BY:	CRM
CHECK BY:	CRM
APPROVED BY:	CRM

PREPARED FOR:
Dr. Vasanth Kalikaryam
162 Cornerstone Drive
South Windsor, CT 06074

* This plan is a professional design prepared by a registered professional in the State of Connecticut. It is intended to be used in conjunction with the applicable building codes and regulations. The designer assumes no responsibility for the accuracy or completeness of the information provided herein, and the user assumes full responsibility for the accuracy and completeness of the information provided herein.

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