

GENERAL NOTES

- REFERENCES ARE MADE TO THE FOLLOWING MAPS:
 - BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON AN A-2 / T-2 SURVEY PREPARED BY SLR INTERNATIONAL CORPORATION, ENTITLED "TOPOGRAPHIC SURVEY". DATED: OCTOBER 19, 2021 AT A SCALE OF 1"=40'.
 - "SITE PLAN OF DEVELOPMENT FOR PEOPLESBANK, CEDAR AVE AND BUCKLAND RD, SOUTH WINDSOR, CONNECTICUT", DATED: JANUARY 18, 2022, SCALE: 1"=30', PREPARED BY: SLR INTERNATIONAL CORPORATION.
- HORIZONTAL DATUM: NAD 1983, VERTICAL DATUM: NAVD 1988.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION, MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. EXCEPT WHERE OVERHEAD PIPE BRIDGES CONNECT BETWEEN BUILDINGS. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SOUTH WINDSOR REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- THE BUILDING IS TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- PLANS PREPARED FOR REGULATORY APPROVAL ONLY.

ZONING DATA TABLE			
ZONE	GD		
SITE USE	RESTAURANT - FAST CASUAL, RETAIL, BANK (PREVIOUSLY APPROVED)		
	REQUIRED	EXISTING - BANK	PROPOSED
MIN LOT AREA	3 acres	5.779 ACRES	NO CHANGE
MIN FRONTAGE	200'	520'	NO CHANGE
MIN LOT DEPTH	200'	440'	NO CHANGE
MIN FRONT SETBACK	65'	98.2'	NO CHANGE
MIN SIDE SETBACK ¹	25'	31.7'	NO CHANGE
MIN REAR SETBACK ¹	10'	>10'	NO CHANGE
MAX IMPERVIOUS COVERAGE ²	60%	15.6%	54%
MAX BUILDING HEIGHT ³	60 FEET/4 STORIES FOR ANY BUILDING THAT IS AT LEAST 125 FEET FROM A PUBLIC STREET RIGHT-OF-WAY 30 FEET/2 STORIES FOR ANY BUILDING LOCATED WITHIN 125 FEET OF THE PUBLIC STREET RIGHT-OF-WAY	±20'	±20.7'
PARKING GENERATION	FINANCIAL: 1 SPACE PER 250 SQ. FT. OF GFA PLUS 1 PER EMPLOYEE (1/250*2,000 + 4 = 12) RESTAURANT: 1 SPACE PER 50 SQ. FT. OF GFA (1/50*(2,325+5,000+2400) = 195) RETAIL: 1 SPACE 200 SQ.FT. OF GFA (1/200*1000 = 5) TOTAL REQUIRED = 212 + 0.9 ⁵ = 191	15	191
EVSE PARKING SPACES ⁴	-NONE REQUIRED FOR 1-15 SPACES -FOR >16 SPACES, PROVIDE 3% OF PARKING TOTAL (ROUNDED UP) FOR APPLICATIONS BETWEEN 2012-2023 = 0.03*191 ⁵ = 6 SPACES	2	6
LANDSCAPING	SEE NOTE 3		

NOTES:
1. SIDE OR REAR YARDS MAY BE IGNORED ALONG COMMON BOUNDARIES OF CONSOLIDATED LOTS. (ZONING REGULATION 4.2.7.D)
2. REFLECTS FULL BUILD-OUT CONDITIONS APPROVED MARCH 15, 2022
3. SEE LAYOUT AND LANDSCAPING PLAN - SHEET LA FOR LANDSCAPING COMPLIANCE
4. DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE WITHIN 10 FEET OF THE WALLS TO THE MEAN LEVEL BETWEEN THE EAVES AND RIDGE FOR GABLE HIP OR GAMBRELL ROOFS
5. A MODIFICATION/REDUCTION OF 10% OF THE REQUIRED PARKING MEETING SECTION 6.4.9 OF THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS REQUESTED, PLEASE SEE TRAFFIC IMPACT AND PARKING STUDY FOR MORE INFORMATION.



Know what's below.
Call before you dig.
www.cbyd.com

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT

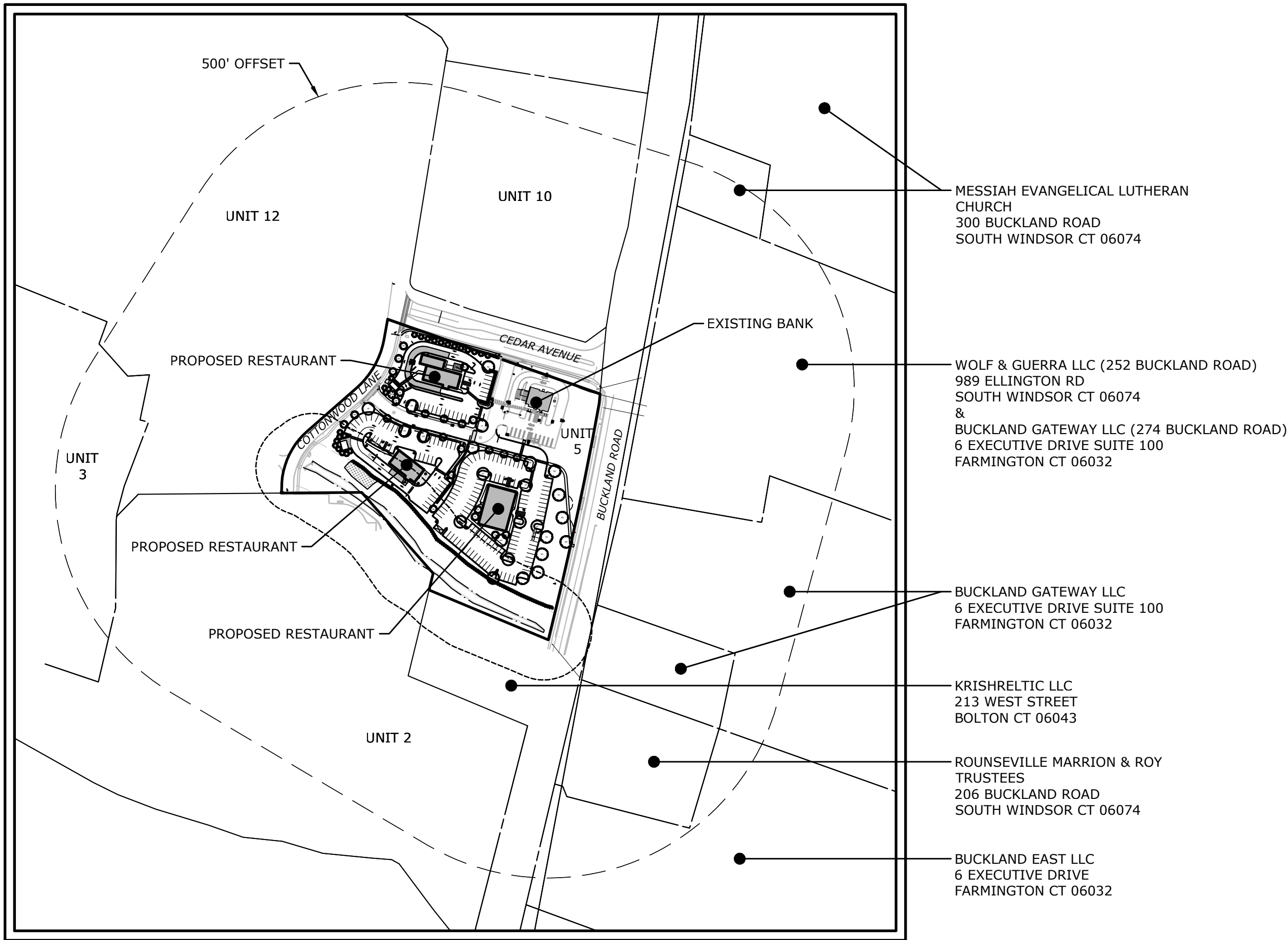
21167.00001

JULY 12, 2023

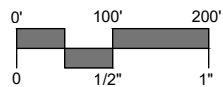
REVISED: AUGUST 7, 2023

REVISED: SEPTEMBER 18, 2023

REVISED: OCTOBER 3, 2023



KEY MAP/PROJECT SITE VICINITY MAP:



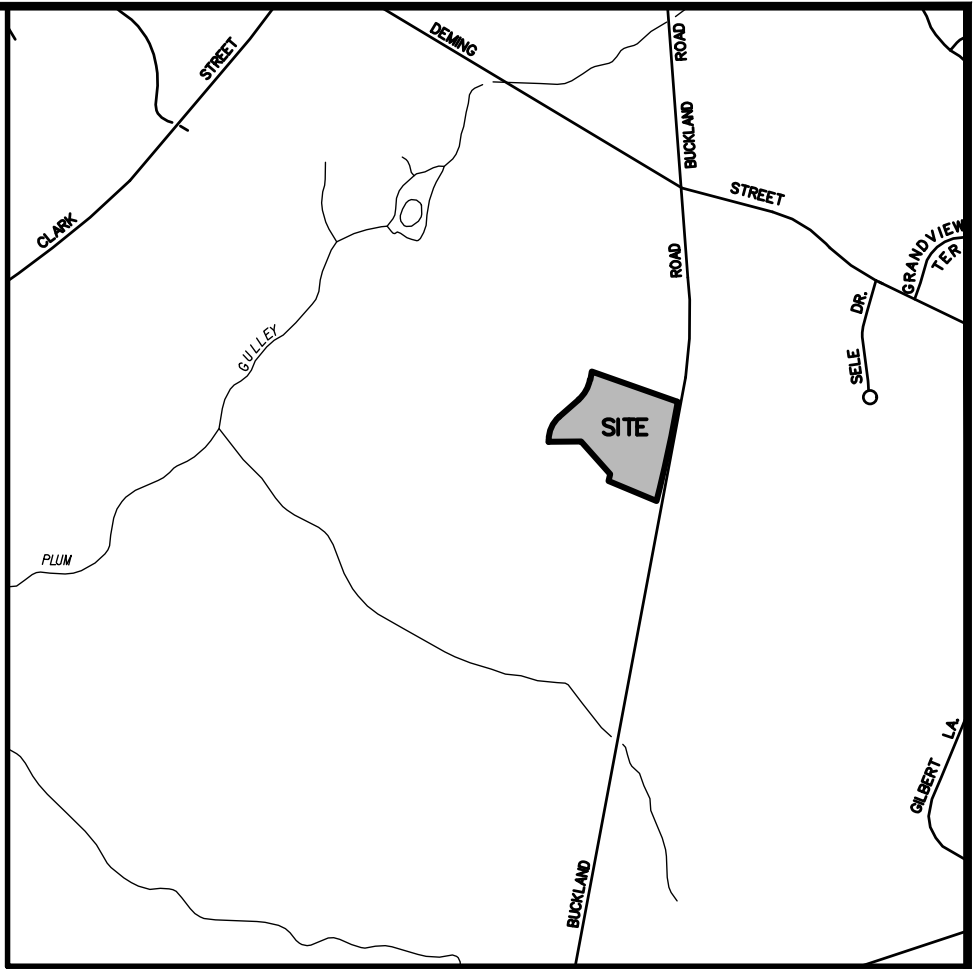
OWNER/APPLICANT:

O'EVERGREEN, LLC
800 KELLY WAY
HOLYOKE, MA 01040

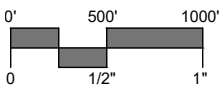
PREPARED BY:



99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM



LOCATION MAP
SCALE: 1"=1000'



LEGEND

EXISTING		PROPOSED
	STREET LINE	
	PROPERTY LINE	
	SETBACK LINE	
	MAJOR CONTOUR	
	MINOR CONTOUR	
	SPOT GRADE	
	TREE LINE	
	TREE/ SHRUB	
	STONEWALL	
	SITE LIGHT	
	HYDRANT	
	WATER VALVE	
	GAS VALVE	
	CATCH BASIN	
	MANHOLE/YARD DRAIN	
	SANITARY SEWER W/MANHOLE	
	STORM DRAIN	
	WATER MAIN	
	GAS MAIN	
	ELECTRIC LINE	
	ELECTRIC, TELEPHONE, CABLE	
	UTILITY POLE	
	TRAFFIC SIGN	
	IRON PIPE	
	MONUMENT	
	EDGE OF PAVEMENT W/CURB	
	GUARD RAIL	
	CHAIN LINK FENCE	
	WATERCOURSE	
	WETLAND	

LIST OF DRAWINGS

01	TITLE	TITLE SHEET
02	EX	EXISTING CONDITIONS
03	LA	SITE PLAN - LAYOUT & LANDSCAPING
04	GU	SITE PLAN - GRADING & UTILITIES
05	XC	PLAN AND SECTION - DRIVETHRU AT STARBUCKS
06	PH	PHASING PLAN
07	SE	SEDIMENT AND EROSION CONTROL PLAN
08	SE-2	SEDIMENT AND EROSION CONTROL DETAILS
09	SD-1	SITE DETAILS
10	SD-2	SITE DETAILS
11	SD-3	SITE DETAILS
12	SD-4	SITE DETAILS
13	SD-5	SITE DETAILS

INVASIVE SPECIES MANAGEMENT NOTES AND PLANTINGS

1. OWNER TO RETAIN QUALIFIED ECOLOGIST/BOTANIST TO FIELD IDENTIFY INVASIVE NON NATIVE VEGETATION WITHIN MANAGEMENT AREA. THE INVASIVE NON NATIVE VEGETATION SHALL BE MARKED IN THE FIELD WITH COLORED FLAGGING FOR MANAGEMENT/REMOVAL.
2. CONTRACTOR TO REMOVE MARKED VEGETATION USING MECHANICAL METHODS. ALL NON NATIVE VEGETATIVE MATTER/MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROPRIATE APPROVED FACILITY. NO BURYING OR COMPOSTING OF INVASIVE VEGETATIVE MATTER IS PERMITTED ON SITE. INSTALLATION OF GEOTEXTILE SILT FENCE ALONG THE PERIMETER OF THE MANAGEMENT AREA WILL BE REQUIRED IF THE INVASIVE SPECIES REMOVAL AREA HAS ANY EXPOSED SOIL FOLLOWING VEGETATION REMOVAL.
3. RESTORATION PLANTINGS TO BE INSTALLED AT THE DIRECTION OF THE QUALIFIED ECOLOGIST/BOTANIST AND ONLY AFTER AREA HAS BEEN PROPERLY CLEARED OF INVASIVE NON NATIVE VEGETATION.

SEED MIX
NEW ENGLAND WILDLIFE/CONSERVATION
(OR APPROVED EQUAL)

PLANTS
GRAY DOGWOOD - SWIDA RACEMOSA
RED OSIER DOGWOOD - SWIDA SERICEA

STOP SIGN AND STOP BAR
TO BE COORDINATED WITH
OTHERS

36" X 36" CLEARANCE FOR
CONTROL BOX

Easement in favor of COXCOMM, INC.
(See Survey Notes 4.E & 15)

SITE LIGHT
14'X20' DUMPSTER
TRANSFORMER

EXISTING STOP
BAR AND SIGN TO
BE MAINTAINED

ONE-WAY
SIGN (TYP.)
N/
Evergreen Walk
Lifestyle Center, LLC

Easement In Favor of the
Yankee Gas Services Company
(See S.W.L.R. Map 4312)

14'X20' DUMPSTER
ENCLOSURE

Easement in favor
of Cox Business Services, LLC
(See S.W.L.R. Vol.1632, Pg.252
& Map #3122)

Easement in favor of Connecticut Water Company
(See S.W.L.R. Vol.1608 Pg.80 & Maps #3080, 3082)

LAYOUT NOTES

1. CONCRETE SIDEWALKS, SHALL INCORPORATE ISOLATION JOINTS AND SCORE JOINTS PER THE SPECIFICATIONS AND DETAILS, TYPICALLY NO MORE THAN 144 SQUARE FEET SHALL CONSTITUTE A CONTIGUOUS SLAB. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR INTERFACE AGAINST THE BUILDING.
2. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDING, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
4. ALL PROPOSED CURBING SHALL BE PRECAST CONCRETE CURB UNLESS OTHERWISE NOTED.
5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE AMENTITY.
6. SITE LIGHTS DEPICTED WITH IN LAWN/LANDSCAPE AREAS SHALL MAINTAIN A 4"-6" FOUNDATION REVEAL MAXIMUM, SITE LIGHTS DEPICTED IN PARKING LOTS SHALL HAVE A 3' EXPOSED HEIGHT CONCRETE FOUNDATION. SEE SITE ELECTRICAL PLAN FOR MORE INFORMATION.
7. WHERE WALK AND PAVED DRIVE ARE SPECIFIED TO BE FLUSH, A FLUSH (FULL DEPTH) CONCRETE CURB SHALL ALSO BE INSTALLED.

Existing Building

Limit of Ordinary High
Water (See Survey
Note 18)

Limit of Developable Area
Per Map Ref. in Survey Note
4.F

PATIO RAILING WITH
ILLUMINATION
Area of Low
Quality Wetlands
(See Survey Note 4.F)

DO NOT ENTER
(TYP. OF 2)

Retaining Wall

Bit. Parking

Conc. Pad

Bit. Parking

RELOCATE EXISTING
LIGHT POLE

PROTECTIVE BOLLARD

MOBILE PICKUP
ONLY LANE

CLEARANCE BAR
BYPASS LANE

12'W X 44'L
CONCRETE
DRIVE AISLE

LOOP DETECTOR CONDUIT

PAINTED
CROSSWALK
(TYP.)

NUMBERED
PULL-IN SPACE
(TYP. OF 3)

CONCRETE PATIO

CHIPOTLE
2,325 SF

PLAZA LIGHT

CONCRETE CURB (TYP.)

