

GENERAL NOTES

1. REFERENCES ARE MADE TO THE FOLLOWING MAPS:
- A. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON AN A-2 / T-2 SURVEY PREPARED BY SLR INTERNATIONAL CORPORATION, ENTITLED "TOPOGRAPHIC SURVEY". DATED: OCTOBER 19, 2021 AT A SCALE OF 1"=40'.
- B. "SITE PLAN OF DEVELOPMENT FOR PEOPLESBANK, CEDAR AVE AND BUCKLAND RD, SOUTH WINDSOR, CONNECTICUT", DATED: JANUARY 18, 2022, SCALE: 1"=30', PREPARED BY: SLR INTERNATIONAL CORPORATION.
2. HORIZONTAL DATUM: NAD 1983, VERTICAL DATUM: NAVD 1988.
3. INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION, MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
4. SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
5. ALL UTILITY SERVICES ARE TO BE UNDERGROUND. EXCEPT WHERE OVERHEAD PIPE BRIDGES CONNECT BETWEEN BUILDINGS. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
6. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
7. SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
8. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
10. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SOUTH WINDSOR REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS
11. THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
12. ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
13. THE BUILDING IS TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
14. COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
15. THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
16. PLANS PREPARED FOR REGULATORY APPROVAL ONLY.

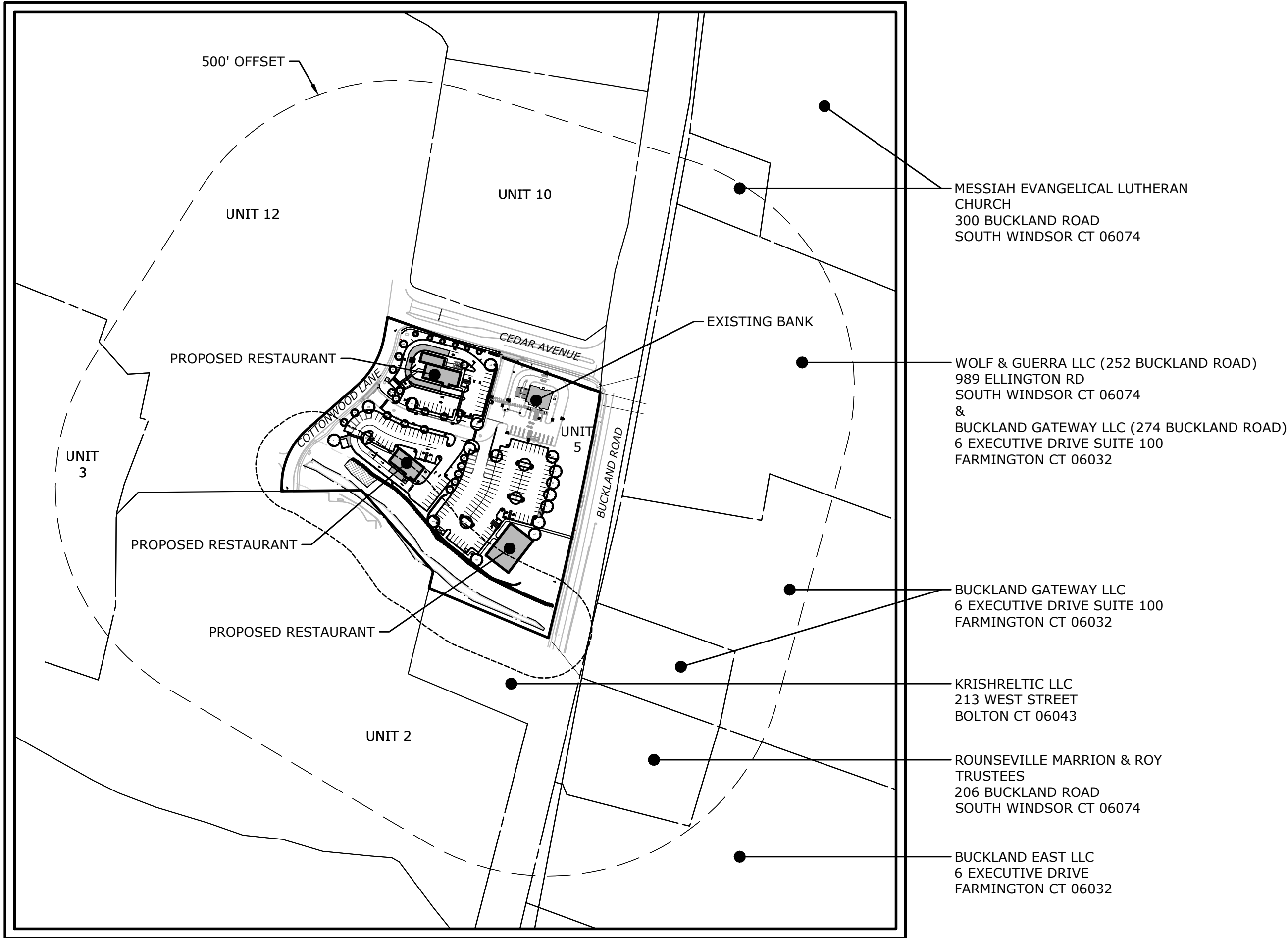
ZONING DATA TABLE				
ZONE	GD			
SITE USE	RESTAURANT - FAST CASUAL, RETAIL, BANK (PREVIOUSLY APPROVED)			
	REQUIRED	EXISTING - BANK	APPROVED - FULL BUILD-OUT	PROPOSED
MIN LOT AREA	3 acres	5.779 ACRES	5.779 ACRES	NO CHANGE
MIN FRONTAGE	200'	520'	520'	NO CHANGE
MIN LOT DEPTH	200'	440'	440'	NO CHANGE
MIN FRONT SETBACK	65'	98.2'	98.2'	NO CHANGE
MIN SIDE SETBACK ¹	25'	31.7'	31.7'	NO CHANGE
MIN REAR SETBACK ¹	10'	>10'	>10'	NO CHANGE
MAX IMPERVIOUS COVERAGE ²	60%	15.6%	49.7%	53%
MAX BUILDING HEIGHT ³	60 FEET/4 STORIES FOR ANY BUILDING THAT IS AT LEAST 125 FEET FROM A PUBLIC STREET RIGHT-OF-WAY 30 FEET/2 STORIES FOR ANY BUILDING LOCATED WITHIN 125 FEET OF THE PUBLIC STREET RIGHT-OF-WAY	±20'	±20'	±20.7'
PARKING GENERATION	FINANCIAL: 1 SPACE PER 250 SQ. FT. OF GFA PLUS 1 PER EMPLOYEE (1/250*2,000 + 4 = 12) RESTAURANT: 1 SPACE PER 50 SQ. FT. OF GFA (1/50*(2,325+5,000+2400) = 195) RETAIL: 1 SPACE 200 SQ.FT. OF GFA (1/200*1000 = 5) TOTAL REQUIRED = 212 + 0.9 ⁵ = 191	15	240 ²	191
EVSE PARKING SPACES ⁴	-NONE REQUIRED FOR 1-15 SPACES -FOR >16 SPACES, PROVIDE 3% OF PARKING TOTAL (ROUNDED UP) FOR APPLICATIONS BETWEEN 2012-2023 = 0.03*191 ⁵ = 6 SPACES	2	10	6
LANDSCAPING	SEE NOTE 3			

NOTE:
1. SIDE OR REAR YARDS MAY BE IGNORED ALONG COMMON BOUNDARIES OF CONSOLIDATED LOTS. (ZONING REGULATION 4.2.7.D)
2. REFLECTS FULL BUILD-OUT CONDITIONS APPROVED MARCH 15, 2022
3. SEE LAYOUT AND LANDSCAPING PLAN - SHEET LA FOR LANDSCAPING COMPLIANCE
4. DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE WITHIN 10 FEET OF THE WALLS TO THE MEAN LEVEL BETWEEN THE EAVES AND RIDGE FOR GABLE, HIP OR GAMBREL ROOFS.
5. A MODIFICATION/REDUCTION OF 10% OF THE REQUIRED PARKING MEETING SECTION 6.4.9 OF THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS REQUESTED.

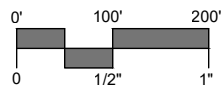
PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

21167.00001
JULY 12, 2023
REVISED: AUGUST 7, 2023



KEY MAP/PROJECT SITE VICINITY MAP:

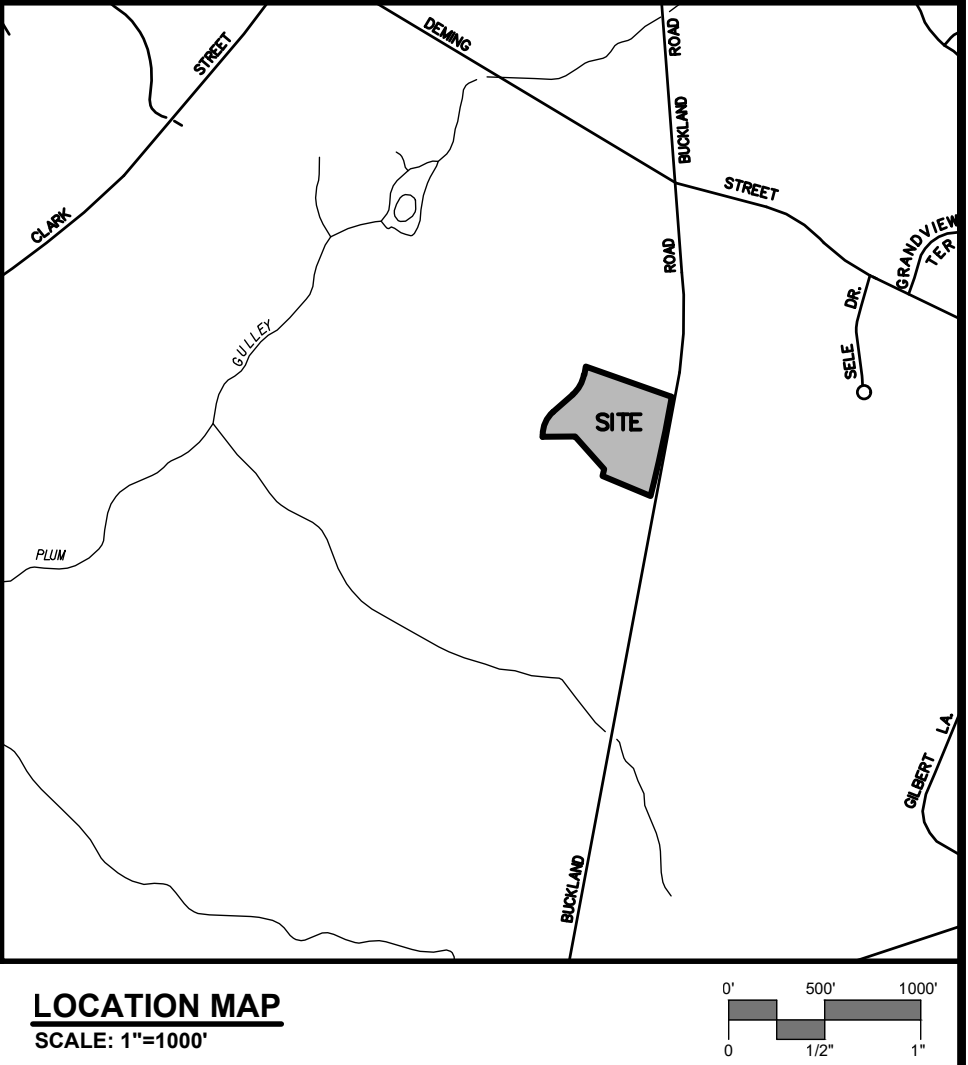


OWNER/APPLICANT:

O'EVERGREEN, LLC
800 KELLY WAY
HOLYOKE, MA 01040

PREPARED BY:

SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM



LOCATION MAP
SCALE: 1"=1000'

