



PROPOSED INDUSTRIAL ADDITION
187 SOUTH SATELLITE ROAD
SOUTH WINDSOR, CONNECTICUT

Inland Wetland and Watercourse /
Planning & Zoning Application Set
Date : 2-24-2021



KEY MAP
1"= 200 FT.

Parcel ID	Site Address	Owner Name	Mailing Address	Mailing City	Mailing State	Mailing Zip
84000201	201 SOUTH SATELLITE ROAD	K R HOLDINGS LLC	40 DONNA MAE LANE	TOLLAND	CT	06084- 0000
84000210	210 SOUTH SATELLITE ROAD	DALO LLC	229 SOUTH SATELLITE ROAD	SOUTH WINDSOR	CT	06074- 0000
84000170	170 SOUTH SATELLITE ROAD	DALO LLC	229 SOUTH SATELLITE ROAD	SOUTH WINDSOR	CT	06074- 0000
7500015	15 BARBARA ROAD	BOLDUC RUSSELL A & JOANNA I	15 BARBARA ROAD	SOUTH WINDSOR	CT	06074- 0000
48600129	129 JUDY LANE	PRANITIS ERIC & RACHEL O	129 JUDY LANE	SOUTH WINDSOR	CT	06074- 0000
7500003	3 BARBARA ROAD	CZAJA DANIEL E & JENNIFER A	3 BARBARA ROAD	SOUTH WINDSOR	CT	06074- 0000
48600139	139 JUDY LANE	GIAMMARINO JESSE M JR & JANET G	139 JUDY LANE	SOUTH WINDSOR	CT	06074- 0000
84000175	175 SOUTH SATELLITE ROAD	BRENAMATT PROPERTIES L L C	171 BARSTOW LANE	TOLLAND	CT	06084- 0000
84000187	187 SOUTH SATELLITE ROAD	BRENAMATT PROPERTIES LLC	171 BARSTOW LANE	TOLLAND	CT	06084- 0000

LIST OF DRAWINGS

COVER	KEY MAP
1 of 1	PROPERTY & TOPOGRAPHIC SURVEY
C-101	SITE PLAN
C-102	EROSION & SEDIMENTATION CONTROL PLAN
C-103	SITE DETAILS
A-100	BUILDING FLOOR PLAN
A-200	EXTERIOR ELEVATIONS
A-201	LANDSCAPE BUFFER ELEVATION

ZONING DATA TABLE

ZONE : I (INDUSTRIAL)

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 SF	43,405.20 SF	43,405.20 SF
LOT WIDTH	100 FT.	127.40 FT.	127.40 FT.
LOT DEPTH	150 FT.	340.05 FT.	340.05 FT.
FRONT YARD	35 FT.	58.90 FT.	58.90 FT.
SIDE YARD	10 FT.	18.20 FT.	13.20 FT.
REAR YARD	25 FT.	205.80 FT.	115.80 FT.
MAX.BUILDING COVER	50%	8.27 %	20.73 %
IMPERVIOUS COVER	65%	61.02 %	56.93 %

AREA OF WETLANDS = 0.22 ACRE
AREA OF DISTURBED WETLANDS = 0 ACRE
UPLAND REVIEW AREA = 0.24 ACRE
AREA OF DISTURBED UPLAND REVIEW AREA = 0.16 ACRE

