

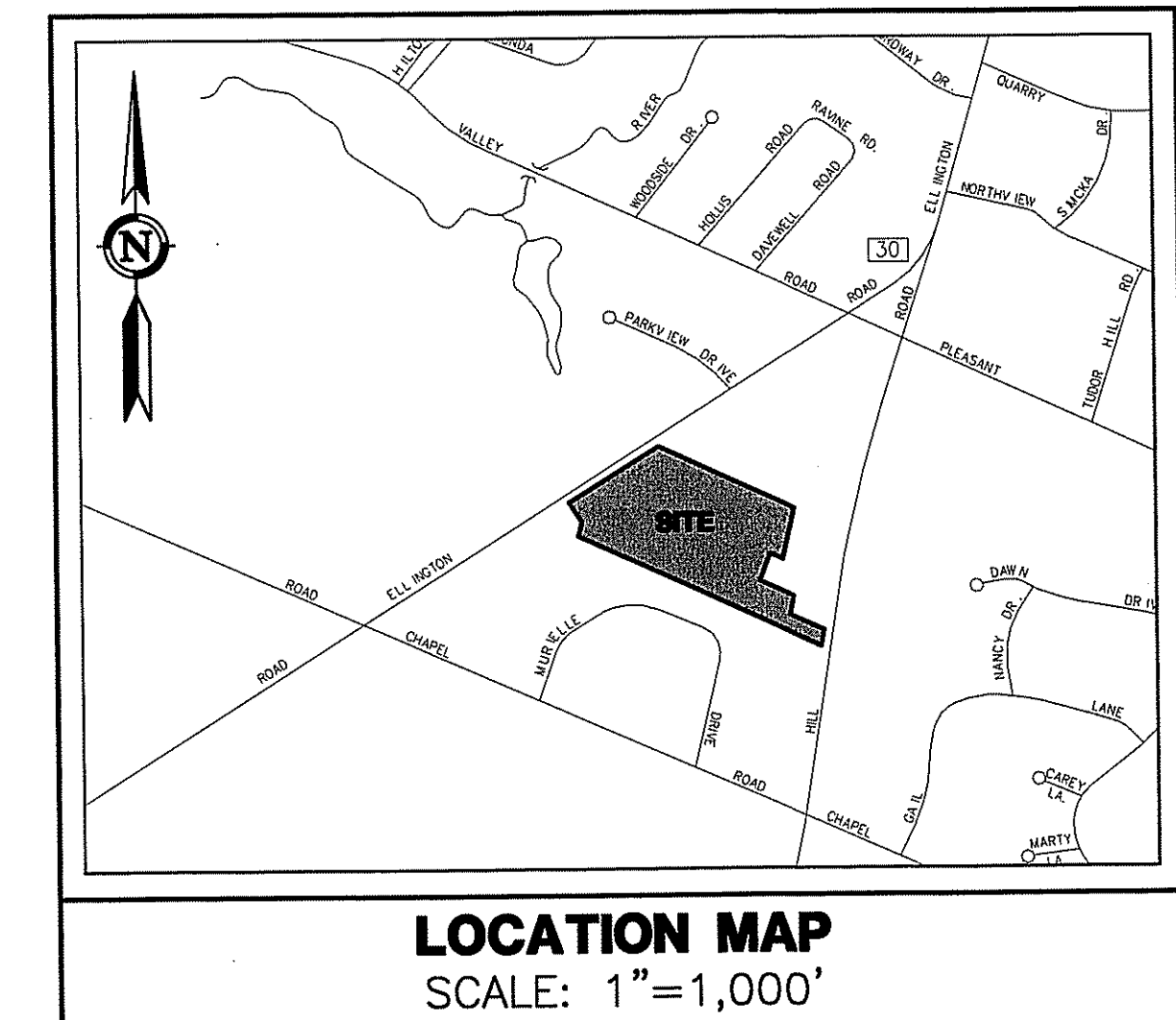
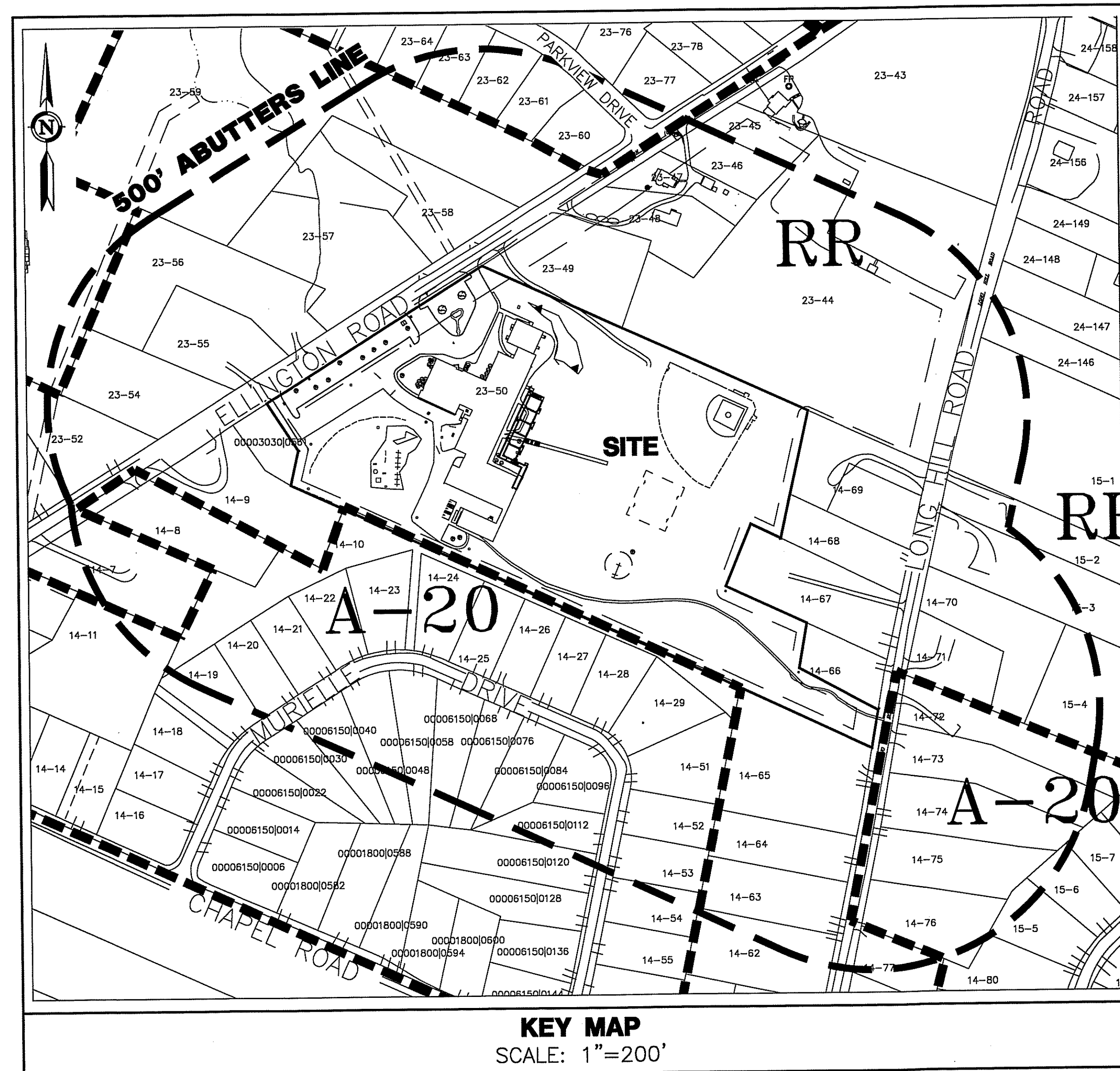
PLEASANT VALLEY ELEMENTARY SCHOOL TEMPORARY CLASSROOMS