LEGEND

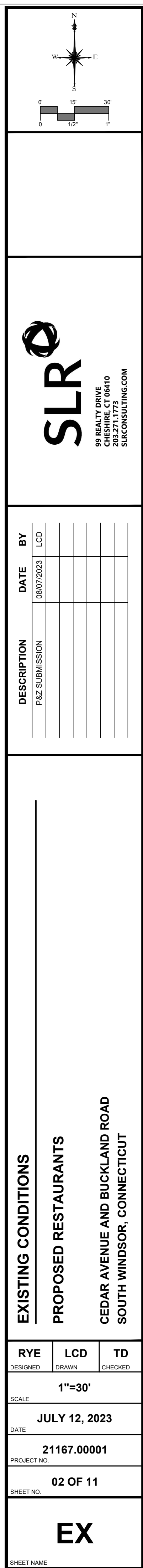
EXISTING		PROPOSED
STREET LINE	STREET LINE	STREET LINE
PROPERTY LINE	PROPERTY LINE	PROPERTY LINE
SETBACK LINE	SETBACK LINE	SETBACK LINE
MAJOR CONTOUR	MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR	MINOR CONTOUR
SPOT GRADE	SPOT GRADE	SPOT GRADE
TREE LINE	TREE LINE	TREE LINE
TREE/ SHRUB	TREE/ SHRUB	TREE/ SHRUB
STONEWALL	STONEWALL	STONEWALL
SITE LIGHT	SITE LIGHT	SITE LIGHT
HYDRANT	HYDRANT	HYDRANT
WATER VALVE	WATER VALVE	WATER VALVE
GAS VALVE	GAS VALVE	GAS VALVE
CATCH BASIN	CATCH BASIN	CATCH BASIN
MANHOLE/YARD DRAIN	MANHOLE/YARD DRAIN	MANHOLE/YARD DRAIN
SANITARY SEWER W/MANHOLE	SANITARY SEWER W/MANHOLE	SANITARY SEWER W/MANHOLE
STORM DRAIN	STORM DRAIN	STORM DRAIN
WATER MAIN	WATER MAIN	WATER MAIN
GAS MAIN	GAS MAIN	GAS MAIN
ELECTRIC LINE	ELECTRIC LINE	ELECTRIC LINE
ELECTRIC, TELEPHONE, CABLE	ELECTRIC, TELEPHONE, CABLE	ELECTRIC, TELEPHONE, CABLE
UTILITY POLE	UTILITY POLE	UTILITY POLE
TRAFFIC SIGN	TRAFFIC SIGN	TRAFFIC SIGN
IRON PIPE	IRON PIPE	IRON PIPE
MONUMENT	MONUMENT	MONUMENT
EDGE OF PAVEMENT W/CURB	EDGE OF PAVEMENT W/CURB	EDGE OF PAVEMENT W/CURB
GUARD RAIL	GUARD RAIL	GUARD RAIL
CHAIN LINK FENCE	CHAIN LINK FENCE	CHAIN LINK FENCE
WATERCOURSE	WATERCOURSE	WATERCOURSE
WETLAND	WETLAND	WETLAND

LIST OF DRAWINGS

01	TITLE	TITLE SHEET
02	EX	EXISTING CONDITIONS
03	LA	SITE PLAN - LAYOUT & LANDSCAPING
04	GU	SITE PLAN - GRADING & UTILITIES
05	SE	SEDIMENT AND EROSION CONTROL PLAN
06	SE-2	SEDIMENT AND EROSION CONTROL DETAILS
07	SD-1	SITE DETAILS
08	SD-2	SITE DETAILS
09	SD-3	SITE DETAILS
10	SD-4	SITE DETAILS
11	SD-5	SITE DETAILS



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INVASIVE SPECIES MANAGEMENT NOTES AND PLANTINGS

1. OWNER TO RETAIN QUALIFIED ECOLOGIST/BOTANIST TO FIELD IDENTIFY INVASIVE NON NATIVE VEGETATION WITHIN MANAGEMENT AREA. THE INVASIVE NON NATIVE VEGETATION SHALL BE MARKED IN THE FIELD WITH COLORED FLAGGING FOR MANAGEMENT/REMOVAL.
2. CONTRACTOR TO REMOVE MARKED VEGETATION USING MECHANICAL METHODS. ALL NON NATIVE VEGETATIVE MATTER/MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROPRIATE APPROVED FACILITY. NO BURYING OR COMPOSTING OF INVASIVE VEGETATIVE MATTER IS PERMITTED ON SITE. INSTALLATION OF GEOTEXTILE SILT FENCE ALONG THE PERIMETER OF THE MANAGEMENT AREA WILL BE REQUIRED IF THE INVASIVE SPECIES REMOVAL AREA HAS ANY EXPOSED SOIL FOLLOWING VEGETATION REMOVAL.
3. RESTORATION PLANTINGS TO BE INSTALLED AT THE DIRECTION OF THE QUALIFIED ECOLOGIST/BOTANIST AND ONLY AFTER AREA HAS BEEN PROPERLY CLEARED OF INVASIVE NON NATIVE VEGETATION.

SEED MIX
NEW ENGLAND WILDLIFE/CONSERVATION
(OR APPROVED EQUAL)

PLANTS
GRAY DOGWOOD - SWIDA RACEMOSA
RED OSIER DOGWOOD - SWIDA SERICEA

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME
AA	19	Acer rubrum 'Armstrong'
AO	15	Acer rubrum 'October Glory'
AA2	1	Amelanchier arborea
GT	5	Gleditsia triacanthos f. inermis
TI	6	Thuja x 'Green Giant'
SHRUBS	QTY	BOTANICAL NAME
AM	6	Aronia melanocarpa
HV	5	Hamelis virginiana
IS	8	Ilex glabra 'Shamrock'
IV	3	Ilex verticillata 'Jim Dandy'
IW	17	Ilex verticillata 'Winter Red'
VL	7	Viburnum lentago
VB	3	Viburnum prunifolium

COMMON NAME	SIZE	CONT.	COMMENTS
Armstrong Red Maple	3.0" Cal.	B&B	6" MIN. BRANCHING HT.
October Glory Red Maple	3.0" Cal.	B&B	6" MIN. BRANCHING HT.
Downy Serviceberry	6' / 7' HT.	B&B	MULTI-STEM
Thornless Honey Locust	3.0" Cal.	B&B	6" MIN. BRANCHING HT.
Green Giant Arborvitae	8' / 10' HT.	B&B	FULL & DENSE

COMMON NAME	SIZE	CONT.	COMMENTS
Black Chokeberry	Cont.	#3	FULL & DENSE
Common Witch Hazel	Cont.	#5	FULL & DENSE
Shamrock Inkberry Holly	Cont.	#5	FULL & DENSE
Jim Dandy Winterberry	Cont.	#3	FULL & DENSE
Winter Red Winterberry	Cont.	#3	FULL & DENSE
Nannyberry	Cont.	#5	FULL & DENSE
Blackhaw Viburnum	Cont.	#5	FULL & DENSE

PLANTING NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. SEED ALL DISTURBED AREAS TO LAWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL, AS SPECIFIED, FOR ALL LAWN AREAS. AS NOTED ON THE DETAILS, SUBGRADE BENEATH PROPOSED LAWN AREAS SHALL BE LOOSENEED OR SCARIFIED TO A MINIMUM DEPTH OF 24 INCHES.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED BARK MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS. NO DYED MULCH.
5. ALL PLANTING MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTING PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.
11. TAKE NOTE TO PROTECT ROOT ZONES OF EXISTING TREES ROOT ZONES DURING CONSTRUCTION AS SHOWN ON PLANS.

LAYOUT NOTES

1. CONCRETE SIDEWALKS, SHALL INCORPORATE ISOLATION JOINTS AND SCORE JOINTS PER THE SPECIFICATIONS AND DETAILS, TYPICALLY NO MORE THAN 144 SQUARE FEET SHALL CONSTITUTE A CONTIGUOUS SLAB. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR INTERFACE AGAINST THE BUILDING.
2. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDING, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
4. ALL PROPOSED CURBING SHALL BE PRECAST CONCRETE CURB UNLESS OTHERWISE NOTED.
5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE AMENITY.
6. SITE LIGHTS DEPICTED WITH IN LAWN/LANDSCAPE AREAS SHALL MAINTAIN A 4"-6" FOUNDATION REVEAL MAXIMUM, SITE LIGHTS DEPICTED IN PARKING LOTS SHALL HAVE A 3' EXPOSED HEIGHT CONCRETE FOUNDATION. SEE SITE ELECTRICAL PLAN FOR MORE INFORMATION.
7. WHERE WALK AND PAVED DRIVE ARE SPECIFIED TO BE FLUSH, A FLUSH (FULL DEPTH) CONCRETE CURB SHALL ALSO BE INSTALLED.

LANDSCAPING TABLE - RESTAURANT		
	REQUIRED	PROPOSED
INTERIOR LANDSCAPING (SECTION 6.4.6A)	10% OF OVERALL PARKING SF (65,338 SF X 10%= 6,533.8 SQ FT)	11,220 SF
INTERIOR REQUIRED TREES (SECTION 6.4.6A)	1 TREE PER 10 SPACES (191 SPACES/10= 19.2 TREES)	28 INTERIOR TREES



DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD

SITE PLAN - LAYOUT & LANDSCAPING

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD

SOUTH WINDSOR, CONNECTICUT

RYE	LCD	TD
DESIGNED	DRAWN	CHECKED
1"=30'		
JULY 12, 2023		
21167.00001		
03 OF 11		
LA-1		

EROSION CONTROL NOTES CONTRACTOR RESPONSIBILITIES

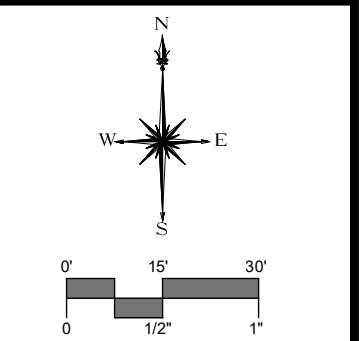
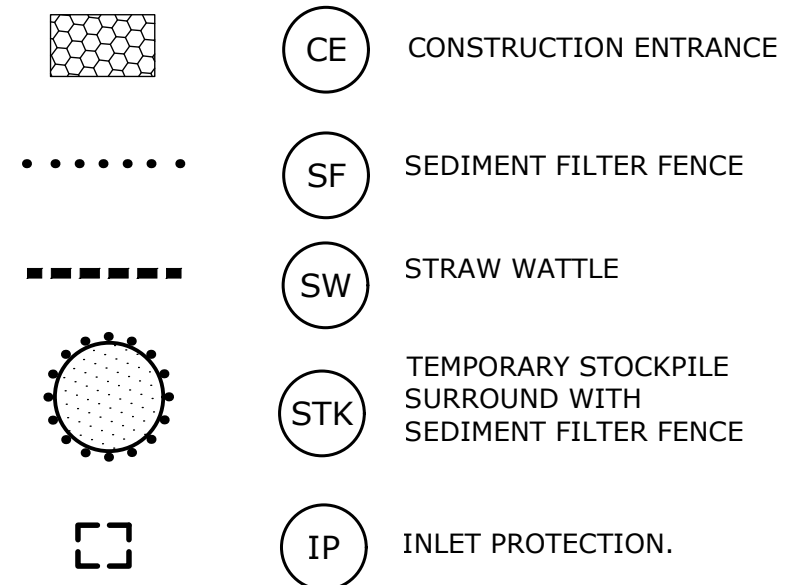
1. SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
2. THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND THE TOWN'S DESIGNATED REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS
3. INSPECTION OF THE SITE FOR EROSION SHALL CONTINUE FOR A PERIOD OF THREE MONTHS AFTER COMPLETION WHEN RAINFALLS OF ONE INCH OR MORE OCCUR.
4. ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS.
5. THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS.
6. A COPY OF ALL PLANS AND REVISIONS, AND THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
7. ALL CATCH BASIN SUMPDS SHOULD BE INSPECTED AFTER CONSTRUCTION COMPLETION AND SEDIMENT REMOVED. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LOCATION.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002", TOWN OF SOUTH WINDSOR, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