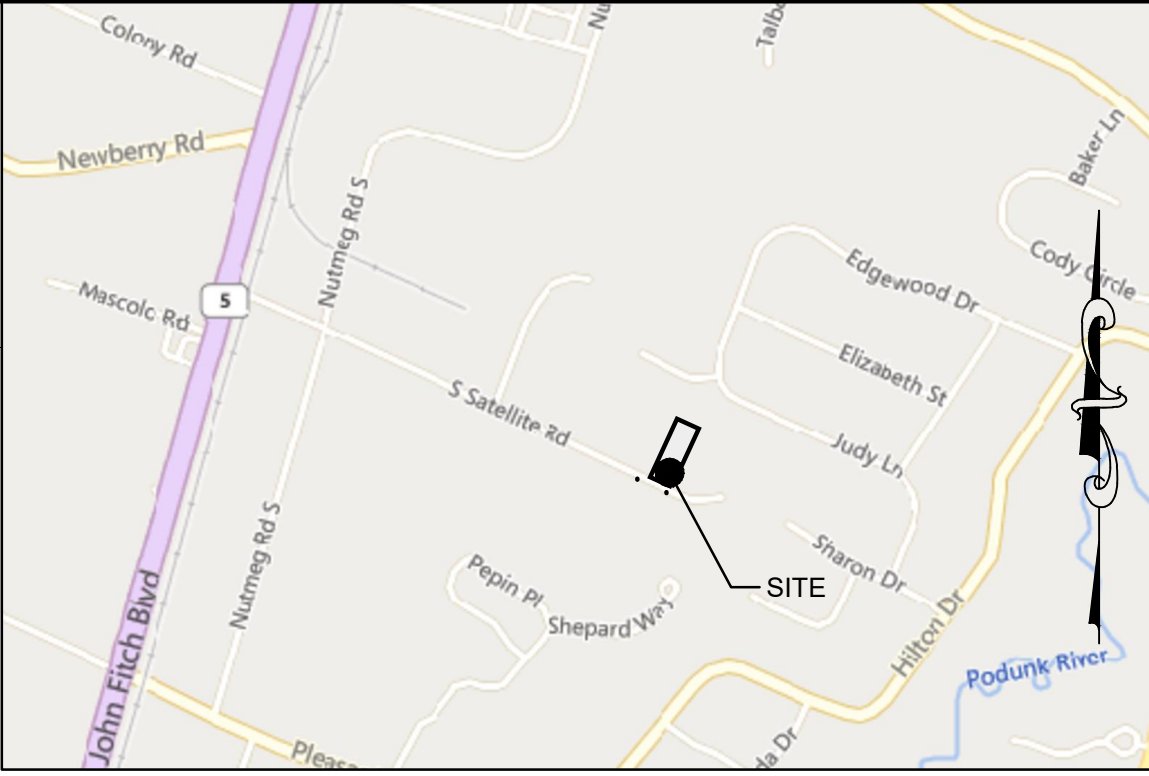
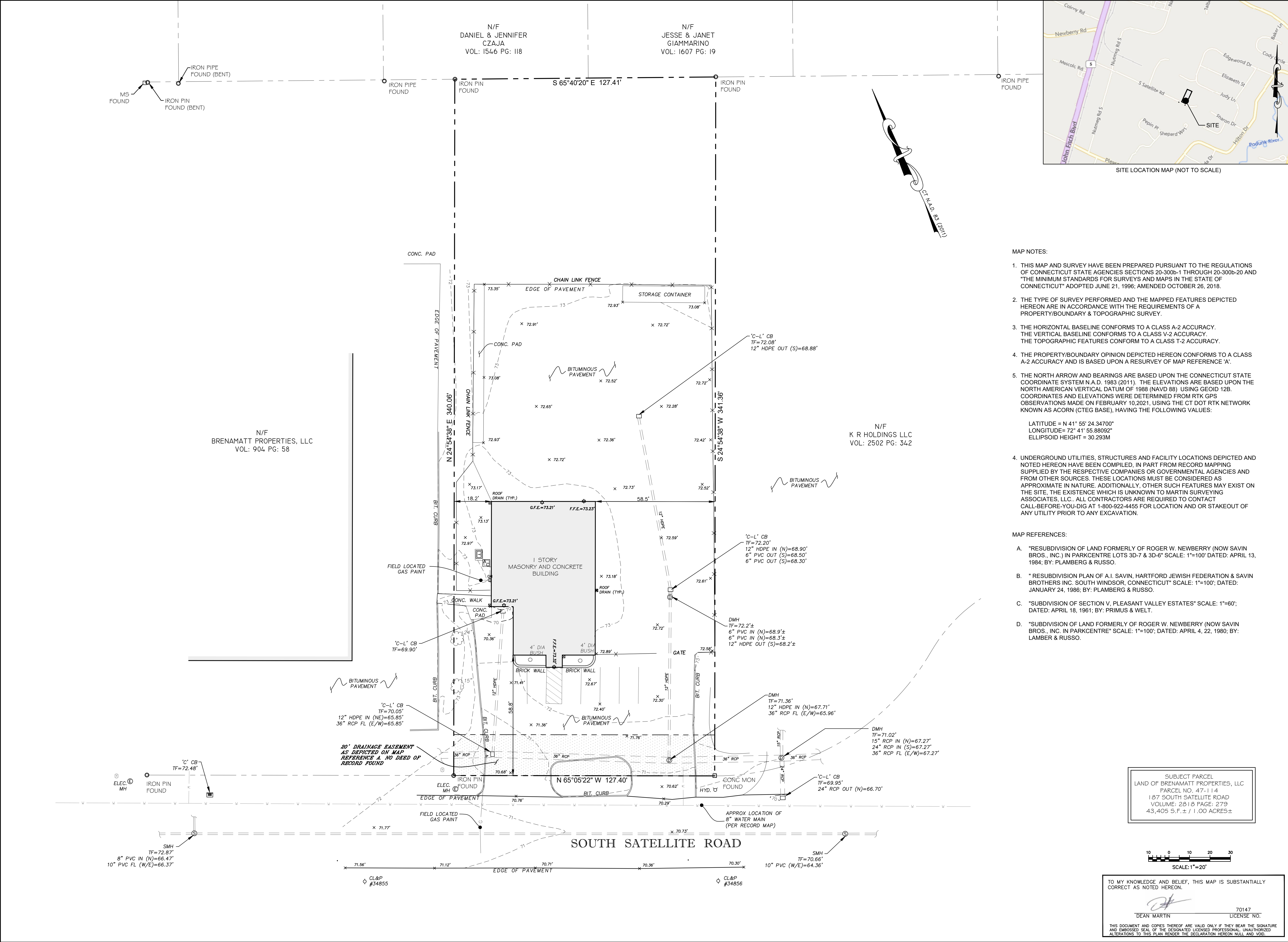
BUILDING USE :
LIGHT MANUFACTURING
NO TRUCKS SHALL BE STORED AND/OR UNLOADED INSIDE BUILDING
NO FLOOR DRAINS WILL BE INSTALLED WITHIN BUILDING

REQUIRED PARKING CALCULATION :
MANUFACTURING = 9,000 SF / 700 = 13 (1 HANDICAP VAN)
TOTAL PARKING PROVIDED = 15 (1 HANDICAP VAN)

INTERIOR PARKING LOT LANDSCAPE :
TOTAL PAVED AREA = 15,712 SF (0.5%) = 785.6 SF REQUIRED
TOTAL INTERIOR LANDSCAPE AREA PROVIDED = 840 SF

LAND SURVEYOR :
APPLICANT & DESIGN ENGINEERS :





LEGEND:	
○ IRON PIN (FOUND)	△ SIGN
● Rebar/Drill Hole (To Be Set)	○ POST
□ MONUMENT (FOUND)	☆ LIGHT POLE
⊙ MANHOLE	◇ GUY ANCHOR
① DRAINAGE MANHOLE	◇ UTILITY POLE
② SANITARY MANHOLE	WGS WATER GATE
③ ELEC. MANHOLE	WGS WATER METER
④ TELE. MANHOLE	WGS GAS VALVE
■ "C" CATCH BASIN	WGS GAS METER
□ "C-L" CATCH BASIN	TRANSFORMER
☆ DECIDUOUS TREES	◇ ELEC. METER
☆ EVERGREEN TREES	◇ MAIL BOX
✱ SHRUB/BUSH	□ HAND HOLE
○ FLAG POLE	□ BUTTON BOX
▢ TRAFFIC CONTROL BOX	◇ A.C. UNIT
	◇ TRAFFIC LIGHT POLE

---	BOUNDARY LINE
---	GUARD RAIL
---	UNDERGROUND PIPING (San., Strm.)
---	U/G GAS LINE
---	U/G ELEC. LINE
---	WATER LINE
---	OVERHEAD UTILITIES
---	U/G TELE. LINE
---	CHAIN LINK FENCE
---	TREE LINE