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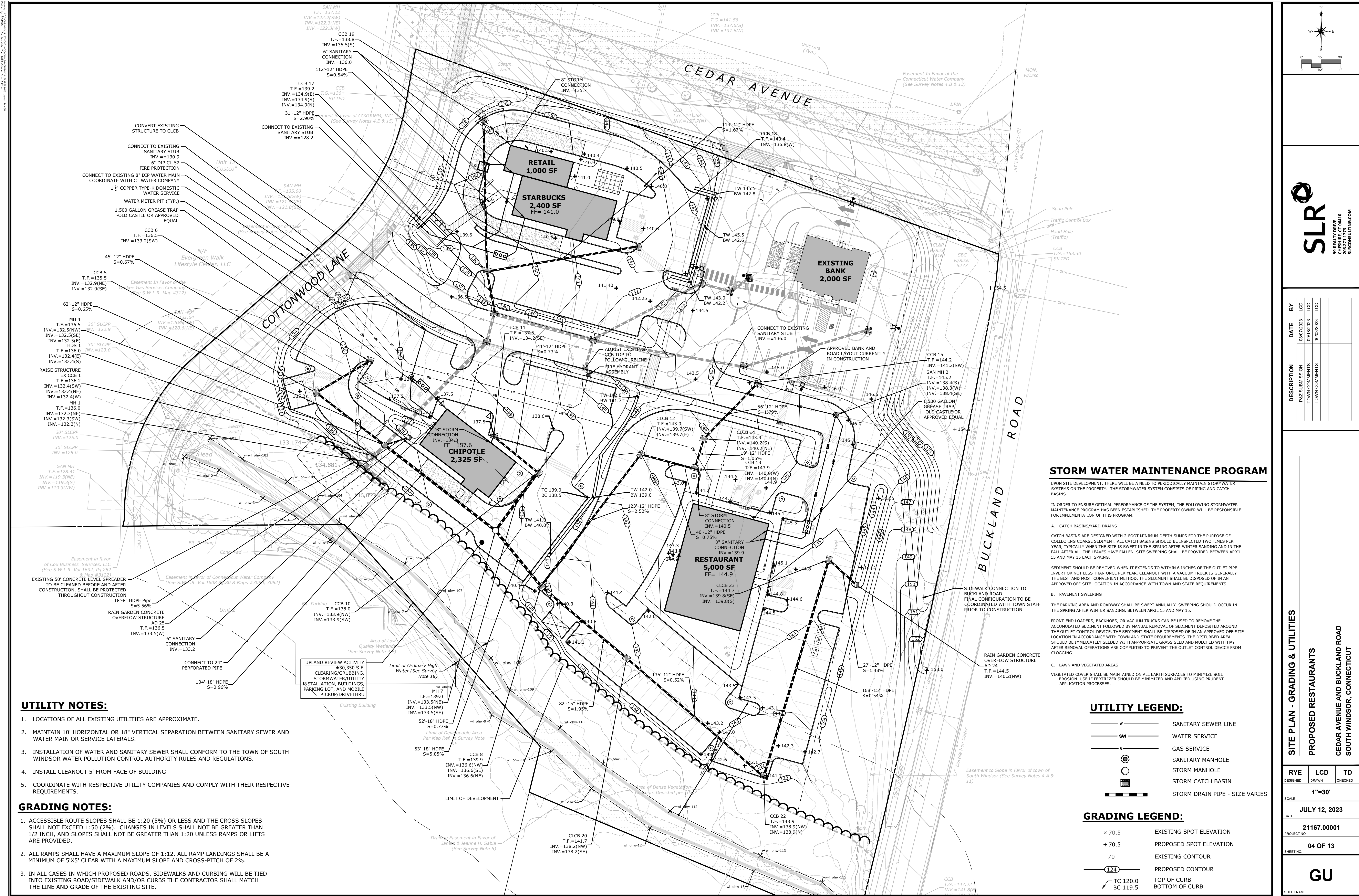
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UTILITY NOTES:

- 1. LOCATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE.
- 2. MAINTAIN 10' HORIZONTAL OR 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAIN OR SERVICE LATERALS.
- 3. INSTALLATION OF WATER AND SANITARY SEWER SHALL CONFORM TO THE TOWN OF SOUTH WINDSOR WATER POLLUTION CONTROL AUTHORITY RULES AND REGULATIONS.
- 4. INSTALL CLEANOUT 5' FROM FACE OF BUILDING
- 5. COORDINATE WITH RESPECTIVE UTILITY COMPANIES AND COMPLY WITH THEIR RESPECTIVE REQUIREMENTS.

GRADING NOTES:

- 1. ACCESSIBLE ROUTE SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/2 INCH, AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED.
- 2. ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. ALL RAMP LANDINGS SHALL BE A MINIMUM OF 5'X5' CLEAR WITH A MAXIMUM SLOPE AND CROSS-PITCH OF 2%.
- 3. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE.

STORM WATER MAINTENANCE PROGRAM

UPON SITE DEVELOPMENT, THERE WILL BE A NEED TO PERIODICALLY MAINTAIN STORMWATER SYSTEMS ON THE PROPERTY. THE STORMWATER SYSTEM CONSISTS OF PIPING AND CATCH BASINS.

IN ORDER TO ENSURE OPTIMAL PERFORMANCE OF THE SYSTEM, THE FOLLOWING STORMWATER MAINTENANCE PROGRAM HAS BEEN ESTABLISHED. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THIS PROGRAM.

A. CATCH BASINS/YARD DRAINS

CATCH BASINS ARE DESIGNED WITH 2-FOOT MINIMUM DEPTH SUMPS FOR THE PURPOSE OF COLLECTING COARSE SEDIMENT. ALL CATCH BASINS SHOULD BE INSPECTED TWO TIMES PER YEAR, TYPICALLY WHEN THE SITE IS SWEEPED IN THE SPRING AFTER WINTER SANDING AND IN THE FALL AFTER ALL THE LEAVES HAVE FALLEN. SITE SWEEPING SHALL BE PROVIDED BETWEEN APRIL 15 AND MAY 15 EACH SPRING.

SEDIMENT SHOULD BE REMOVED WHEN IT EXTENDS TO WITHIN 6 INCHES OF THE OUTLET PIPE INVERT OR NOT LESS THAN ONCE PER YEAR. CLEANOUT WITH A VACUUM TRUCK IS GENERALLY THE BEST AND MOST CONVENIENT METHOD. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF-SITE LOCATION IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS.

B. PAVEMENT SWEEPING

THE PARKING AREA AND ROADWAY SHALL BE SWEEPED ANNUALLY. SWEEPING SHOULD OCCUR IN THE SPRING AFTER WINTER SANDING, BETWEEN APRIL 15 AND MAY 15.

FRONT-END LOADERS, BACKHOES, OR VACUUM TRUCKS CAN BE USED TO REMOVE THE ACCUMULATED SEDIMENT FOLLOWED BY MANUAL REMOVAL OF SEDIMENT DEPOSITED AROUND THE OUTLET CONTROL DEVICE. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF-SITE LOCATION IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS. THE DISTURBED AREA SHOULD BE IMMEDIATELY SEEDED WITH APPROPRIATE GRASS SEED AND MULCHED WITH HAY AFTER REMOVAL OPERATIONS ARE COMPLETED TO PREVENT THE OUTLET CONTROL DEVICE FROM CLOGGING.

C. LAWN AND VEGETATED AREAS

VEGETATED COVER SHALL BE MAINTAINED ON ALL EARTH SURFACES TO MINIMIZE SOIL EROSION. USE IF FERTILIZER SHOULD BE MINIMIZED AND APPLIED USING PRUDENT APPLICATION PROCESSES.

UTILITY LEGEND:

W	SANITARY SEWER LINE
SW	WATER SERVICE
G	GAS SERVICE
Manhole symbol	SANITARY MANHOLE
Storm manhole symbol	STORM MANHOLE
Storm catch basin symbol	STORM CATCH BASIN
Storm drain pipe symbol	STORM DRAIN PIPE - SIZE VARIES

GRADING LEGEND:

x 70.5	EXISTING SPOT ELEVATION
+ 70.5	PROPOSED SPOT ELEVATION
---70---	EXISTING CONTOUR
124	PROPOSED CONTOUR
TC 120.0 BC 119.5	TOP OF CURB BOTTOM OF CURB

SLR

99 REALTY DRIVE
263271773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY	LCD
P&Z SUBMISSION	08/07/2023	LCD	
TOWN COMMENTS	09/16/2023	LCD	
TOWN COMMENTS	10/03/2023	LCD	

SITE PLAN - GRADING & UTILITIES

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	LCD	TD
DESIGNED	DRAWN	CHECKED

SCALE: 1"=30'

DATE: JULY 12, 2023

PROJECT NO.: 21167.00001

SHEET NO.: 04 OF 13

GU

SHEET NAME

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PHASING PLAN LEGEND

- PHASE 1
- PHASE 2
- PHASE 3

SLR

99 REALTY DRIVE
SUITE 200
SOUTH WINDSOR, CT 06080
203.271.1773
SLRCONSULTING.COM

PHASING PLAN

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	LCD	TD
DESIGNED	DRAWN	CHECKED

1"=30'

JULY 12, 2023

DATE

21167.00001

PROJECT NO.

06 OF 13

SHEET NO.

PH

SHEET NAME

DESCRIPTION	DATE	BY
TOWN COMMENTS	10/03/2023	LCD

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EROSION CONTROL NOTES
CONTRACTOR RESPONSIBILITIES

1. SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
2. THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND THE TOWN'S DESIGNATED REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS
3. INSPECTION OF THE SITE FOR EROSION SHALL CONTINUE FOR A PERIOD OF THREE MONTHS AFTER COMPLETION WHEN RAINFALLS OF ONE INCH OR MORE OCCUR.
4. ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS.
5. THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS.
6. A COPY OF ALL PLANS AND REVISIONS, AND THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
7. ALL CATCH BASIN SUMPS SHOULD BE INSPECTED AFTER CONSTRUCTION COMPLETION AND SEDIMENT REMOVED. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LOCATION.