1. PURPOSE AND DESCRIPTION OF PROJECT
 - 1.1. CONSTRUCTION OF A NEW RESTAURANT.
 - 1.2. ESTIMATED AREA OF DISTURBANCE: ±0.8 ACRES
2. IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS
 - 2.1. CUTS AND FILLS ASSOCIATED WITH PARKING AND BUILDING CONSTRUCTION.
 - 2.2. PROTECTION OF ON-SITE AND OFF-SITE STORM DRAINAGE.
3. IDENTIFICATION OF OTHER POSSIBLE PERMITS
 - 3.1. THE PERMITS REQUIRED FOR THIS PROJECT ARE A LOCAL INLAND WETLANDS AND WATERCOURSES PERMIT AND PLANNING AND ZONING PERMITS
4. CONSERVATION PRACTICES INCORPORATED INTO THE PROJECT ARE AS FOLLOWS:
 - 4.1. DETAILED SOIL EROSION AND SEDIMENT CONTROL PLAN.
5. PARTY RESPONSIBLE FOR SOIL AND EROSION CONTROLS
 - 5.1. SITE CONTRACTOR

EROSION CONTROL LEGEND

[illegible]

SEDIMENT AND EROSION CONTROL PLAN

PROPOSED RESTAURANTS

**CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT**

RYE SIGNED	RYE DRAWN	TD CHECKED
SCALE 1"=30'		
DATE JULY 12, 2023		
PROJECT NO. 21167.00001		
SHEET NO. 05 OF 11		
SE		
SHEET NAME		

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION, AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

LAND GRADING

1. THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES, SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:

- TOPSOIL**

1. TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH, AND MAINTENANCE OF VEGETATION.

- ## EXECUTION

-
- Diagram illustrating the installation of a silt fence. The diagram shows a cross-section of the ground with an existing grade. A fence post (typical) is driven into the ground, and the AMOCO PROPEX SILT STOP SEDIMENT CONTROL FABRIC OR APPROVED EQUAL (GEOTEXTILE) is attached to it. The fabric is buried under the existing grade, with the bury end of the geotextile being at least 6 inches into the soil. The flow of water is indicated by an arrow pointing towards the fence. The height of the fence is 36 inches, and the angle of the fabric is 10 degrees. The existing grade is at least 12 inches high.

NOT TO SCALE

* PERMANENT VEGETATIVE COVER: SEE SPECIFICATIONS

ESTABLISHMENT:

- MAINTENANCE:

- ## EROSION CHECKS

TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND OR GEOTEXTILE FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

CONSTRUCTION:

- ### INSTALLATION AND MAINTENANCE:

-

NOTE: CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED DURING OPERATIONS WHICH PROMOTE VEHICULAR TRACKING OF MUD

NOT TO SCALE

GENERAL:

- SITE PREPARATION:**

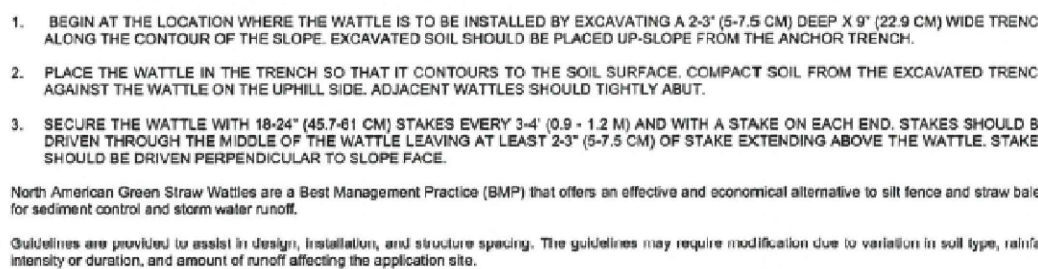
1. SELECT APPROPRIATE SPECIES FOR THE SITUATION. NOTE RATES AND SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING)
2. APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
3. UNLESS HYDROSEEDING, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL USING SUITABLE EQUIPMENT.
4. MULCH IMMEDIATELY AFTER SEEDING IF REQUIRED. (SEE VEGETATIVE)

GENERAL:

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF, AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION

1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
3. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR PER THE TECHNICAL SPECIFICATIONS.



- To maximize sediment containment with the Straw Wattle, place the initial structure at the top/crest of the slope if significant runoff is expected from above. If runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downhill from the top/crest of the slope. The first structure should be installed at or just beyond the bottom/crest of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.
- Straw Wattles are a temporary sediment control device and are not intended to replace runoff erosion control products (RECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches as supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on storage capacity.

For additional installation assistance, please contact North American Green's Technical Services Department at 1-800-772-2040
14649 Highway 41 North, Evansville, Indiana 47725
1-800-772-2040 www.nagreen.com Rev. 1/2003

NOT TO SCALE

 SLR
99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
SLRCONSULTING.COM

[illegible]

SEDIMENT AND EROSION CONTROL DETAILS AND SPECIFICATIONS

PROPOSED RESTAURANTS

**CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT**

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED

AS NOTED

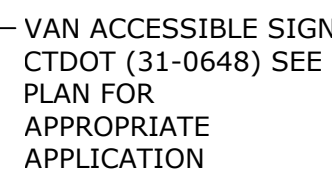
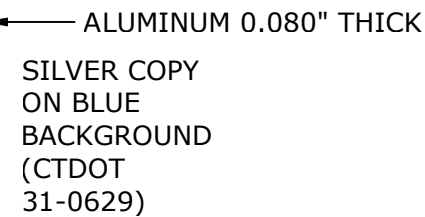
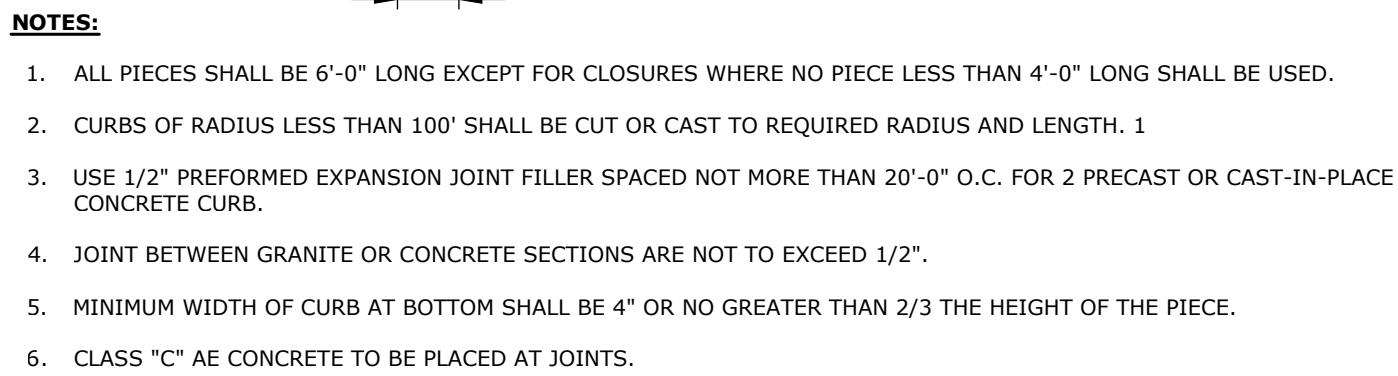
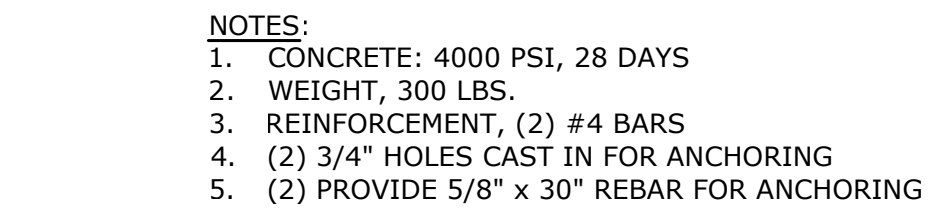
JULY 12, 2023

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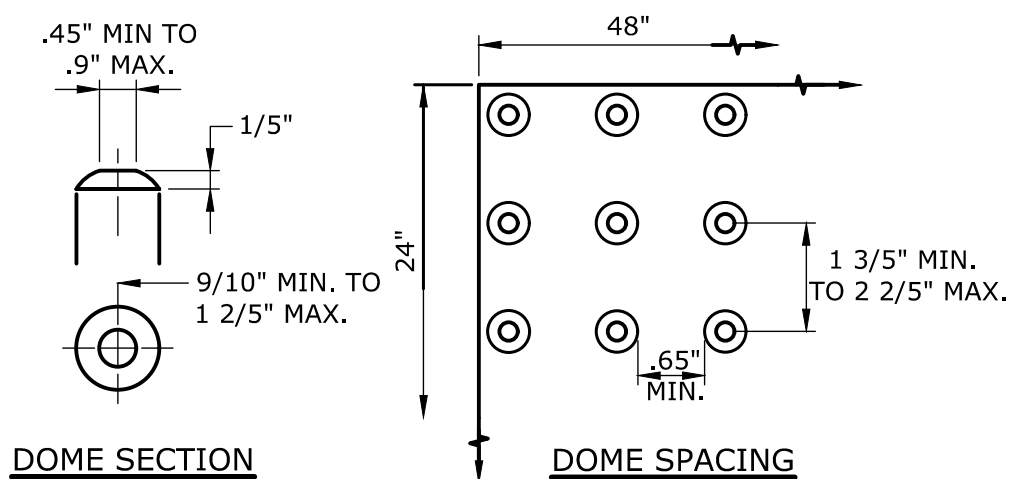
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SHEET NO.

SE-2

SHEET NAME



NOTE:
1. REFER TO SHEET C1.10 FOR LOCATIONS.



- NOTES:
1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
3. ALL RAMPS SHALL BE CONSTRUCTED OF CLASS "C" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE M.03.01.
4. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP. THE SURFACING OF ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN COMPLIANCE WITH ADAAG SECTION 4.5.
5. DIAGONAL SIDEWALK RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
6. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION/CONTRACTION JOINT OR DUMMY JOINT. 12-1 MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GRADE. IN RECOGNITION OF THIS, A MINIMUM LENGTH OF 12' FOR A PARALLEL RAMP SHALL BE USED. REMOVAL SHALL NOT BE FURTHER THAN 2' FROM THE PROPOSED RAMP UNLESS DIRECTED BY THE ENGINEER. THE SURFACING OF THE DOWNGRADE SHALL BE CONCRETE OR COMPACTED BED OF CONCRETE SIDEWALK.
7. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
8. RAISED ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 4' LONG BETWEEN THE RAMPS. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH LEVEL WITH THE ROADWAY AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
9. SIDEWALK RAMPS SHALL BE CONSTRUCTED AND PAID FOR UNDER THE ITEM "CONCRETE SIDEWALKS," INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP AND DETECTABLE WARNING STRIPS.
10. CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 811, SECTION 8.01, AND 8.13.
11. HANDICAP RAMPS CONFORMING WITH CONNECTICUT GENERAL STATUTES, SEC. 7-118a, SHALL BE INCORPORATED IN ALL PROPOSED SIDEWALKS AT ALL STREET INTERSECTIONS, AND AT ALL OTHER LOCATIONS WHERE THE GRADE OF A DRIVEWAY OR OTHER FACILITY TAKES PRECEDENCE OVER THE GRADE OF THE PROPOSED SIDEWALK.
12. TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
13. INSTALL THE GRADE OF THE DETECTABLE WARNING 6" FROM THE EDGE OF ROAD.
14. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID, IN THE DIRECTION OF PEDESTRIAN TRAVEL.