MAP NOTES:

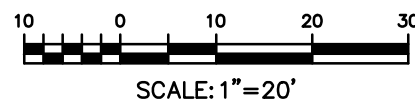
- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" ADOPTED JUNE 21, 1996; AMENDED OCTOBER 26, 2018.
- THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A PROPERTY/BOUNDARY & TOPOGRAPHIC SURVEY.
- THE HORIZONTAL BASELINE CONFORMS TO A CLASS A-2 ACCURACY. THE VERTICAL BASELINE CONFORMS TO A CLASS V-2 ACCURACY. THE TOPOGRAPHIC FEATURES CONFORM TO A CLASS T-2 ACCURACY.
- THE PROPERTY/BOUNDARY OPINION DEPICTED HEREON CONFORMS TO A CLASS A-2 ACCURACY AND IS BASED UPON A RESURVEY OF MAP REFERENCE 'A'.
- THE NORTH ARROW AND BEARINGS ARE BASED UPON THE CONNECTICUT STATE COORDINATE SYSTEM N.A.D. 1983 (2011). THE ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING GEOID 12B. COORDINATES AND ELEVATIONS WERE DETERMINED FROM RTK GPS OBSERVATIONS MADE ON FEBRUARY 10, 2021, USING THE CT DOT RTK NETWORK KNOWN AS ACORN (CTEG BASE), HAVING THE FOLLOWING VALUES:

LATITUDE = N 41° 55' 24.34700"
LONGITUDE = 72° 41' 55.88092"
ELLIPSOID HEIGHT = 30.293M

4. UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE WHICH IS UNKNOWN TO MARTIN SURVEYING ASSOCIATES, LLC. ALL CONTRACTORS ARE REQUIRED TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND OR STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.

- MAP REFERENCES:
- A. "RESUBDIVISION OF LAND FORMERLY OF ROGER W. NEWBERRY (NOW SAVIN BROS., INC.) IN PARKCENTRE LOTS 3D-7 & 3D-8" SCALE: 1"=100' DATED: APRIL 13, 1984; BY: PLAMBERG & RUSSO.
 - B. "RESUBDIVISION PLAN OF A.I. SAVIN, HARTFORD JEWISH FEDERATION & SAVIN BROTHERS INC. SOUTH WINDSOR, CONNECTICUT" SCALE: 1"=100'; DATED: JANUARY 24, 1986; BY: PLAMBERG & RUSSO.
 - C. "SUBDIVISION OF SECTION V, PLEASANT VALLEY ESTATES" SCALE: 1"=60'; DATED: APRIL 18, 1961; BY: PRIMUS & WELT.
 - D. "SUBDIVISION OF LAND FORMERLY OF ROGER W. NEWBERRY (NOW SAVIN BROS., INC. IN PARKCENTRE" SCALE: 1"=100'; DATED: APRIL 4, 22, 1980; BY: LAMBER & RUSSO.

SUBJECT PARCEL
LAND OF BRENNAMATT PROPERTIES, LLC
PARCEL NO. 47-114
187 SOUTH SATELLITE ROAD
VOLUME: 281 & PAGE: 279
43,405 S.F. ± / 1.00 ACRES ±



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.


DEAN MARTIN
70147
LICENSE NO.

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID.



201 CHRISTIAN LANE BERLIN, CT 06037
860-832-9328 860-357-4604 (FAX)

REVISIONS:

PROPERTY &
TOPOGRAPHIC SURVEY

LAND OF
BRENNAMATT PROPERTIES, LLC
187 SOUTH SATELLITE ROAD
SOUTH WINDSOR, CONNECTICUT

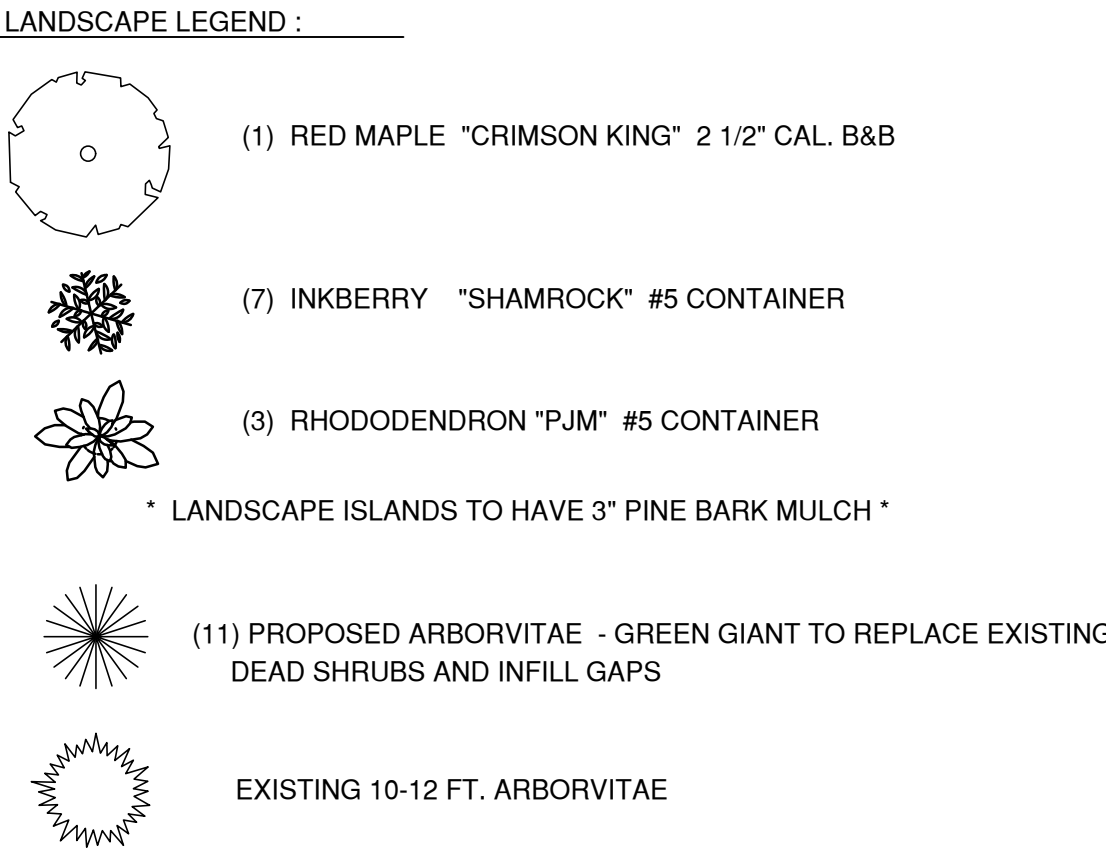
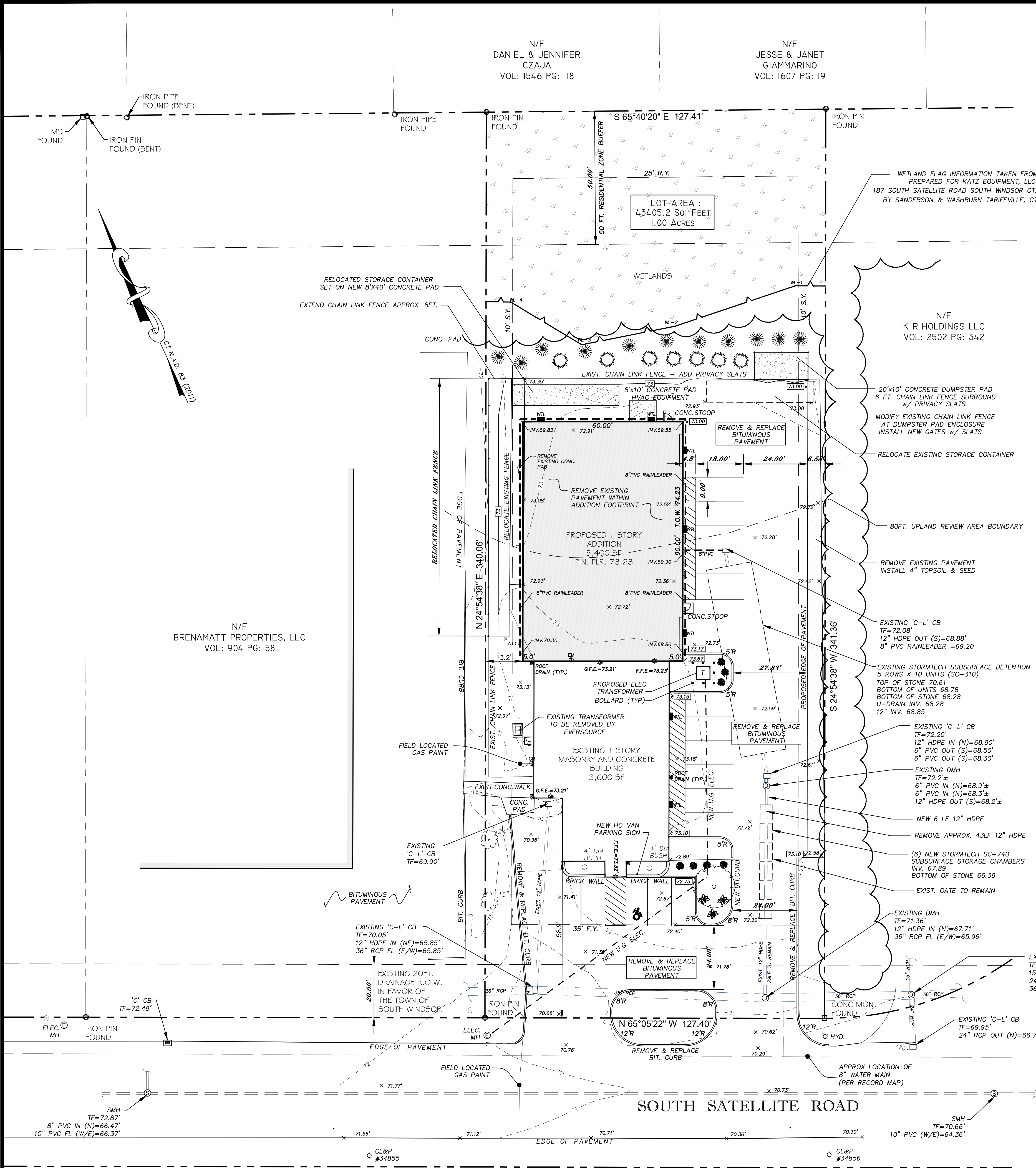
MSA PROJECT NO:

SCALE: 1"=20'
DATE: 2/12/2021

DRAWN BY: G.S.D.
CHECKED BY: D.G.M.

SHEET:

1 OF 1



- CONSTRUCTION SEQUENCE :
1. RELOCATE EXISTING CHAIN LINK FENCE AT WEST SIDE OF THE ADDITION
 2. INSTALL SILT FENCE EROSION CONTROL AND CATCH BASIN INLET FILTERS WHERE SHOWN ON SHEET C-102
 3. REMOVE EXISTING PAVEMENT WITHIN LIMITS OF NEW ADDITION
 4. REMOVE PAVEMENT FROM THE EXISTING GATE TO THE FENCE
 5. INSTALL ANTI-TRACKING APRON WHERE SHOWN ON SHEET C-102
 6. EXCAVATE FOR AND INSTALL THE FOUNDATION
 7. INSTALL RAINLEADER PIPING AND BACKFILL FOUNDATION
 8. GRADE PARKING AREA AND CONSTRUCT ADDITION
 9. REMOVE EXISTING PAVEMENT FROM ROAD TO THE EXISTING GATE
 10. FINE GRADE GRAVEL AND INSTALL BINDER COURSE IN PARKING LOT
 11. INSTALL BITUMINOUS CURBS, BACK FILL CURBS AND FINE GRADE
 12. INSTALL LANDSCAPE AND SEED DISTURBED AREAS
 13. REMOVE ALL EROSION CONTROL MEASURES ONCE NEW GRASS HAS BEEN ESTABLISHED

GENERAL SITE PLAN NOTES:

THE DEVELOPER SHALL NOTIFY THE TOWN ENGINEER'S OFFICE 24 HOURS IN ADVANCE TO SCHEDULE INSPECTION OF SUB-BASE, GRAVEL, PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES AND PIPES, SANITARY SEWERS AND MANHOLES.

