

GENERAL NOTES

1. REFERENCES ARE MADE TO THE FOLLOWING MAPS:
- A. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON AN A-2 / T-2 SURVEY PREPARED BY SLR INTERNATIONAL CORPORATION, ENTITLED "TOPOGRAPHIC SURVEY". DATED: OCTOBER 19, 2021 AT A SCALE OF 1"=40'.
- B. "SITE PLAN OF DEVELOPMENT FOR PEOPLESBANK, CEDAR AVE AND BUCKLAND RD, SOUTH WINDSOR, CONNECTICUT", DATED: JANUARY 18, 2022, SCALE: 1"=30', PREPARED BY: SLR INTERNATIONAL CORPORATION.
2. HORIZONTAL DATUM: NAD 1983, VERTICAL DATUM: NAVD 1988.
3. INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION, MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
4. SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
5. ALL UTILITY SERVICES ARE TO BE UNDERGROUND. EXCEPT WHERE OVERHEAD PIPE BRIDGES CONNECT BETWEEN BUILDINGS. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
6. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
7. SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
8. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
10. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SOUTH WINDSOR REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS
11. THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
12. ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
13. THE BUILDING IS TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
14. COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
15. THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
16. PLANS PREPARED FOR REGULATORY APPROVAL ONLY.

| ZONING DATA TABLE | | | |
|--------------------------------------|--|-------------|-----------|
| ZONE | GD | | |
| SITE USE | RESTAURANT - FAST CASUAL, RETAIL, BANK | | |
| | REQUIRED | APPROVED | PROPOSED |
| MIN LOT AREA | 3 ACRES | 5.779 ACRES | NO CHANGE |
| MIN FRONTAGE | 200' | 520' | NO CHANGE |
| MIN LOT DEPTH | 200' | 440' | NO CHANGE |
| MIN FRONT SETBACK | 65' | 98.2' | NO CHANGE |
| MIN SIDE SETBACK ¹ | 25' | 31.7' | NO CHANGE |
| MIN REAR SETBACK ¹ | 10' | >10' | NO CHANGE |
| MAX IMPERVIOUS COVERAGE ² | 60% | 54% | NO CHANGE |
| MAX BUILDING HEIGHT ³ | 60 FEET/4 STORIES FOR ANY BUILDING THAT IS AT LEAST 125 FEET FROM A PUBLIC STREET RIGHT-OF-WAY 30 FEET/2 STORIES FOR ANY BUILDING LOCATED WITHIN 125 FEET OF THE PUBLIC STREET RIGHT-OF-WAY | ±21' | NO CHANGE |
| PARKING GENERATION | FINANCIAL: 1 SPACE PER 250 SQ. FT. OF GFA PLUS 1 PER EMPLOYEE (1/250*2,000 + 4 = 12) RESTAURANT: 1 SPACE PER 50 SQ. FT. OF GFA (1/50*(2,325+5,000+2400) = 195) RETAIL: 1 SPACE 200 SQ.FT. OF GFA (1/200*1000 = 5) TOTAL REQUIRED = 212 + 0.9 ⁵ = 191 | 191 | NO CHANGE |
| EVSE PARKING SPACES ⁴ | -NONE REQUIRED FOR 1-15 SPACES -FOR >16 SPACES, PROVIDE 3% OF PARKING TOTAL (ROUNDED UP) FOR APPLICATIONS BETWEEN 2012-2023 = 0.03*191 ⁵ = 6 SPACES | 6 | NO CHANGE |
| LANDSCAPING | SEE NOTE 3 | | |

NOTES:
1. SIDE OR REAR YARDS MAY BE IGNORED ALONG COMMON BOUNDARIES OF CONSOLIDATED LOTS. (ZONING REGULATION 4.2.7.D)
2. REFLECTS FULL BUILD-OUT CONDITIONS APPROVED MARCH 15, 2022
3. SEE LAYOUT AND LANDSCAPING PLAN - SHEET LA FOR LANDSCAPING COMPLIANCE
4. DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE WITHIN 10 FEET OF THE WALLS TO THE MEAN LEVEL BETWEEN THE EAVES AND RIDGE FOR GABLE, HIP OR GAMBRELL ROOFS
5. A MODIFICATION/REDUCTION OF 10% OF THE REQUIRED PARKING MEETING SECTION 6.4.9 OF THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS WAS GRANTED ON OCTOBER 10, 2023, PLEASE SEE TRAFFIC IMPACT AND PARKING STUDY FOR MORE INFORMATION.