1. UNLESS OTHERWISE DIRECTED SHREDDED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.

[illegible][illegible]

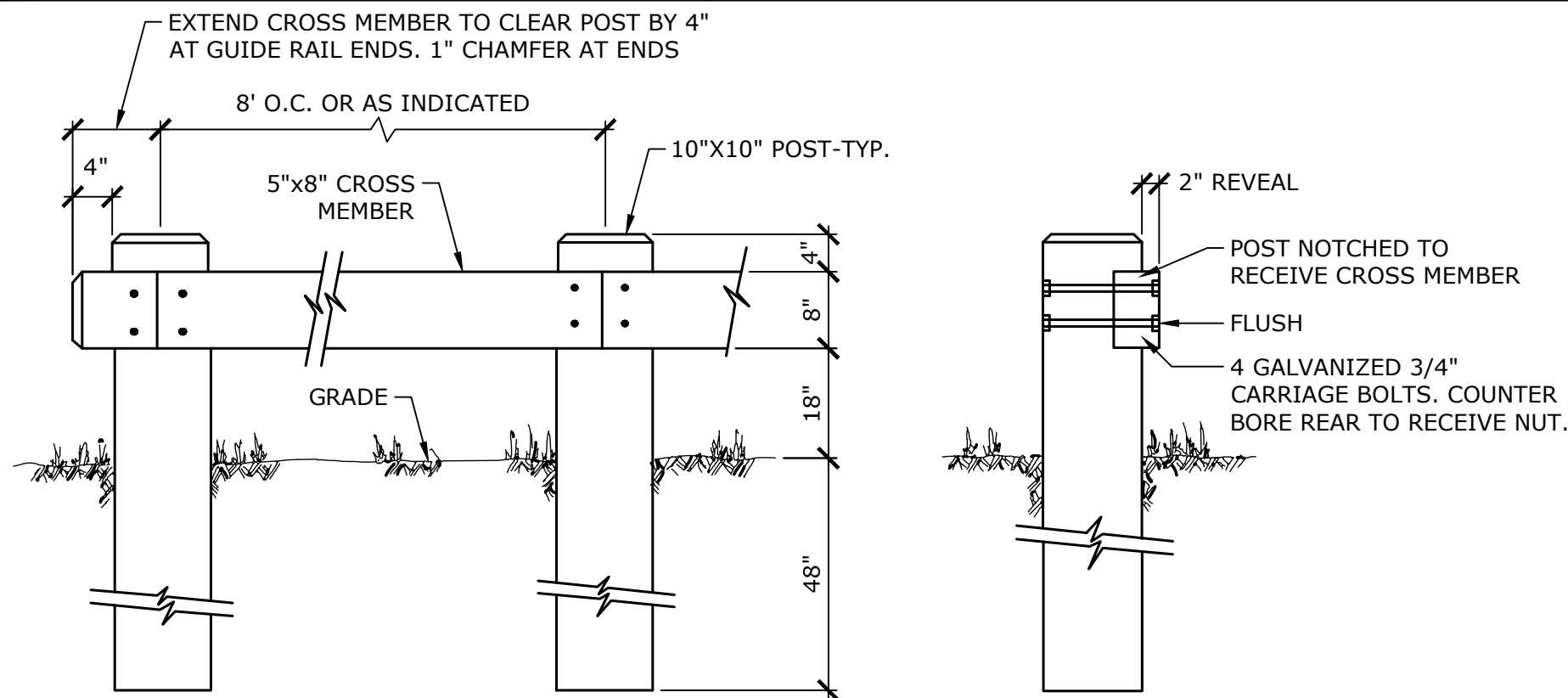
SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
SCALE		
JULY 12, 2023		
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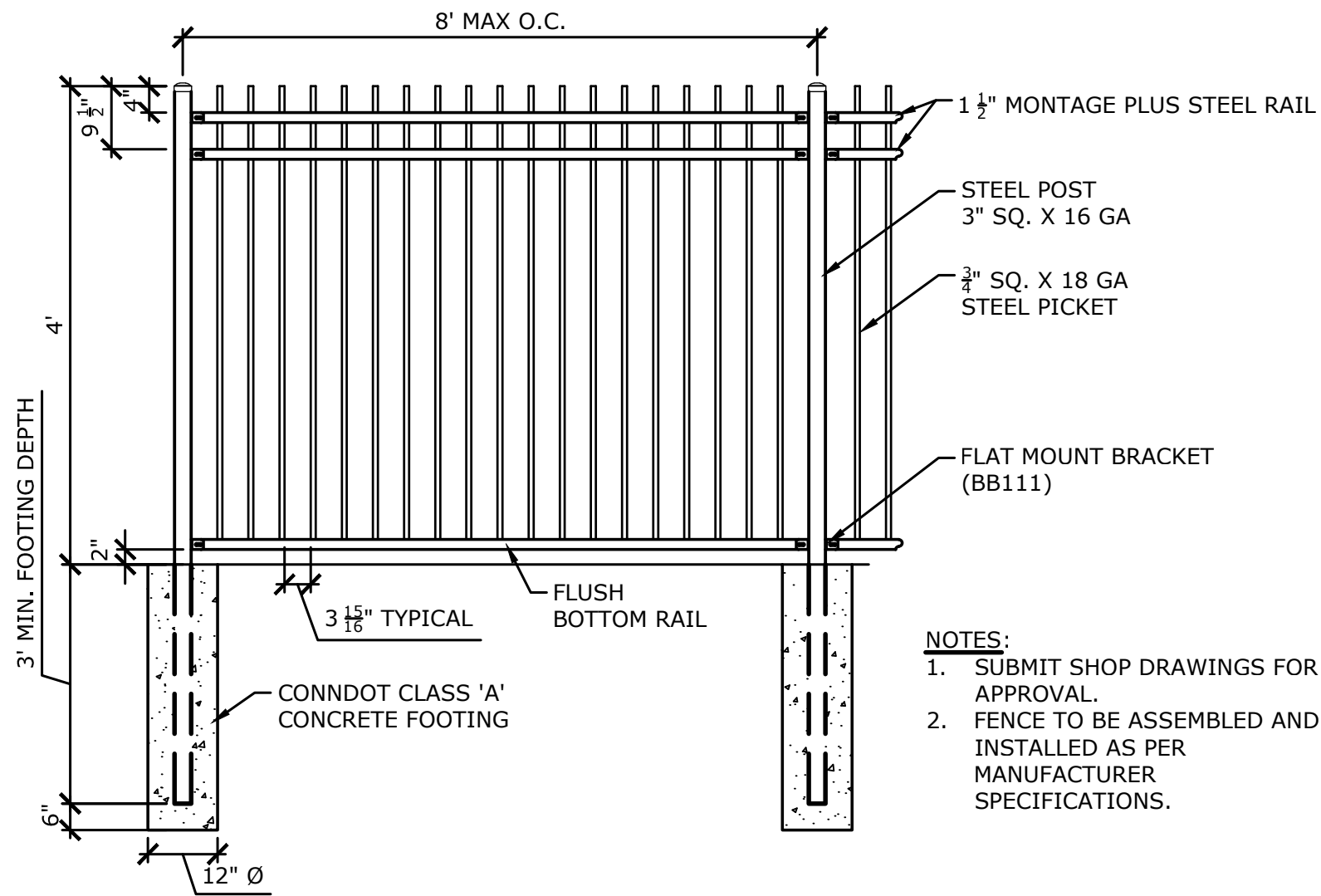
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- NOTES:**
1. ALL RAIL AND POST LUMBER SHALL BE COMMERCIAL GRADE, NO. 1 DENSE, (Fb=10.3 Fpo) OR BETTER, CONFORMING TO NOMINAL SIZES AND DIMENSIONS SHOWN AND TO AASHTO SPECIFICATION M168. ALL TIMBER SHALL BE TREATED WITH A PRESSURE IMPREGNATED PRESERVATIVE IN ACCORDANCE WITH AASHTO SPECIFICATION M133.
 2. BOLTS SHALL BE 3/4" DIAM., ASTM 307, WITH APPROPRIATE NUTS AND WASHERS (ALL HOT DIPPED GALVANIZED)
 3. BACKFILL AROUND EACH POST WITH SUITABLE NATIVE MATERIAL IN 1' LIFTS
 4. CONTRACTOR TO PROVIDE 90°, 45° OR END POSTS WHERE REQUIRED.
 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ENTIRE SYSTEM.