ALL SITE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH TOWN OF SOUTH WINDSOR STANDARDS AND CONNECTICUT D.O.T. FORM 814, AS AMENDED

EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE "EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE SOIL CONSERVATION SERVICE.

NO SITE IMPROVEMENTS SUCH AS DRAINAGE, SANITARY SEWER, SIDEWALKS, EXCAVATIONS, FILLING, PAVEMENT OPERATIONS, ECT. SHALL COMMENCE UNTIL THE SITE ENGINEERING BOND, AS REQUIRED BY THE PLANNING AND ZONING COMMISSION, IS POSTED WITH THE TOWN OF SOUTH WINDSOR.

AN AS-BUILT PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO THE REQUEST FOR A CERTIFICATE OF OCCUPANCY.

ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY STAFF DURING CONSTRUCTION OF ANY SITE IMPROVEMENTS SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE, REPAIR, REPLACEMENT OF ALL REQUIRED CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF STAFF.

THE USE, STORAGE, OR DISPOSAL OF ANY MATERIALS NOT IN ACCORDANCE WITH WHAT IS SHOWN ON THE APPROVED PLANS, OR REQUIRED BY ANY REGULATORY AGENCY, MAY RESULT IN THE IMMEDIATE REVOCATION OF ANY PERMIT/APPROVAL GRANTED BY THE COMMISSION.

ALL FRONT LOT CORNERS ARE TO BE PINNED/STAKED AT THE TIME OF SUBMITTAL OF A REQUEST FOR A BUILDING PERMIT. WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED, ALL LOT CORNERS MUST BE PINNED.

NO SIGNAGE PROPOSED FOR THIS APPLICATION

ANY EXCESS EXCAVATED MATERIAL MUST BE DISPOSED OF IN A SUITABLE MANNER AND LOCATION ACCEPTABLE TO TOWN STAFF.

ANY APPROVED LANDSCAPING WILL BE SUBJECT TO FINAL REVIEW BY THE TOWN PLANNER FOR ADEQUACY AND SUITABILITY OF SPECIES IN THE LOCATIONS PROPOSED.

HANDICAP PARKING STALLS SHALL BE MARKED IN ACCORDANCE WITH STATE AND TOWN REGULATIONS

HORIZONTAL DATUM BASED ON N.A.D. 1983

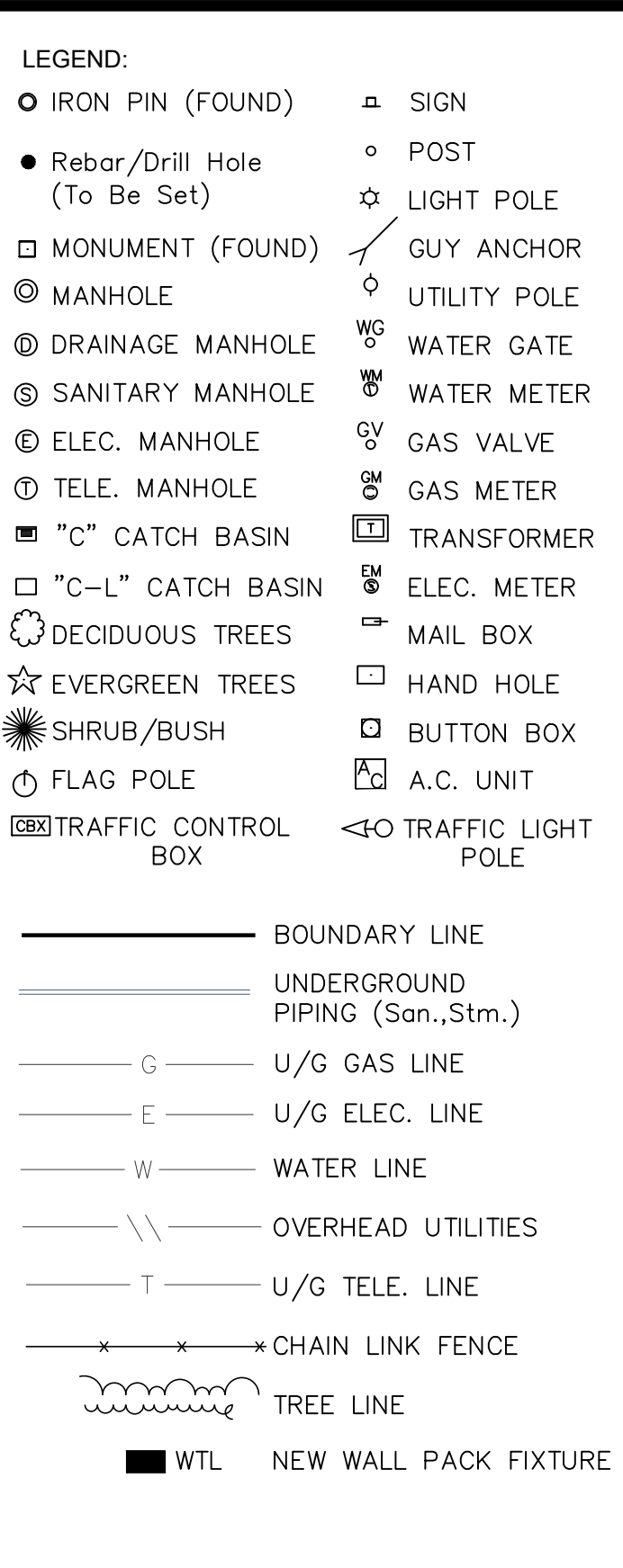
THERE ARE NO WETLANDS ON PARCEL

PARCEL IS NOT AFFECTED BY 100 YEAR FLOOD PLAIN

ALL ROOF LEADERS SHALL BE TIED INTO STORM DRAINAGE SYSTEM

ALL UTILITIES ARE TO BE TAPPED OFF EXISTING BUILDING SERVICES

A NEW UNDERGROUND ELECTRICAL SERVICE TO BE BROUGHT INTO THE SITE.