EROSION CONTROL LEGEND

- CE

CONSTRUCTION ENTRANCE
- SF

SEDIMENT FILTER FENCE
- SW

STRAW WATTLE
- STK

TEMPORARY STOCKPILE SURROUND WITH SEDIMENT FILTER FENCE
- IP

INLET PROTECTION.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002", TOWN OF SOUTH WINDSOR, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

1. PURPOSE AND DESCRIPTION OF PROJECT
 - 1.1. CONSTRUCTION OF 3 PROPOSED RESTAURANTS.
 - 1.2. ESTIMATED AREA OF DISTURBANCE: ±3.2 ACRES
2. IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS
 - 2.1. CUTS AND FILLS ASSOCIATED WITH PARKING AND BUILDING CONSTRUCTION.
 - 2.2. PROTECTION OF ON-SITE AND OFF-SITE STORM DRAINAGE.
3. IDENTIFICATION OF OTHER POSSIBLE PERMITS
 - 3.1. THE PERMITS REQUIRED FOR THIS PROJECT ARE A LOCAL INLAND WETLANDS AND WATERCOURSES PERMIT AND PLANNING AND ZONING PERMITS
4. CONSERVATION PRACTICES INCORPORATED INTO THE PROJECT ARE AS FOLLOWS:
 - 4.1. DETAILED SOIL EROSION AND SEDIMENT CONTROL PLAN.
5. PARTY RESPONSIBLE FOR SOIL AND EROSION CONTROLS
 - 5.1. SITE CONTRACTOR



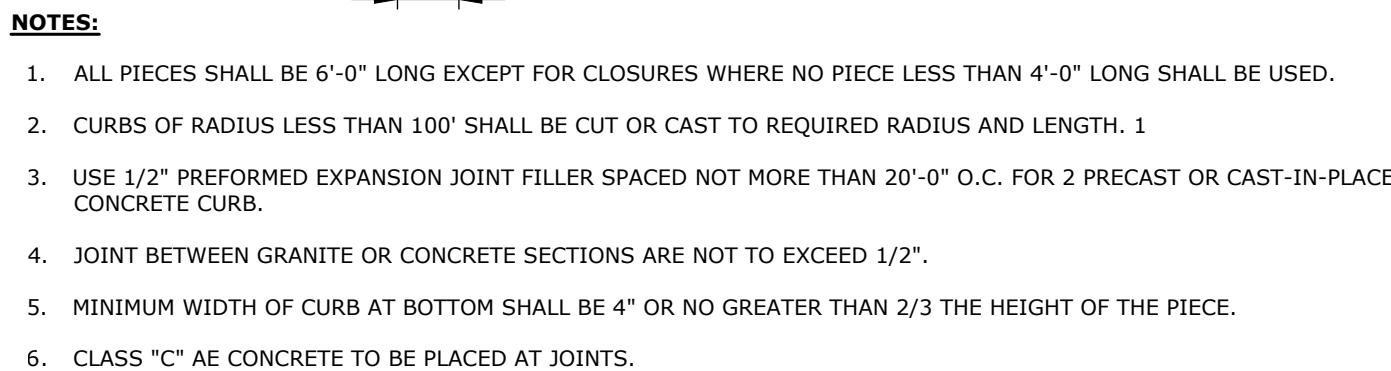
DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD
TOWN COMMENTS	09/19/2023	LCD
TOWN COMMENTS	10/03/2023	LCD

SEDIMENT AND EROSION CONTROL PLAN
PROPOSED RESTAURANTS
CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
1"=30'		
JULY 12, 2023		
21167.00001		
PROJECT NO.		
07 OF 13		
SHEET NO.		
SE-1		
SHEET NAME		



- NOTES:**
1. CONCRETE: 4000 PSI, 28 DAYS
 2. WEIGHT, 300 LBS.
 3. REINFORCEMENT, (2) #4 BARS
 4. (2) 3/4" HOLES CAST IN FOR ANCHORING
 5. (2) PROVIDE 5/8" x 30" REBAR FOR ANCHORING

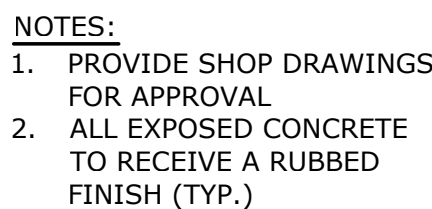


PRECAST CONCRETE CURB
NOT TO SCALE



1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
3. ALL RAMPS SHALL BE CONSTRUCTED OF CLASS "C" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE M.03.01.
4. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP, THE SURFACE ALONG ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN COMPLIANCE WITH ADA SECTION 4.05.
5. DIAGONAL SIDEWALK RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
6. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION/CONTRACTION JOINT OR DUMMY JOINT. 12:1 MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GRADE. IN RECOGNITION OF THIS, A MINIMUM LIMIT OF 15' FOR A PARALLEL RAMP SHALL BE USED. REMOVAL SHALL BE TO THE NEAREST TRANSVERSE CURB OR PARALLEL RAMP UNLESS DIRECTED BY THE ENGINEER. SAW CUT REQUIRED FOR DUMMY JOINTS SHALL BE INCLUDED IN THE COST OF "CONCRETE SIDEWALK".
7. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
8. RAISED ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 4' LONG BETWEEN THE RAMPS. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH THE ISLAND WITH THE ROADWAY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
9. SIDEWALK RAMPS SHALL BE CONSTRUCTED AND PAID FOR UNDER THE ITEM "CONCRETE SIDEWALK", INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP AND DETECTABLE WARNING STRIPS.
10. CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 814A SECTIONS 8.11 AND 8.13.
11. HANDICAP RAMPS CONFORMING WITH CONNECTICUT GENERAL STATUTES, SEC. 7-118a, SHALL BE INCORPORATED IN ALL PROPOSED SIDEWALKS AT ALL STREET INTERSECTIONS, AND AT ALL OTHER LOCATIONS WHERE THE SIDEWALKS OF A DRIVEWAY OR OTHER FACILITY TAKE PRECEDENCE OVER THE GRADE OF THE PROPOSED SIDEWALK.
12. TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
13. INSTALL THE EDGE OF THE DETECTABLE WARNING 6" FROM THE EDGE OF ROAD.
14. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID, IN THE DIRECTION OF PEDESTRIAN TRAVEL.

DETECTABLE WARNING STRIP FOR ACCESSIBLE WALK



- NOTE:**
1. ALL CONCRETE SHALL BE 4000 PSI PER TOWN OF SOUTH WINDSOR SPECIFICATIONS



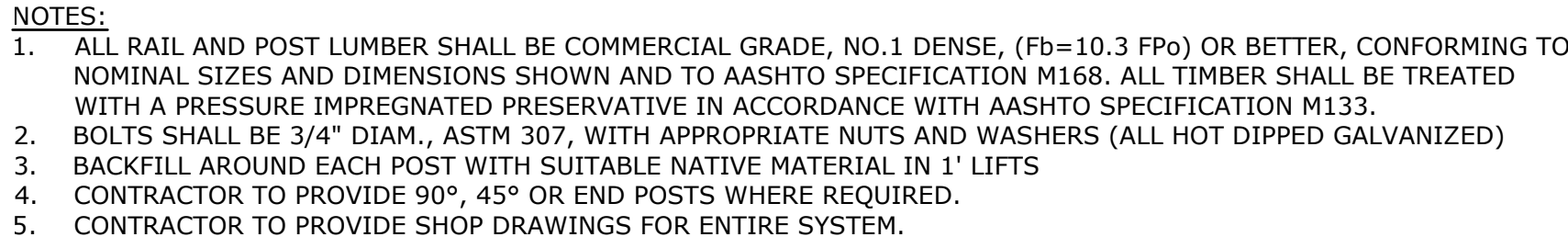
1. UNLESS OTHERWISE DIRECTED SHREDDED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.

SHRUB PLANTING
NOT TO SCALE

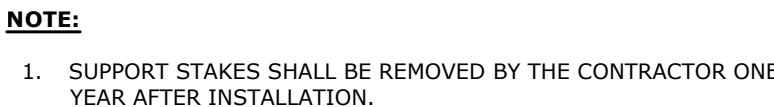
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SITE DETAILS
<p>PROPOSED RESTAURANTS</p> <p>CEDAR AVENUE AND BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT</p>

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
SCALE		
JULY 12, 2023		
DATE		
21167.00001		
PROJECT NO.		
9 OF 13		
SHEET NO.		
SD-1		
SHEET NAME		