Know what's below.
Call before you dig.
www.cbyd.com

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT

21167.00001

JULY 12, 2023

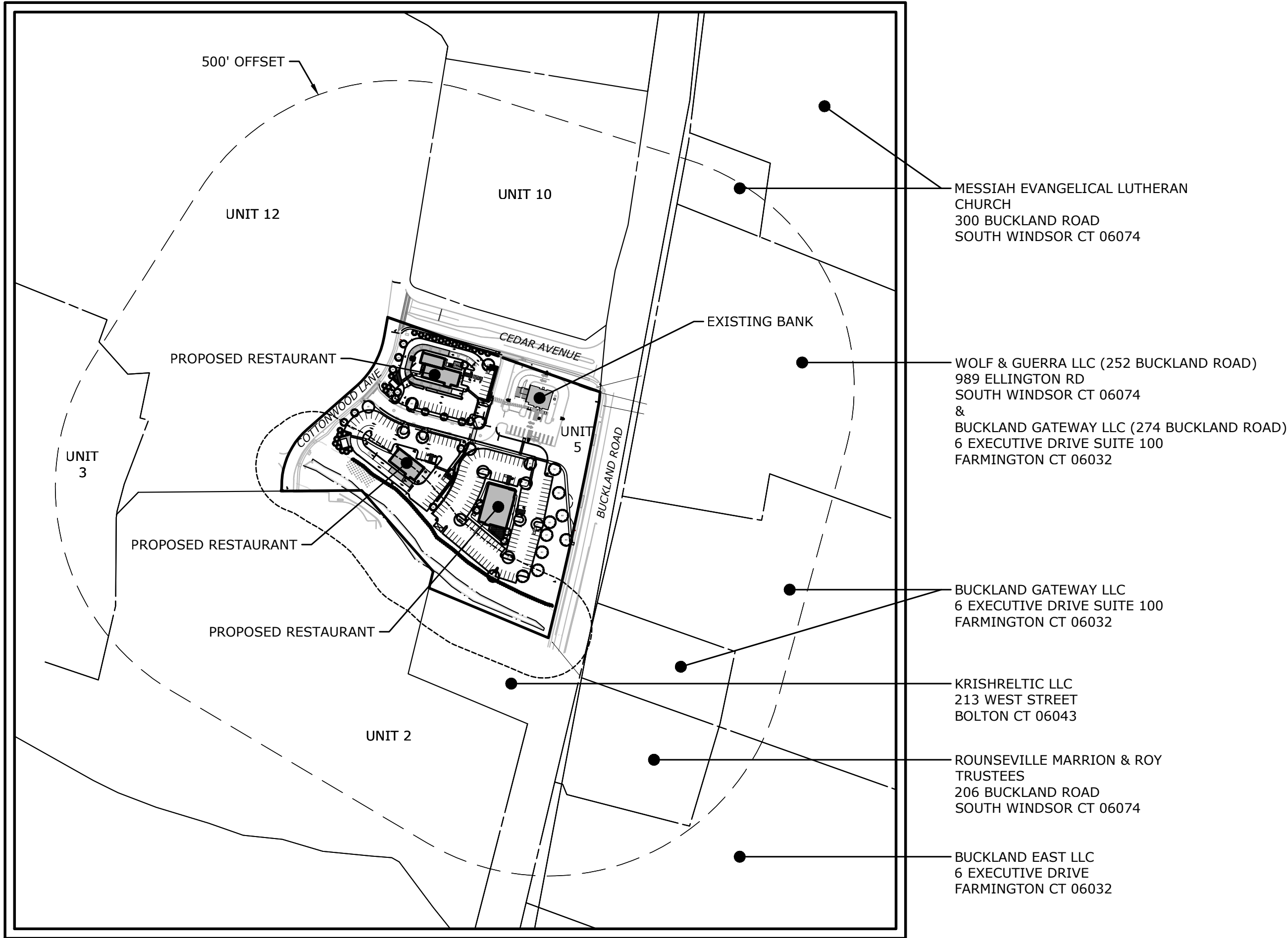
REVISED: AUGUST 7, 2023

REVISED: SEPTEMBER 18, 2023