DATE	ISSUE
2-22-2021	P&Z APPLICATION
2-24-2021	ADD WETLAND LINE
3-16-2021	UPDATE DRAINAGE
4-12-2021	ADDITIONAL BUFFER PLANTINGS
4-12-2021	ADD PRIVACY SLATS IN EXIST. C.L. FENCE FACING BUFFER AREA

PDS ENGINEERING & CONSTRUCTION, INC.

107 Old Windsor Road
Bloomfield, Connecticut 06002
Telephone: (860) 242-8586
FAX (860) 242-8587

APPLICANT / SITE ENGINEERING :
PDS ENGINEERING & CONSTRUCTION
107 OLD WINDSOR ROAD
BLOOMFIELD, CONNECTICUT 06002
860-242-8586

SURVEYOR :
MARTIN SURVEYING ASSOCIATES, LLC.
210 CHRISTIAN LANE
BERLIN, CONNECTICUT 06037
860-832-9328

OWNER :
DAVE KOSTYK
ESTEEM MANUFACTURING CORP.
175 SOUTH SATELLITE ROAD
SOUTH WINDSOR, CONNECTICUT 06074
860-282-9964

PROJECT NAME:
ESTEEM MANUFACTURING CORP.
PROPOSED ADDITION

187 SOUTH SATELLITE ROAD
SOUTH WINDSOR, CONNECTICUT

PARCEL 47-114

DRAWING TITLE:
SITE GRADING & UTILITY PLAN

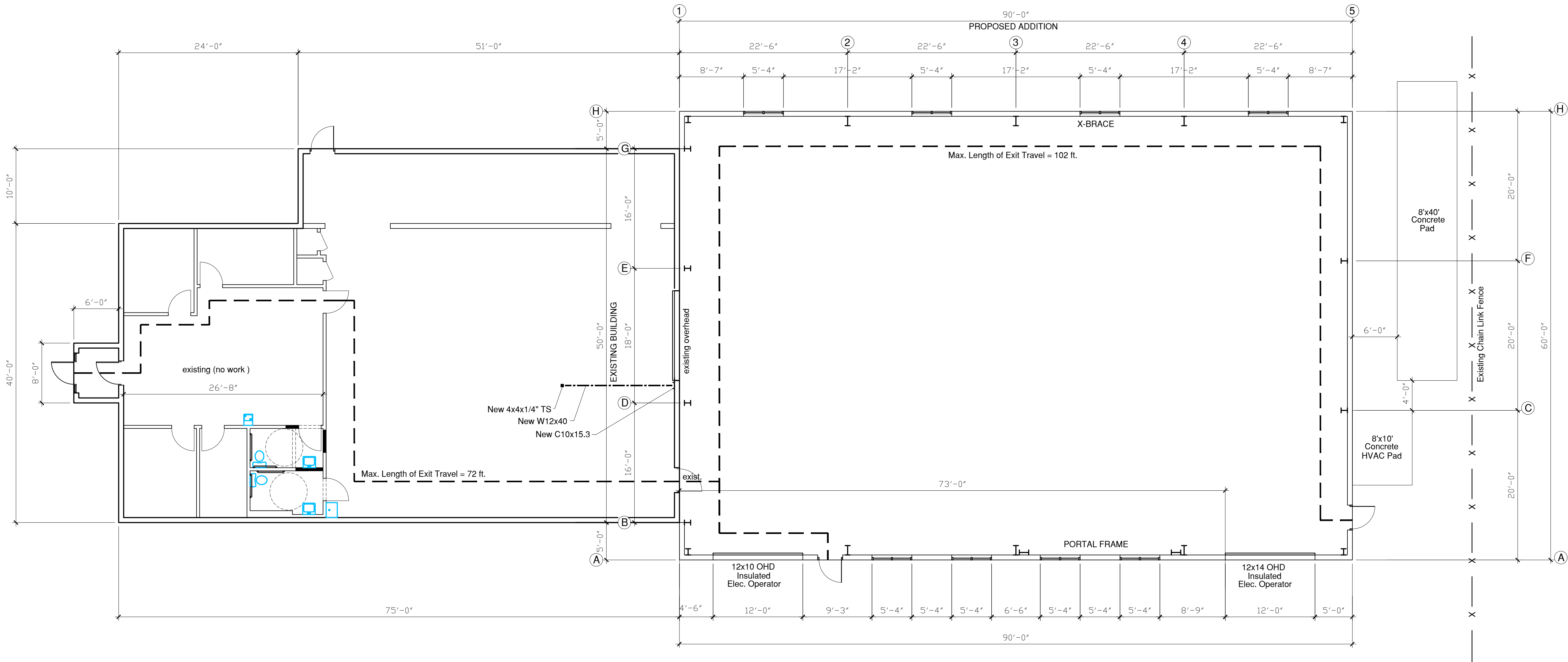
SEAL

ENGINEER: FB

ARCHITECT:

PROJECT MGR:

DRAFTED BY: FB



ADDITION FLOOR PLAN
1/8"=1'-0"

REQUIRED PLUMBING FIXTURES - 2015 IPC (Table 403.1)

Male Occupants	=	45	
Female Occupants	=	45	
Required (Industrial)			
Water Closet		Male	Female
Lavatories		1	1
Provided			
Water Closet		Male	Female
Lavatories		1	1
Required			
Drinking Fountain	1	1	
Service Sink	1	1	

BUILDING CODE DATA TABLE

2018 CONNECTICUT STATE BUILDING CODE
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE (NFPA-70)
ICC/ANSI A117.1-2009
2015 INTERNATIONAL ENERGY CONSERVATION CODE

BUILDING DESIGN LOADS :

