

EDUCATIONAL PLAYCARE CENTER

SPECIAL EXCEPTION SITE PLAN

742 ELLINGTON ROAD ~ SOUTH WINDSOR ~ CT
MAP 24, LOTS 1

ZONING TABLE

ZONE: RC (RESTRICTED COMMERCIAL ZONE)			
ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	30,000 SQ.FT. (MIN)	121,790± SQ.FT.	121,790± SQ.FT.
LOT FRONTAGE	150'	470.7'	470.7'
LOT DEPTH	150'	292.6'	292.6'
FRONT YARD	65'	N/A	110.8'
REAR YARD	25'	N/A	77.0'
SIDE YARD	10'	N/A	67.5'
HEIGHT	45 FT / 3 STORIES	N/A	<40' (1 STORY)
PARKING	50	N/A	50
IMPERVIOUS COVERAGE	60%	0%	34.3% (0.96 Acres Impervious)
LOT COVERAGE (BUILDING ONLY)	25%	0%	13.6%
PARKING LOT INTERIOR LANDSCAPING	10%	N/A	11.2%

ABUTTERS

Site Address	Owner Name	Parcel ID
38 DAVEWELL ROAD	ETHERIDGE ALTON B III & LISA M	26100038
48 DAVEWELL ROAD	PATY ABIGAIL D & JOHN A	26100048
64 DAVEWELL ROAD	BURNS JOSEPH E III & KATHLEEN MARIE	26100064
718 ELLINGTON ROAD	CAVALIERE FRANK N & CHERYL A TRUSTEES	30300718
678 PLEASANT VALLEY ROAD	CLOUSER EILEEN R & DOUGLAS C	72900678
755 ELLINGTON ROAD	MANNARINO BUILDERS INC	30300755
672 PLEASANT VALLEY ROAD	DOW ALAN L & KAROL H	72900672
56 DAVEWELL ROAD	LAPENTA RICHARD A JR	26100056
779 ELLINGTON ROAD	PINKNEY CRAIG T &	30300779
729 ELLINGTON ROAD	WOLF HELMAR	30300729
32 DAVEWELL ROAD	JESKI SANDRA C	26100032
664 PLEASANT VALLEY ROAD	PATEL BHUPENDRA C & TARULATA B	72900664
22 DAVEWELL ROAD	RUSSO THERESE	26100022
772 ELLINGTON ROAD	STONE DAVID E	30300772
60 DAVEWELL ROAD	PILATTI ERICH C, REGINA M & ROBERT P	26100060
771 ELLINGTON ROAD	SOUTH WINDSOR HISTORICAL SOCIETY	30300771

PROPERTY OWNERS:

HANK, LLC
125 WESTLEDGE ROAD
SIMSBURY, CT 06092

APPLICANT:

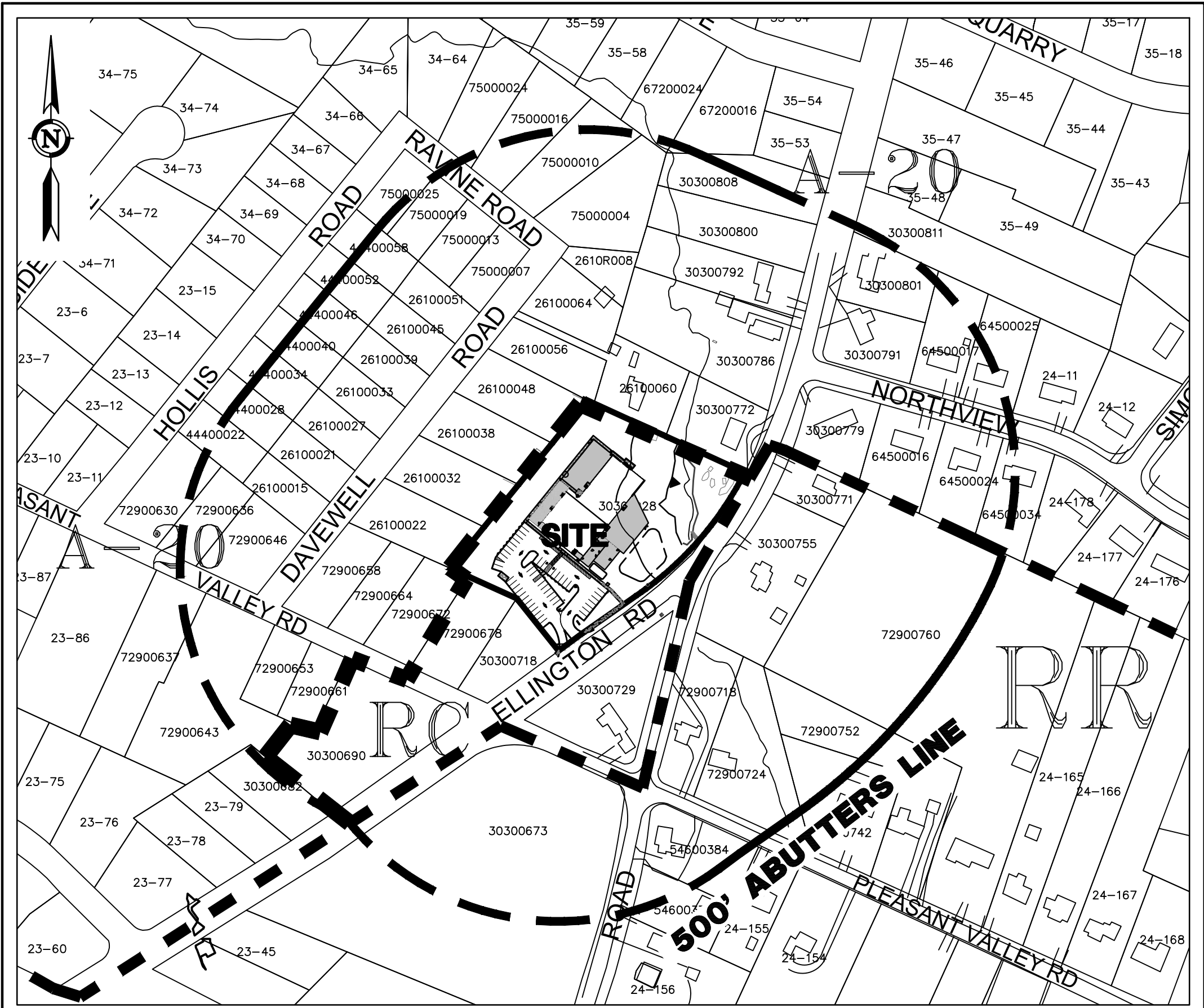
EDUCATIONAL PLAYCARE, LTD.
555 DAYHILL ROAD
WINDSOR, CT 06095
860-803-0807

PRELIMINARY
NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY. INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

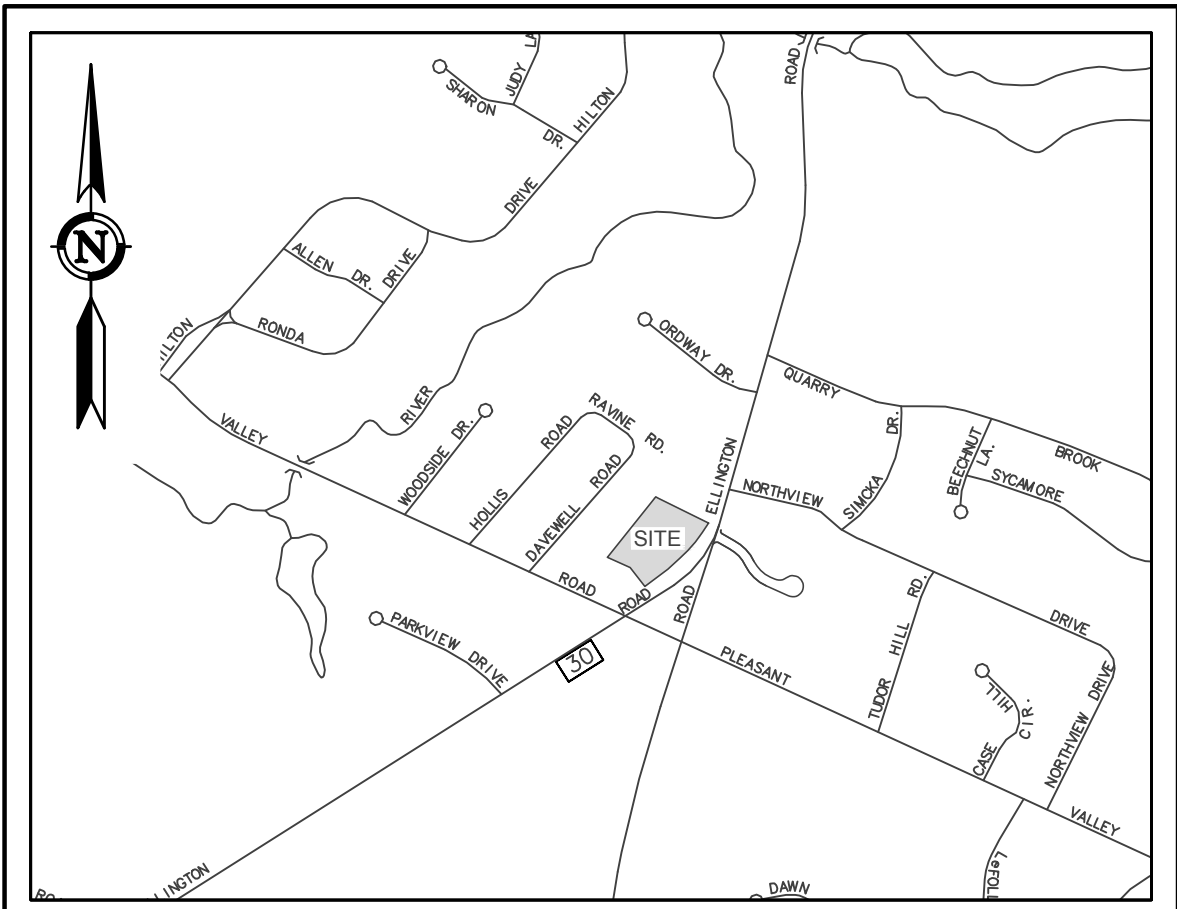
GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
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KEY MAP

SCALE: 1"=200'



LOCATION MAP

SCALE: 1"=1,000'

SHEET INDEX

C-T1	COVER SHEET	1 OF 12
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C-UT1	DRAINAGE & UTILITY PLAN	4 OF 12
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C-ES2	EROSION AND SEDIMENTATION CONTROL NOTES & DETAILS	6 OF 12
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C-LT1	LIGHTING PLAN (BY OTHERS)	9 OF 12
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C-D2 & D3	DETAILS	11 & 12 OF 12
V-1	PROPERTY & IMPROVEMENT LOCATION SURVEY	1 OF 1
	ARCHITECTURAL ELEVATIONS (BY OTHERS)	
	ARCHITECTURAL FLOOR PLANS (BY OTHERS)	

CIVIL ENGINEER, LANDSCAPE ARCHITECT,
& LAND SURVEYOR:

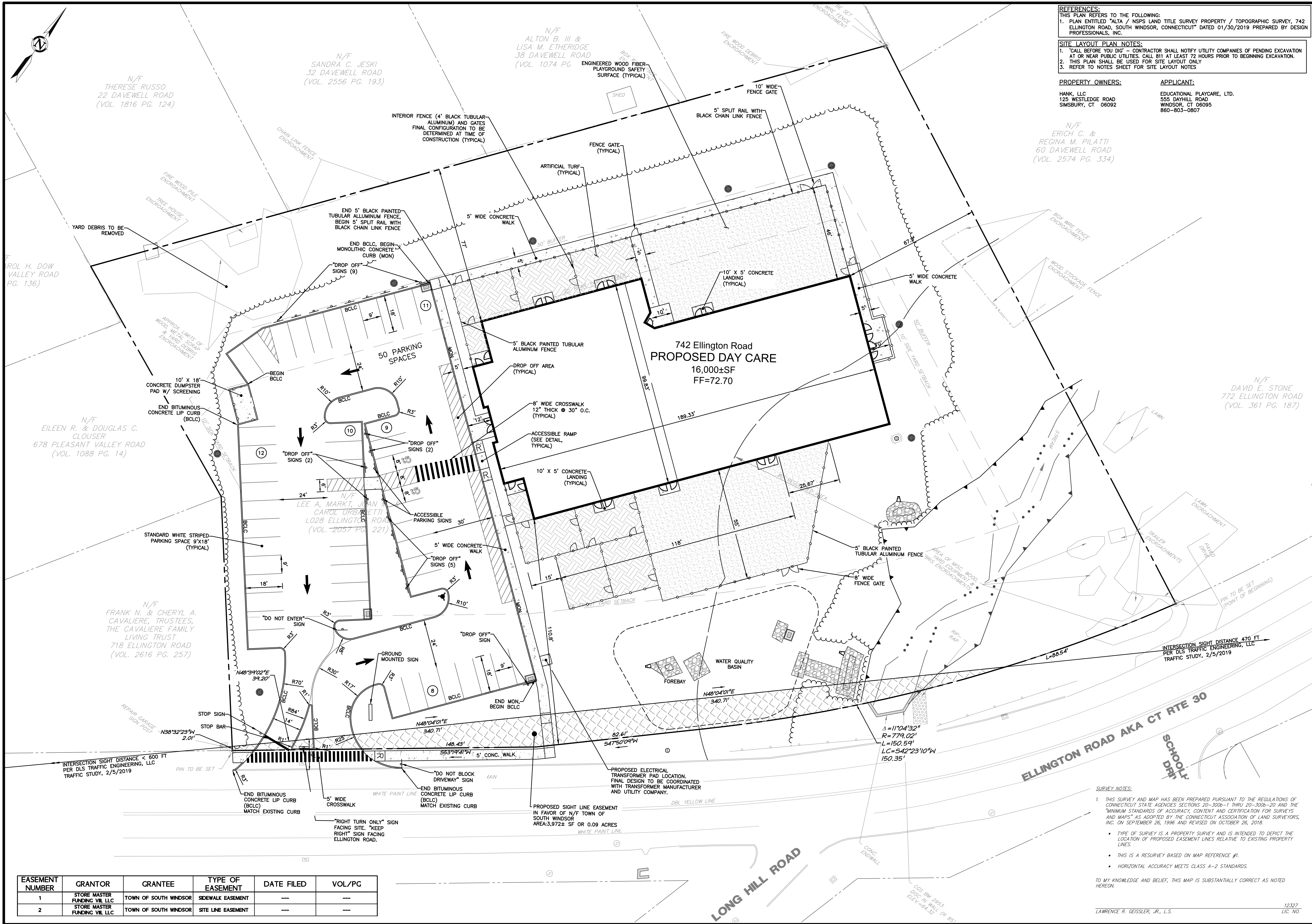


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ARCHITECT

DCarchitecture, llc
11 Kettle Pond Road lane
Granby, CT 06035
(860) 205-9549



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "ALTA / NSPS LAND TITLE SURVEY PROPERTY / TOPOGRAPHIC SURVEY, 742 ELLINGTON ROAD, SOUTH WINDSOR, CONNECTICUT" DATED 01/30/2019 PREPARED BY DESIGN PROFESSIONALS, INC.
SITE LAYOUT PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES.

PROPERTY OWNERS:
HANK, LLC
125 WESTLEDGE ROAD
SIMSBURY, CT 06092
APPLICANT:
EDUCATIONAL PLAYCARE, LTD.
555 DAYHILL ROAD
WINDSOR, CT 06095
860-803-0807
N/F ERICH C. & REGINA M. PILATTI
60 DAVEWELL ROAD
(VOL. 2574 PG. 334)

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Prepared for:
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WINDSOR, CT 06095
860-803-0807

PROJECT NO.	DATE	BY	FOR
4207	4/26/19	DHI	SPC

DESIGNED BY: DHI
CHECKED BY: SPC
DATE: 4/26/19

EDUCATIONAL PLAYCARE CENTER
742 ELLINGTON ROAD
MAP 24, LOT 1
SOUTH WINDSOR, CT
SPECIAL EXCEPTION SITE PLAN

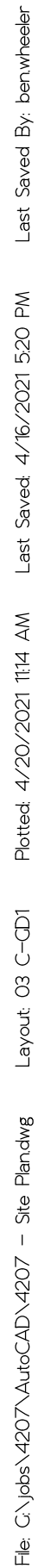
NO.	DATE	BY	REVISIONS
1	2/7/19	DHI	REVISED PER TOWN STAFF COMMENTS
2	3/7/19	DHI	REVISED PER TOWN STAFF COMMENTS
3	4/16/21	BPW	REVISED PER DRAFT APPROVAL CONDITIONS

SCALE: 0' 10' 20' 40'
1" = 20'

SITE PLAN

SHEET
C-SP1
SHEET 2 OF 12

SURVEY NOTES:
1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND REVISED ON OCTOBER 26, 2018.
• TYPE OF SURVEY IS A PROPERTY SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF PROPOSED EASEMENT LINES RELATIVE TO EXISTING PROPERTY LINES.
• THIS IS A RESURVEY BASED ON MAP REFERENCE #1.
• HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS.
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
LAWRENCE R. GEISSLER, JR., L.S.
12327
LIC. NO.