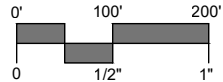
REVISED: OCTOBER 3, 2023

REVISED: DECEMBER 7, 2023 (CONDITIONS OF APPROVAL)

REVISED: MARCH 15, 2024 (SITE PLAN AMENDMENT)



KEY MAP/PROJECT SITE VICINITY MAP:



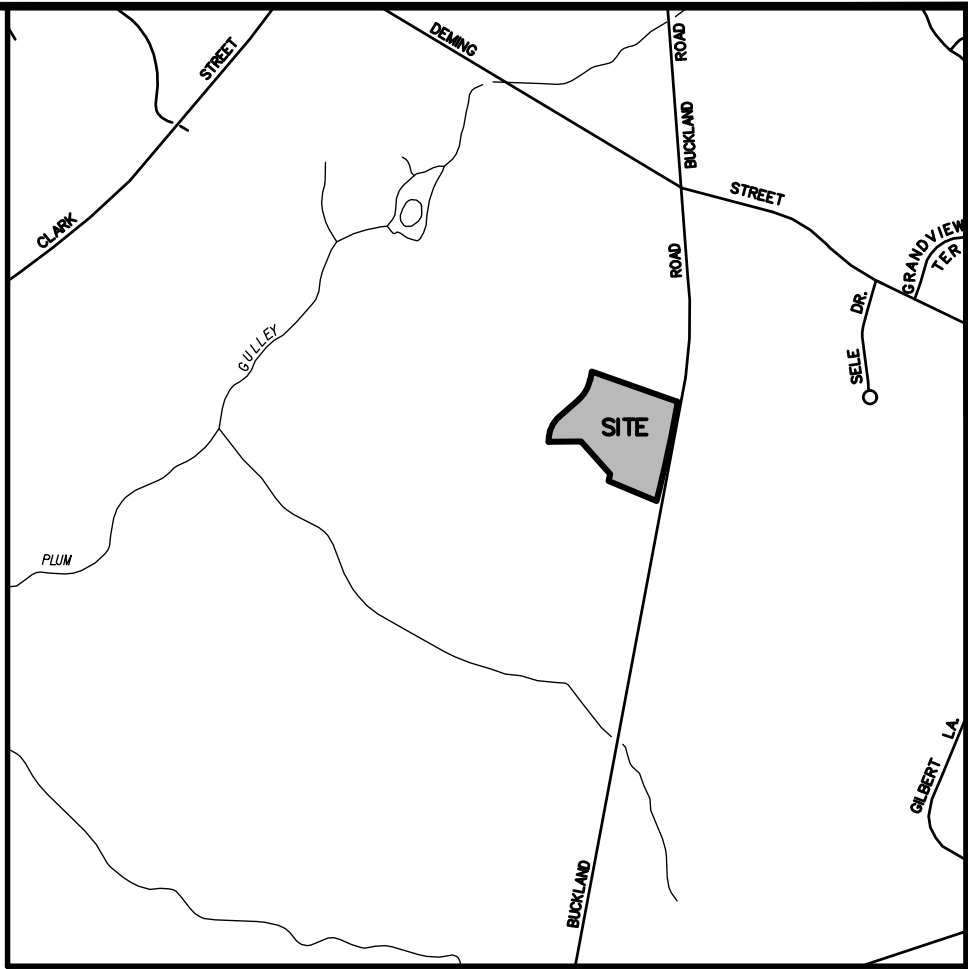
OWNER/APPLICANT:

O'EVERGREEN, LLC
800 KELLY WAY
HOLYOKE, MA 01040

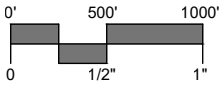
PREPARED BY:



99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM



LOCATION MAP
SCALE: 1"=1000'



LEGEND

| EXISTING | | PROPOSED |
|----------|----------------------------|----------|
| | STREET LINE | |
| | PROPERTY LINE | |
| | SETBACK LINE | |
| | MAJOR CONTOUR | |
| | MINOR CONTOUR | |
| | SPOT GRADE | |
| | TREE LINE | |
| | TREE/ SHRUB | |
| | STONEWALL | |
| | SITE LIGHT | |
| | HYDRANT | |
| | WATER VALVE | |
| | GAS VALVE | |
| | CATCH BASIN | |
| | MANHOLE/YARD DRAIN | |
| | SANITARY SEWER W/MANHOLE | |
| | STORM DRAIN | |
| | WATER MAIN | |
| | GAS MAIN | |
| | ELECTRIC LINE | |
| | ELECTRIC, TELEPHONE, CABLE | |
| | UTILITY POLE | |
| | TRAFFIC SIGN | |
| | IRON PIPE | |
| | MONUMENT | |
| | EDGE OF PAVEMENT W/CURB | |
| | GUARD RAIL | |
| | CHAIN LINK FENCE | |
| | WATERCOURSE | |
| | WETLAND | |

LIST OF DRAWINGS

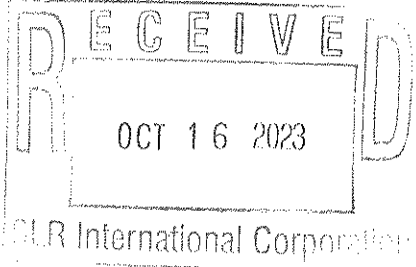
| | | |
|----|-------|-----------------------------------|
| 01 | TITLE | TITLE SHEET |
| 02 | AL | APPROVAL LETTERS |
| 03 | EX | EXISTING CONDITIONS |
| 04 | LA | SITE PLAN - LAYOUT & LANDSCAPING |
| 05 | GU | SITE PLAN - GRADING & UTILITIES |
| 10 | PH | PHASING PLAN |
| 11 | SE | SEDIMENT AND EROSION CONTROL PLAN |

SHEETS PERTINENT TO SITE PLAN AMENDMENT INCLUDED, PLEASE
REFER TO APPLICATION 23-32P FOR SITE DETAILS AND ADDITIONAL INFORMATION

| | | |
|----|-------|--|
| 06 | ENL-1 | ENLARGEMENT - STARBUCKS GRADING AND UTILITIES |
| 07 | ENL-2 | ENLARGEMENT - CHIPOTLE GRADING AND UTILITIES |
| 08 | ENL-3 | ENLARGEMENT - 5000 SF RESTAURANT GRADING AND UTILITIES |
| 09 | XC | PLAN AND SECTION - DRIVETHRU AT STARBUCKS |
| 12 | SE-2 | SEDIMENT AND EROSION CONTROL DETAILS |
| 13 | SD-1 | SITE DETAILS |
| 14 | SD-2 | SITE DETAILS |
| 15 | SD-3 | SITE DETAILS |
| 16 | SD-4 | SITE DETAILS |
| 17 | SD-5 | SITE DETAILS |
| 18 | SD-6 | SITE DETAILS |

