



Town of South Windsor
1540 SULLIVAN AVENUE • SOUTH WINDSOR, CONN. 06074
AREA CODE 860 / 644-2511

CERTIFIED MAIL
November 21, 1997

Matthew Galligan, Town Manager
Town of South Windsor
1540 Sullivan Avenue
South Windsor, CT 06074

Dear Mr. Galligan:

Re: Appl #97-93P, Wapping Community Center

We are pleased to advise you that the Planning & Zoning Commission voted on September 18, 1997 to approve with modifications the above referenced application for a Special Exception to Article 4.1.8 b & c of the Zoning Regulations and a Site Plan of Development for property located at 1776 Ellington Road, RR zone as shown on plans prepared by Design Professionals, Inc. Job No. 97-1035 and dated October 30, 1997. This approval is subject to the following modifications:

1. Parking formula shall be shown on the final plans.

Black and white transparent mylars of Sheet #2 with the above modifications, together with three blueprint copies of the entire set of plans must be submitted to this Commission within 30 days to be stamped and signed. The letters of approval of this Commission must be reproduced on the mylars.

After the Commission has signed the mylars, they will be returned to you for filing in the Office of the Town Clerk by March 1, 1998. After filing these plans, a copy of the receipt must be submitted to the Planning Department.

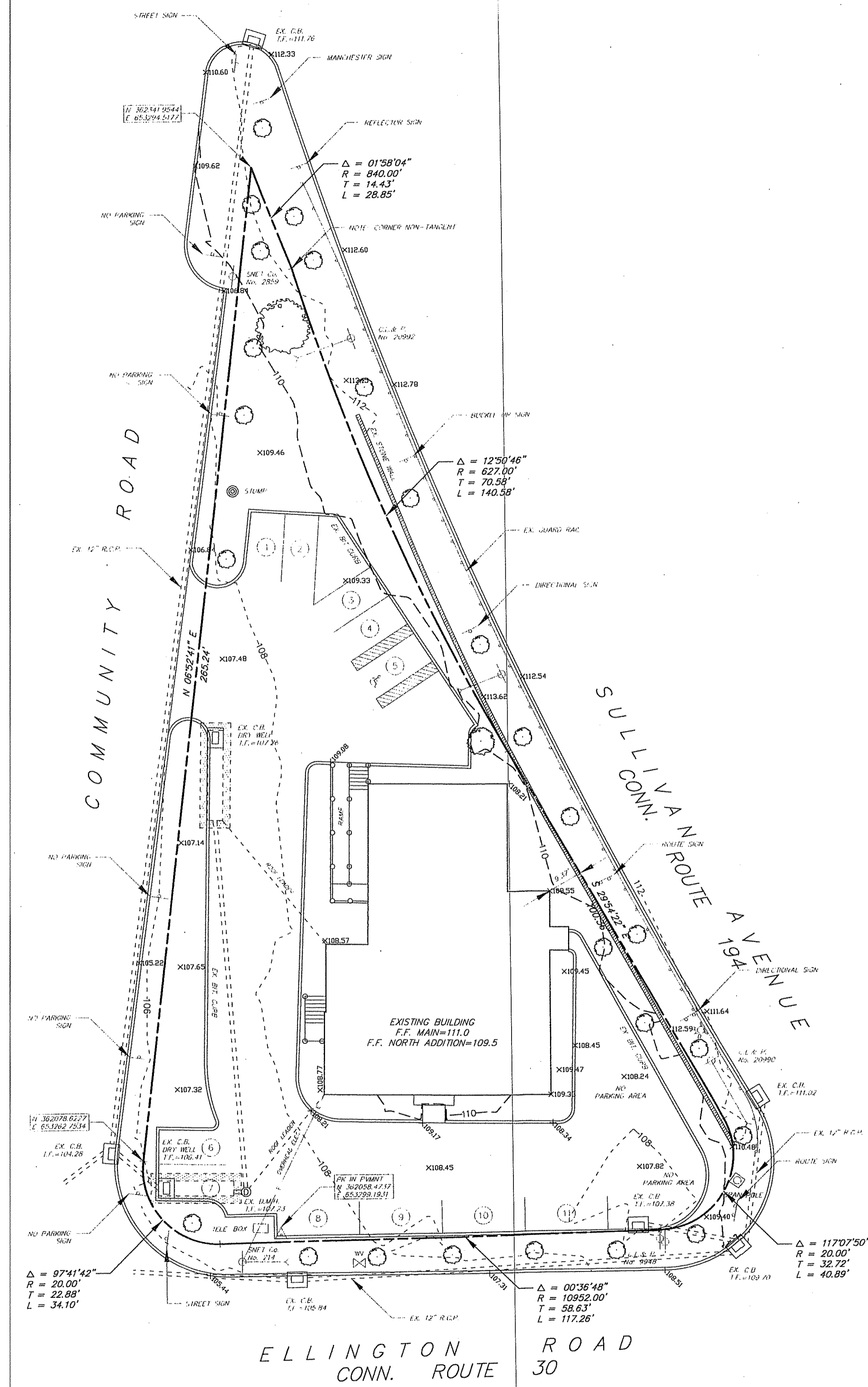
Very truly yours,

PLANNING & ZONING COMMISSION

Frank A. Castro
Frank A. Castro, Chairman

FAC/pmm

Cc: Town Engineer
Chief Building Official
Assessor
Superintendent of Pollution Control
Fire Marshal
Design Professionals, Inc.



- NOTES:
1. LOT AREA IS 22,538 sq. ft., 0.51 ac.
 2. PARCEL ZONED RURAL RESIDENTIAL.
 3. ALL MONUMENTATION FOUND OR SET IS DEPICTED HEREON.
 4. COORDINATE VALUES ARE TAKEN FROM MAP REFERENCES Nos. 1 AND 3, AND ARE BASED ON A RANDOM DATUM.