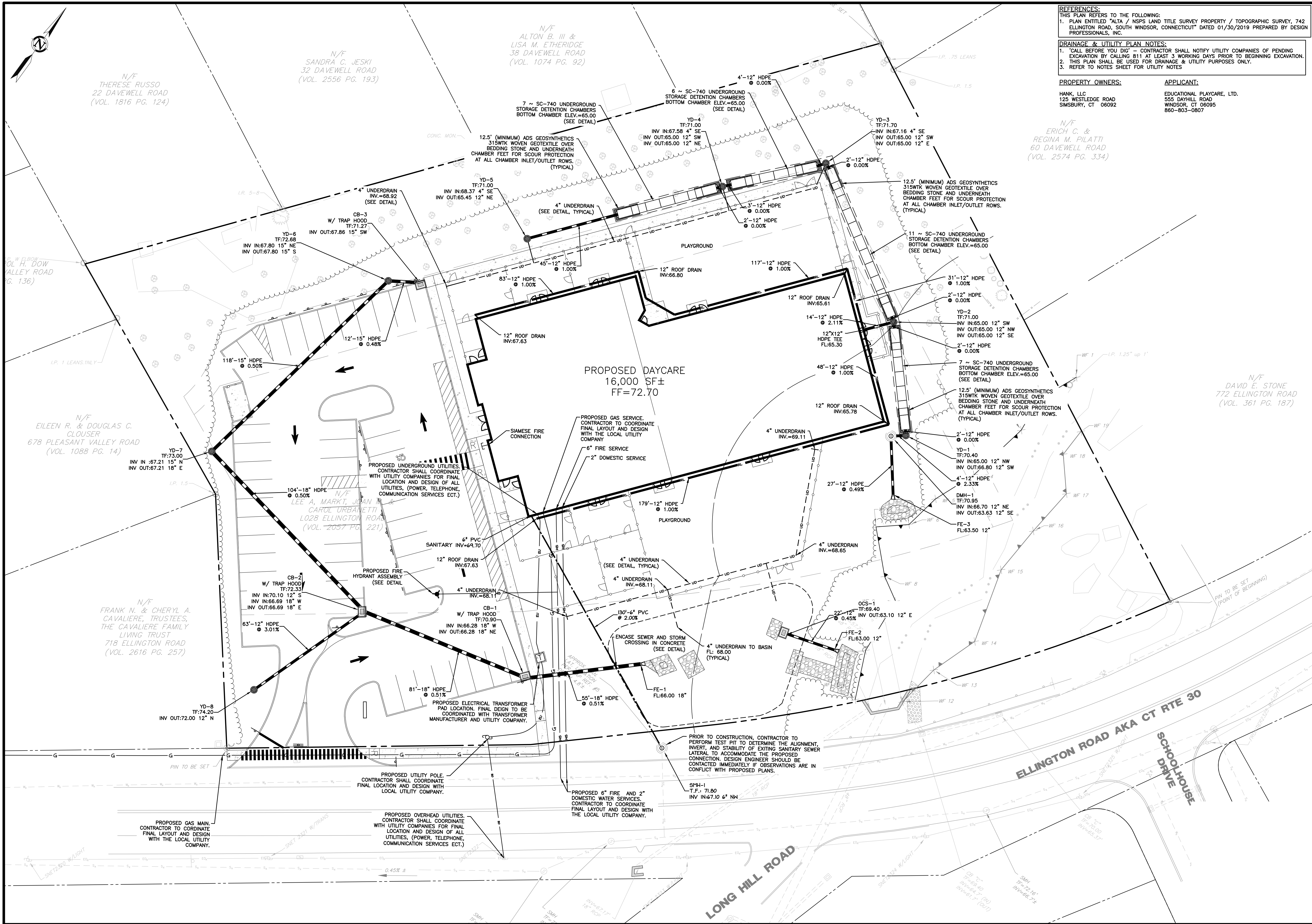


EDUCATIONAL PLAYCARE CENTER	PROJECT NO.	4207
742 ELLINGTON ROAD	DATE	06/26/19
MAP 24, LOT 1	DESIGN BY:	DH/SPC
SOUTH WINDSOR, CT	DRAWN BY:	DH/
SPECIAL EXCEPTION SITE PLAN	CHECKED BY:	SPC

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REFERENCES:
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DRAINAGE & UTILITY PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR DRAINAGE & UTILITY PURPOSES ONLY.
3. REFER TO NOTES SHEET FOR UTILITY NOTES

PROPERTY OWNERS:
HANK, LLC
125 WESTLEDGE ROAD
SIMSBURY, CT 06092
APPLICANT:
EDUCATIONAL PLAYCARE, LTD.
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PROJECT NO.:
4207
DATE:
02/04/19
DESIGN BY:
DHI/SPC
DRAWN BY:
DHI/SPC
CHECKED BY:
DHI/SPC

EDUCATIONAL PLAYCARE CENTER
742 ELLINGTON ROAD
MAP 24, LOT 1
SOUTH WINDSOR, CT
SPECIAL EXCEPTION SITE PLAN

REVISIONS	
NO.	DATE
1	2/4/19
2	3/17/19
3	4/16/21

BY	DATE	REVISED PER TOWN STAFF COMMENTS
DHI	2/4/19	REVISED PER TOWN STAFF COMMENTS
DHI	3/17/19	REVISED PER TOWN STAFF COMMENTS
BPW	4/16/21	REVISED PER DRAFT APPROVAL CONDITIONS

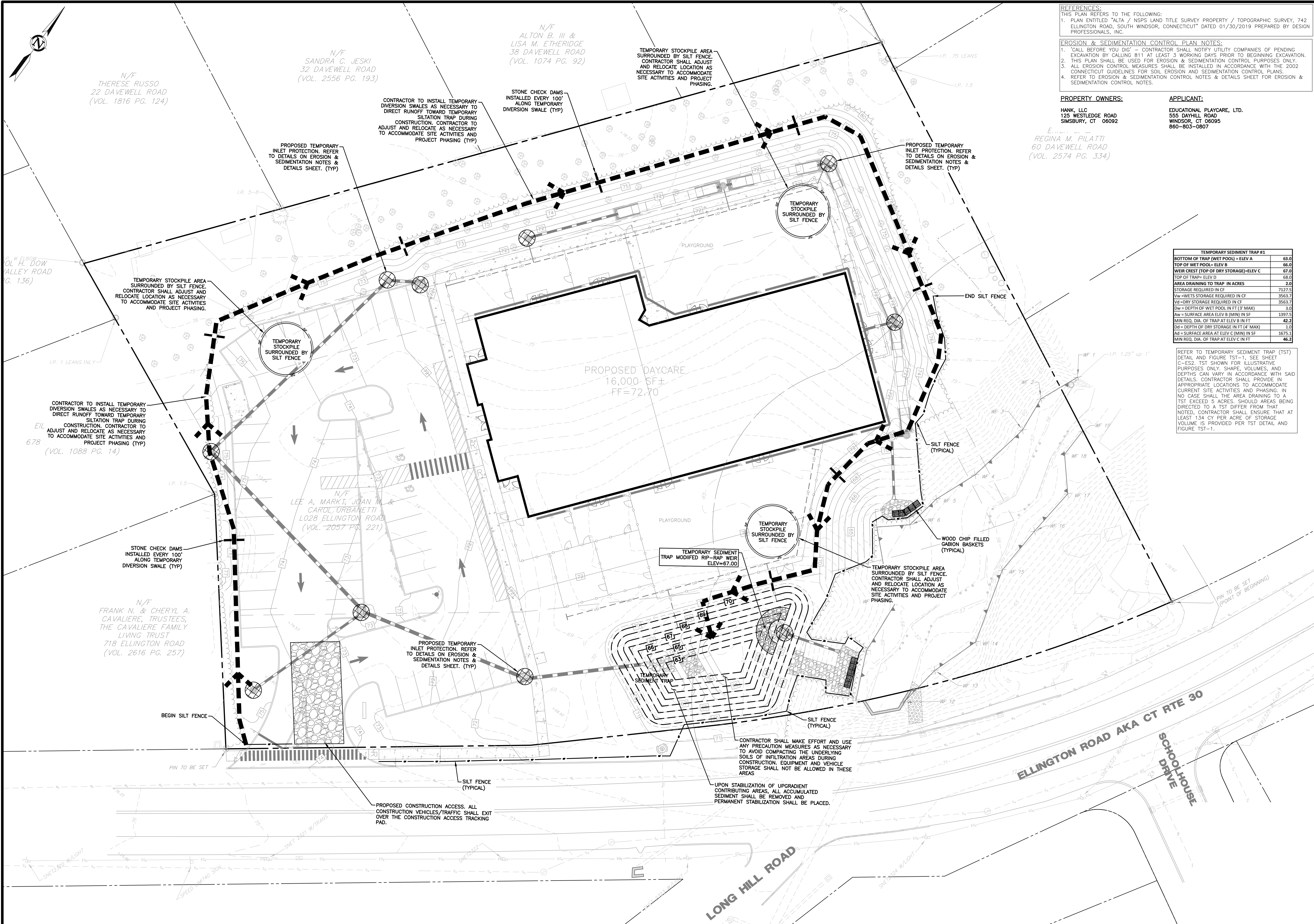
UTILITY PLAN

SCALE: 0' 10' 20' 40'

T = 20'

SHEET

C-UT1
SHEET 4 OF 12



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EROSION & SEDIMENTATION CONTROL PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

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REGINA M. PILATTI
60 DAVEWELL ROAD
(VOL. 2574 PG. 334)

TEMPORARY SEDIMENT TRAP #1	
BOTTOM OF TRAP (WET POOL) = ELEV A	63.0
TOP OF WET POOL = ELEV B	66.0
WEIR CHEST (TOP OF DRY STORAGE) = ELEV C	67.0
TOP OF TRAP = ELEV D	68.0
AREA DRAINING TO TRAP IN ACRES	2.0
STORAGE REQUIRED IN CF	7127.5
Vw = WETS STORAGE REQUIRED IN CF	3563.7
Vd = DRY STORAGE REQUIRED IN CF	3563.7
Dw = DEPTH OF WET POOL IN FT (3' MAX)	3.0
Aw = SURFACE AREA ELEV B (MIN) IN SF	1397.5
MIN REQ. DIA. OF TRAP AT ELEV B IN FT	42.2
Dd = DEPTH OF DRY STORAGE IN FT (4' MAX)	1.0
Ad = SURFACE AREA AT ELEV C (MIN) IN SF	1675.1
MIN REQ. DIA. OF TRAP AT ELEV C IN FT	46.2

REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1, SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 134 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.

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PROJECT NO.: 4207
DATE: 02/04/19
DESIGN BY: DHI/SPC
DRAWN BY: DHI/SPC
CHECKED BY: DHI/SPC

EROSION & SEDIMENTATION CONTROL PLAN

NO.	DATE	REVISIONS
1	2/4/19	REVISED PER TOWN STAFF COMMENTS
2	3/17/19	REVISED PER TOWN STAFF COMMENTS
3	4/16/21	REVISED PER DRAFT APPROVAL CONDITIONS

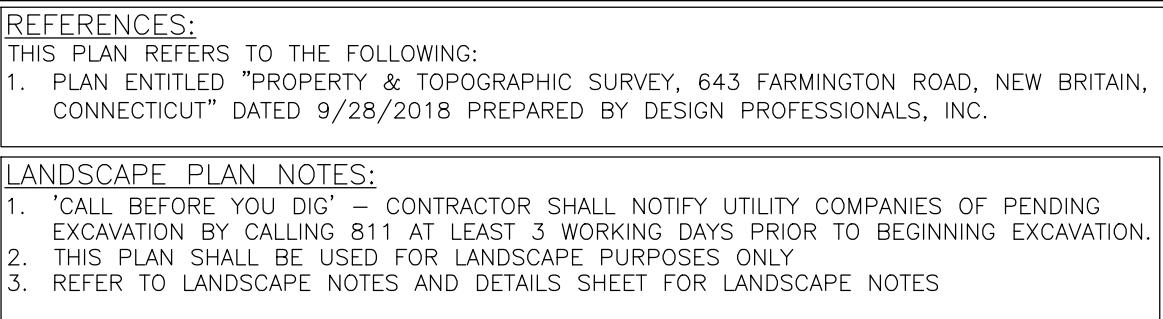
SCALE: 0' 10' 20' 40'
T = 20'

SHEET
C-ES1
SHEET 5 OF 12



N.T.S.

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SEEDING NOTES:

1. SEEDING MIXTURE TYPE I (LAWN AREAS).
BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
CHEWINGS RED FESCUE 30% OF MIXTURE
PERENNIAL RYEGRASS 20% OF MIXTURE
APPLY RATE = 4.50 LBS PER 1,000 S.F.
2. SEEDING MIXTURE TYPE II (BASIN SLOPES)
RETENTION BASIN NIDULIFE MIX - ERNIX-127
By Ernst Conservation Seeds, 9008 Mercer Pike, Meadville, PA 16335 (800) 873-3321
APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
3. SEEDING MIXTURE TYPE III (SLOPES)
FLAT PEPPER/PERENNIAL PEA MIX - ERNIX-112
By Ernst Conservation Seeds, 9008 Mercer Pike, Meadville, PA 16335 (800) 873-3321
APPLICATION RATE: 150 LBS PER 1,000 S.F., 25 LBS PER ACRE
4. BASIN SIDE SLOPES AND SLOPES 3:1 OR GREATER SHALL HAVE A MINIMUM OF 6' OF "TRACKED" TOPSOIL.
SEEDING MIXTURE TYPE IV SHALL BE USED FOR ALL SUCH AREAS.
5. SEED MIXES IN AND AROUND DRAINAGE BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.
6. EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO (A) MULCH (B) HYDROSEEDING AND HYDRO-PULPING, AN ADDITIONAL 15% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED, HYDRO-PULP SHALL BE EQUAL TO CONTRACT PRICE FOR MULCH.
7. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

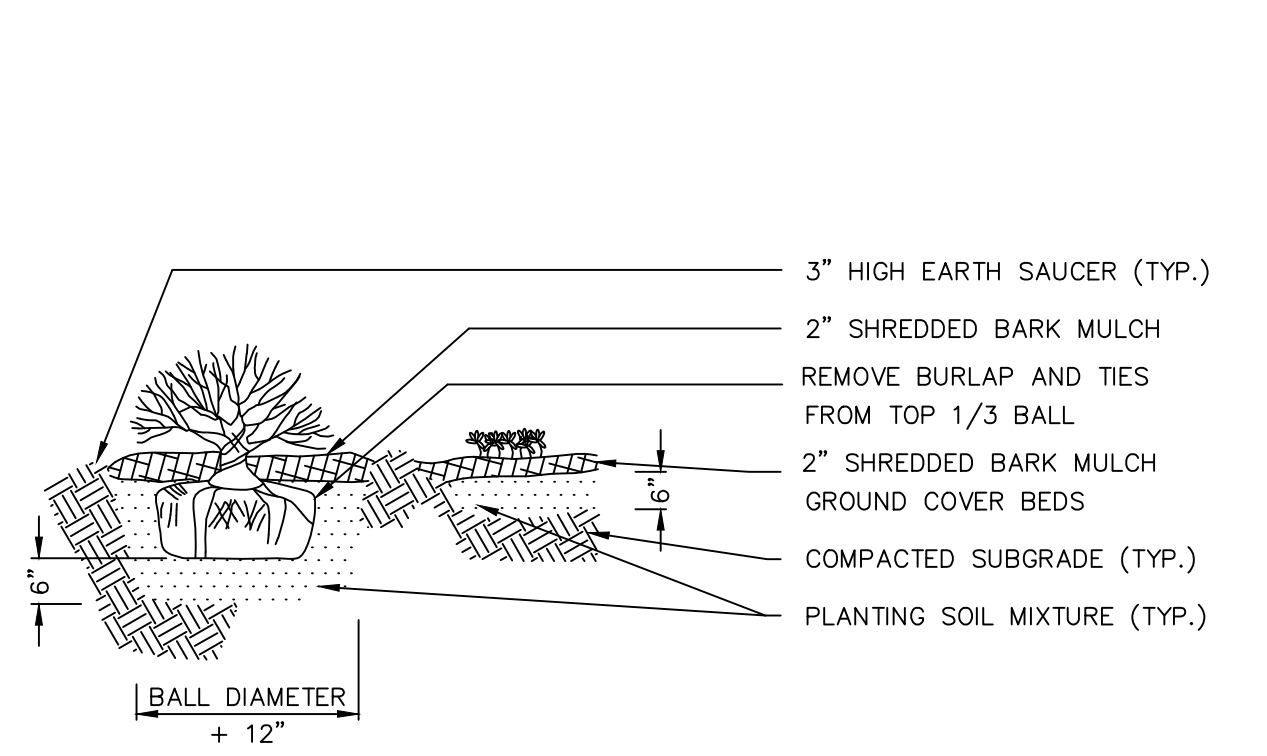
LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
ACFR	4	Acer x. freemanii 'Jeffer's Red'	Autumn Blaze Maple	3" cal.	B&B	PLANT AS SHOWN
BENI	1	Betula nigra 'Heritage'	Heritage River Birch	12' ht.	B&B	MULTI-STEM
EVERGREEN TREES						
ABBA	18	Abies balsamea	Balsam Fir	5'-6' ht.	B&B	PLANT AS SHOWN
TOTE	10	Thuja occidentalis 'Techny'	Mission Arborvitae	5'-6' ht.	CONT. OR B&B	4' O.C.
TPSG	17	Thuja plicata 'Grovepil'	Spring Grove Wester Red Cedar	5'-6' ht.	B&B	8' O.C.
TSGG	18	Thuja standishii x. plicata 'Green Giant'	Green Giant Arborvitae	5'-6' ht.	B&B	PLANT AS SHOWN
SHRUBS						
ARAR	10	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	No. 5	CONT.	6' O.C.
JPCP	12	Juniperus chinensis 'Pfitzeriana Compacta'	Compact Pfitzer Juniper	No. 3	CONT.	3' O.C.
KALA	26	Kalmia latifolia	Mountain Laurel	No. 5	CONT.	8' O.C.
MYPE	0	Myrica pensylvanica	Northern Bayberry	No. 3	CONT.	6' O.C.
POSW	4	Physocarpus opulifolius 'Summer Wine'	Summer Wine Ninebark	No. 5	CONT.	6' O.C.
RHMA	25	Rhododendron maximum	Rosebay Rhododendron	No. 5	CONT.	8' O.C.
SPJA	10	Spiraea japonica 'Goldmound'	Goldmound Spirea	No. 3	CONT.	3' O.C.
TAME	12	Taxus x. media 'Everlow'	Everlow Yew	No. 3	CONT.	3' O.C.
VOAM	0	Viburnum opulus var. americanum	American Cranberrybush	No. 5	CONT.	6' O.C.
PERENNIALS						
HEHR	36	Heemerocallis 'Happy Returns'	Happy Returns Daylily	No. 1	CONT.	2' O.C.
ORNAMENTAL GRASSES						
CAKF	10	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	No. 2	CONT.	3' O.C.
PEAL	5	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	No. 2	CONT.	3' O.C.