✓ CERTIFIED MAIL 7022 2410 0000 6508 2902

1540 Sullivan Avenue, South Windsor, CT 06074 | Tel (860) 644-2511 Ext 2329 | Planning@SouthWindsor-CT.gov

06  74

Town Hall 1540 Sullivan Avenue, South Windsor, CT 06074 | Tel (860) 644-2511 ext. 2247 | anthony.manfre@SouthWindsor-CT.gov

| DESCRIPTION | DATE | BY |
|---------------------|------------|-----|
| SITE PLAN AMENDMENT | 02/23/2024 | LCD |
| SITE PLAN AMENDMENT | 03/15/2024 | LCD |
| | | |
| | | |
| | | |
| | | |

APPROVAL LETTERS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND
SOUTH WINDSOR, CONNECTICUT

| | | |
|------------|------------|-----------|
| RYE | LCD | TD |
| DESIGNED | DRAWN | CHECKED |

NOT TO SCALE

JULY 12, 2023

21167.00001

02 OF 18

AL

SHEET NAME

SYankee Gas Services Company
(See Survey Notes 4.G & 16)

- SEED MIX
NEW ENGLAND WILDLIFE/CONSERVATION
(OR APPROVED EQUAL)
- PLANTS
GRAY DOGWOOD - SWIDA RACEMOSA
RED OSIER DOGWOOD - SWIDA SERICEA

CLEARANCE FOR CONTROL BOX -
ELECTRICAL PANEL -
Easement in favor of (See S
UTILITY SCREEN
5-PANEL MENU BOARD &
ORDER POINT WITH CANOPY
SITE LIGHT
COMBINED "DO NOT
ENTER" AND "STOP" SIGN
14'X20' DUMPSTER
TRANSFORMER

ONE-WAY
SIGN
N/F
Evergreen Walk
Lifestyle Center, LLC

SITE LIGHT (TYPE)
(See S.W.L.R. Map 4312)

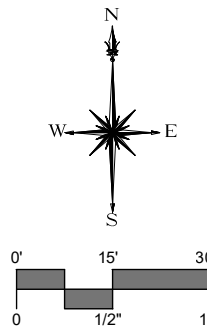
*Easement in favor
of Cox Business Services, LLC
(See S.W.L.R. Vol.1632, Pg.252
& Map #3122)*

*Easement in favor of Connecticut Water Company
(See S.W.L.R. Vol.1608 Pg.80 & Maps #3080, 3082)*

1. CONCRETE SIDEWALKS, SHALL INCORPORATE ISOLATION JOINTS AND SCORE JOINTS PER THE SPECIFICATIONS AND DETAILS, TYPICALLY NO MORE THAN 144 SQUARE FEET SHALL CONSTITUTE A CONTIGUOUS SLAB. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR INTERFACE AGAINST THE BUILDING.
2. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDING, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
4. ALL PROPOSED CURBING SHALL BE PRECAST CONCRETE CURB UNLESS OTHERWISE NOTED.
5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE AMENITY.
6. SITE LIGHTS DEPICTED WITHIN LAWN/LANDSCAPE AREAS SHALL MAINTAIN A 4"-6" FOUNDATION REVEAL. MAXIMUM, SITE LIGHTS DEPICTED IN PARKING LOTS SHALL HAVE A 3" EXPOSED HEIGHT CONCRETE FOUNDATION. SEE SITE ELECTRICAL PLAN FOR MORE INFORMATION.
7. WHERE WALK AND PAVED DRIVE ARE SPECIFIED TO BE FLUSH, A FLUSH (FULL DEPTH) CONCRETE CURB SHALL ALSO BE INSTALLED.

| CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONT. | COMMENTS |
|-------------------|-----|--|----------------------------------|-------------|-------|-----------------------|
| TREES | | | | | | |
| AA | 19 | Acer rubrum 'Armstrong' | Armstrong Red Maple | 3.0" Cal. | B&B | 6' MIN. BRANCHING HT. |
| AO | 16 | Acer rubrum 'October Glory' | October Glory Red Maple | 3.0" Cal. | B&B | 6' MIN. BRANCHING HT. |
| AA2 | 1 | Amelanchier arborea | Downy Serviceberry | 6' /7' HT. | B&B | MULTI-STEM |
| GT | 8 | Gleditsia triacanthos f. inermis | Thornless Honey Locust | 3.0" Cal. | B&B | 6' MIN. BRANCHING HT. |
| TI | 25 | Thuja x 'Green Giant' | Green Giant Arborvitae | 8' /10' HT. | B&B | FULL & DENSE |
| SHRUBS | | | | | | |
| AM | 18 | Aronia melanocarpa | Black Chokeberry | Cont. | #3 | FULL & DENSE |
| HV | 15 | Hamelamelia virginiana | Common Witch Hazel | Cont. | #5 | FULL & DENSE |
| IS | 35 | Ilex glabra 'Shamrock' | Shamrock Inkberry Holly | Cont. | #5 | FULL & DENSE |
| IV | 2 | Ilex verticillata 'Jim Dandy' | Jim Dandy Winterberry | Cont. | #3 | FULL & DENSE |
| IW | 14 | Ilex verticillata 'Winter Red' | Winter Red Winterberry | Cont. | #3 | FULL & DENSE |
| VL | 10 | Viburnum lentago | Nannyberry | Cont. | #5 | FULL & DENSE |
| VB | 10 | Viburnum prunifolium | Blackhaw Viburnum | Cont. | #5 | FULL & DENSE |
| GRASSES | | | | | | |
| CK | 72 | Calamagrostis x acutiflora 'Karl Foerster' | Karl Foerster Feather Reed Grass | Cont. | #3 | FULL & DENSE |
| PN | 87 | Panicum virgatum 'Northwind' | Northwind Switch Grass | Cont. | #3 | |
| SS | 9 | Schizachyrium scoparium 'The Blues' | The Blues Little Bluestem | Cont. | #1 | |
| PERENNIALS | | | | | | |
| ED | 5 | Echinacea purpurea 'Doubledecker' | Doubledecker Purple Coneflower | Cont. | #1 | |
| PM | 7 | Pycnanthemum muticum | Blunt Mountainmint | Cont. | #1 | |
| RD | 11 | Rudbeckia hirta 'Denver Daisy' | Denver Daisy Black-eyed Susan | Cont. | #1 | |
| SE | 11 | Stachys monieri | Betony | Cont. | #1 | |

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. SEED ALL DISTURBED AREAS TO LAWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL, AS SPECIFIED, FOR ALL LAWN AREAS. AS NOTED ON THE DETAILS, SUBGRADE BENEATH PROPOSED LAWN AREAS SHALL BE LOOSENOED OR SCARIFIED TO A MINIMUM DEPTH OF 24 INCHES.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED BARK MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS. NO DYED MULCH.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTling PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.
11. TAKE NOTE TO PROTECT ROOT ZONES OF EXISTING TREES ROOT ZONES DURING CONSTRUCTION AS SHOWN ON PLANS.



SLP*

**99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM**

| DESCRIPTION | DATE | BY |
|------------------------|------------|-----|
| TOWN COMMENTS | 10/03/2023 | LCD |
| TENANT COMMENTS | 10/04/2023 | RYE |
| CONDITIONS OF APPROVAL | 12/07/2023 | JLS |
| SITE PLAN AMENDMENT | 03/15/2024 | LCD |
| | | |
| | | |
| | | |

SITE PLAN - LAYOUT & LANDSCAPING

PROPOSED RESTAURANTS

**CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT**

| | | |
|----------|-------|---------|
| RYE | LCD | TD |
| DESIGNED | DRAWN | CHECKED |

1"=30'