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

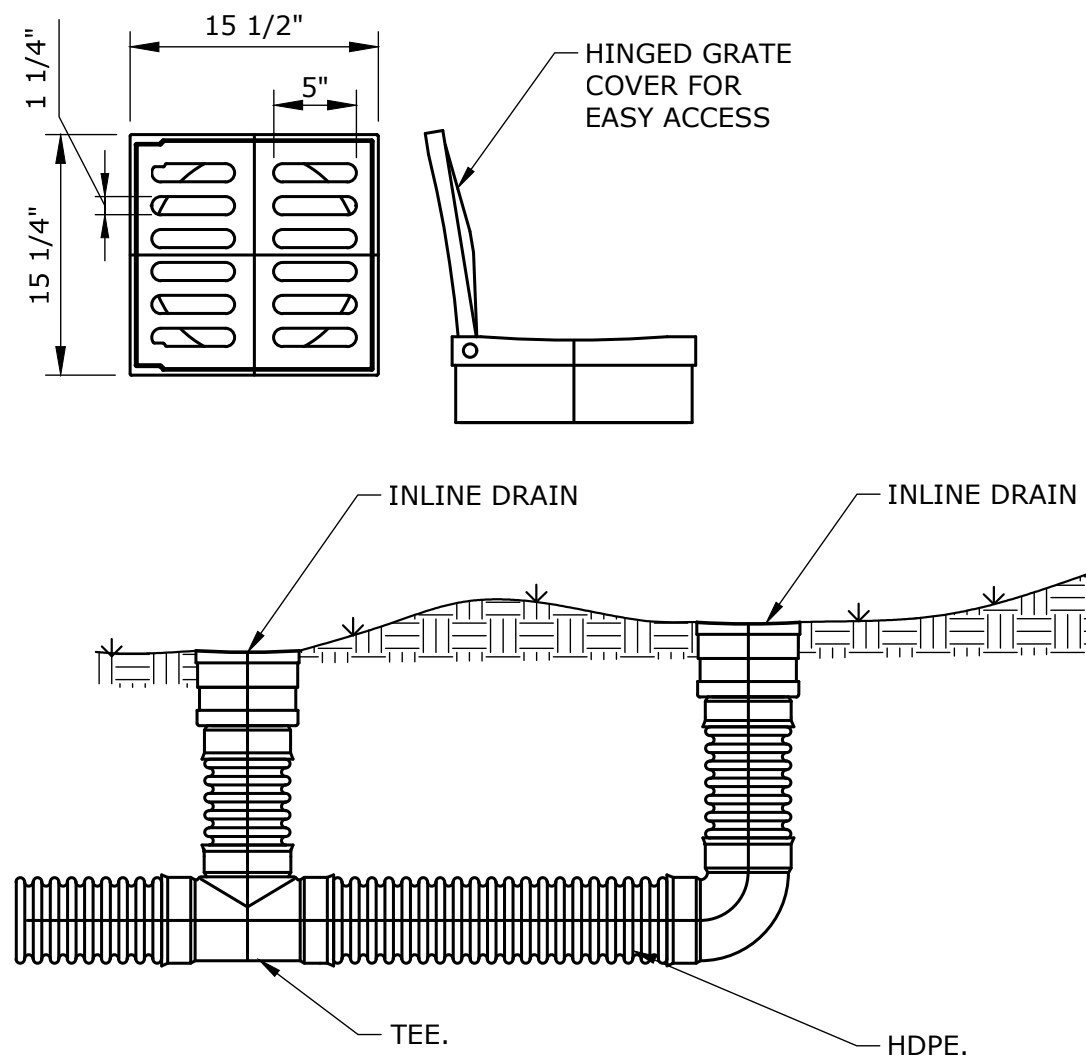
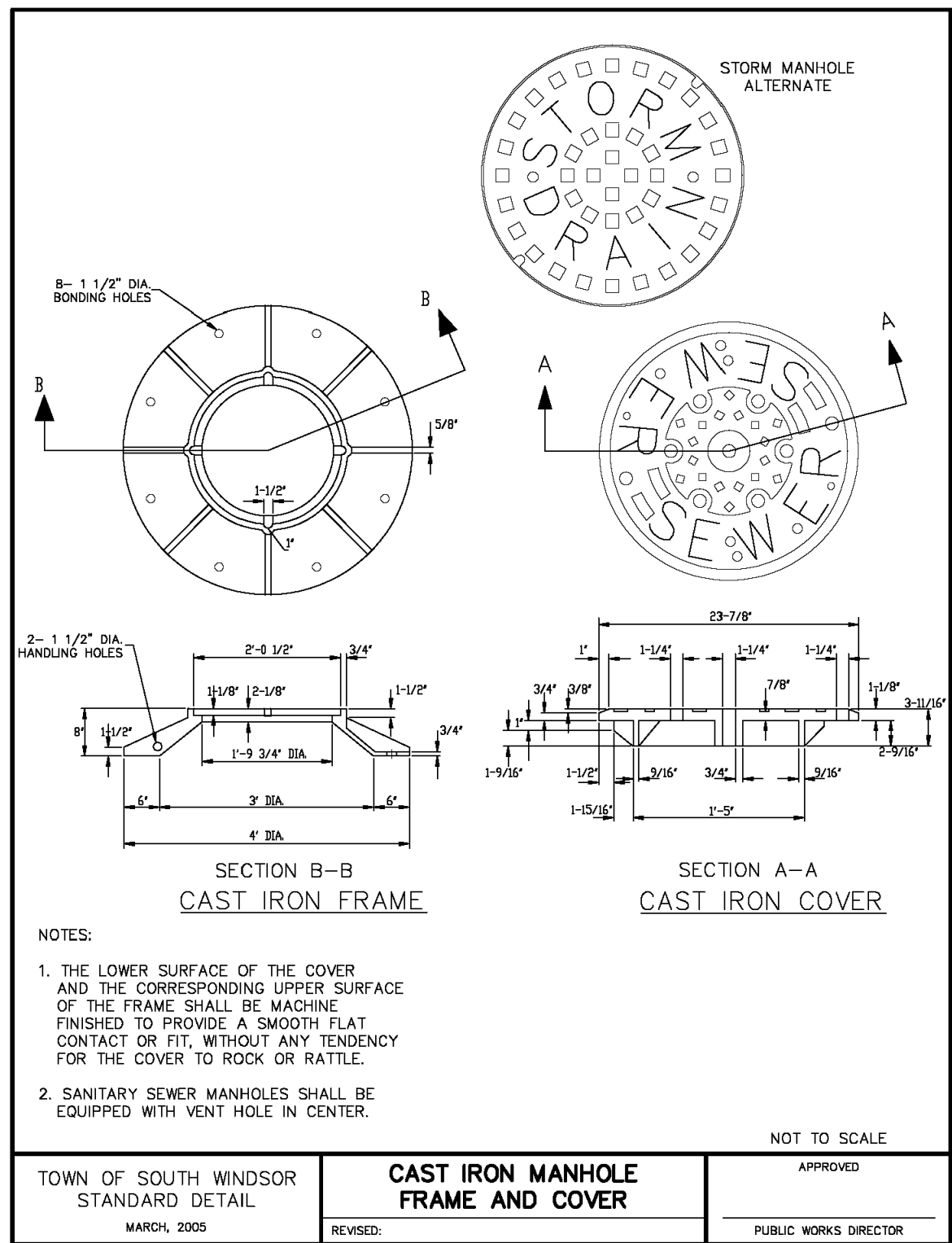
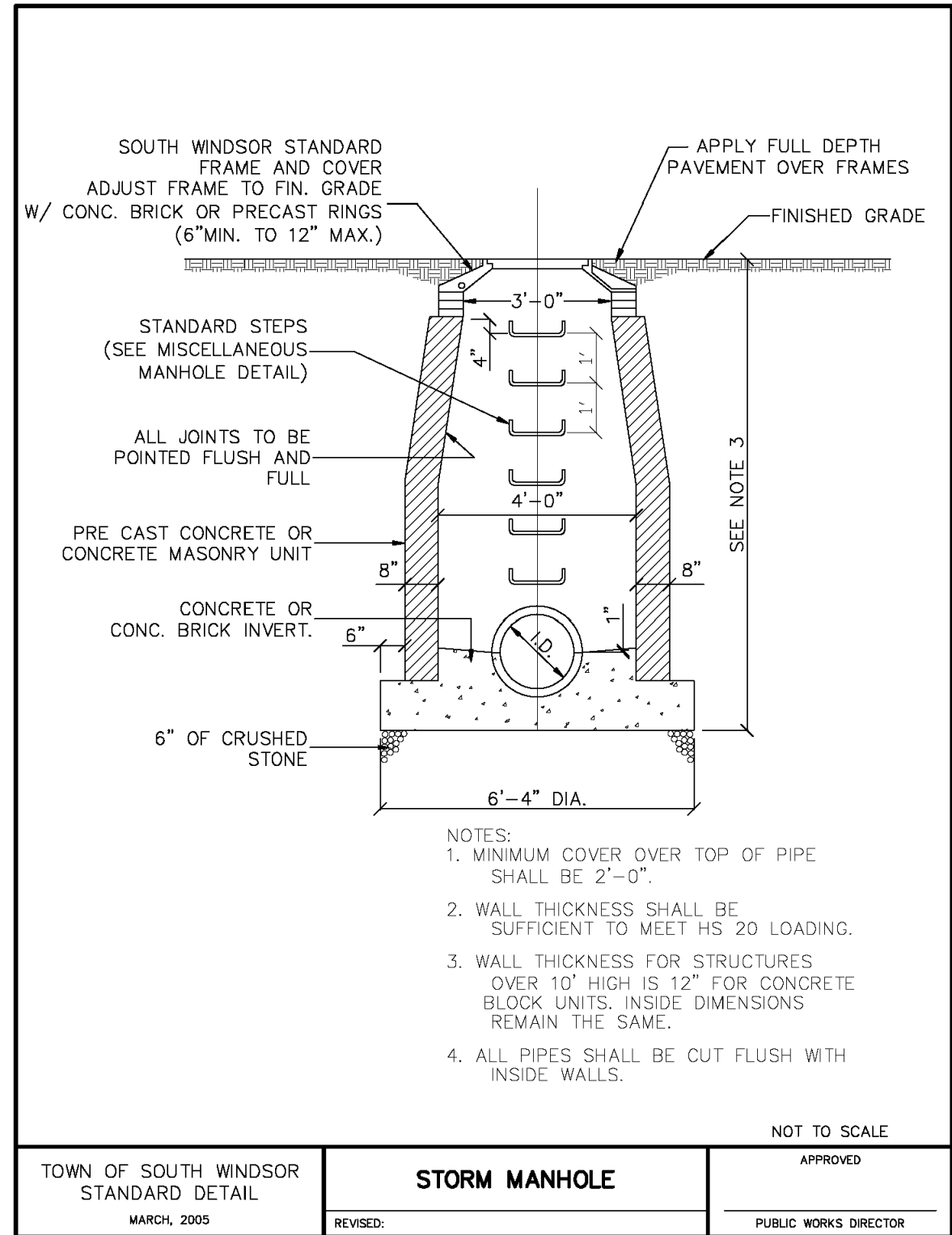
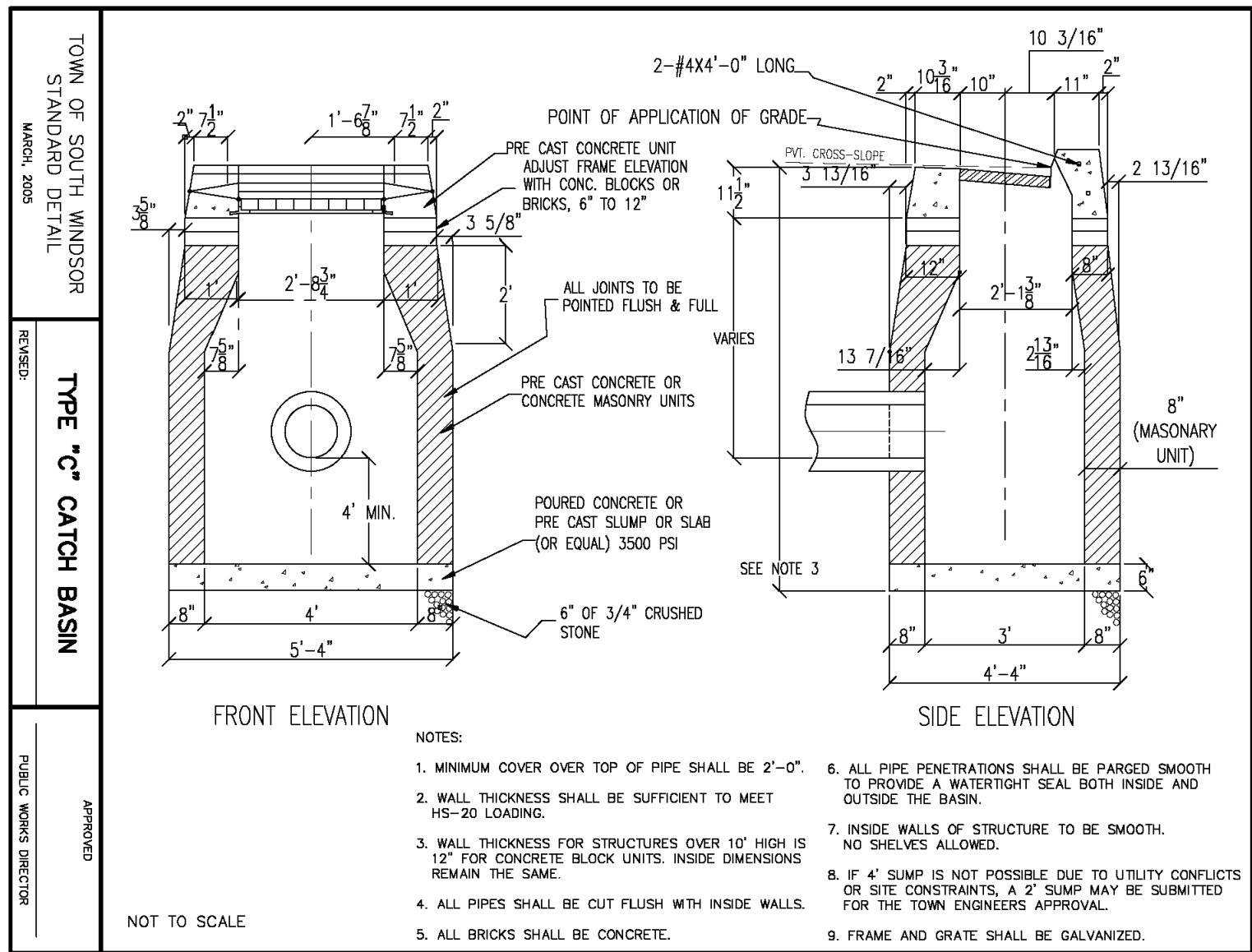
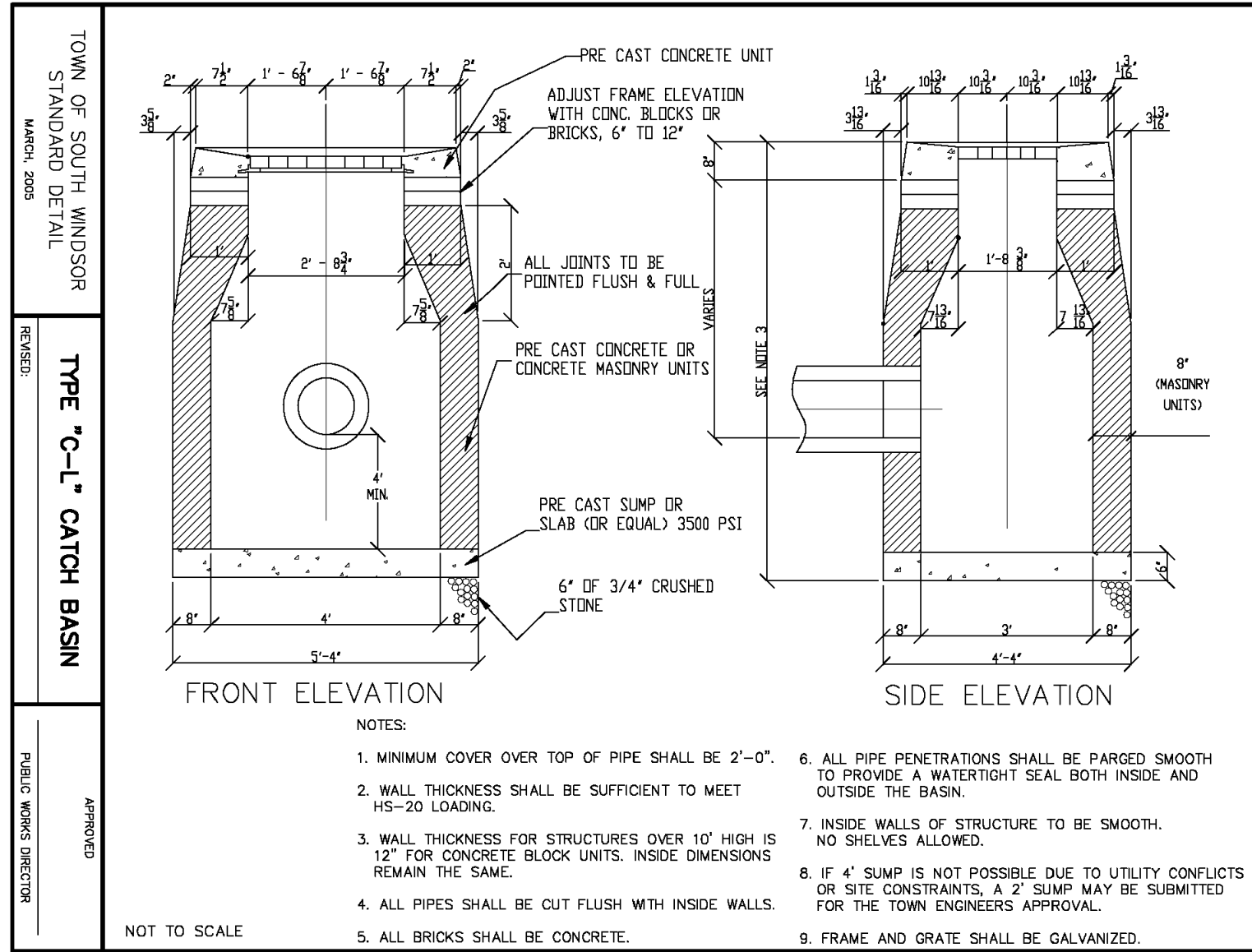


SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND
SOUTH WINDSOR, CONNECTICUT

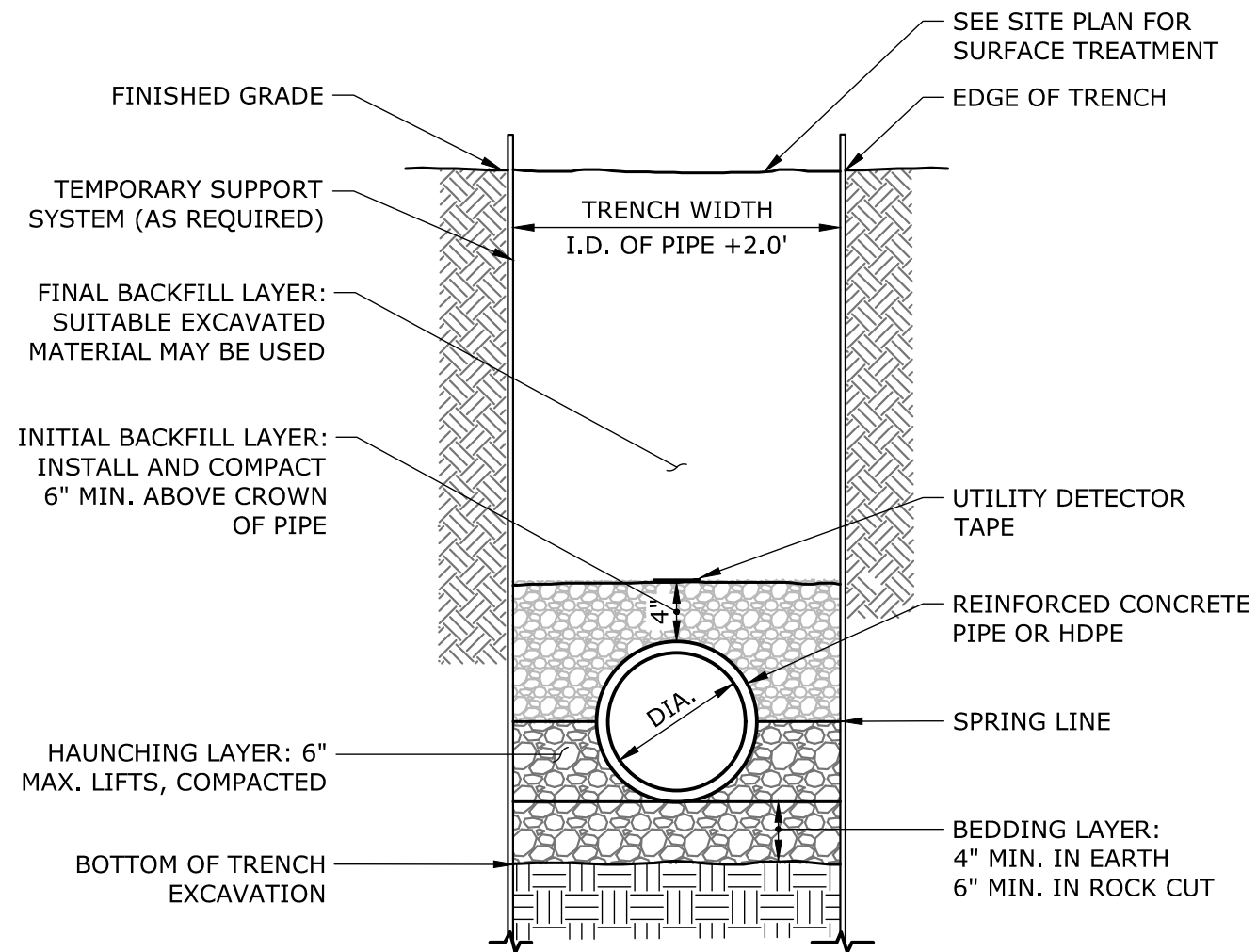
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- NOTES:
1. ALL AREA DRAIN GRATES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS.
 - 1.1. 15" CAST IRON GRATE DRAIN AREA = 92.5SQ. INCH GRATE HAS H-20 (HEAVY TRAFFIC) DOT RATING .
 - 1.2. MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B.
 - 1.3. CASTINGS ARE FURNISHED WITH A BLACK PAINT.
 - 1.4. INLINE DRAIN TO BE NYLOPLAST INC OR APPROVED EQUAL.