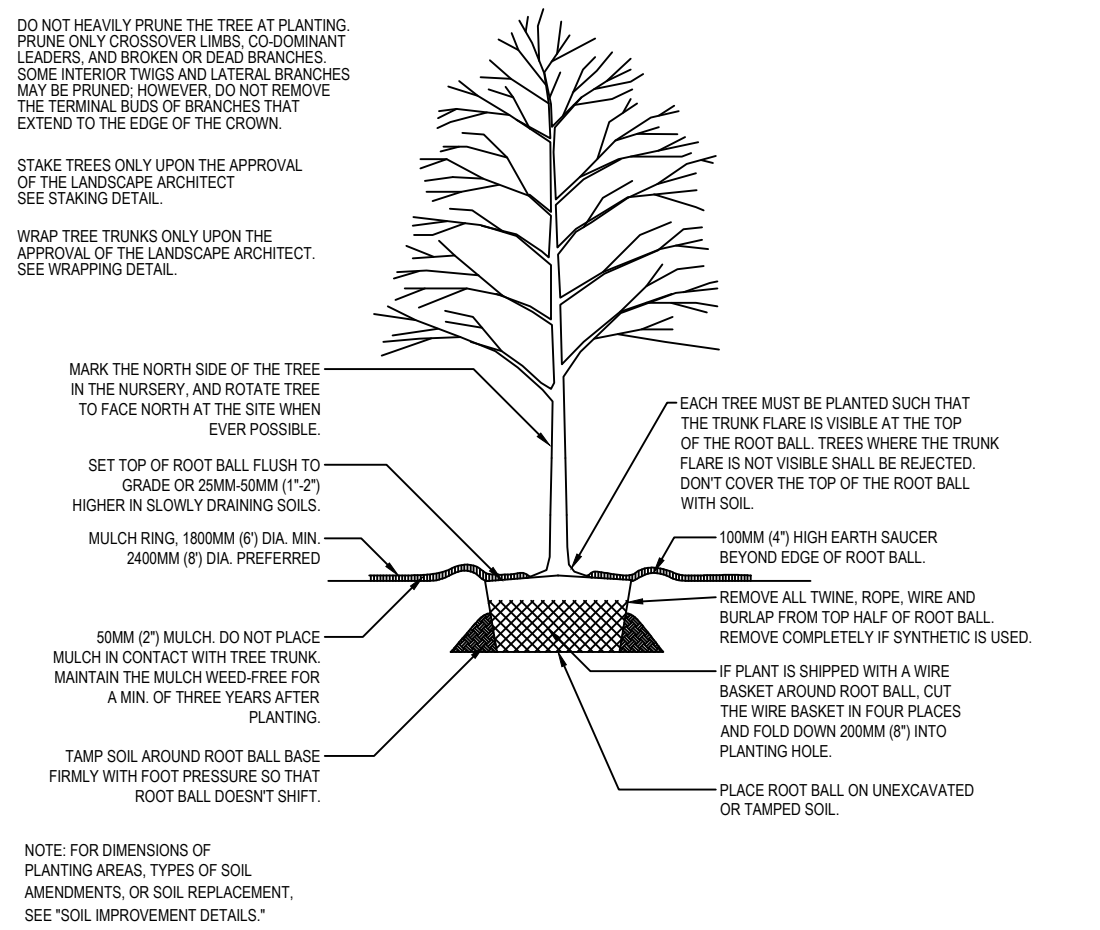
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LANDSCAPE NOTES:

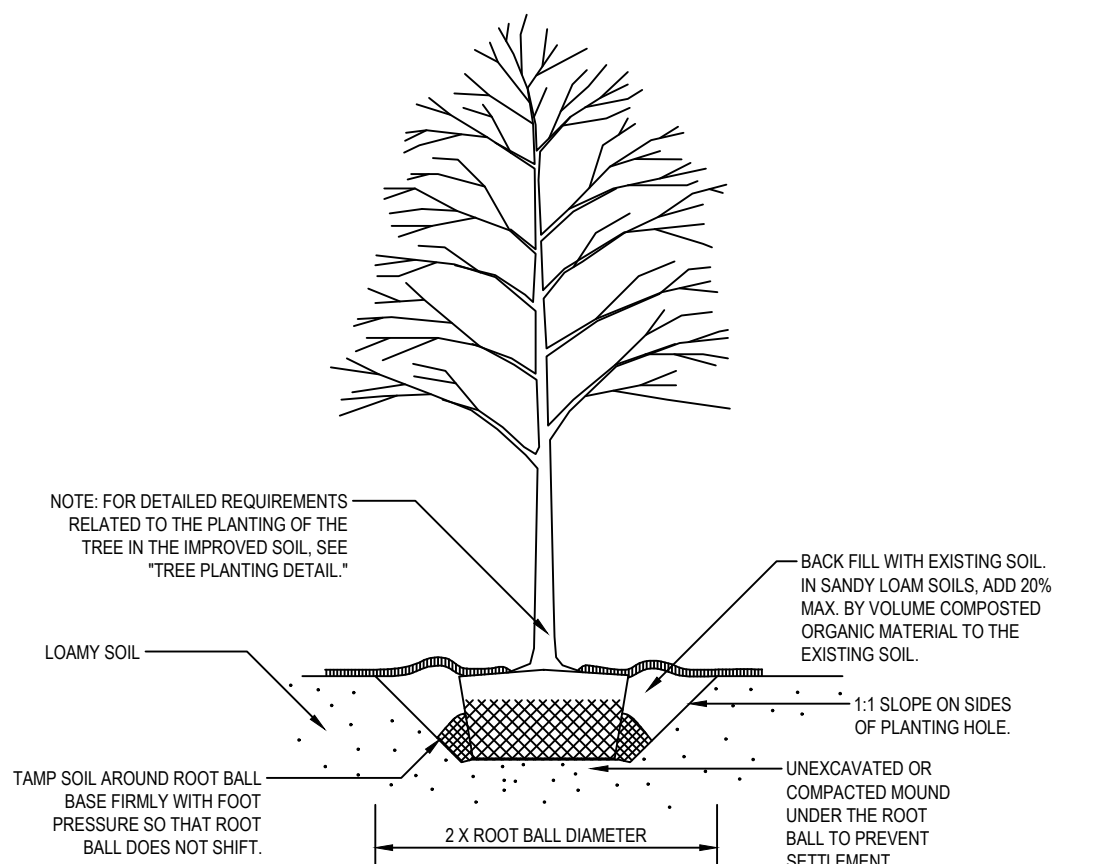
- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD UNLUSHING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK." PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY "SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY." ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORTH WITHOUT Voids AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT. PROVIDE MULCH SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK." CRACKED OR FUSHIROOTED BALLS ARE NOT ACCEPTABLE. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS. COVERED WITH A MINIMUM "THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- 5.B.B. CONTAINER STOCK SHALL NOT BE ROOT-BOUND.
- 5.C. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNSATISFACTORY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL PLANTING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNFAVORABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED IN WRITING BY THE OWNER.
- 9.A. ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE-ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTIONS WITHOUT RECEIPT OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF TOPSOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
 - A. BARK MULCH/COMPOST 10%-15%
 - B. COARSE SAND 40-45%
 - C. TOPSOIL 45-50%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIME SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MINIMUM OF 60% OXIDE (I.E. CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- DELAY MIXING FERTILIZER SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS. MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK. THE CERTIFICATE SHALL BE FILED WITH THE PLANTING RECORD.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING LIST SHALL GOVERN.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE AT AN ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
 - REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMPETRICAL GROWTH OF NEW WOOD.
 - MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
 - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
 - ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
- MULCH TO BE APPLIED AS FOLLOWS:
 - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
 - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3' OF TREE TRUNKS.
 - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
 - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAND/ST.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS.
- MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
- MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
- RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND HEATHER AND SEASON PERMIT.
- WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, THICK PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
- REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
- LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG - 1-800-922-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
- CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
- ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
- 4.A. TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
- THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.



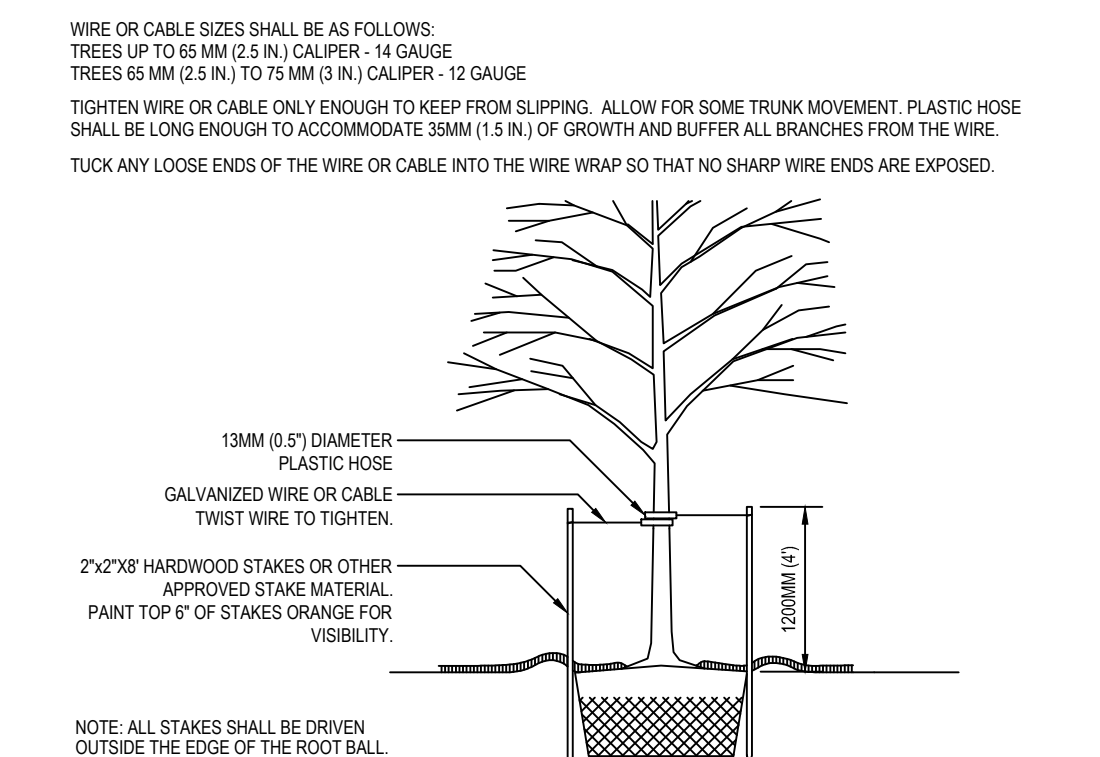
4 SHRUB & GROUND COVER PLANTING DETAIL
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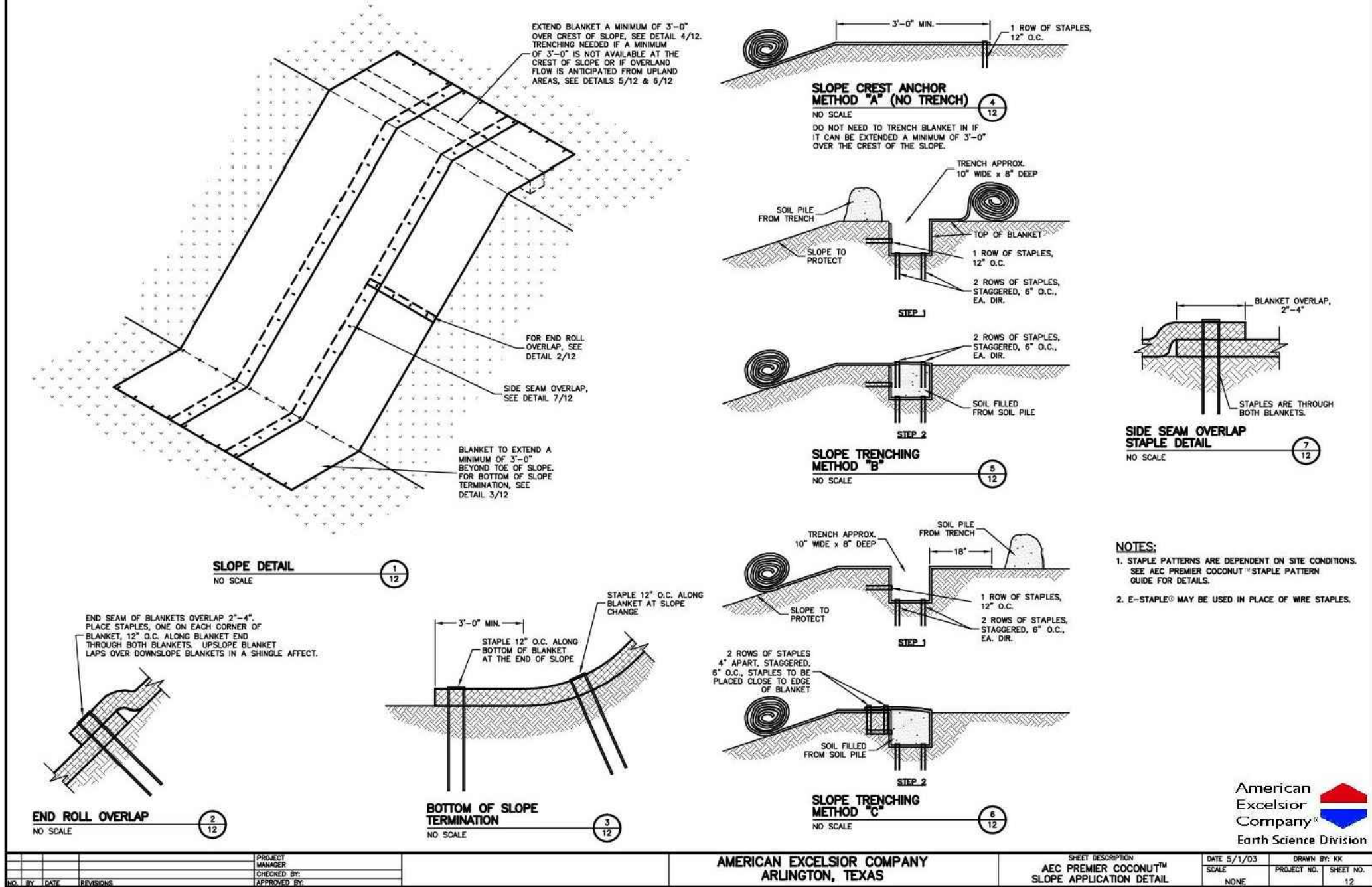
1 TREE PLANTING DETAIL
Not to Scale