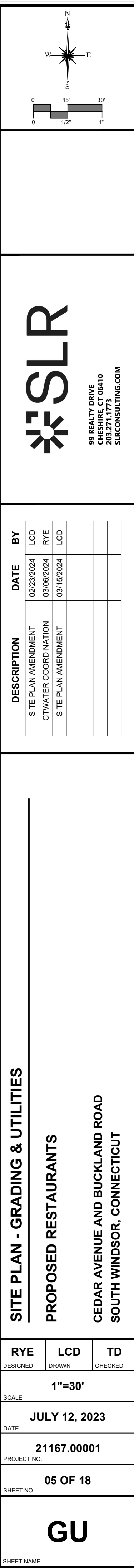
JULY 12, 2023

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04 OF 18

LA

SHEET NAME



EROSION CONTROL NOTES
CONTRACTOR RESPONSIBILITIES

1. SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
2. THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND THE TOWN'S DESIGNATED REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS
3. INSPECTION OF THE SITE FOR EROSION SHALL CONTINUE FOR A PERIOD OF THREE MONTHS AFTER COMPLETION WHEN RAINFALLS OF ONE INCH OR MORE OCCUR.
4. ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS.
5. THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS.
6. A COPY OF ALL PLANS AND REVISIONS, AND THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
7. ALL CATCH BASIN SUMPS SHOULD BE INSPECTED AFTER CONSTRUCTION COMPLETION AND SEDIMENT REMOVED. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LOCATION.

EROSION CONTROL LEGEND

- CE

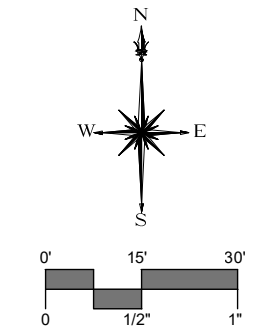
CONSTRUCTION ENTRANCE
- SF

SEDIMENT FILTER FENCE
- SW

STRAW WATTLE
- STK

TEMPORARY STOCKPILE SURROUND WITH SEDIMENT FILTER FENCE
- IP

INLET PROTECTION.



| DESCRIPTION | DATE | BY |
|------------------------|------------|-----|
| PAZ SUBMISSION | 08/07/2023 | LCD |
| TOWN COMMENTS | 09/19/2023 | LCD |
| TOWN COMMENTS | 10/03/2023 | LCD |
| CONDITIONS OF APPROVAL | 12/07/2023 | LCD |
| SITE PLAN AMENDMENT | 03/15/2024 | LCD |