AREA DRAIN AND GRATE

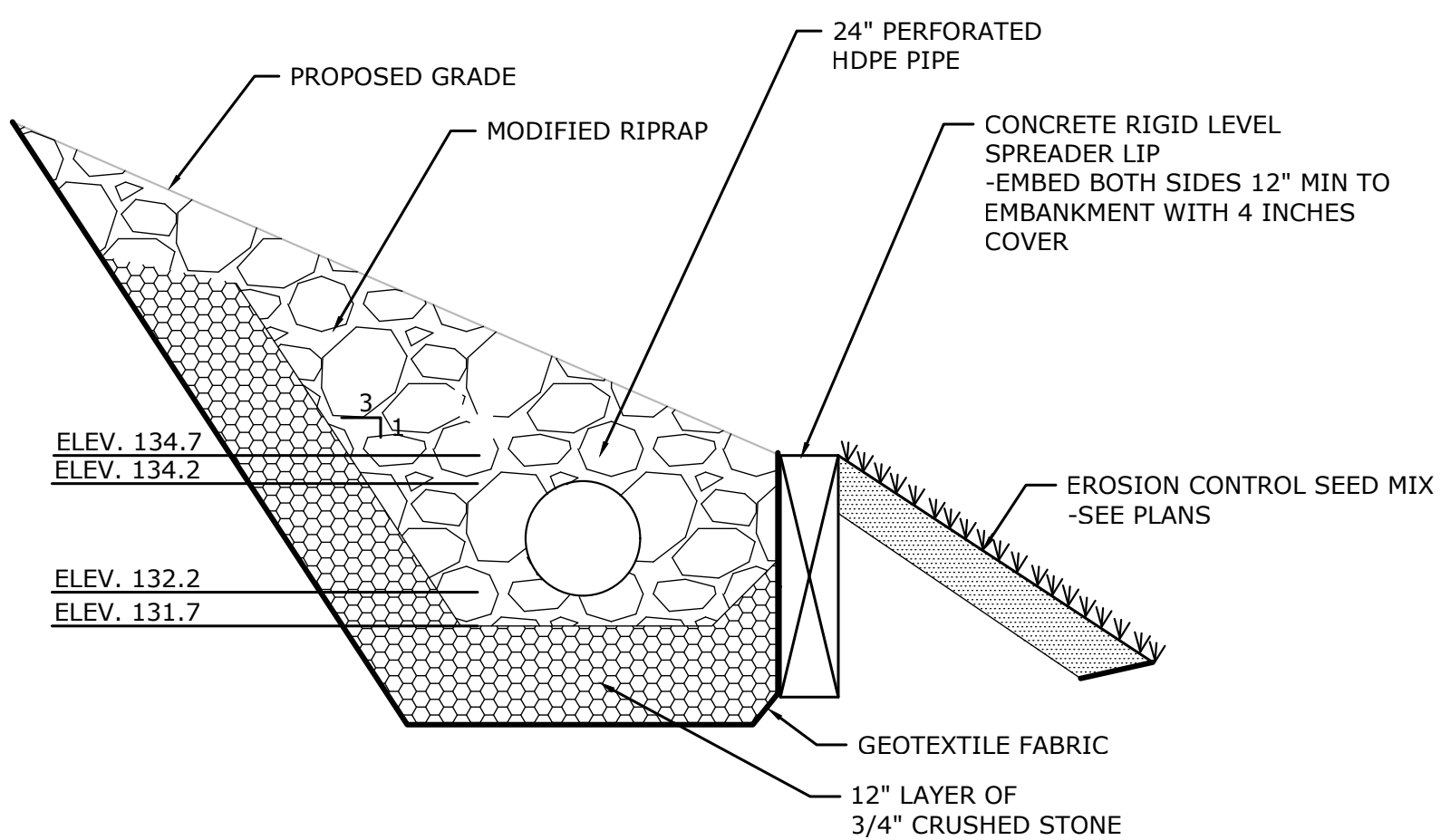
NOT TO SCALE



- NOTES:
1. BACKFILL MATERIAL USED IN BEDDING, HAUNCHING, AND INITIAL BACKFILL LAYERS SHALL BE 3/4" CRUSHED STONE.
 2. PAYMENT LIMIT FOR ROCK IN TRENCH TO BE PIPE DIAMETER + 3.0'

STORM DRAINAGE TRENCH

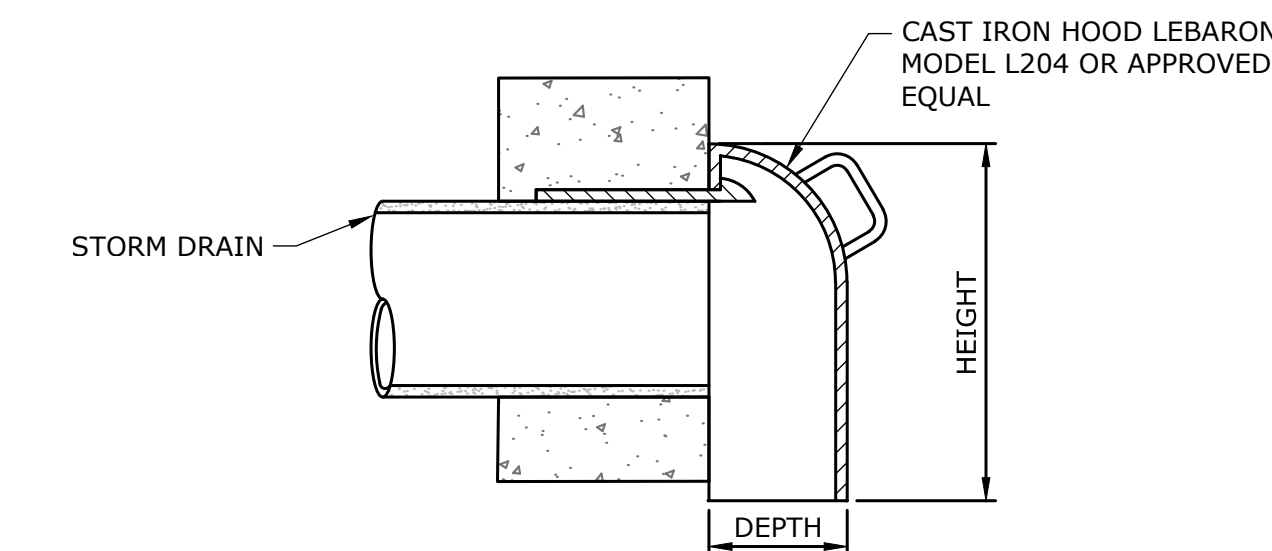
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- NOTE:
1. FOR INFORMATION ONLY