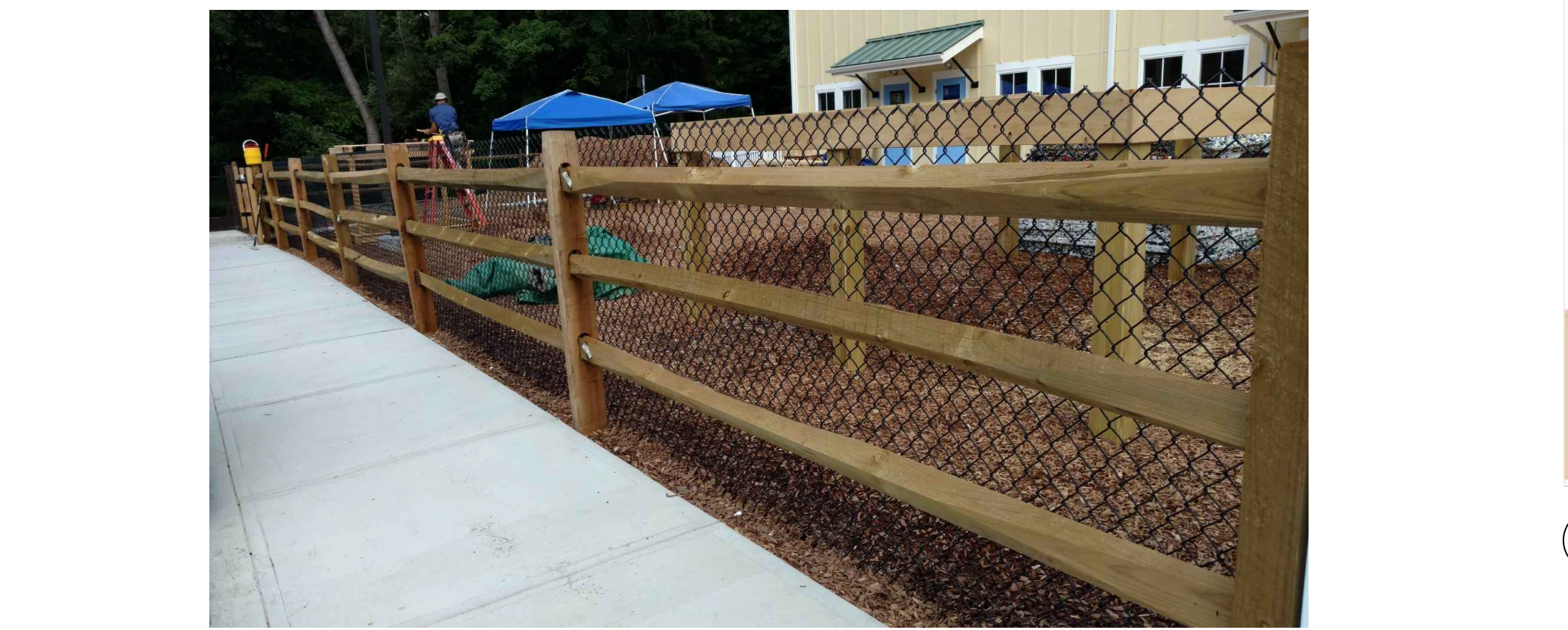
2 SOIL IMPROVEMENT DETAIL
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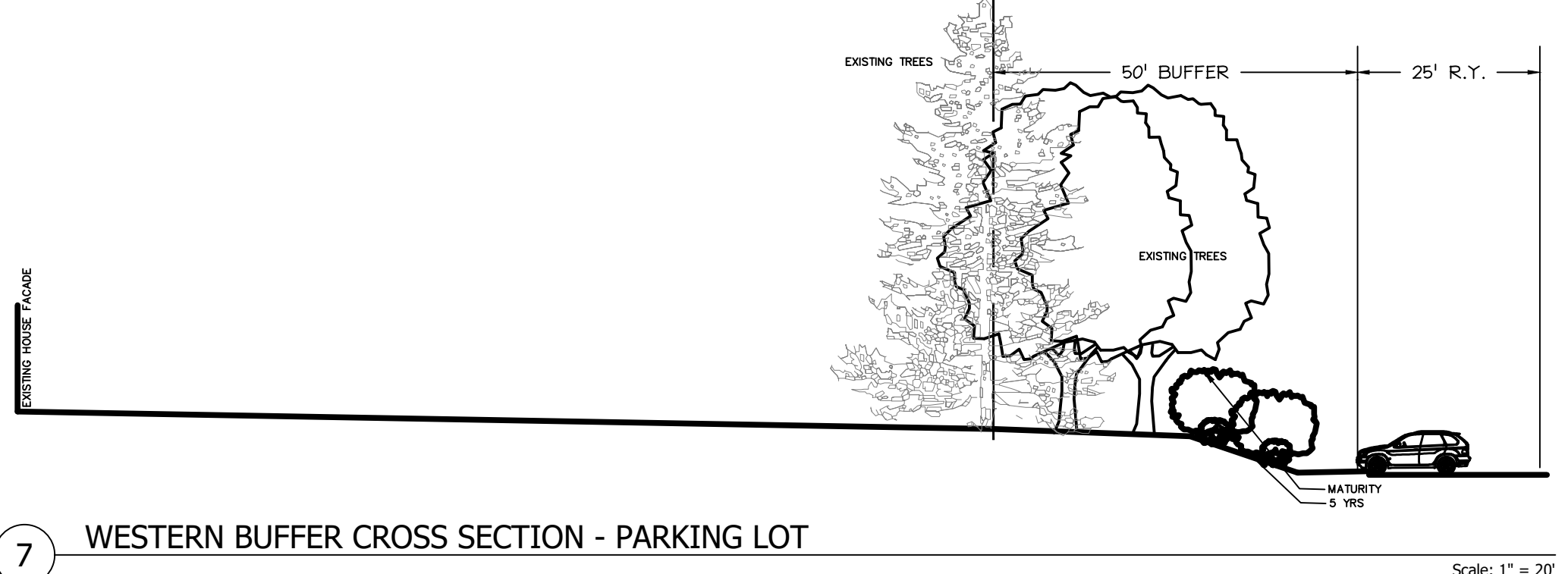
3 TREE STAKING DETAIL (3\"/>



5 EROSION CONTROL BLANKET DETAIL
Not to Scale



6 SPLIT RAIL WITH BLACK CHAIN LINK FENCE CHARACTER PHOTO
Not to Scale



7 WESTERN BUFFER CROSS SECTION - PARKING LOT
Scale: 1\"/>



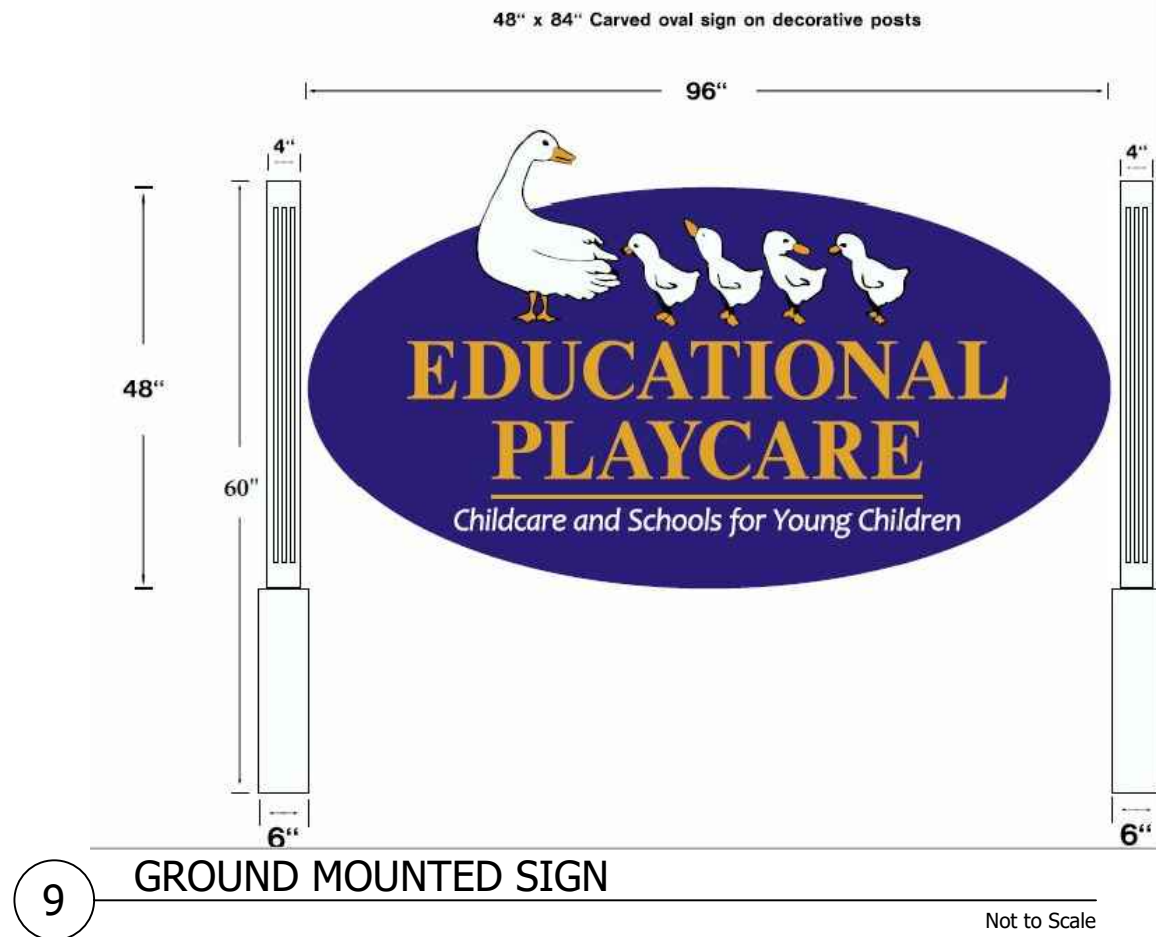
8 WESTERN BUFFER CROSS SECTION - BUILDING
Scale: 1\"/>

- REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 643 FARMINGTON ROAD, NEW BRITAIN, CONNECTICUT" DATED 9/28/2018 PREPARED BY DESIGN PROFESSIONALS, INC.

- LANDSCAPE PLAN NOTES:
1. CALL BEFORE YOU DIG: CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR LANDSCAPE PURPOSES ONLY
3. REFER TO LANDSCAPE NOTES AND DETAILS SHEET FOR LANDSCAPE NOTES

PROPERTY OWNERS:
HANK, LLC
125 WESTLEDGE ROAD
SIMSBURY, CT 06092

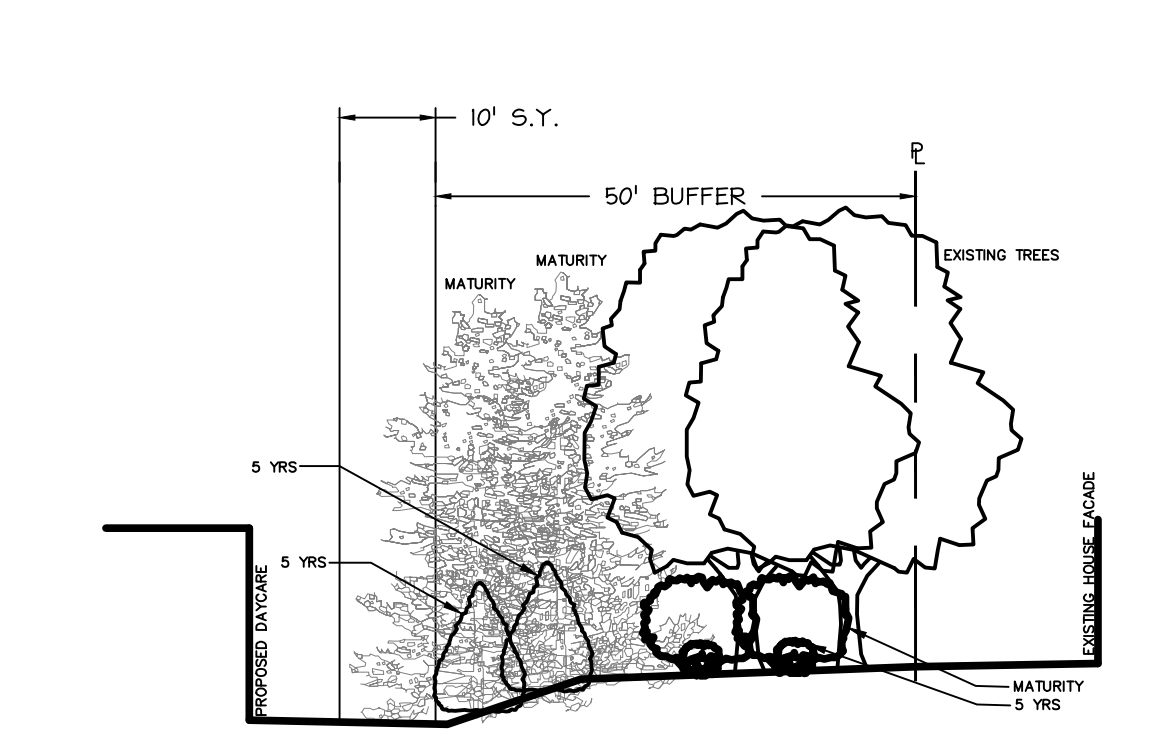
APPLICANT:
EDUCATIONAL PLAYCARE, LTD.
555 DAYHILL ROAD
WINDSOR, CT 06095
860-803-0807



9 GROUND MOUNTED SIGN
Not to Scale



10 BUILDING MOUNTED SIGN
Not to Scale



11 NORTHERN BUFFER CROSS SECTION
Scale: 1\"/>

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Design Professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

Prepared for:
EDUCATIONAL PLAYCARE, LTD.
555 DAYHILL ROAD
WINDSOR, CT 06095
860-803-0807

PROJECT NO.: 4207
DATE: 02/04/19
DESIGN BY: DHI/SPC
DRAWN BY: DHI/SPC
CHECKED BY: DHI/SPC

EDUCATIONAL PLAYCARE CENTER
742 ELLINGTON ROAD
MAP 24, LOT 1
SOUTH WINDSOR, CT
SPECIAL EXCEPTION SITE PLAN

REVISIONS			
NO.	DATE	REVISED PER TOWN STAFF COMMENTS	REVISED PER DRAFT APPROVAL CONDITIONS
1	2/14/19		
2	3/17/19		
3	4/16/21		

LANDSCAPE DETAILS & NOTES

SHEET

C-LS2

SHEET 8 OF 12

CONSTRUCTION NOTES:

- At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to some.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.
- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
- Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.

- Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
- The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
- The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
- All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
- The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
- All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
- All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
- The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.

- Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
- The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
- Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
- Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
 - Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
 - High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
 - Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.