ROOF LIVE LOAD = 20 PSF
GROUND SNOW LOAD = 30 PSF
GROUND SNOW EXPOSURE FACTOR = 1.0
GROUND SNOW IMPORTANCE FACTOR = 1.0
UNIFORM COLLATERAL LOAD = 5 PSF
BUILDING RISK CATEGORY II
ULTIMATE WIND SPEED = 125 MPH
WIND EXPOSURE CATEGORY = B
WIND IMPORTANCE FACTOR = 1.00
SEISMIC DESIGN CATEGORY B
SEISMIC IMPORTANCE FACTOR = 1.0
SEISMIC SITE CLASS D
SEISMIC : S_s = 17.8 %
S₁ = 6.4 %

BUILDING CLASSIFICATION: (EXISTING & ADDITION)

USE GROUP : F-2
CONSTRUCTION TYPE : VB
GENERAL BUILDING LIMITATIONS:
ALLOWABLE BUILDING AREA = 13,000 SF (TABLE 506.2)
ACTUAL BUILDING AREA = 8,958 SF
ALLOWABLE BUILDING HEIGHT : 2 STORY / 40 FT. (TABLES 504.4 & 504.3)
ACTUAL BUILDING HEIGHT : 1 STORY / 27 FT.
MEANS OF EGRESS:
DESIGN OCCUPANT LOAD (TABLE 1004.1.2)
8,958 SF / 100 = 90 occ.
MINIMUM NUMBER OF EXITS
MINIMUM NUMBER OF EXITS REQUIRED = 2 (TABLE 1006.3.1)
NUMBER OF EXITS PROVIDED = 3
MAXIMUM LENGTH OF EXIT ACCESS TRAVEL (TABLE 1017.2)
MAXIMUM LENGTH OF EXIT TRAVEL = 200 FT.
ACTUAL MAXIMUM LENGTH OF TRAVEL = 102 FT.

DATE	ISSUE
2-10-2021	PROGRESS DRAWING
2-22-2021	P&Z APPLICATION



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107 Old Windsor Road
Bloomfield, Connecticut 06002
Telephone: (860) 242-8586
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CONSULTANTS:

PROJECT NAME:
ESTEEM MANUFACTURING
PROPOSED ADDITION

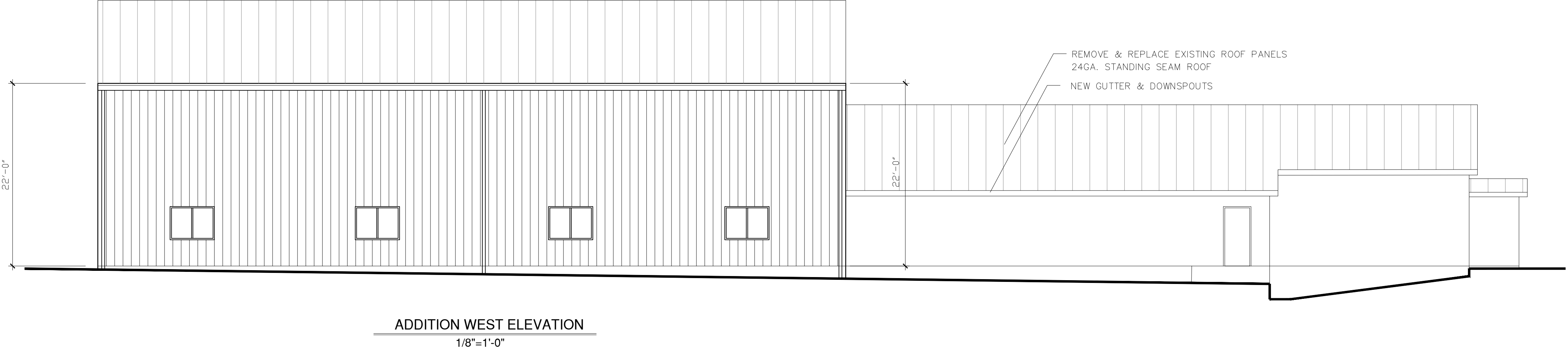
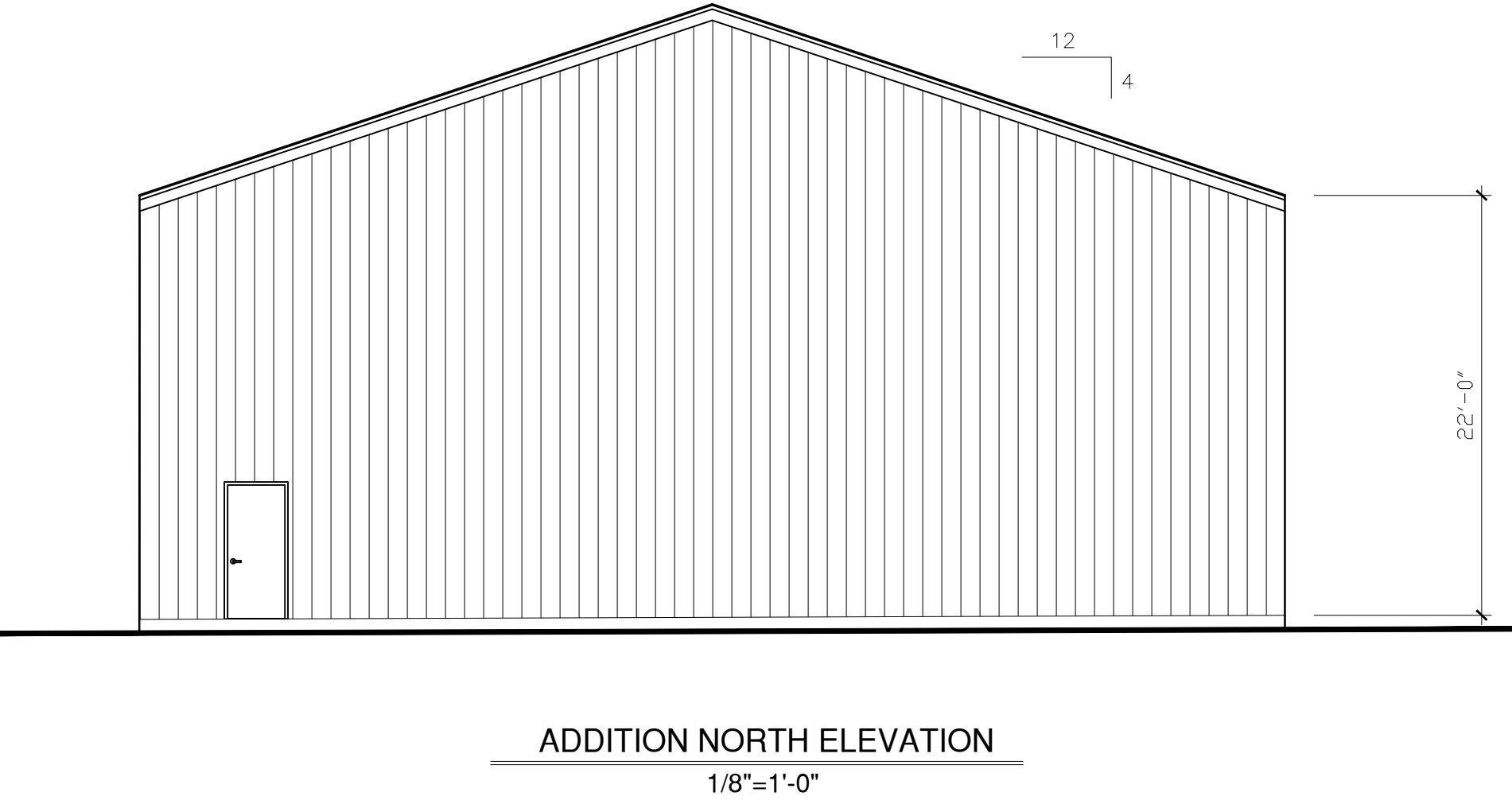
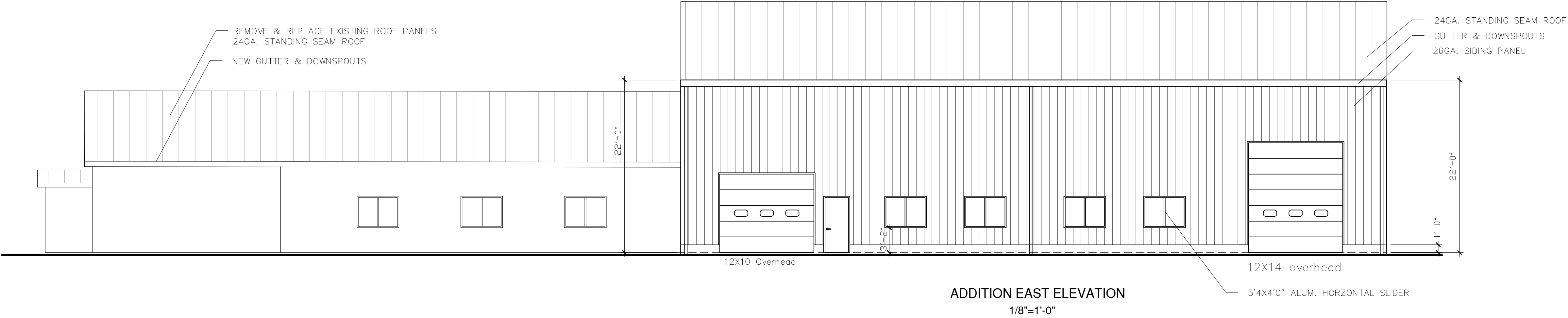
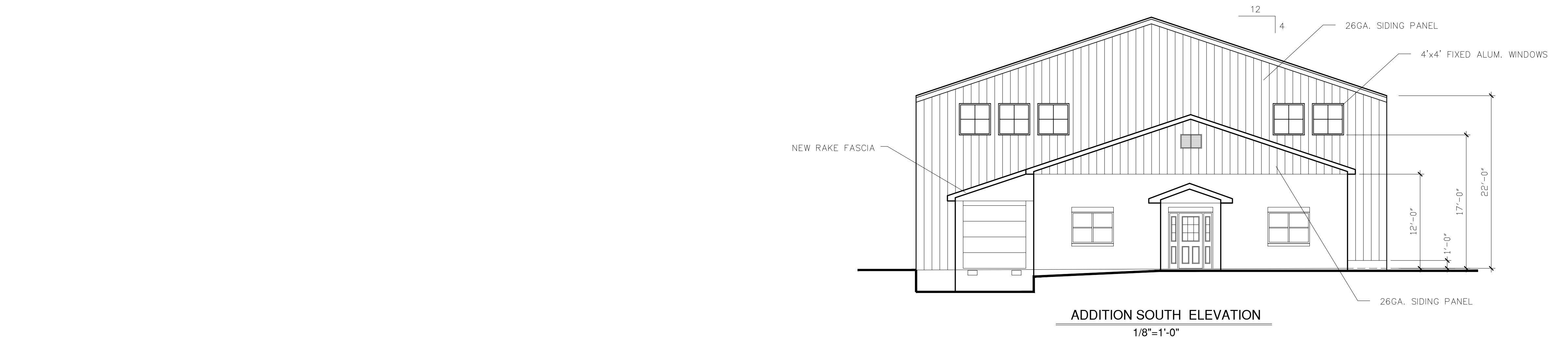
187 SOUTH SATELLITE ROAD
SOUTH WINDSOR, CONNECTICUT

DRAWING TITLE:
ADDITION FLOOR PLAN

SEAL

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

A-100



DATE	ISSUE
12.4.2020	PROGRESS DRAWING
12.7.2020	PROGRESS DRAWING
2-10-2021	PROGRESS DRAWING
2-22-2021	P&Z APPLICATION



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**ESTEEM MANUFACTURING
PROPOSED ADDITION**

187 SOUTH SATELLITE ROAD
SOUTH WINDSOR, CONNECTICUT

DRAWING TITLE:

EXTERIOR ELEVATIONS

SEAL

ENGINEER: FB
ARCHITECT:
PROJECT MGR:
DRAFTED BY: BF

A-200