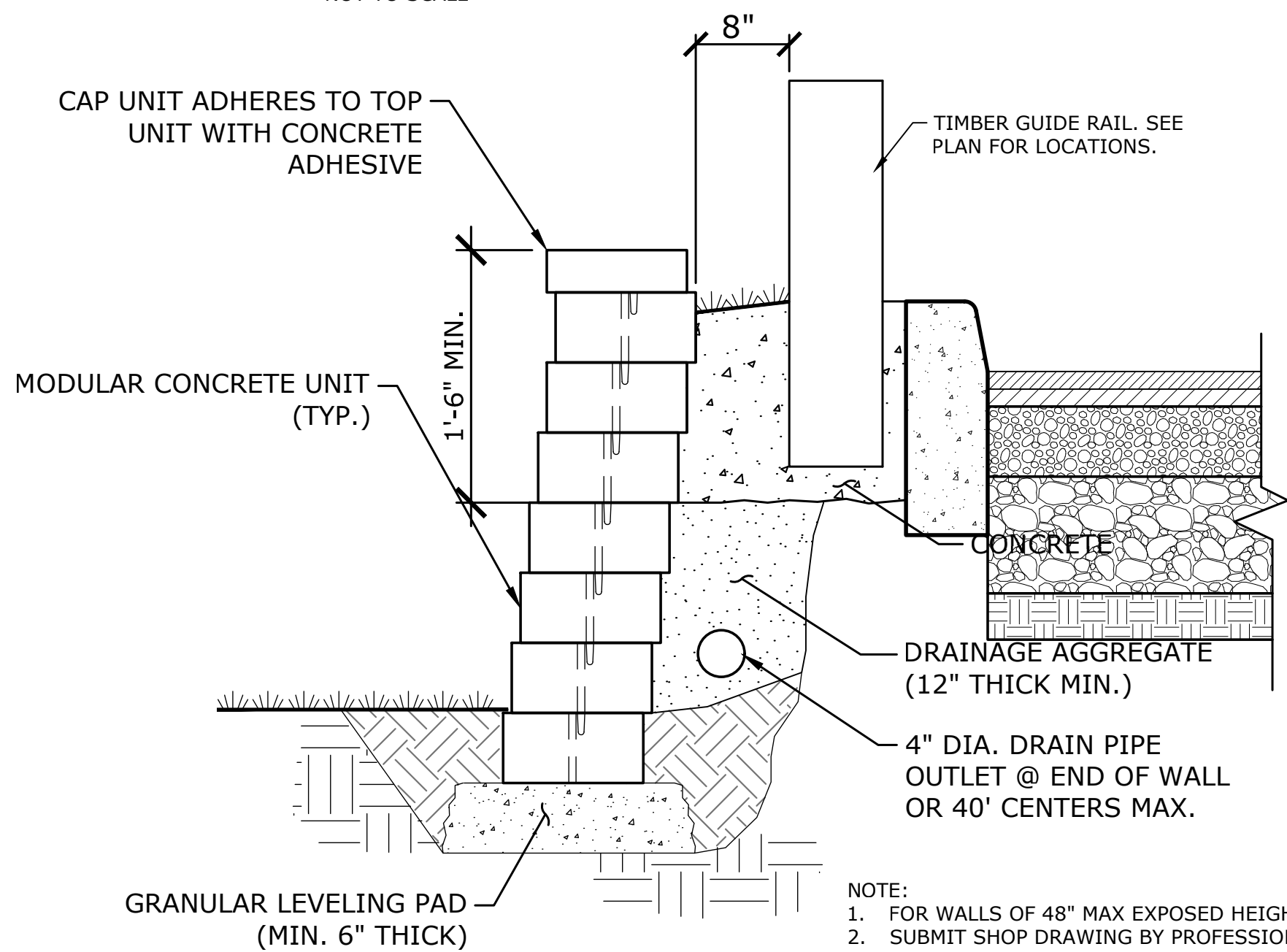
TIMBER GUIDE RAIL

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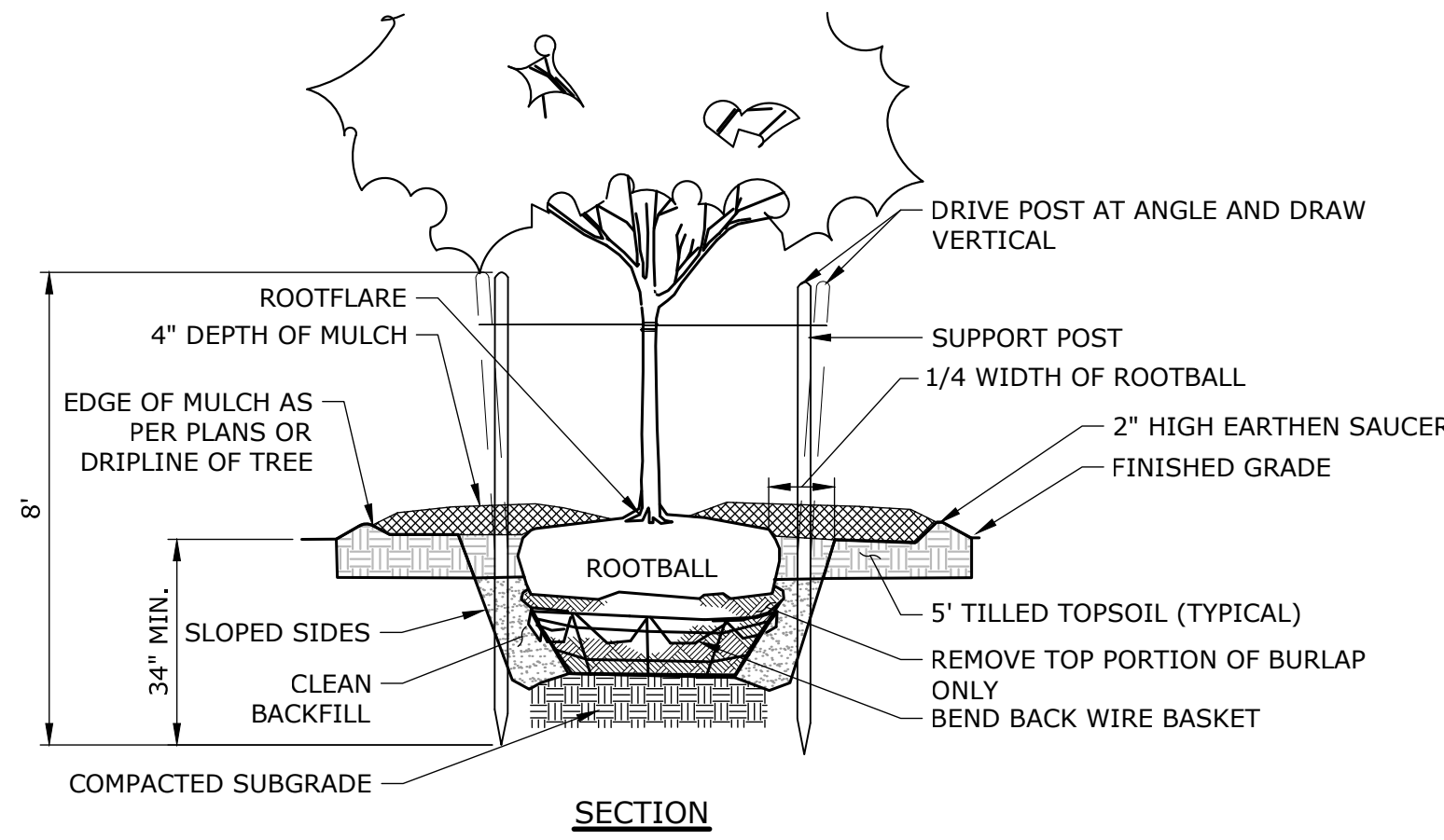
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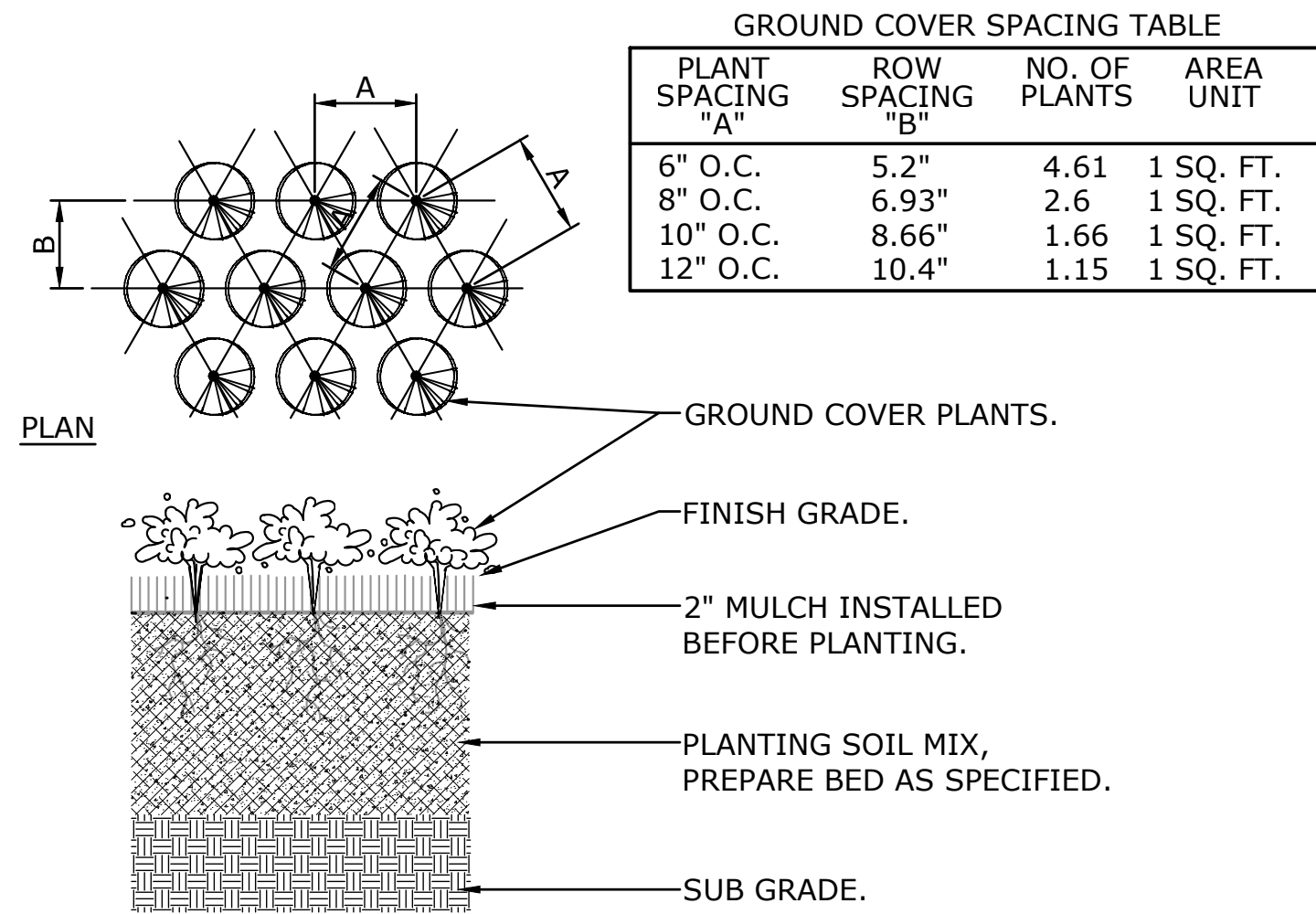
UNREINFORCED RETAINING WALL