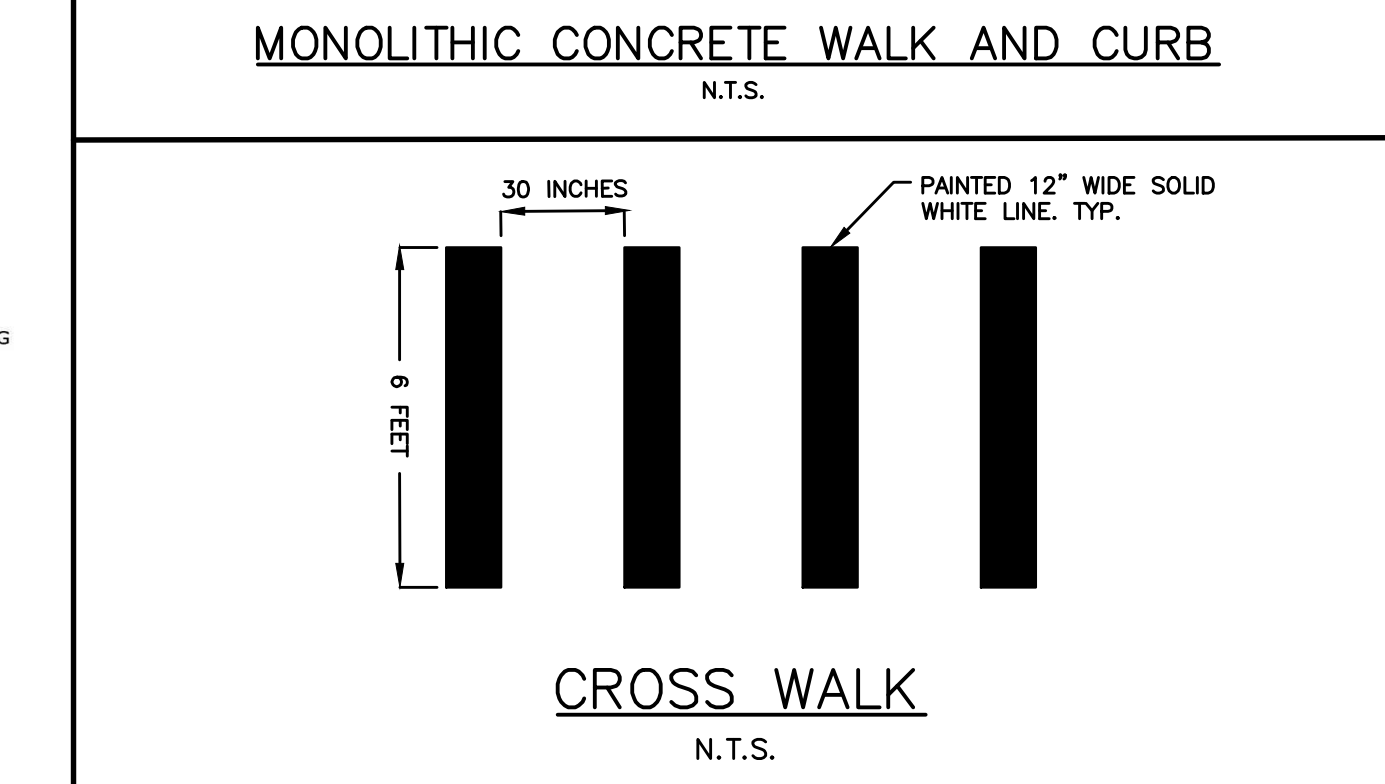
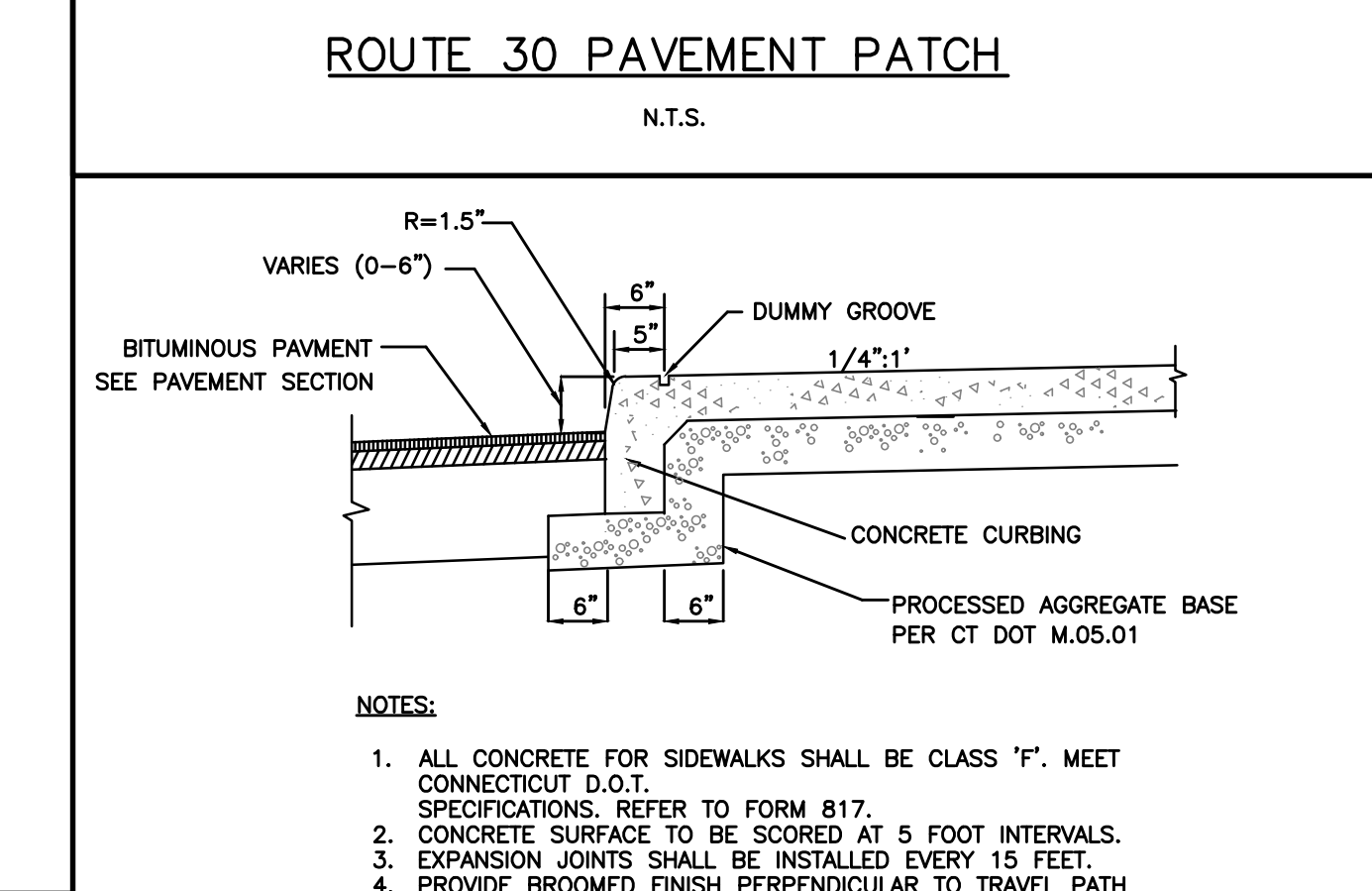
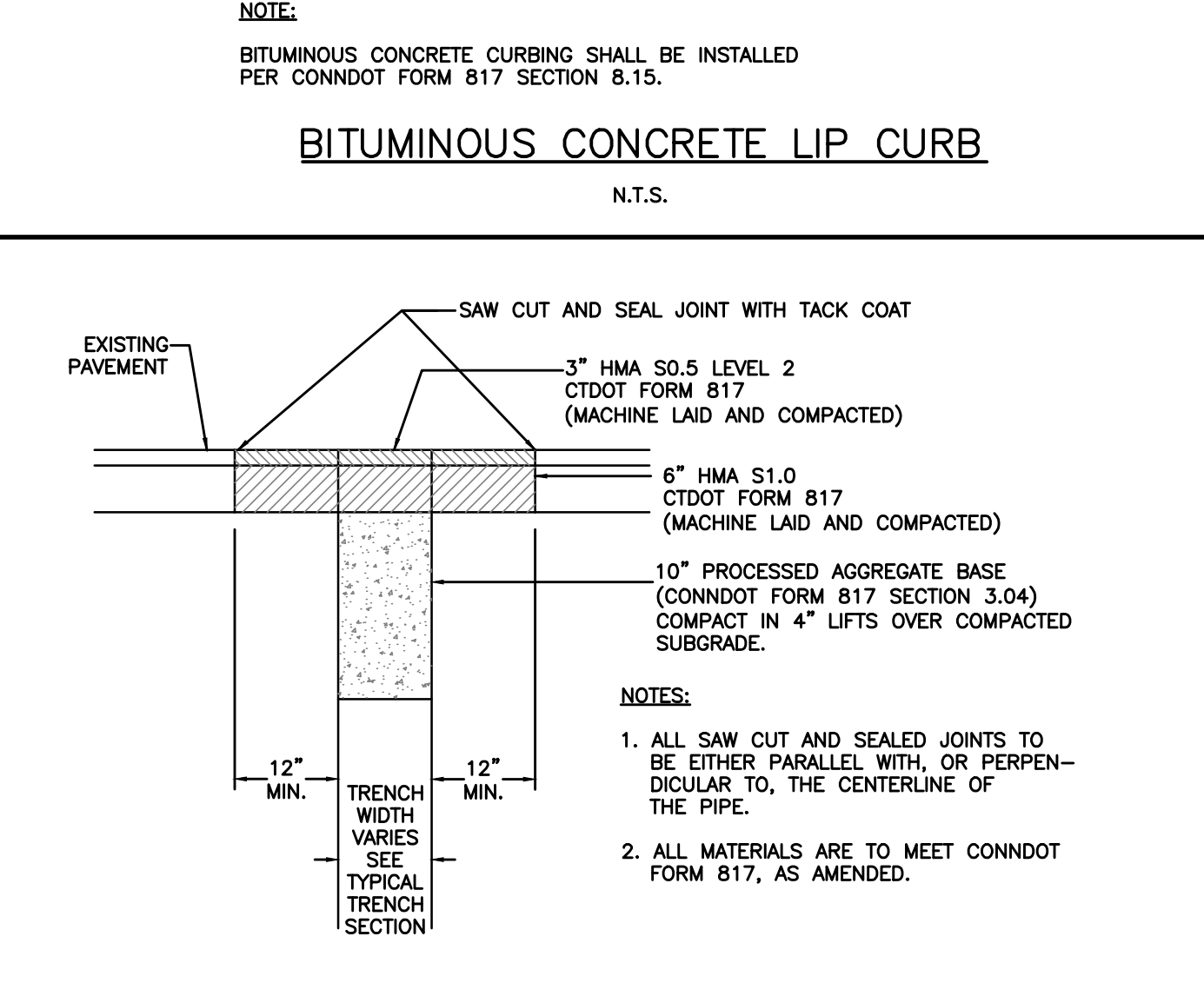
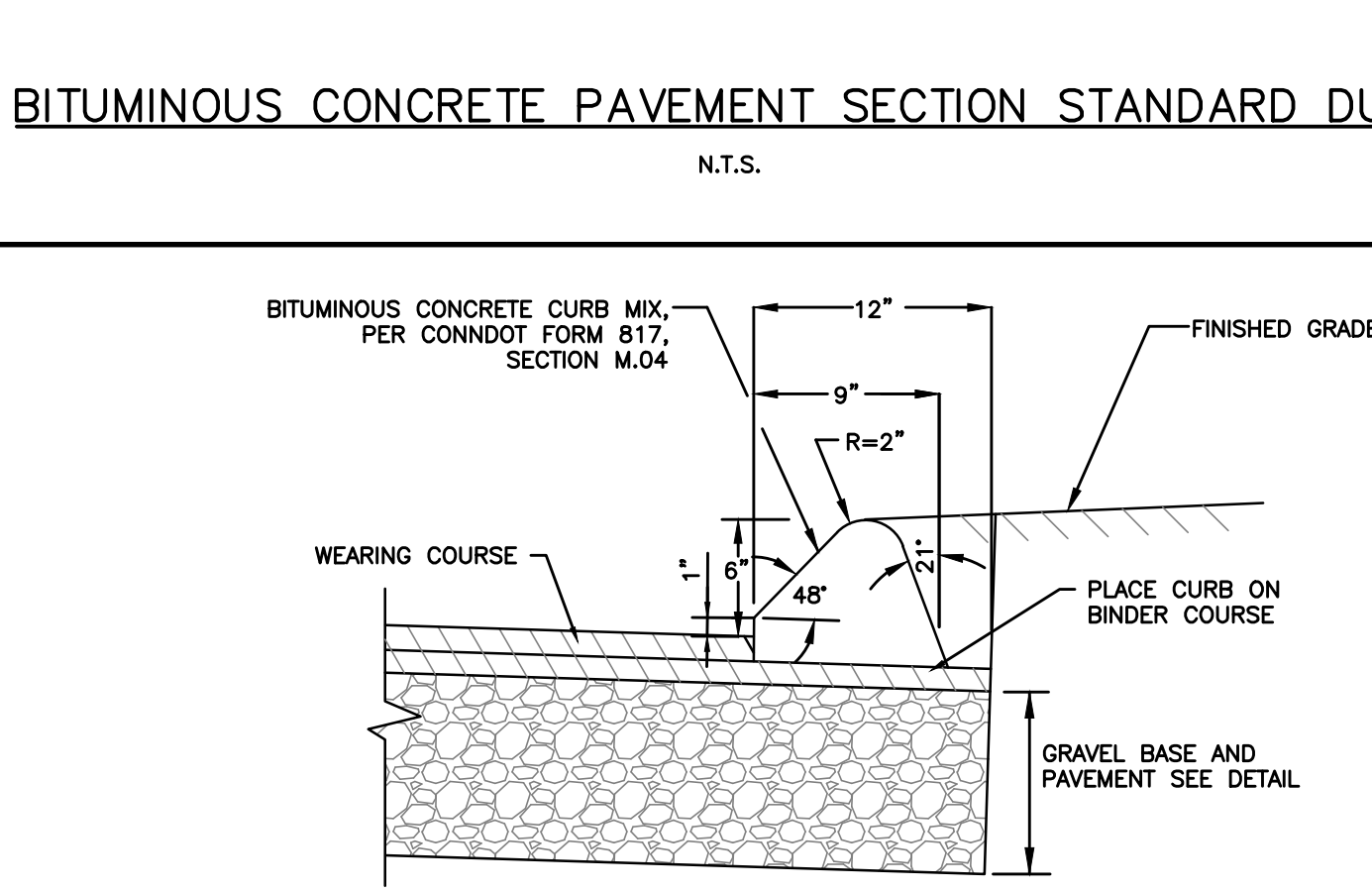
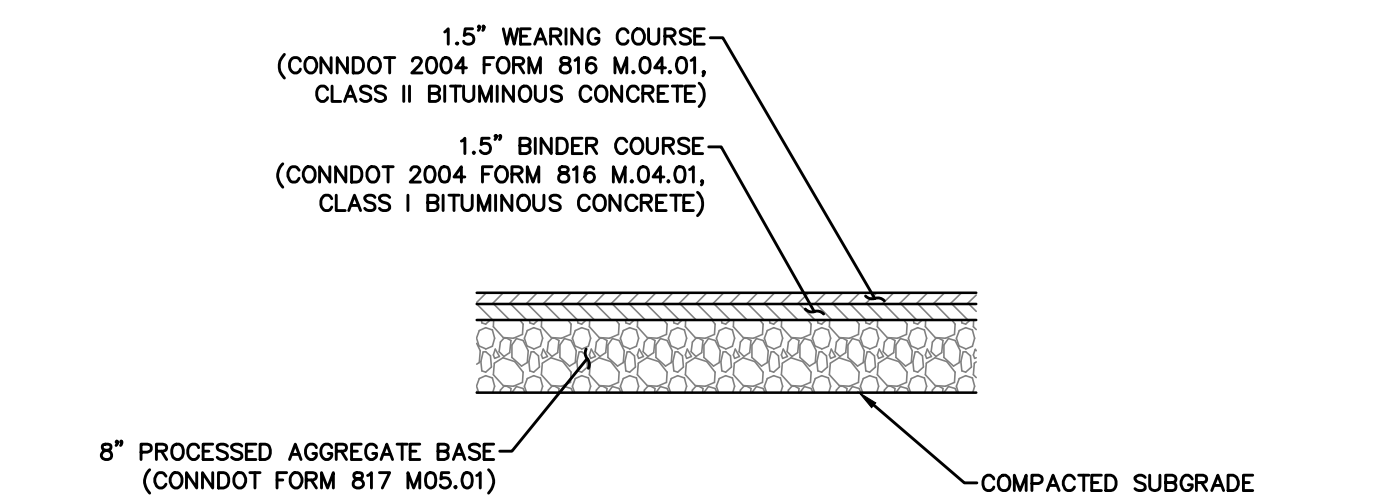
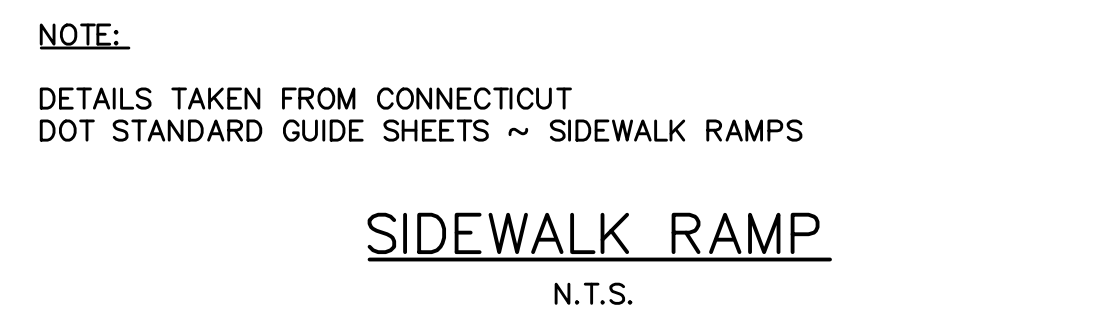
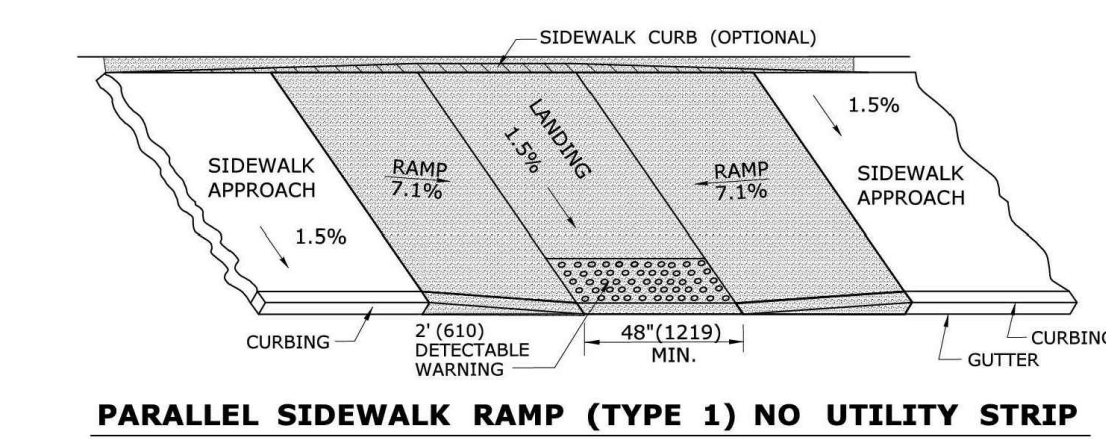
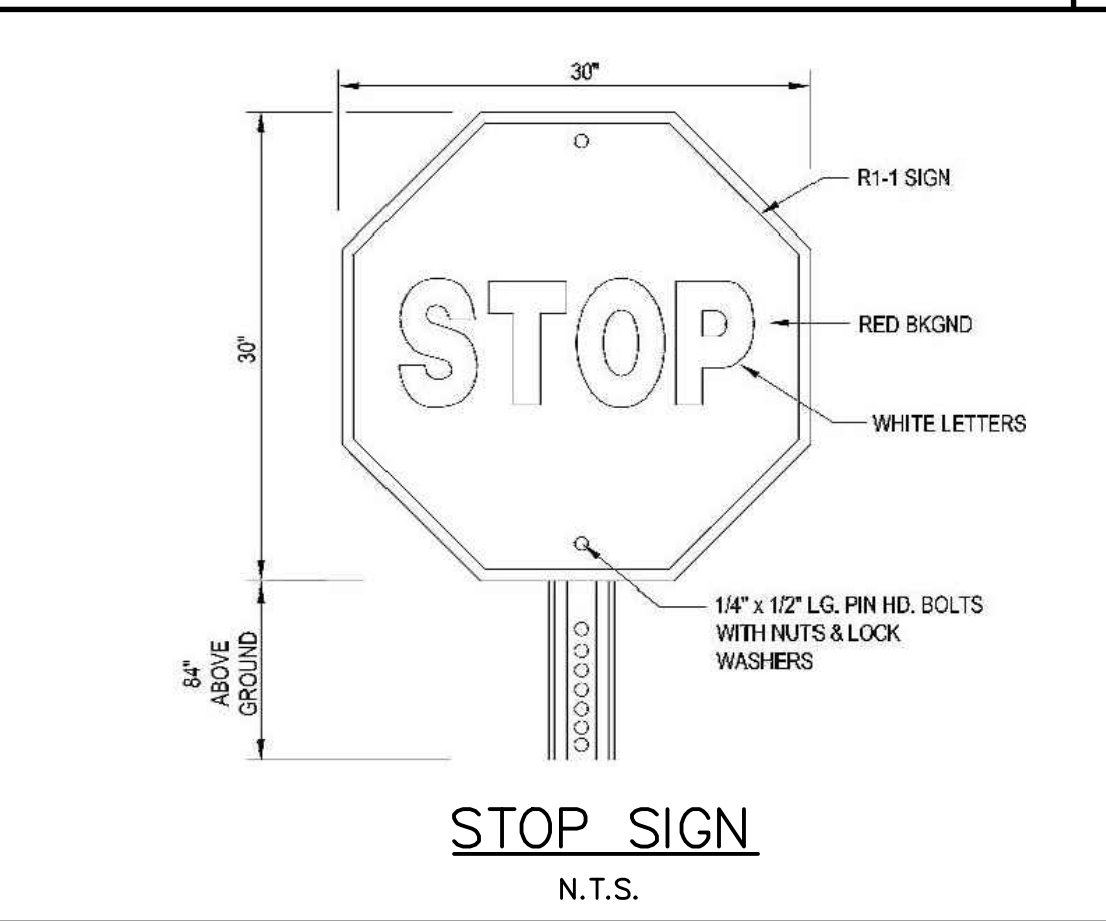
- Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
- Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
- Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main or stormwater sewer, or such other separation as approved by the agency with jurisdiction over same. Sewers conveying sanitary flow, must be separated from stormwater sewers by a distance of at least 18 inches vertically. At pipe crossings, the pipes must be with the sanitary sewer at least 18 inches below the bottom of the water main or stormwater sewer. Where appropriate separation from a water main or stormwater sewer is not possible, the sanitary sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.

- Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
- Contractor must contact the applicable water company to confirm the proper water service vault, prior to commencing construction. Water main water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must be ductile iron (DI) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
- The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
- Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
- Grades adjacent to the building in lawn and landscape areas shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the facade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.