 5. BOUNDARY BASED ON MAP REFERENCES Nos. 1 AND 3.
 6. VARIANCES TO THE SOUTH WINDSOR ZONING REGULATIONS GRANTED ON OCT. 6, 1988, VOL. 543 PG. 427 OF THE SOUTH WINDSOR LAND RECORDS FOR:
 - a). ALLOW ADAPTIVE RE-USE OF EXISTING BUILDING.
 - b). FRONT YARD SETBACKS.
 - c). PARKING SPACE SIZE OF 9' x 18'.
 - d). TWENTY EIGHT PARKING SPACES.
 - e). BUFFER VARIANCE.
 7. VARIANCE TO THE SOUTH WINDSOR ZONING REGULATIONS GRANTED ON JULY 5, 1990, VOL. 596 PG. 180 OF THE SOUTH WINDSOR LAND RECORDS FOR THE ALLOWANCE OF LOT AREA FROM 26,416 sq. ft. TO 25,153 sq. ft.

MAP REFERENCES:

1. "COMPILATION MAP - TOWN OF SOUTH WINDSOR - MAP SHOWING LAND RELEASED TO THE TOWN OF SOUTH WINDSOR BY THE STATE OF CONNECTICUT - CONN. ROUTE 194", SCALE 1"=40', DATED JULY 1993, PROJECT No. 132-102, SERIAL No. 108, SHEET 1 OF 1. PREPARED BY JAMES F. BYRNES.
2. "AS-BUILT PLAN - D.W. FISH OFFICE BUILDING - 1776 ELLINGTON ROAD - SOUTH WINDSOR, CONNECTICUT", SCALE 1"=20', DATED SEPT. 8, 1988, REV. TO JUNE 13, 1990, JOB No. 87-226, SHEET 1 OF 3. PREPARED BY DESIGN PROFESSIONALS, INC.
3. "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION - RECONSTRUCTION OF CONN. ROUTES 30 AND 194 AND BUCKLAND ROAD", DATED 1991, SHEET 35 OF 130, PROJECT No. 132-102.

RECEIVED
JAN 27 2020
SOUTH WINDSOR PLANNING DEPT.

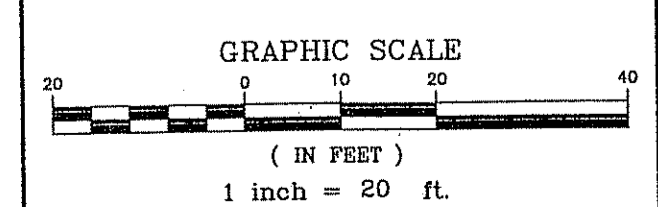
#20-06P

REVISIONS			
NO.	DATE	DESCRIPTION	BY

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. THIS TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

12882
LIC. No.

RICHARD P. MARTEL



Design Professionals, Inc.
Civil Engineers • Planners • Surveyors • GIS
165 south satellite road • south windsor • connecticut 06074

SITE PLAN		
DESIGN:	DRAWN: SRB	CHECKED: RPM
JOB NO.: 97-1035	DATE: OCT. 30, 1997	
DRAWING NO.: D: \JOB\971035\971035		

PROPERTY SURVEY / RESURVEY PREPARED FOR
The Town of South Windsor
1776 Ellington Road
SOUTH WINDSOR CONNECTICUT

SHEET
2
2