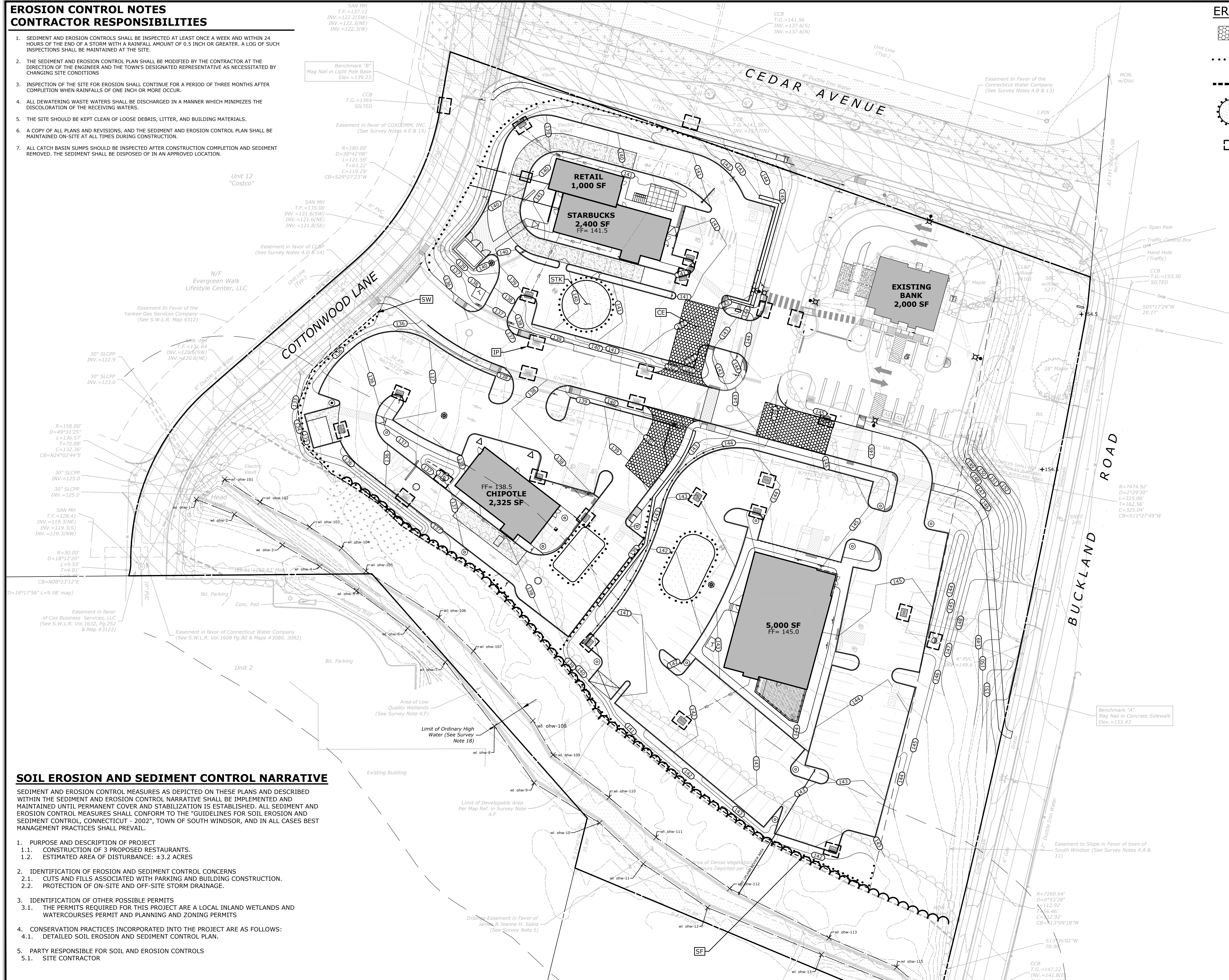
SEDIMENT AND EROSION CONTROL PLAN
PROPOSED RESTAURANTS
CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

| RYE | RYE | TD |
|---------------|-------|---------|
| DESIGNED | DRAWN | CHECKED |
| 1"=30' | | |
| JULY 12, 2023 | | |
| 21167.00001 | | |
| PROJECT NO. | | |
| 11 OF 18 | | |
| SHEET NO. | | |
| SE-1 | | |
| SHEET NAME | | |

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002", TOWN OF SOUTH WINDSOR, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

1. PURPOSE AND DESCRIPTION OF PROJECT
 - 1.1. CONSTRUCTION OF 3 PROPOSED RESTAURANTS.
 - 1.2. ESTIMATED AREA OF DISTURBANCE: ±3.2 ACRES
2. IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS
 - 2.1. CUTS AND FILLS ASSOCIATED WITH PARKING AND BUILDING CONSTRUCTION.
 - 2.2. PROTECTION OF ON-SITE AND OFF-SITE STORM DRAINAGE.
3. IDENTIFICATION OF OTHER POSSIBLE PERMITS
 - 3.1. THE PERMITS REQUIRED FOR THIS PROJECT ARE A LOCAL INLAND WETLANDS AND WATERCOURSES PERMIT AND PLANNING AND ZONING PERMITS
4. CONSERVATION PRACTICES INCORPORATED INTO THE PROJECT ARE AS FOLLOWS:
 - 4.1. DETAILED SOIL EROSION AND SEDIMENT CONTROL PLAN.
5. PARTY RESPONSIBLE FOR SOIL AND EROSION CONTROLS
 - 5.1. SITE CONTRACTOR



99 REALTY DRIVE SUITE 200 SOUTH WINDSOR, CT 06080
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