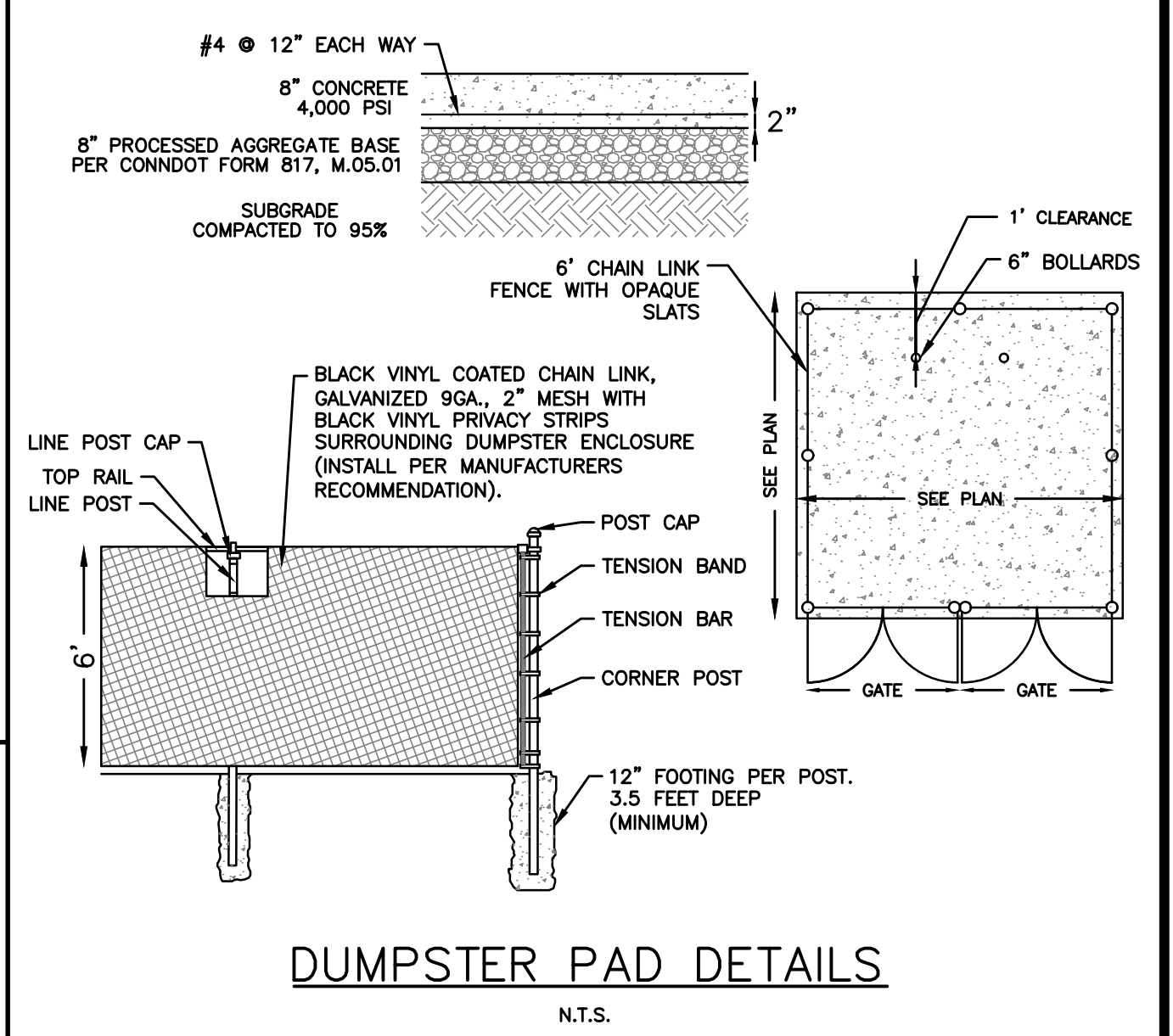
- Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
- All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
- Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
- All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
- The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
- All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
- The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:

- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
 - Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
 - Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
 - A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
 - Curb ramps- shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
 - The contractor shall verify all existing elevations shown on the plan in areas of existing driveways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS	BORING / TEST PIT LOCATION	
COMMUNICATION	UNDERGROUND COMMUNICATION LINES	
DOMESTIC WATER	WATER MAIN	
	WATER SERVICE	
	FIRE SERVICE LINE	
	NON-POTABLE WATER LINE	
	WATER VALVE / FIXTURES	
	FIRE HYDRANT	
LIQUID FUEL	MAIN LIQUID FUEL LINE	
	LIQUID FUEL SERVICE LINE	
	LIQUID FUEL LINE, ABANDONED	
IRRIGATION	IRRIGATION LINES	
LIGHTING	POLE / GROUND MOUNTED LIGHT	
NATURAL GAS	GAS MAIN	
	GAS SERVICE LINE	
POWER	ELECTRICAL LINES, OVERHEAD	
	ELECTRICAL LINES, UNDERGROUND	
	UTILITY POLE	
PROPERTY	PROPERTY LINE	
	EASEMENT LINE	
	IRON PIPE	
	IRON ROD	
	MONUMENT	
ROADS	GUARD RAIL	
EROSION CONTROL	SILT FENCE	
SITE FEATURES	4" DOUBLE SOLID YELLOW LINE	DSYL
	4" SINGLE SOLID WHITE LINE	SSWL
	BIT. CONC. LIP CURB	BCLC
	PRECAST CONCRETE CURB	PCC
SANITARY SEWER	SANITARY SEWER MAIN	SS
	SANITARY SEWER SERVICE LINE	SS
	SANITARY SEWER MANHOLE	SMH
STORM SEWER	STORM DRAIN PIPE	SDP
	ROOF LEADER	RL
	UNDERDRAIN	UD
	STORM DRAIN MANHOLE	SDMH
	CURB INLET	CI
	CATCH BASIN	CB
	YARD DRAIN	YD
TOPOGRAPHY	CONTOUR	95
	SPOT ELEVATION	95
OTHER	RAMP	R
	LANDSCAPE AREA	LSA



PROPERTY OWNERS:		APPLICANT:	
HANK, LLC	125 DAYHILL ROAD	EDUCATIONAL PLAYCARE, LTD.	555 DAYHILL ROAD
SIMSBRIDGE, CT 06092		WINDSOR, CT 06095	860-803-0807

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CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
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The plans are issued under the seal and signature of the Engineer, and the Engineer is responsible for the accuracy of the information provided. The Engineer is not responsible for the accuracy of the information provided by the contractor. The Engineer is not responsible for the accuracy of the information provided by the contractor. The Engineer is not responsible for the accuracy of the information provided by the contractor.