SITE PLAN MODIFICATION

591 ELLINGTON ROAD ~ SOUTH WINDSOR ~ CONNECTICUT
MAP 50, LOT 23

ZONING TABLE			
ZONE: RR (RURAL RESIDENTIAL)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SQ.FT.	15.51 AC	15.51 AC
LOT FRONTAGE	175'	576.49'	576.49'
LOT DEPTH	200'	1124.3'	1124.3'
FRONT YARD	50'	112.9'	112.9'
SIDE YARD	20'	70'	70'
REAR YARD	50'	526.2'	526.2'
BUILDING HEIGHT	30' / 2 ¹ / ₂ STORIES	1	1
LOT COVERAGE	15%	7.1%	~8.2% (+7,300 SF±)

N/F 500' ABUTTERS		
STREET ADDRESS	OWNER	PARCEL ID
549 ELLINGTON ROAD	PELLETIER GARY & LINDA	30300549
554 ELLINGTON ROAD	PRICE LEON	30300554
561 ELLINGTON ROAD	HEBERT AIMEE A & ADAM M	30300561
566 ELLINGTON ROAD	HORNAT JOHN V & ARLENE V	30300566
578 ELLINGTON ROAD	CAMPOS MARCEL R & MARIA A	30300578
591 ELLINGTON ROAD	SOUTH WINDSOR TOWN OF 17	30300591
600 ELLINGTON ROAD	FALLETTI MATTHEW S	30300600
620 ELLINGTON ROAD	ROTHWELL DOUGLAS A & DIANE B TRUSTEES	30300620
242 LONG HILL ROAD	KRAWFSKY JANICE E & ETAL TRUSTEE	54600242
243 LONG HILL ROAD	FITZGERALD JOY A PARKER	54600243
252 LONG HILL ROAD	URSIN TYLER	54600252
260 LONG HILL ROAD	CORRENTI SANTO A & TIA M	54600260
263 LONG HILL ROAD	KENNEDY CLAIRE	54600263
268 LONG HILL ROAD	BASTURA DENISE &	54600268
273 LONG HILL ROAD	MASSON LISE V	54600273
283 LONG HILL ROAD	JOURNEY FOUND INC	54600283
293 LONG HILL ROAD	JOURNEY FOUND INC	54600293
303 LONG HILL ROAD	BOISSEAU ROGER M & EILEEN K	54600303
53 MURIELLE DRIVE	KAPIL PRANAV	61500053
61 MURIELLE DRIVE	GUDAUSKAS MATTHEW W & HOLLY T	61500061
67 MURIELLE DRIVE	CRICHTON PETER & OLIVER JOANNE	61500067
75 MURIELLE DRIVE	COMMUNITY HEALTHCARE CREDIT UNION INC	61500075
83 MURIELLE DRIVE	HODGE DAVID & DANIELLE	61500083
91 MURIELLE DRIVE	BOURKE GEORGE W & CYNTHIA	61500091
97 MURIELLE DRIVE	MIKULSKI ENID CORASH	61500097
101 MURIELLE DRIVE	HAYDEN MICHAEL H & CATHY J	61500101
R044 ELLINGTON ROAD	ST FRANCIS OF ASSISI CHURCH CORP	3030R044
L020 LONG HILL ROAD	ST FRANCIS OF ASSISI CHURCH CORP	5460L020
L003B MURIELLE DRIVE	SOUTH WINDSOR TOWN OF 38	6150L003B



SHEET INDEX		
C-T1	TITLE	1 OF 3
C-SP1	LAYOUT, GRADING, & E&S PLAN	2 OF 3
C-D1	NOTES, DETAILS, & LEGEND	3 OF 3
V-2	PROPERTY & TOPOGRAPHIC SURVEY	2 OF 3
	ARCHITECTURAL PROPOSED CLASSROOM FLOOR PLAN AND ELEVATION (BY OTHERS)	

**PRELIMINARY
NOT FOR CONSTRUCTION**
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE
REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE
TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

• THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND
ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR
LANDSCAPE ARCHITECT.

• REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN
STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE
INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.

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ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

**CIVIL ENGINEER & LAND
SURVEYOR:**

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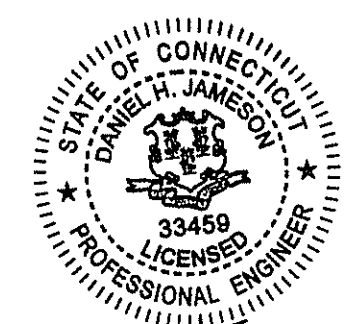
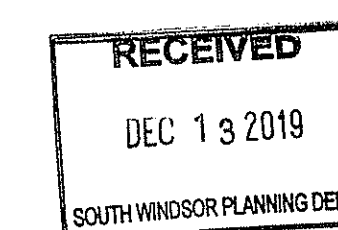
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ARCHITECT:

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PROPERTY OWNER & APPLICANT:

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074



12-9-19

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**design
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CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