EXISTING RIPRAP LEVEL SPREADER

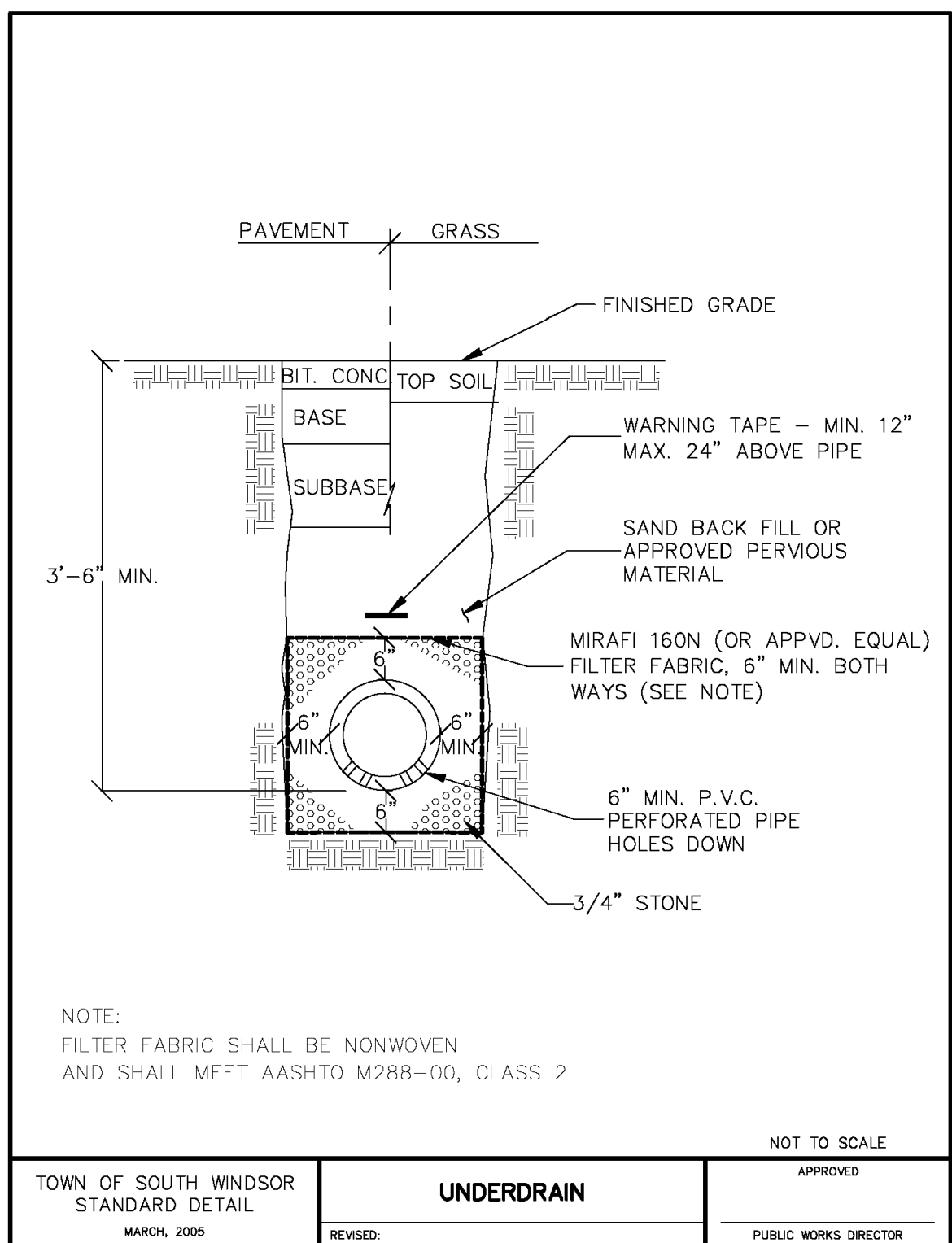
NOT TO SCALE



- NOTE:
1. HOODED OUTLET TO BE INSTALLED IN ALL CATCH BASINS.

HOODED CATCH BASIN TRAP

NOT TO SCALE



- NOTE:
1. FILTER FABRIC SHALL BE NONWOVEN AND SHALL MEET AASHTO M288-00, CLASS 2



95 REATY DRIVE
SOUTH WINDSOR, CT 06110
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD
TOWN COMMENTS	09/16/2023	LCD

SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
JULY 12, 2023		
21167.00001		
PROJECT NO.		
11 OF 13		
SHEET NO.		

SD-3

SHEET NAME

ALED10Y



ALED Area Light mounts to 1" square steel poles at 10-10'. Equivalent to 750W HPS. 1 to ALEDs can be mounted to each pole. IESNA Full Cut-Off. Fully shielded optics. 5 year warranty.

Color: Bronze

Weight: 3.2 lbs

Technical Specifications

Listings

UL Listings:

Subsidiary for wet locations.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy's "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full-cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step Macadam Ellipse binning to achieve consistent beam-to-beam color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.371-2015.

Color Accuracy:

≥4 CRI

Color Temperature (Nominal CCT):

3000K

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Housing:

Integral cast aluminum mounting pad and external fins for optimum heat sinking to ensure cool operation with maximum LED life and light output.

Opticals:

High temperature silicone.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color and contain no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free. RAB's compliant components.

Patents:

The design of the ALED is protected by patents pending in Canada, U.S., China and Taiwan.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, other performance and future finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's BREV Local 3 workers.

ALED10Y



ALED Area Light mounts to 1" square steel poles at 10-10'. Equivalent to 750W HPS. 1 to ALEDs can be mounted to each pole. IESNA Full Cut-Off. Fully shielded optics. 5 year warranty.

Color: Bronze

Weight: 3.2 lbs

Technical Specifications

Listings

UL Listings:

Subsidiary for wet locations.

IESNA LM-79 & IESNA LM-80 Testing:

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Finish:

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Green Technology:

Mercury and UV free. RAB's compliant components.

Patents:

The design of the ALED is protected by patents pending in Canada, U.S., China and Taiwan.

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, other performance and future finish.

Country of Origin:

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ALED10Y



ALED Area Light mounts to 1" square steel poles at 10-10'. Equivalent to 750W HPS. 1 to ALEDs can be mounted to each pole. IESNA Full Cut-Off. Fully shielded optics. 5 year warranty.

Color: Bronze

Weight: 3.2 lbs

Technical Specifications

Listings

UL Listings:

Subsidiary for wet locations.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy's "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full-cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

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Color Accuracy:

≥4 CRI

Color Temperature (Nominal CCT):

3000K

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Housing:

Integral cast aluminum mounting pad and external fins for optimum heat sinking to ensure cool operation with maximum LED life and light output.

Opticals:

High temperature silicone.

Finish:

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Green Technology:

Mercury and UV free. RAB's compliant components.

Patents:

The design of the ALED is protected by patents pending in Canada, U.S., China and Taiwan.

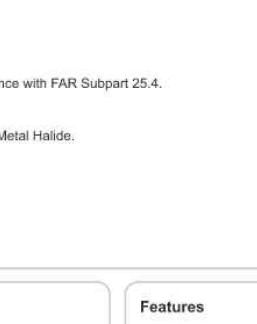
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, other performance and future finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's BREV Local 3 workers.

PS4-11-10D2



PS4-11-10D2 Area Light mounts to 1" square steel poles at 10-10'. Equivalent to 750W HPS. 1 to PS4s can be mounted to each pole. IESNA Full Cut-Off. Fully shielded optics. 5 year warranty.

Color: Bronze

Weight: 73.0 lbs

Technical Specifications

Listings

UL Listings:

Subsidiary for wet locations.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy's "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full-cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step Macadam Ellipse binning to achieve consistent beam-to-beam color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.371-2015.

Color Accuracy:

≥4 CRI

Color Temperature (Nominal CCT):

3000K

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Housing:

Integral cast aluminum mounting pad and external fins for optimum heat sinking to ensure cool operation with maximum LED life and light output.

Opticals:

High temperature silicone.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color and contain no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free. RAB's compliant components.

Patents:

The design of the PS4 is protected by patents pending in Canada, U.S., China and Taiwan.

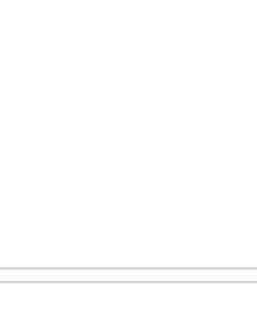
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, other performance and future finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's BREV Local 3 workers.

PS4-11-10D2



PS4-11-10D2 Area Light mounts to 1" square steel poles at 10-10'. Equivalent to 750W HPS. 1 to PS4s can be mounted to each pole. IESNA Full Cut-Off. Fully shielded optics. 5 year warranty.

Color: Bronze

Weight: 73.0 lbs

Technical Specifications

Listings

UL Listings:

Subsidiary for wet locations.

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy's "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full-cutoff, fully shielded luminaire.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step Macadam Ellipse binning to achieve consistent beam-to-beam color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standards Institute for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.371-2015.

Color Accuracy:

≥4 CRI

Color Temperature (Nominal CCT):

3000K

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Housing:

Integral cast aluminum mounting pad and external fins for optimum heat sinking to ensure cool operation with maximum LED life and light output.

Opticals:

High temperature silicone.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color and contain no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free. RAB's compliant components.

Patents:

The design of the PS4 is protected by patents pending in Canada, U.S., China and Taiwan.

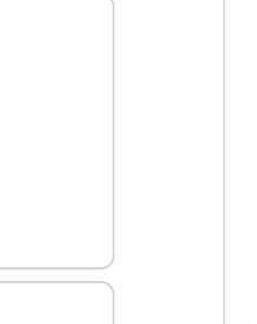
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, other performance and future finish.

Country of Origin:

Designed by RAB in New Jersey and assembled in the USA by RAB's BREV Local 3 workers.

PS4-11-10D2



PS4-11-10D2 Area Light mounts to 1" square steel poles at 10-10'. Equivalent to 750W HPS. 1 to PS4s can be mounted to each pole. IESNA Full Cut-Off. Fully shielded optics. 5 year warranty.

Color: Bronze

Weight: 73.0 lbs

Technical Specifications

Listings

UL Listings:

Subsidiary for wet locations.

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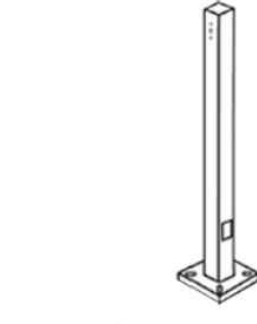
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