Prepared for:
EDUCATIONAL PLAYCARE CENTER
555 DAYHILL ROAD
WINDSOR, CT 06095
860-803-0807

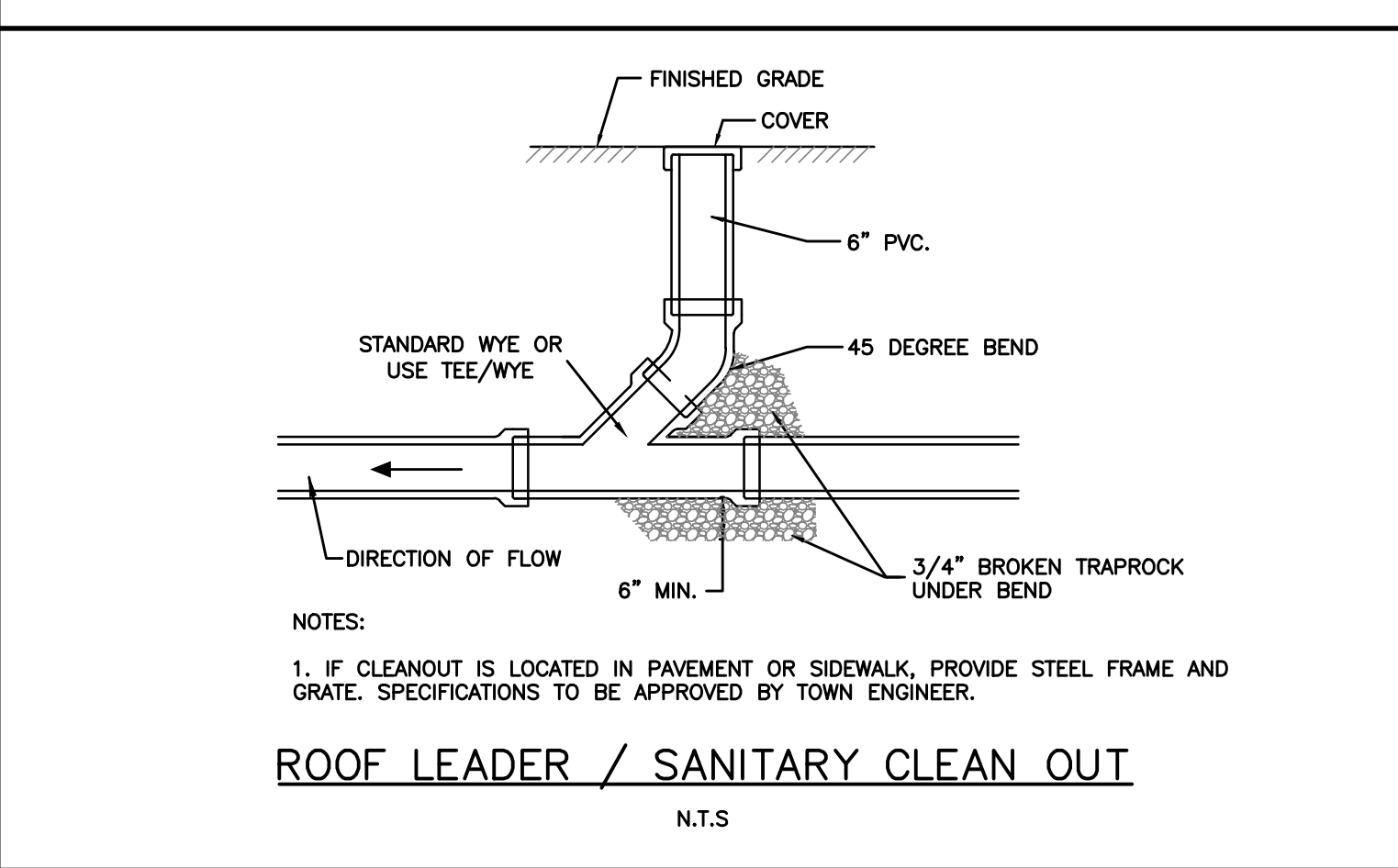
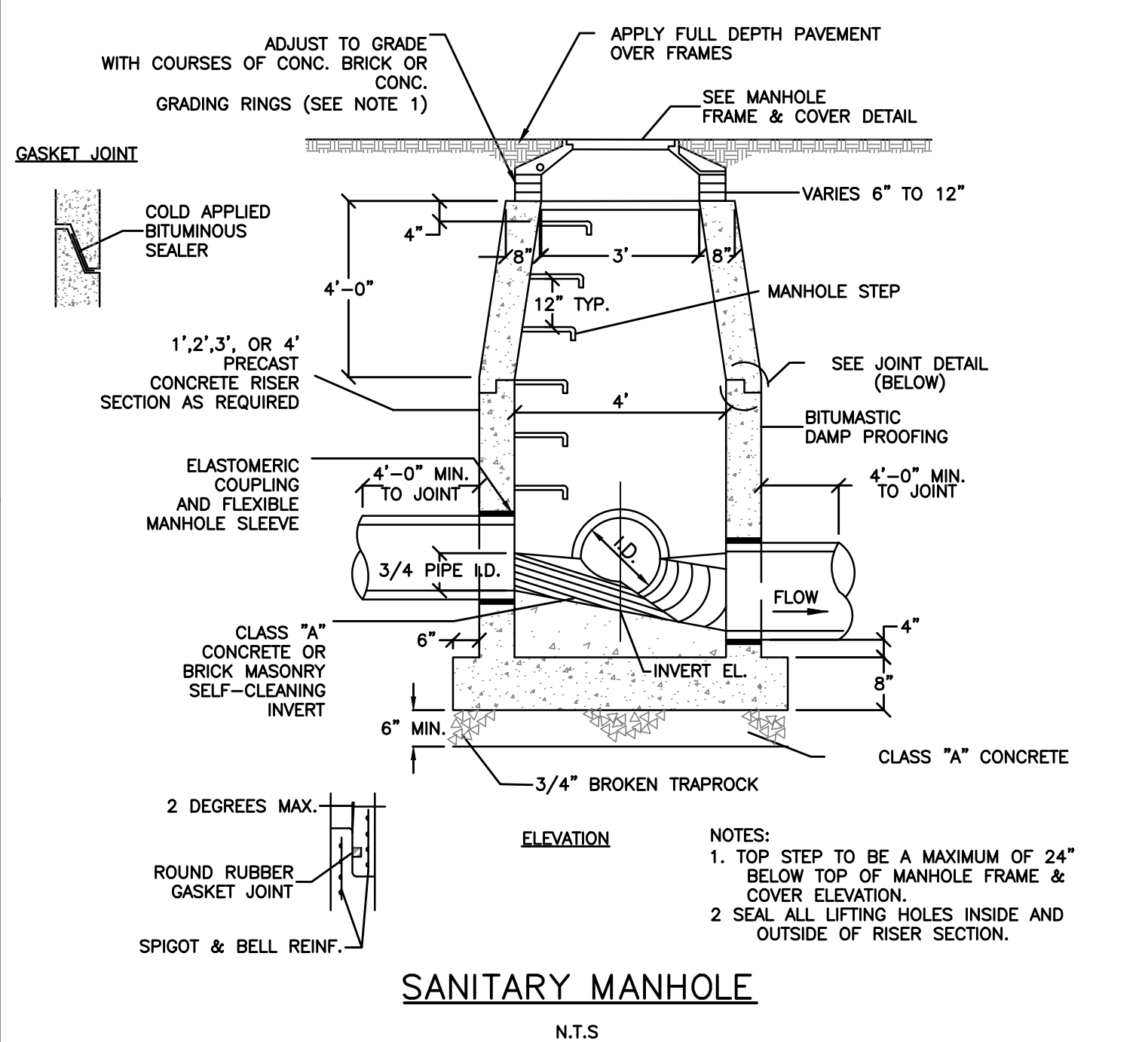
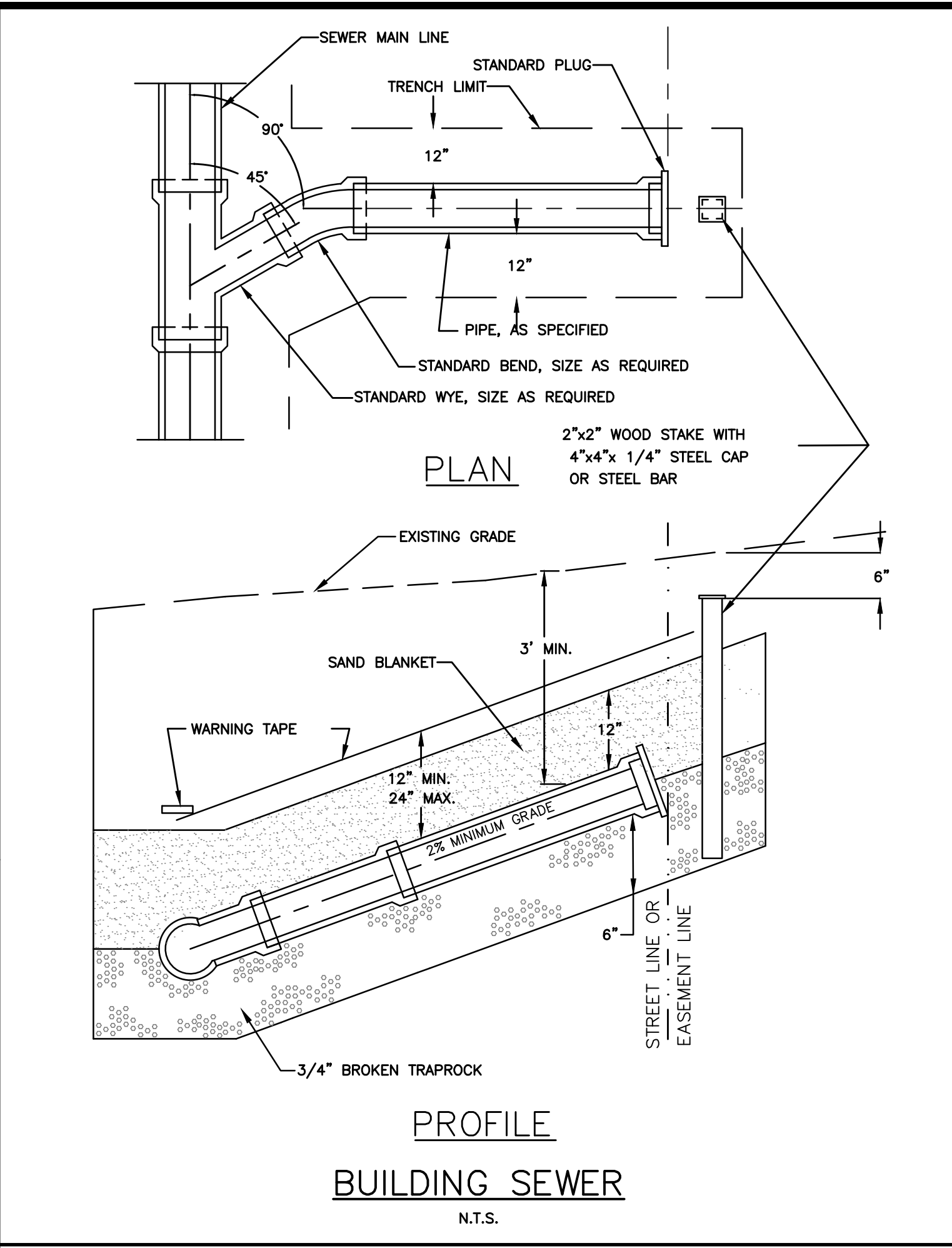
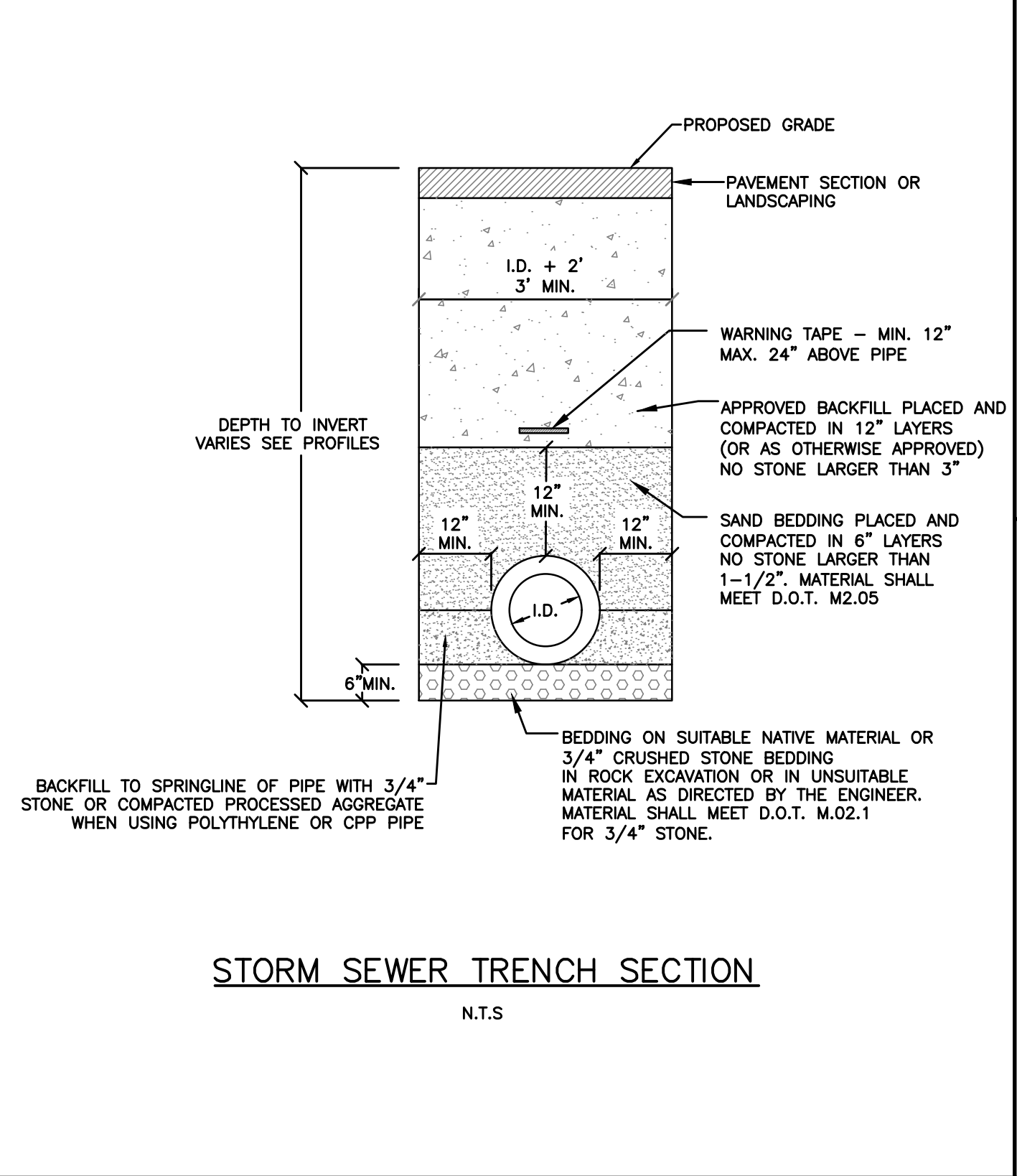
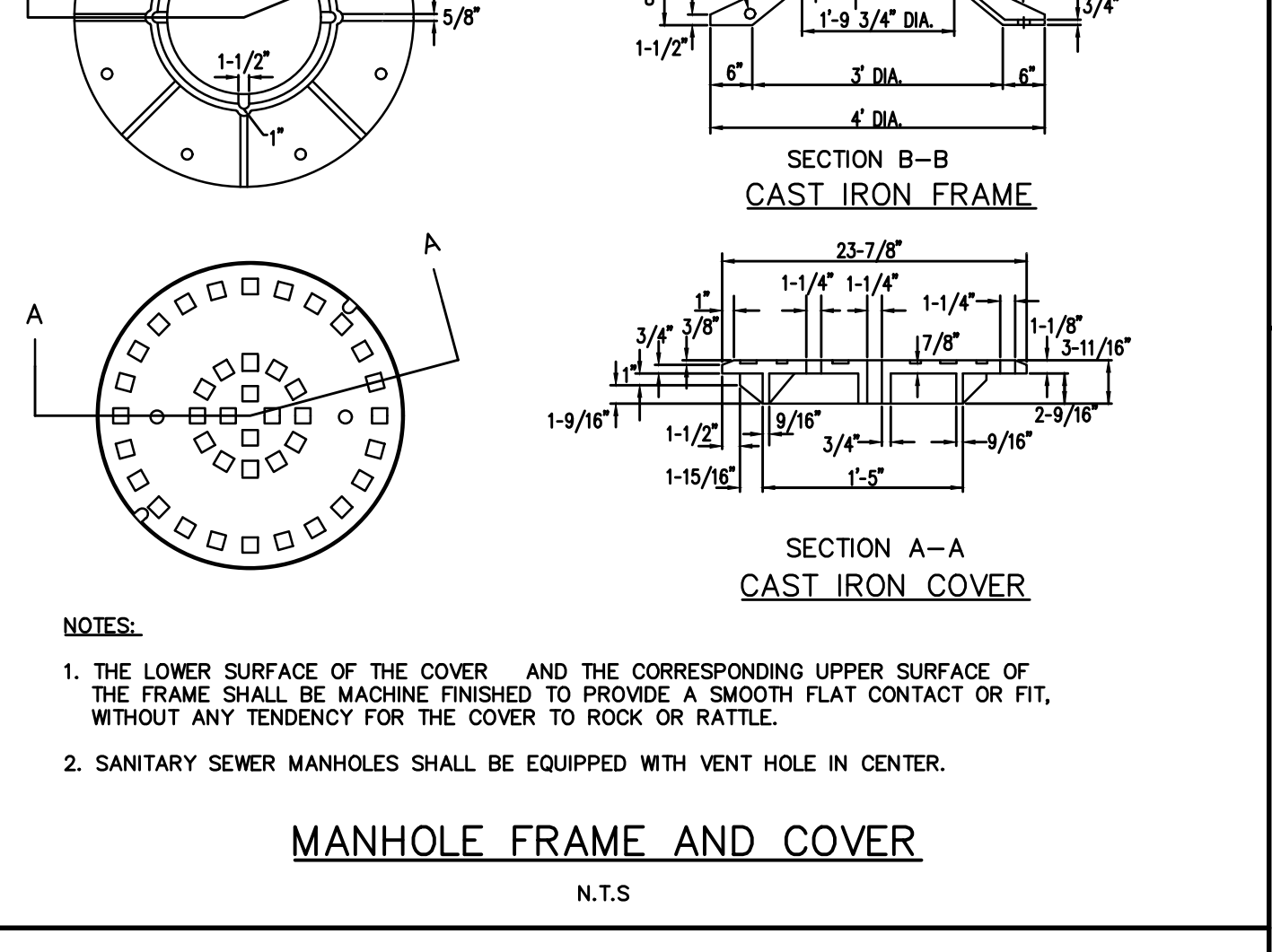
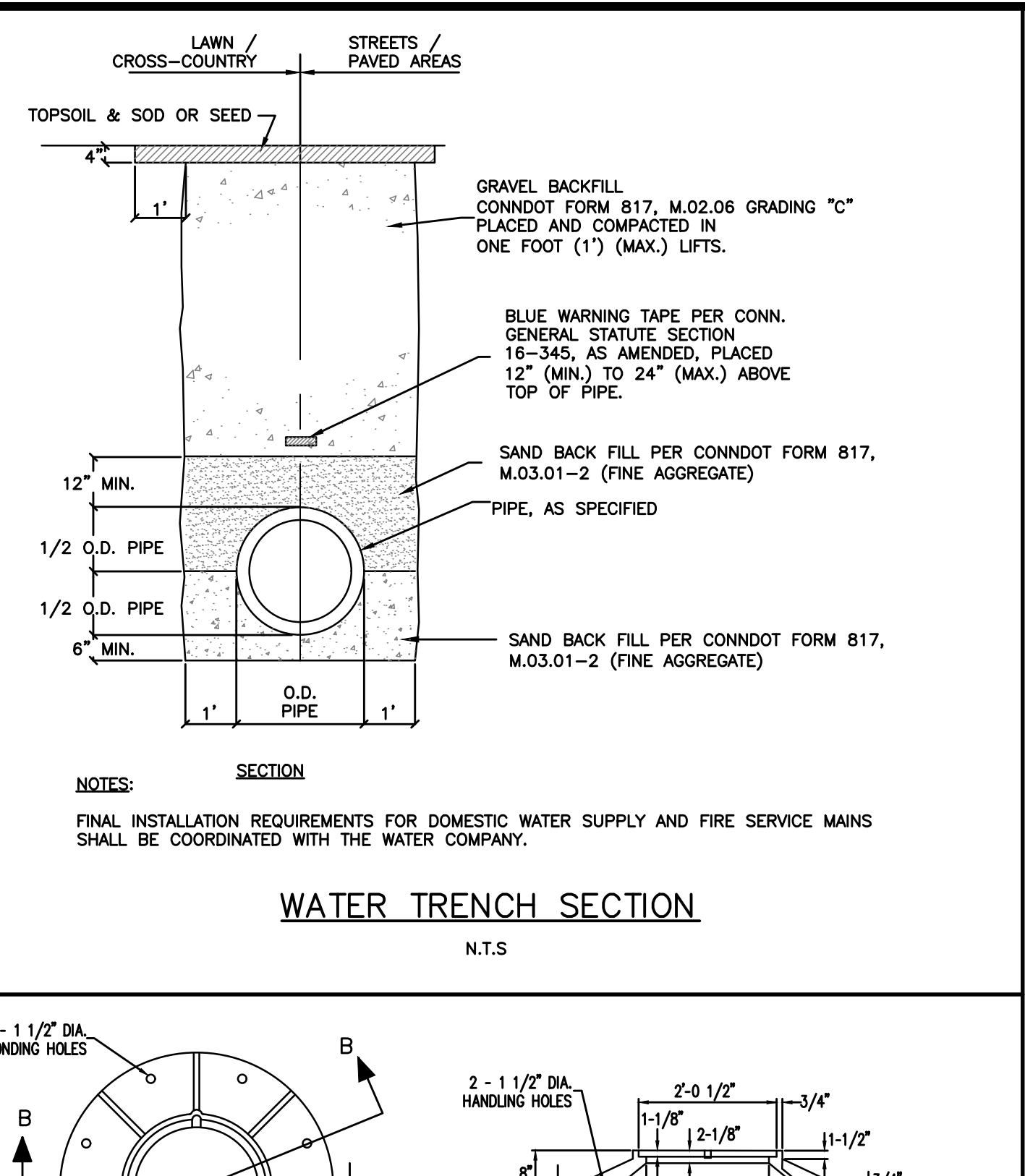
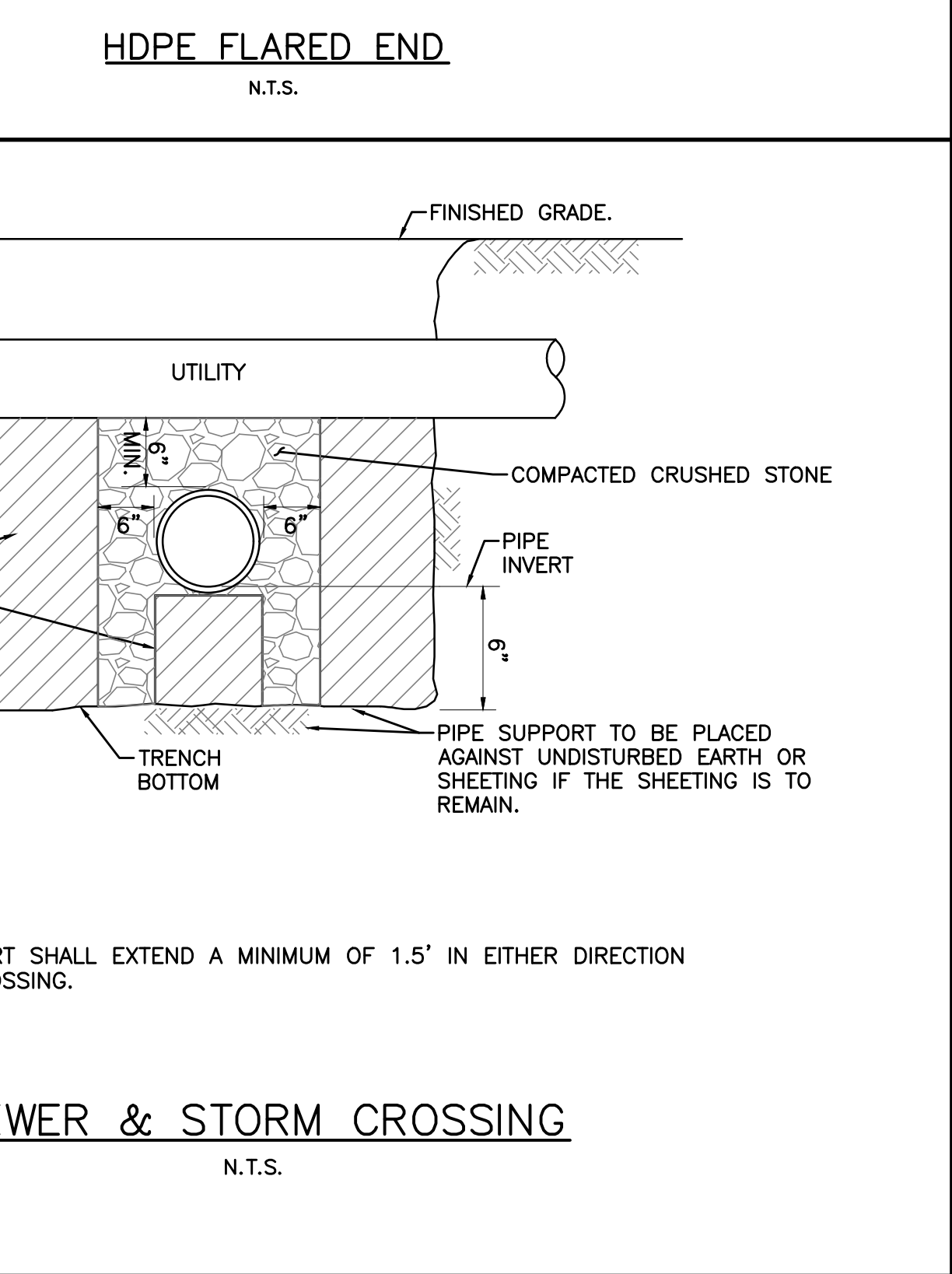
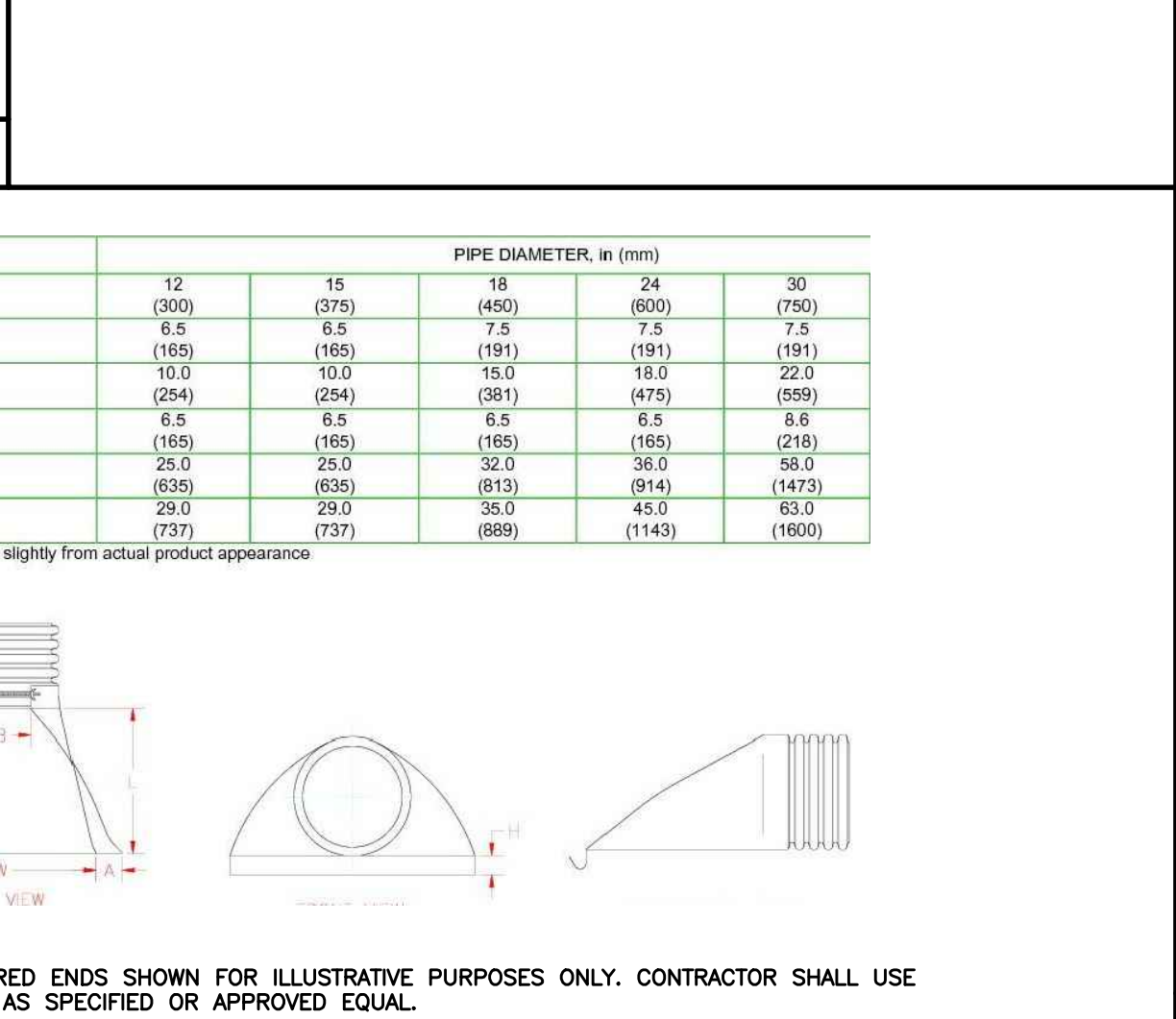
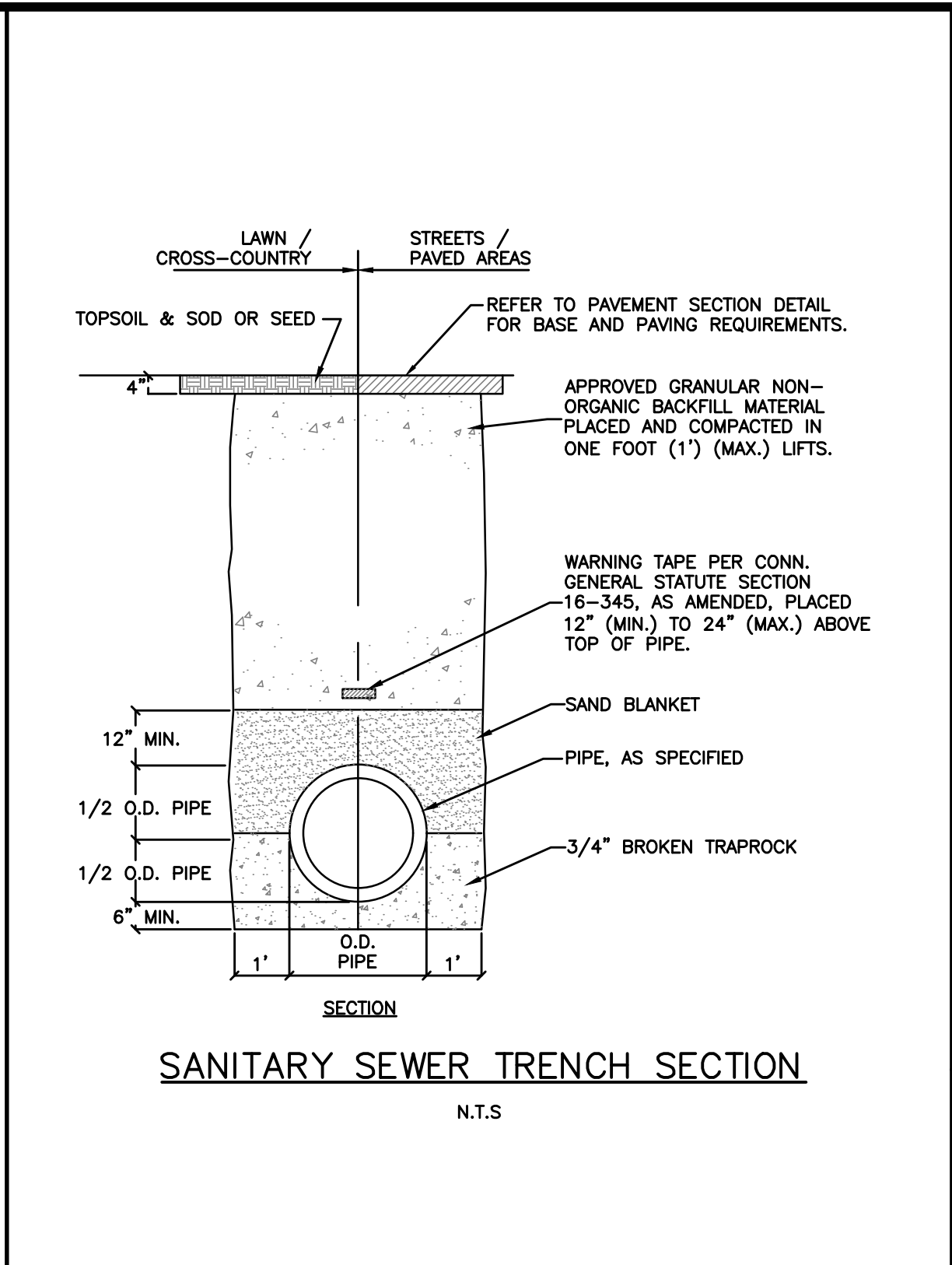
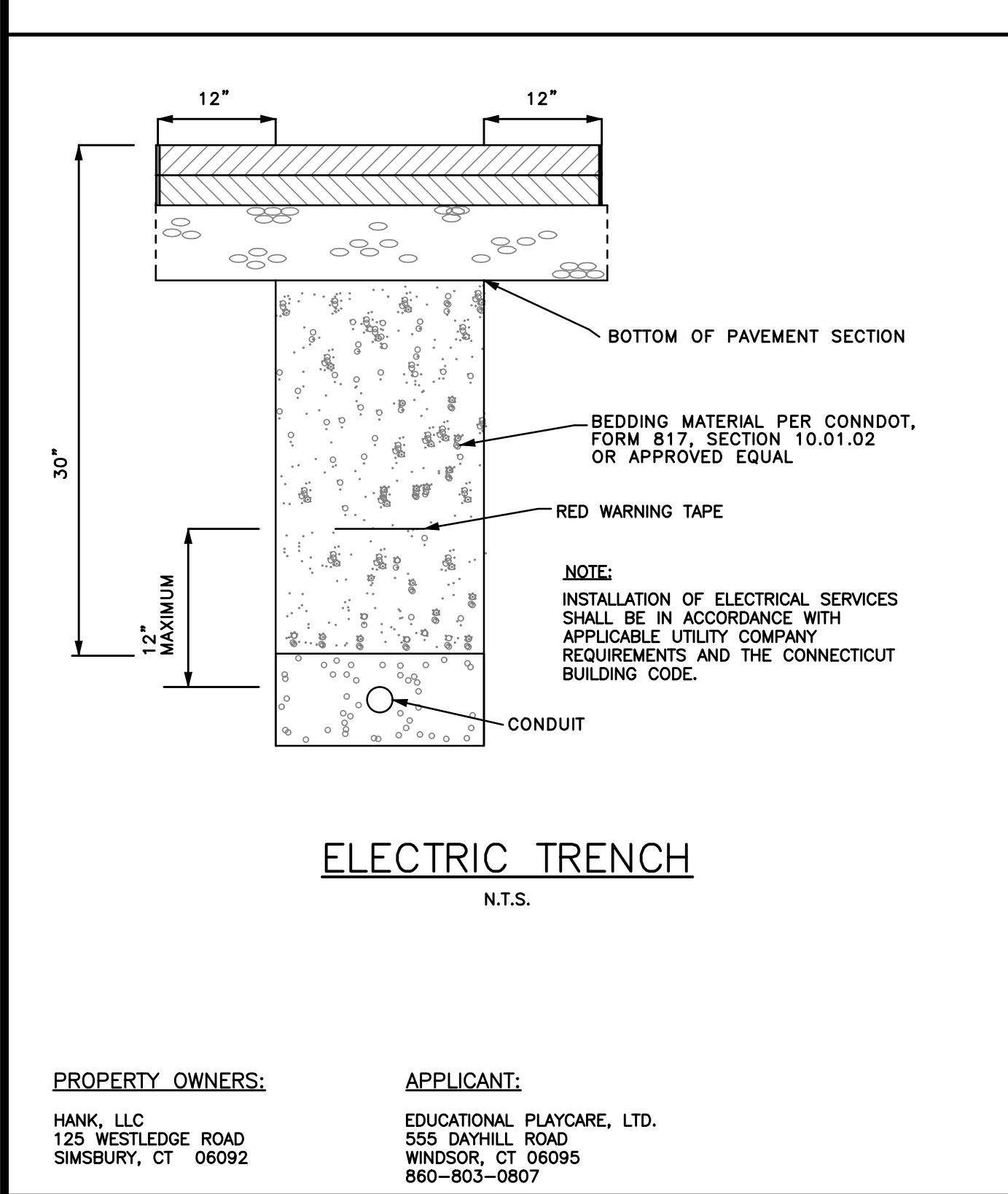
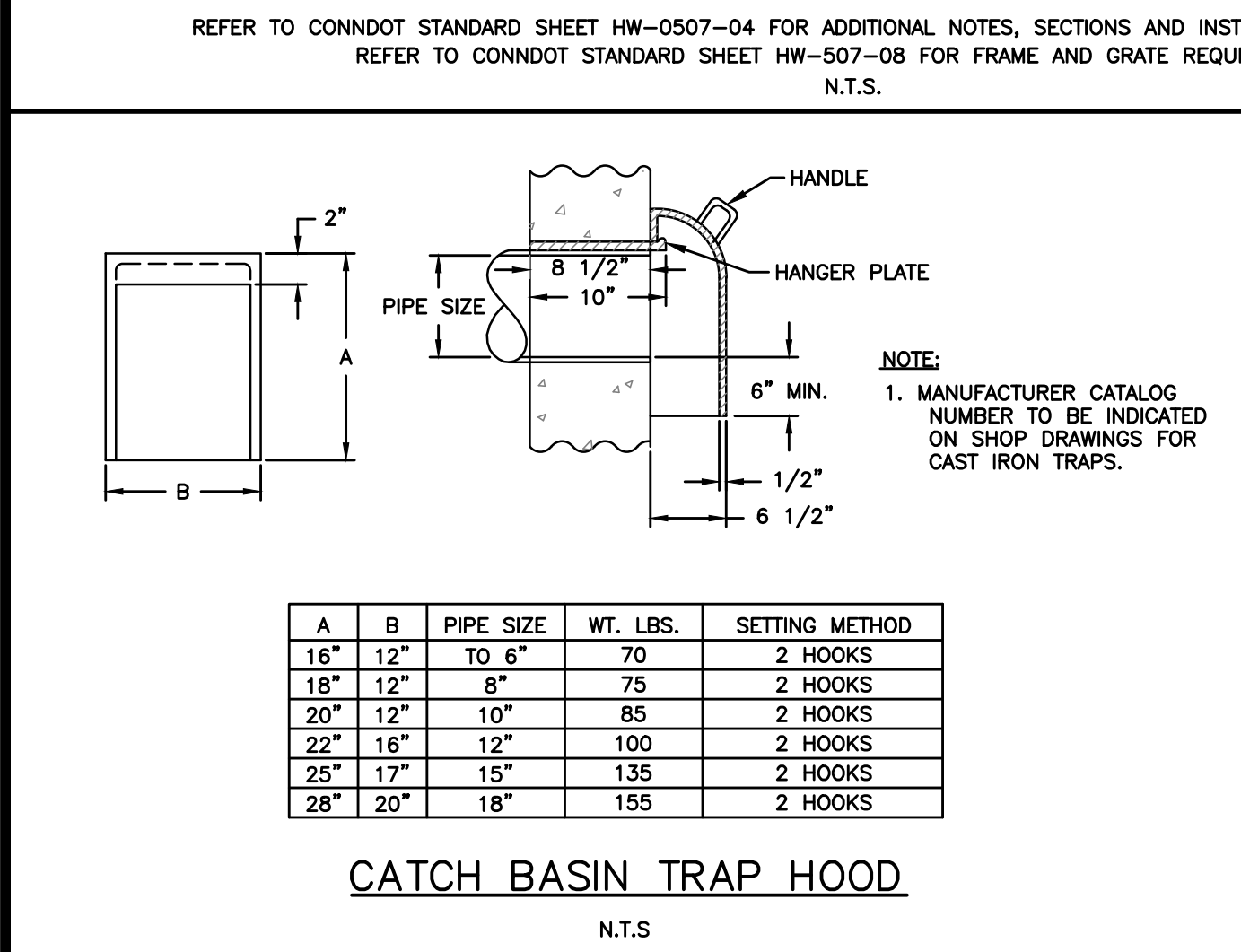
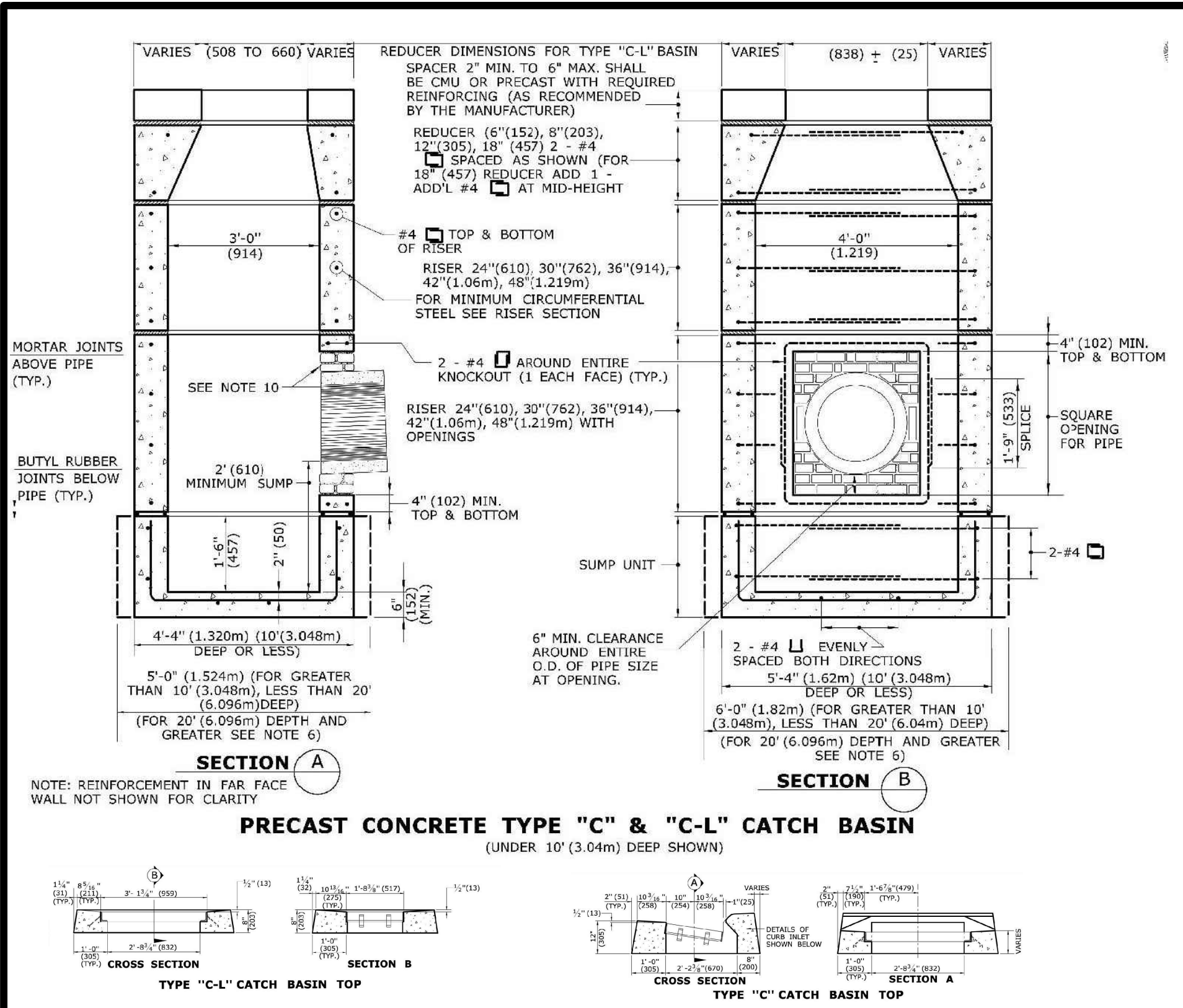
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DATE: 02/04/19
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EDUCATIONAL PLAYCARE CENTER
742 ELLINGTON ROAD
MAP 24, LOT 1
SOUTH WINDSOR, CT
SPECIAL EXCEPTION SITE PLAN

NO.	DATE	REVISIONS
1	2/7/19	REVISED PER TOWN STAFF COMMENTS
2	3/7/19	REVISED PER TOWN STAFF COMMENTS
3	4/7/21	REVISED PER DRAFT APPROVAL CONDITIONS

NOTES, DETAILS, & LEGEND

SHEET
C-D1
SHEET 10 OF 12



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21 FEBRUARY 2021
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PROJECT NO.: 4207
DATE: 02/04/19
DHI/SPC
DRAWN BY: DHI
CHECKED BY: SPC

EDUCATIONAL PLAYCARE CENTER
742 ELLINGTON ROAD
MAP 24, LOT 1
SOUTH WINDSOR, CT
SPECIAL EXCEPTION SITE PLAN

NO.	DATE	BY	REVISIONS
1	2/4/19	DHI	REVISED PER TOWN STAFF COMMENTS
2	3/17/19	DHI	REVISED PER TOWN STAFF COMMENTS
3	4/16/21	BPW	REVISED PER DRAFT APPROVAL CONDITIONS

DETAILS

SHEET
C-D2
SHEET 11 OF 12



N.T.S.

DETAILS

SHEET

C-D3

SHEET 12 OF 12