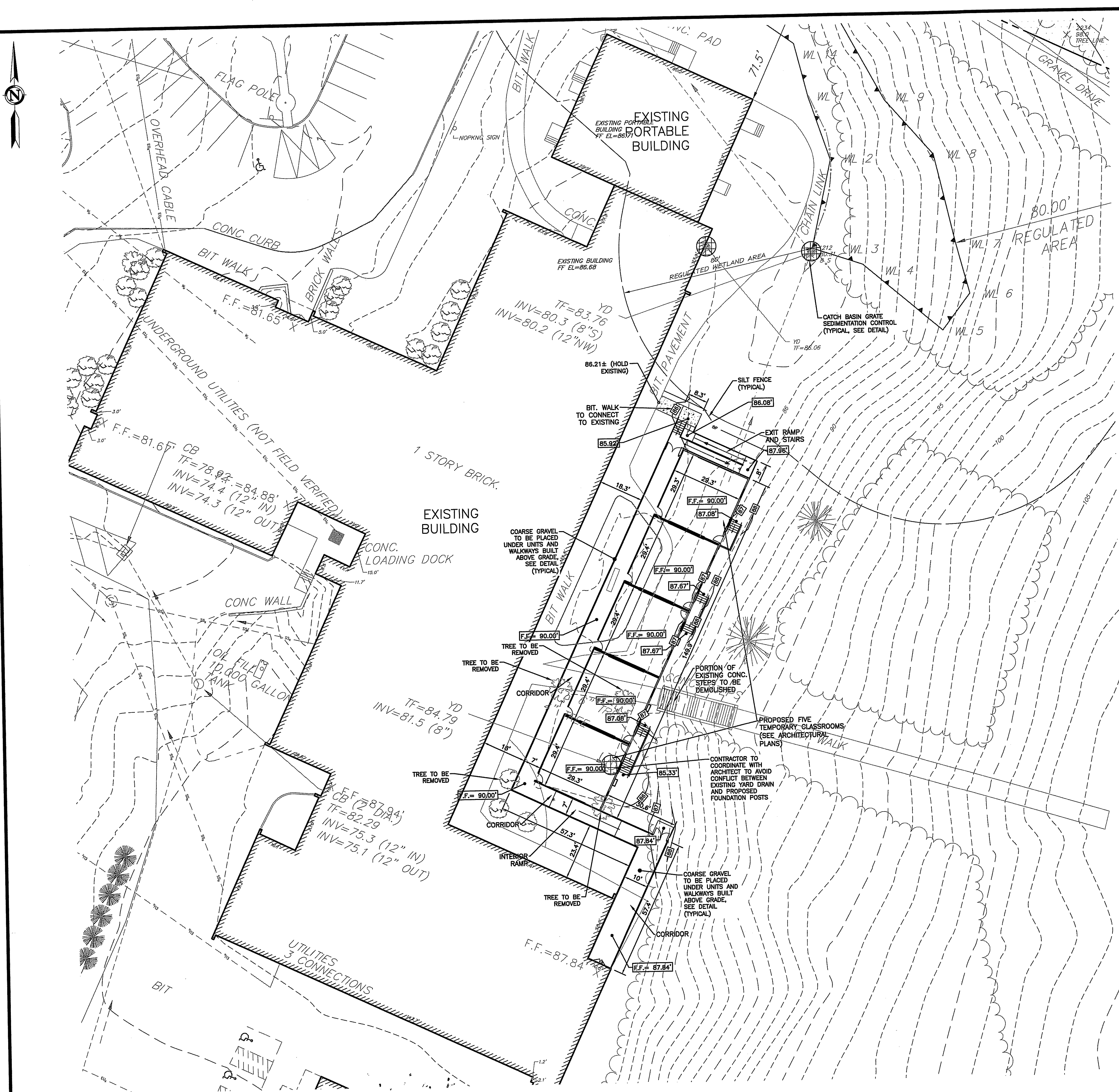
Prepared for:
TOWN OF SOUTH
WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT
06074

PROJECT NO:
4002
DATE:
12/9/19
DRAWN BY:
BPW
CHECKED BY:
REM
SCALE:
SHEET 1 OF 3

**PLEASANT VALLEY ELEMENTARY
SCHOOL TEMPORARY CLASSROOMS**
591 ELLINGTON ROAD
MAP 50, LOT 23
SOUTH WINDSOR, CONNECTICUT
SITE PLAN MODIFICATION

NO.	DATE	REVISIONS

TITLE
C-T1
SHEET 1 OF 3



- REFERENCES:**
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, PLEASANT VALLEY ELEMENTARY SCHOOL, 591 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 2/28/2019 PREPARED BY DESIGN PROFESSIONALS, INC.
- PLAN NOTES:**
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION. THIS PLAN SHALL BE USED FOR LAYOUT, GRADING, & EROSION AND SEDIMENTATION CONTROL PURPOSES ONLY.
2. THE CONTRACTOR SHALL COORDINATE THE FINAL ELECTRICAL UTILITY SERVICE WITH THE LOCAL UTILITY COMPANY. FINAL ELECTRICAL SERVICE SHALL BE SHOWN ON AS-BUILT.
3. REFER TO THE NOTES, DETAILS, & LEGEND SHEET FOR CONSTRUCTION NOTES.