NOT TO SCALE



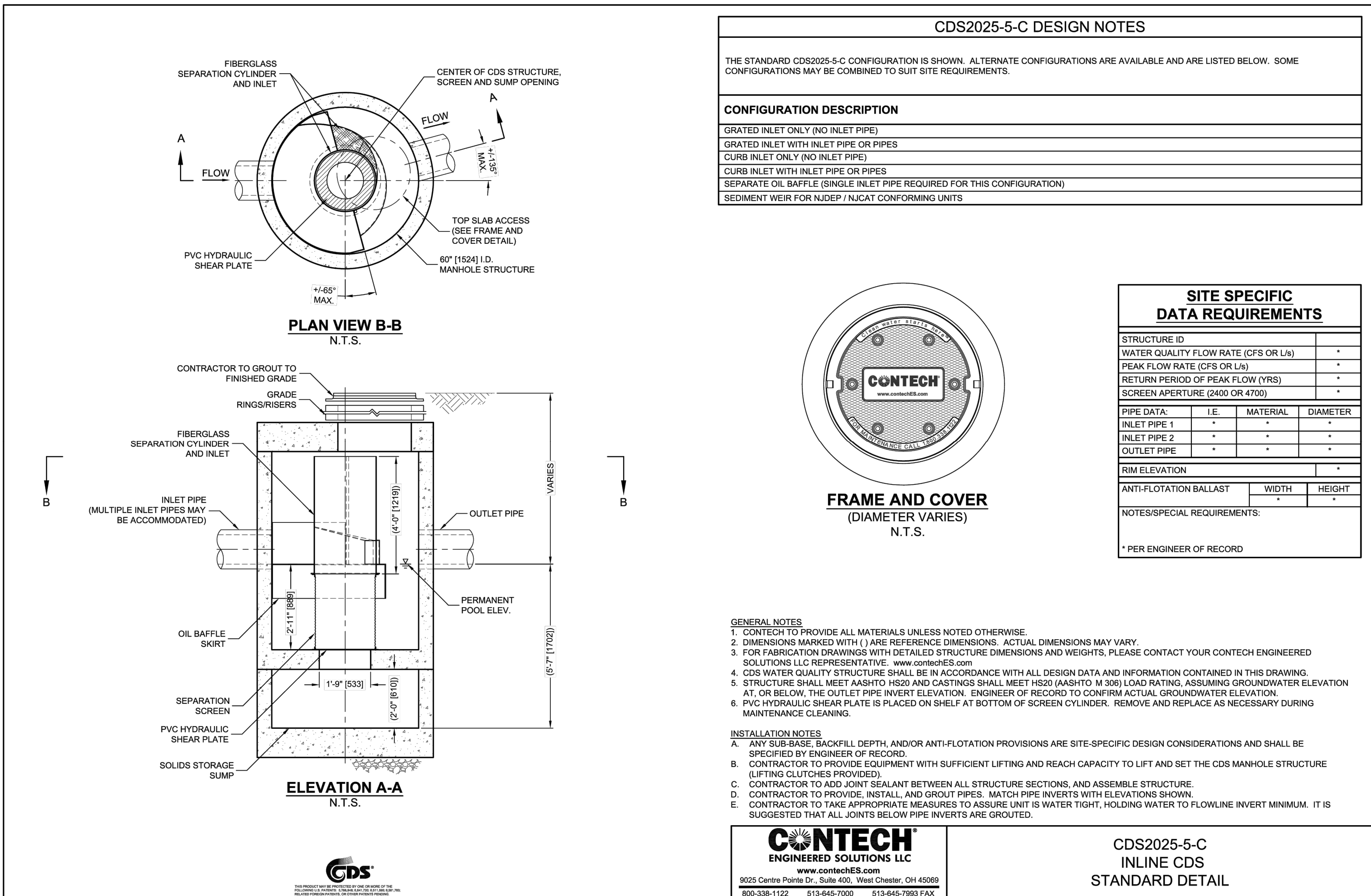
TREE PLANTING

NOT TO SCALE



GROUND COVER/PERENNIAL PLANTING

NOT TO SCALE



EXISTING HYDRODYNAMIC SEPARATOR

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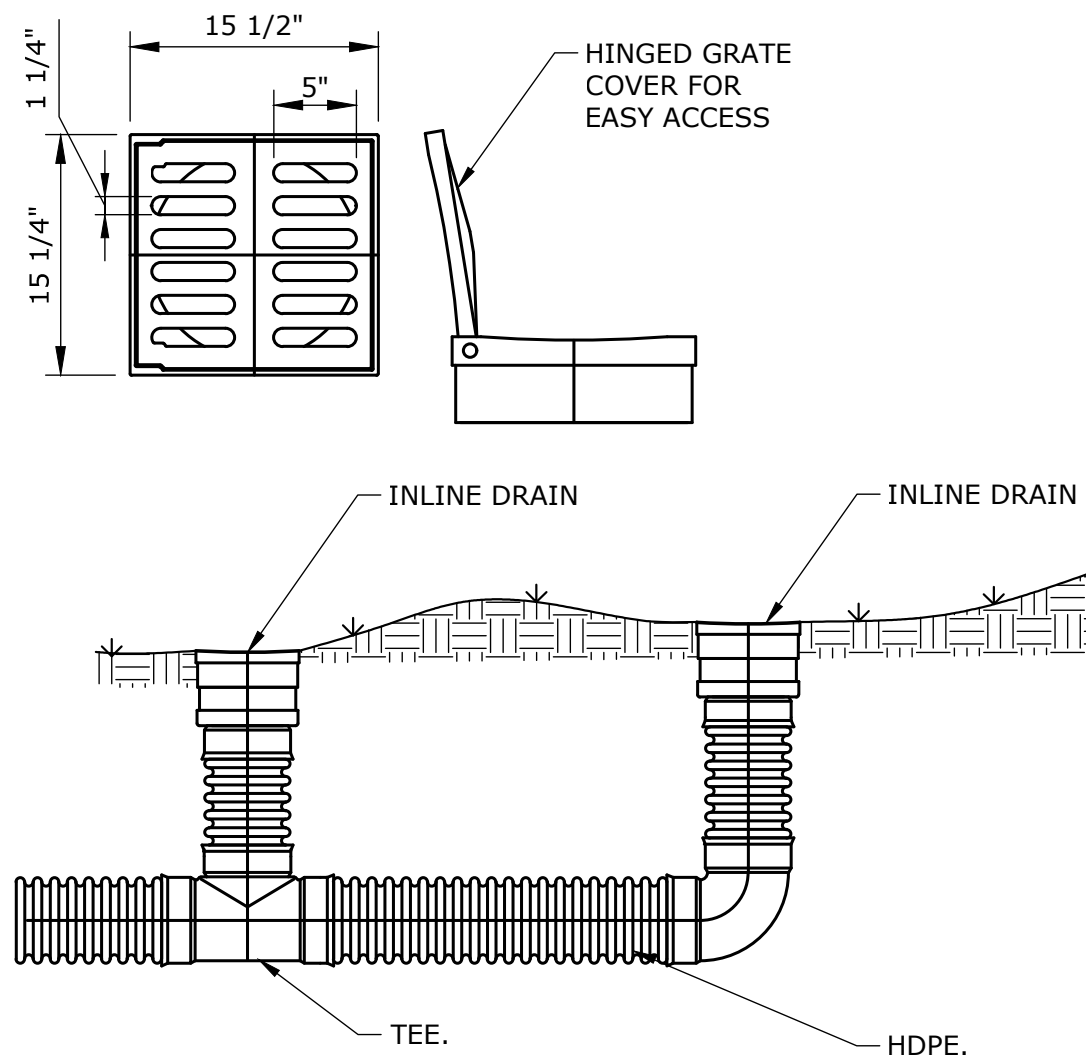
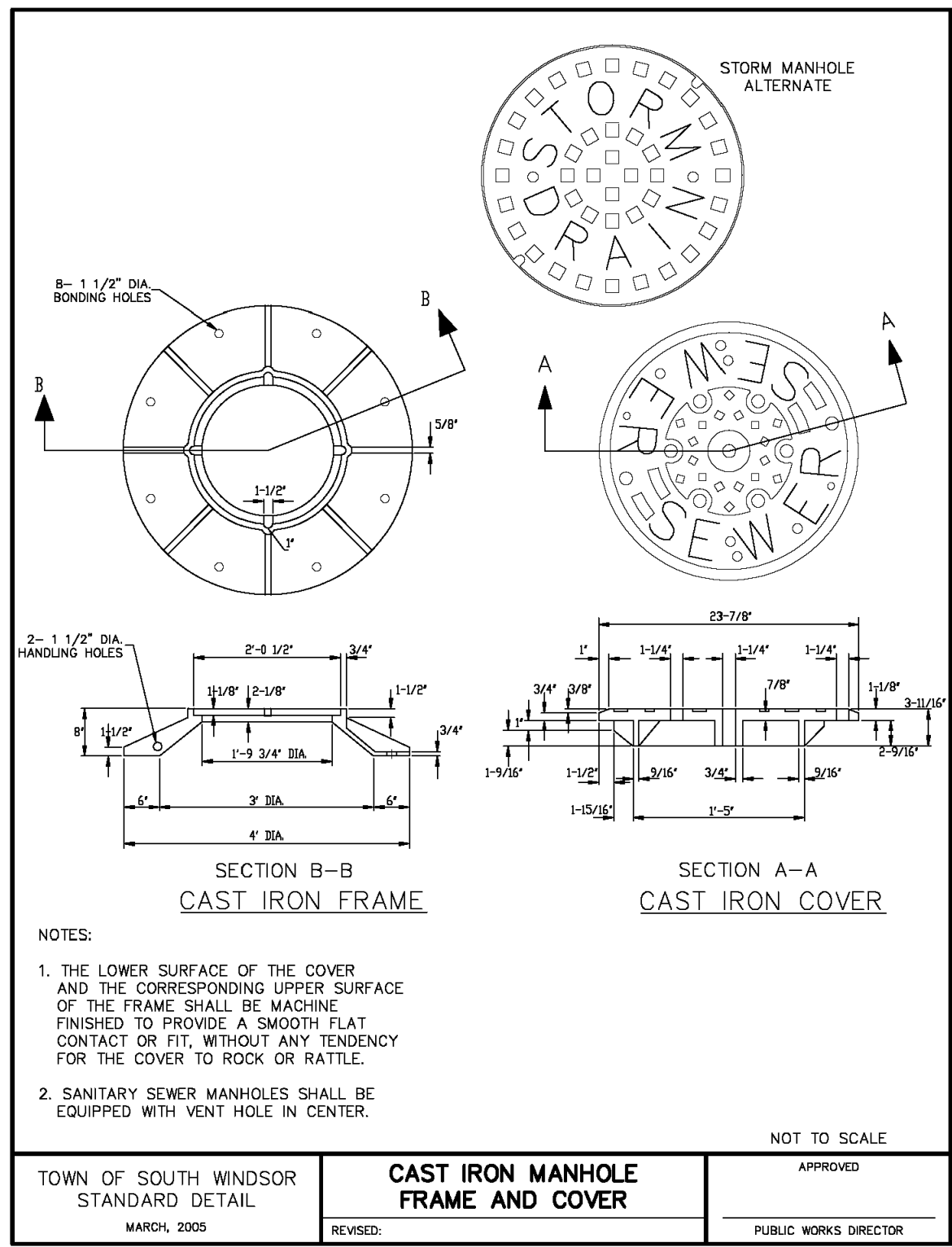
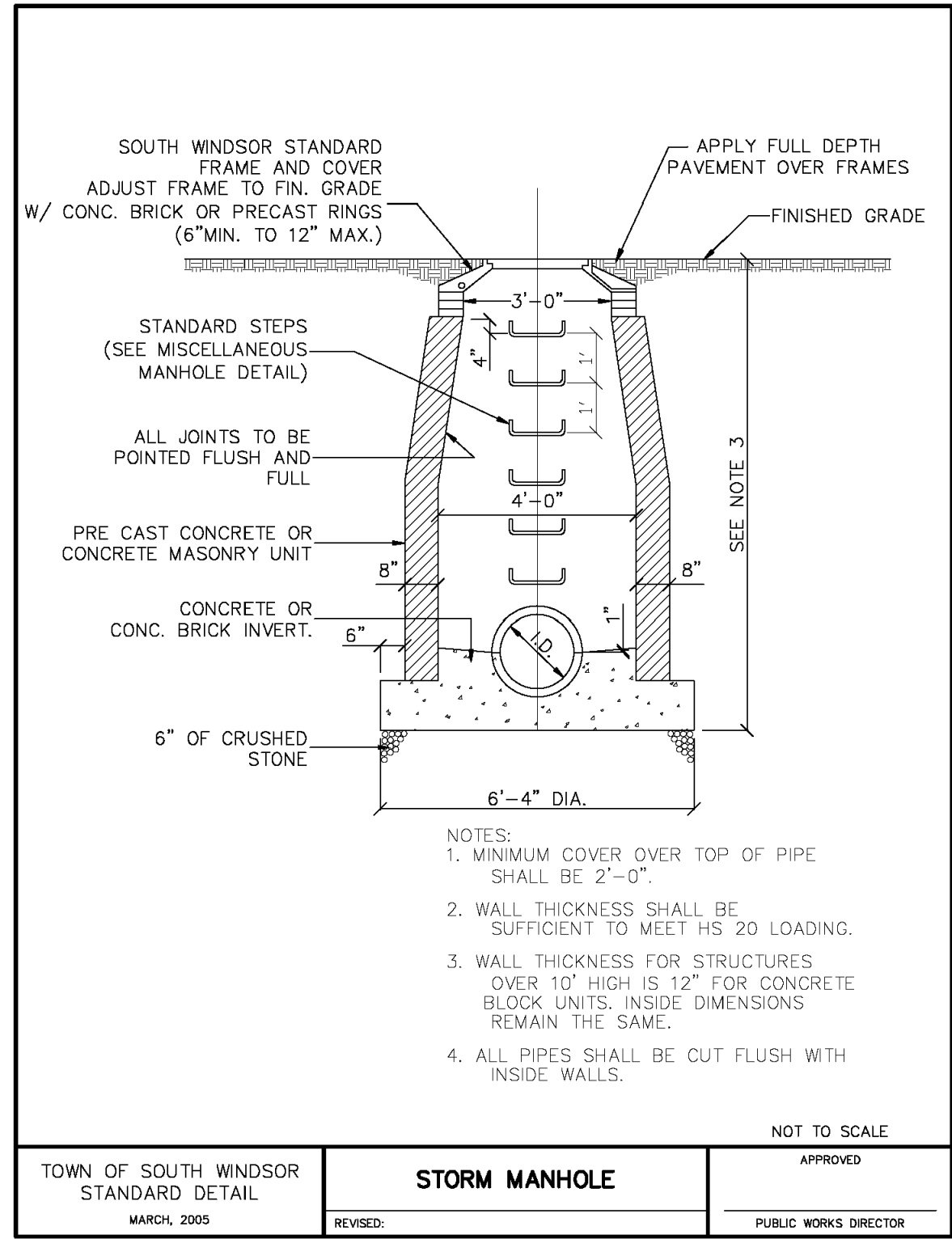
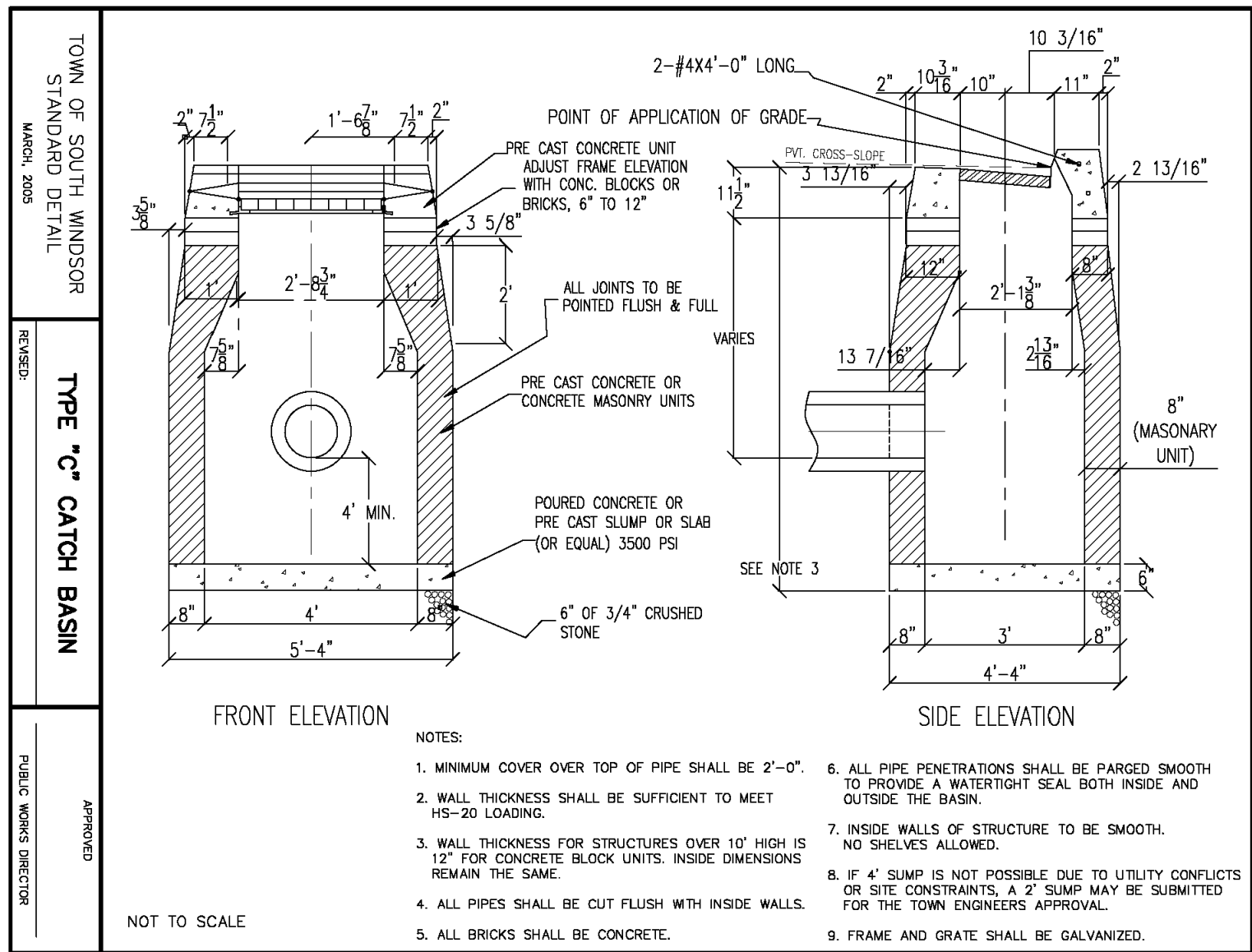
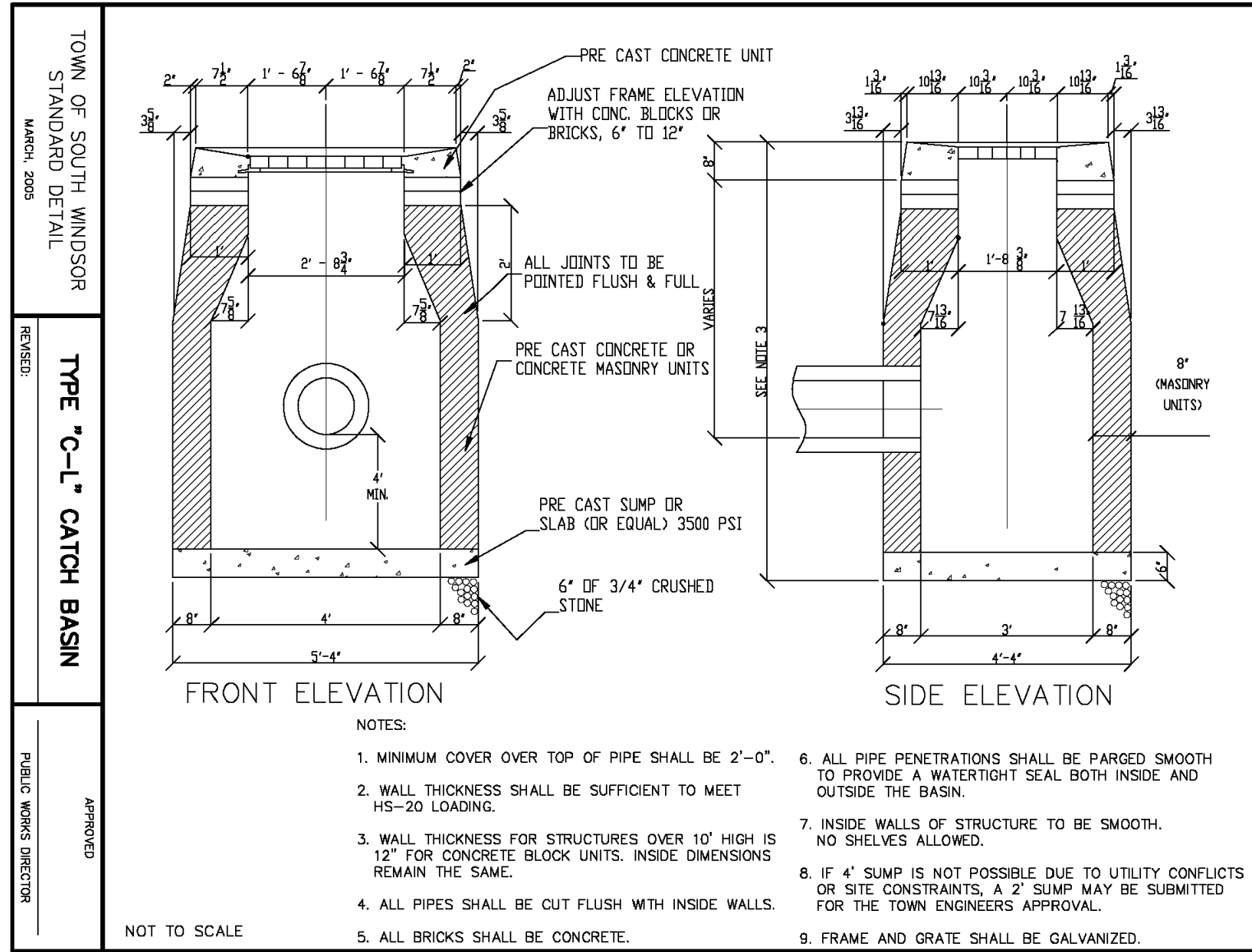


DESCRIPTION	DATE	BY

SITE DETAILS
PROPOSED RESTAURANTS
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SOUTH WINDSOR, CONNECTICUT

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SHEET NO.		
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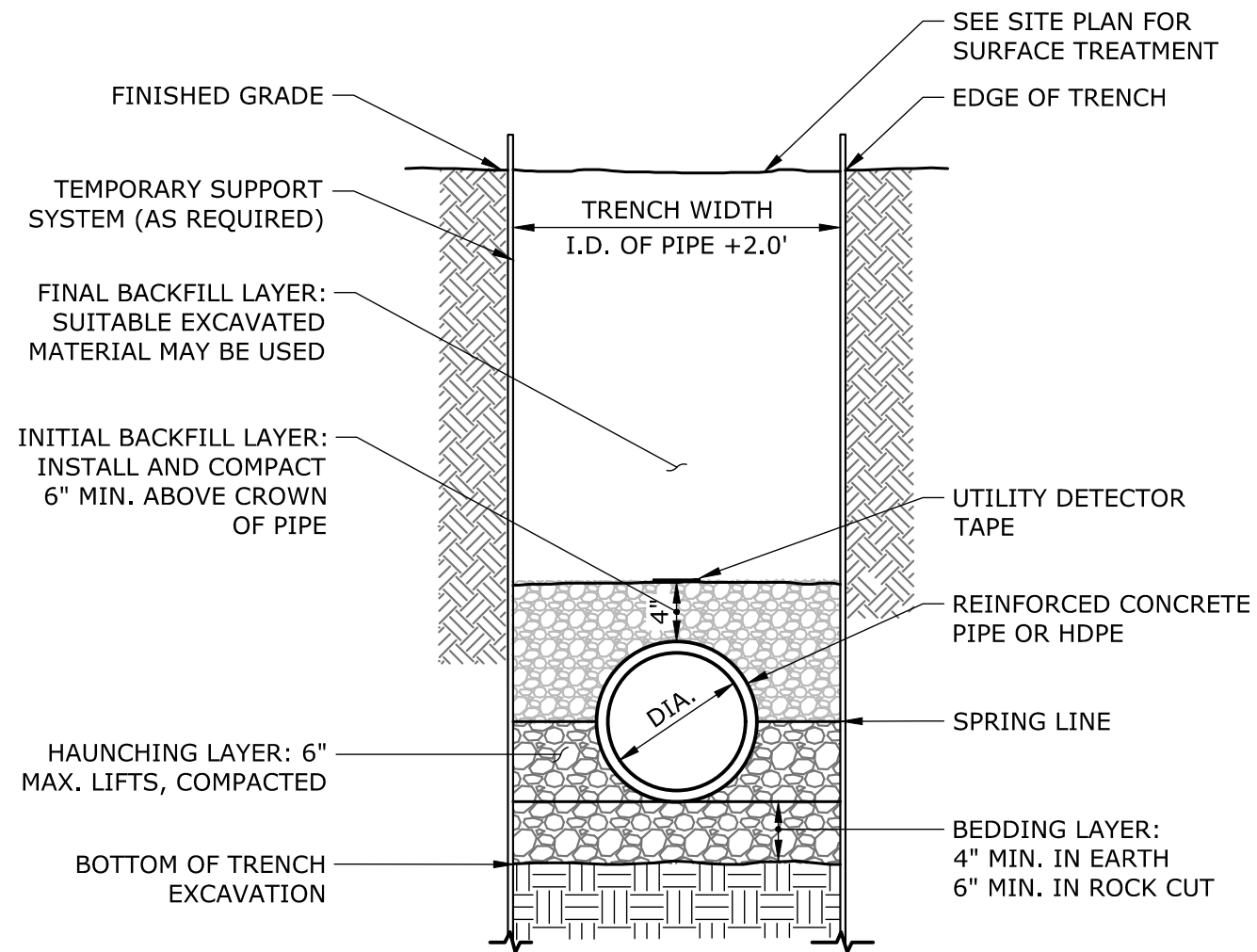
1. TOWN OF SOUTH WINDSOR STANDARD DETAIL
2. SLR CONSULTING, INC. 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202
3. 2023.07.17.1773
4. 2023.07.17.1773



- NOTES:
1. ALL AREA DRAIN GRATES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS.
 - 1.1. 15" CAST IRON GRATE DRAIN AREA = 92.5SQ. INCH GRATE HAS H-20 (HEAVY TRAFFIC) DOT RATING .
 - 1.2. MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B.
 - 1.3. CASTINGS ARE FURNISHED WITH A BLACK PAINT.
 - 1.4. INLINE DRAIN TO BE NYLOPLAST INC OR APPROVED EQUAL.