- ACCESSIBLE ROUTE NOTES:**
THE CONTRACTOR SHALL REVIEW THE PROPOSED CONSTRUCTION WITH THE LOCAL BUILDING OFFICIAL PRIOR TO THE START OF CONSTRUCTION. CONTRACTORS SHALL BE PRECISE IN THE CONSTRUCTION OF ADA (AMERICANS WITH DISABILITIES ACT) COMPLIANT ACCESSIBLE PARKING, COMPONENTS AND ACCESS ROUTES FOR THE PROJECT. THESE COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA REGULATIONS AND CONSTRUCTION STANDARDS. THESE COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- PARKING SPACES AND PARKING AISLES SHALL NOT EXCEED A 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) SLOPE IN ANY DIRECTION.
 - CURB RAMPS- SHALL NOT EXCEED A 1:12 (8.3%) SLOPE FOR A MAXIMUM LENGTH OF SIX (6) FEET.
 - RAMPS SHALL BE EQUIPPED WITH LANDINGS AT EACH END, SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
 - ACCESSIBLE ROUTES SHALL BE A MINIMUM OF 36" WIDE (UNOBSTRUCTED), HANDRAILS AND CAR OVERHANGS MAY NOT OBSTRUCT THESE AREAS. LONGITUDINAL SLOPES (DIRECTION OF TRAVEL) SHALL NOT EXCEED 1:20 (5.0%) AND SHALL HAVE A CROSS SLOPE NO GREATER THAN 1:50 (2.0%).
 - ACCESSIBLE ROUTES EXCEEDING 1:20 (5.0%) SHALL BE CONSIDERED A "RAMP". MAXIMUM SLOPES OF A RAMP SHALL BE 1:12 (8.3%) IN THE DIRECTION OF TRAVEL, AND A CROSS SLOPE OF 1:50 (2.0%). RAMPS SHALL HAVE MAXIMUM RISE OF 2.5 FEET, SHALL BE EQUIPPED WITH HAND RAILS AND LANDINGS AT THE TOPS AND BOTTOM OF THE RAMP. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING.
 - A LANDING SHALL BE PROVIDED AT THE EXTERIOR OF ALL DOORS. LANDINGS SHALL NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION AND HAVE POSITIVE DRAINAGE AWAY FOR THE LANDING. THE LANDING SHALL BE NO LESS THAN 60 INCHES LONG UNLESS PERMITTED OTHERWISE PER THE ADA REGULATIONS
 - SMOOTH AND GRADUAL TRANSITIONS BETWEEN DIFFERENT SURFACES SHALL BE PROVIDED FOR FLUSH CONDITIONS ALONG THE ACCESSIBLE ROUTES. CHANGES IN LEVEL BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN IN AREAS OF EXISTING DOORWAYS, ACCESSIBLE ROUTES OR OTHER AREAS WHERE RE-CONSTRUCTION IS PROPOSED. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY FIELD CONDITIONS THAT DIFFER IN ANY MANNER FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK.

ZONING TABLE			
ZONE: RR (RURAL RESIDENTIAL)			
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PROJECT CONTACT INFO:

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVE
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PROPERTY OWNER & APPLICANT:

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Design Professionals
CIVIL & TRAFFIC ENGINEERS
PLANNERS & SURVEYORS
US ANALYSTS / LANDSCAPE ARCHITECTS

Prepared for:
TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074

PROJECT NO: 4022
DATE: 12/27/23
DRAWN BY: BPW
CHECKED BY: REM
DESIGNED BY: SPC

PLEASANT VALLEY ELEMENTARY SCHOOL TEMPORARY CLASSROOMS
591 ELLINGTON ROAD
MAP 50, LOT 23
SOUTH WINDSOR, CONNECTICUT
SITE PLAN MODIFICATION

LAYOUT, GRADING, AND E&S PLAN

NO. DATE REVISIONS

SCALE: 0' 30' 60' 120' 240' 480'

SHEET 2 OF 3

C-SP1