AREA DRAIN AND GRATE

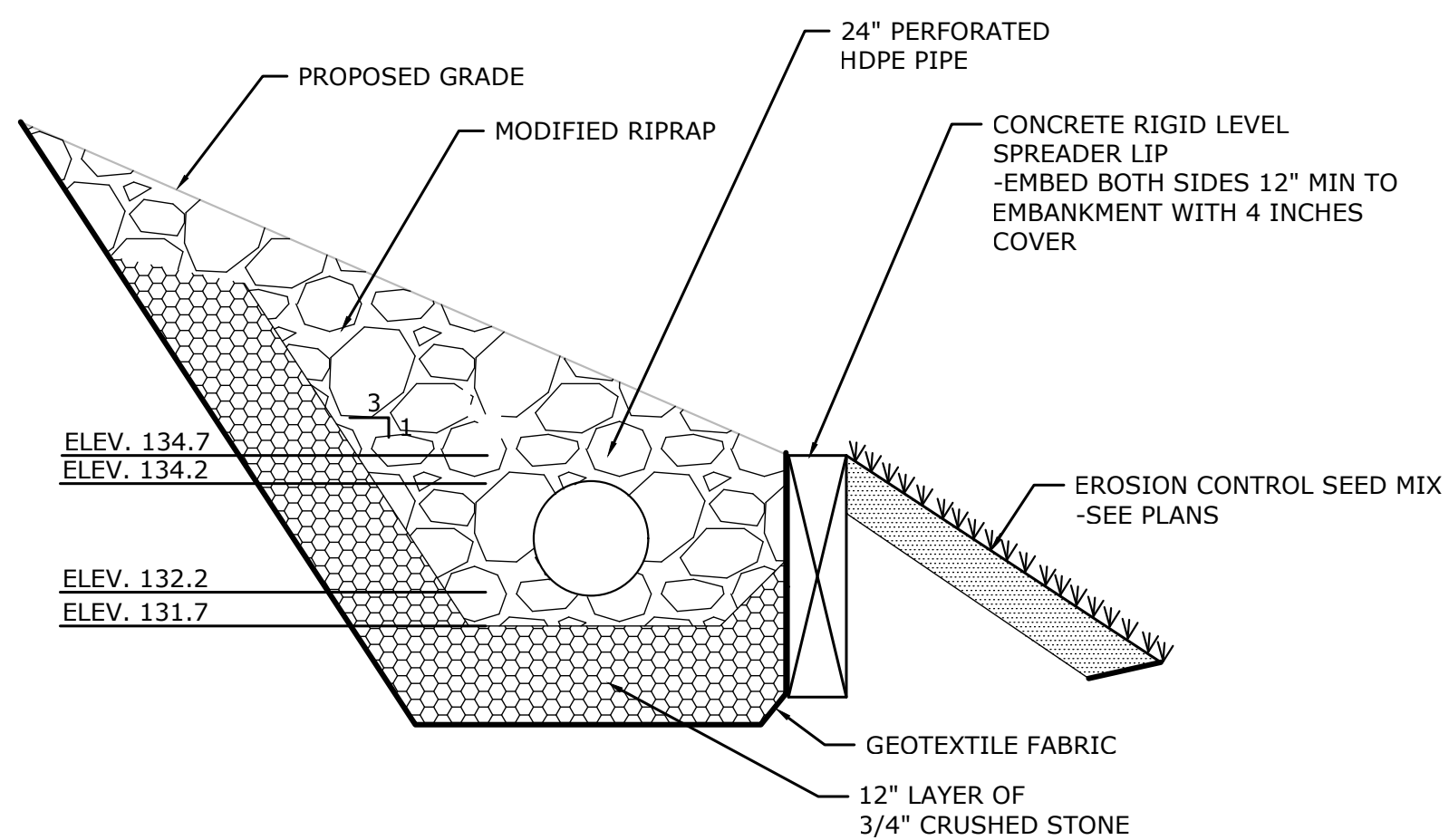
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- NOTES:
1. BACKFILL MATERIAL USED IN BEDDING, HAUNCHING, AND INITIAL BACKFILL LAYERS SHALL BE 3/4" CRUSHED STONE.
 2. PAYMENT LIMIT FOR ROCK IN TRENCH TO BE PIPE DIAMETER + 3.0'

STORM DRAINAGE TRENCH

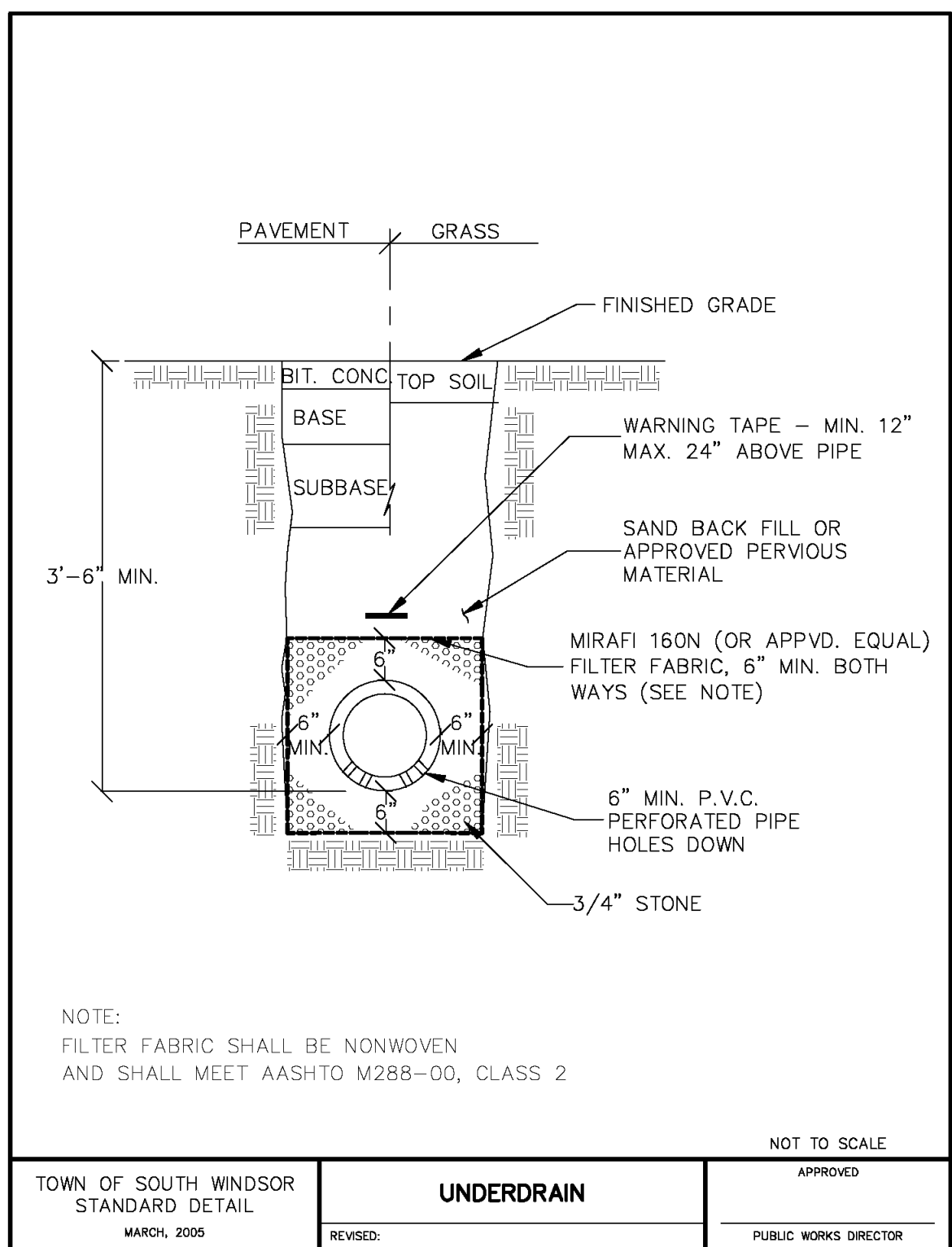
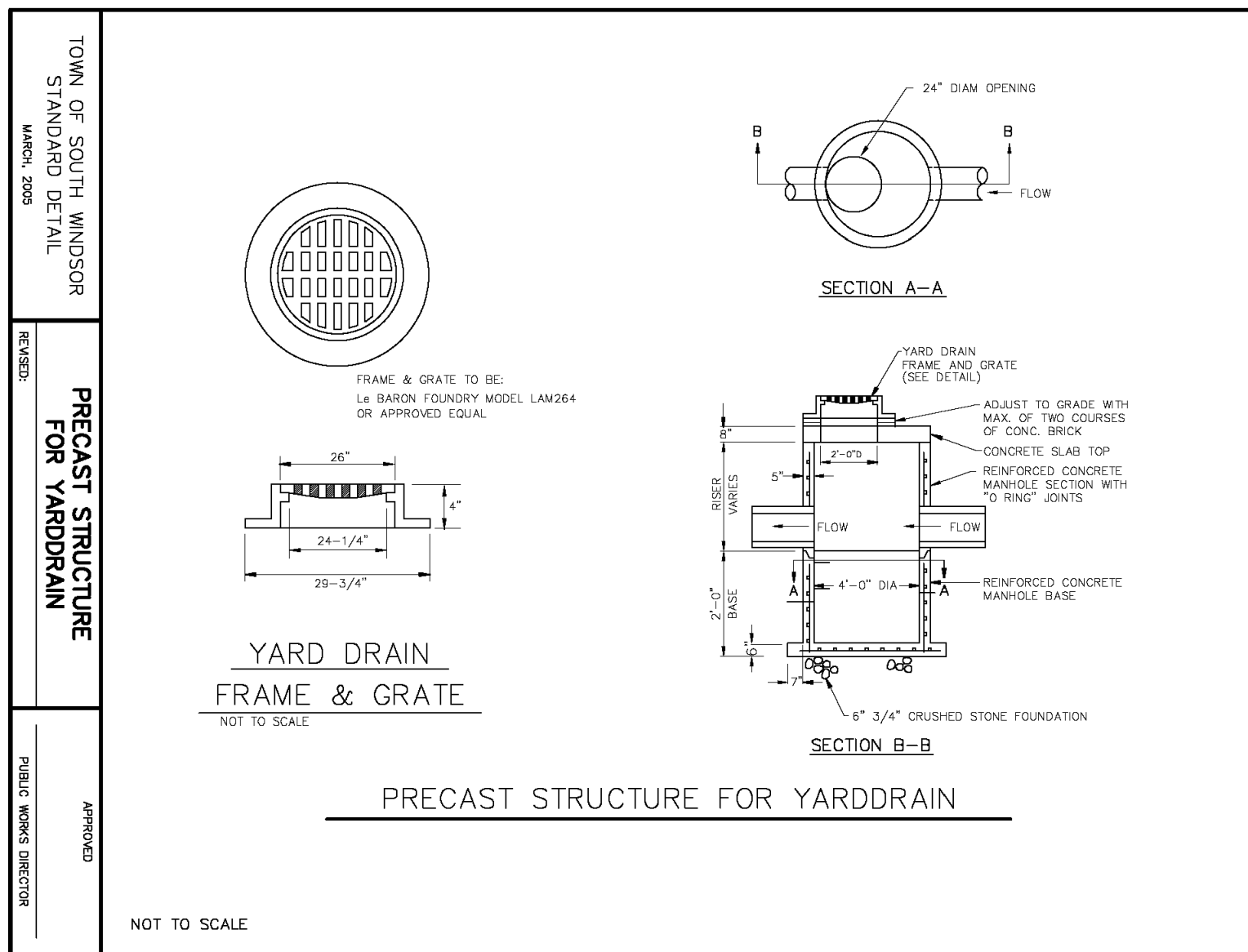
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- NOTE:
1. FOR INFORMATION ONLY

EXISTING RIPRAP LEVEL SPREADER

NOT TO SCALE



SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

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SD-3

SHEET NAME

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