EDUCATIONAL PLAYCARE CENTER

SPECIAL EXCEPTION SITE PLAN

742 ELLINGTON ROAD ~ SOUTH WINDSOR ~ CT

MAP 24, LOTS 1

	ZONING	TABLI			
ZONE: RC (RESTRICTED COMMERCIAL ZONE)					
<u>ITEM</u>	REQUIRED/ ALLOWED	<u>EXISTING</u>	PROPOSED		
LOT AREA	30,000 SQ.FT. (MIN)	121,790± SQ.FT.	121,790± SQ.FT.		
LOT FRONTAGE	150'	470.7'	470.7'		
LOT DEPTH	150'	292.6'	292.6'		
FRONT YARD	65'	N/A	110.8'		
REAR YARD	25'	N/A	77.0'		
SIDE YARD	10'	N/A	67.5'		
HEIGHT	45 FT / 3 STORIES	N/A	<40' (1 STORY)		
PARKING	50	N/A	50		
IMPERVIOUS COVERAGE	60%	0%	34.3% (0.96 Acres Impervious)		
LOT COVERAGE (BUILDING ONLY)	25%	0%	13.6%		
PARKING LOT INTERIOR LANDSCAPING	10%	N/A	11.2%		

ABUTTERS				
Site Address	Owner Name	Parcel ID		
38 DAVEWELL ROAD	ETHERIDGE ALTON B III & LISA M	26100038		
48 DAVEWELL ROAD	PATY ABIGAIL D & JOHN A	26100048		
64 DAVEWELL ROAD	BURNS JOSEPH E III & KATHLEEN MARIE	26100064		
718 ELLINGTON ROAD	CAVALIERE FRANK N & CHERYL A TRUSTEES	30300718		
678 PLEASANT VALLEY ROAD	CLOUSER EILEEN R & DOUGLAS C	72900678		
755 ELLINGTON ROAD	MANNARINO BUILDERS INC	30300755		
672 PLEASANT VALLEY ROAD	DOW ALAN L & KAROL H	72900672		
56 DAVEWELL ROAD	LAPENTA RICHARD A JR	26100056		
779 ELLINGTON ROAD	PINKNEY CRAIG T &	30300779		
729 ELLINGTON ROAD	WOLF HELMAR	30300729		
32 DAVEWELL ROAD	JESKI SANDRA C	26100032		
664 PLEASANT VALLEY ROAD	PATEL BHUPENDRA C & TARULATA B	72900664		
22 DAVEWELL ROAD	RUSSO THERESE	26100022		
772 ELLINGTON ROAD	STONE DAVID E	30300772		
60 DAVEWELL ROAD	PILATTI ERICH C, REGINA M & ROBERT P	26100060		
771 ELLINGTON ROAD	SOUTH WINDSOR HISTORICAL SOCIETY	30300771		

PROPERTY OWNERS:

APPLICANT:

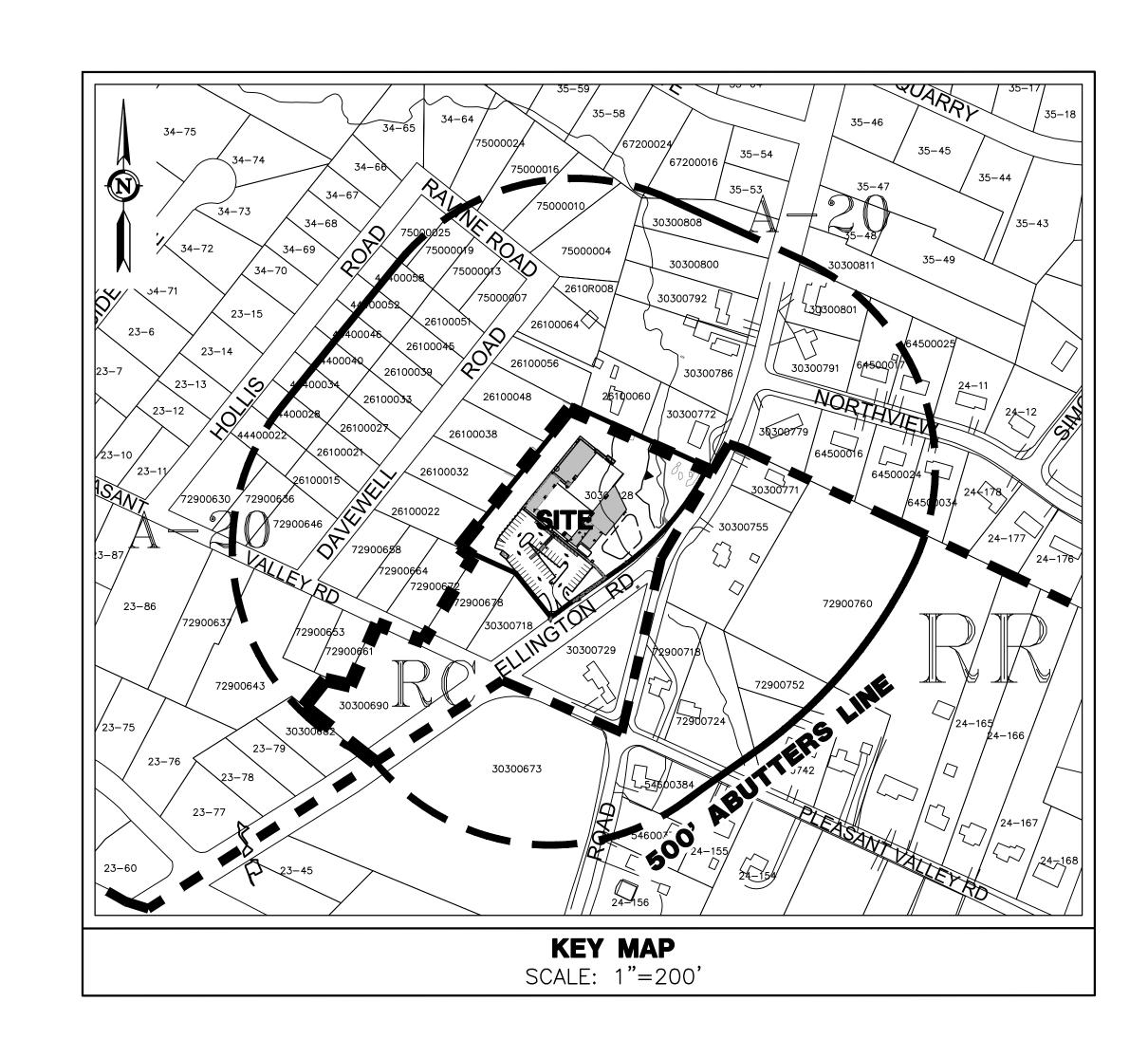
HANK, LLC 125 WESTLEDGE ROAD SIMSBURY, CT 06092

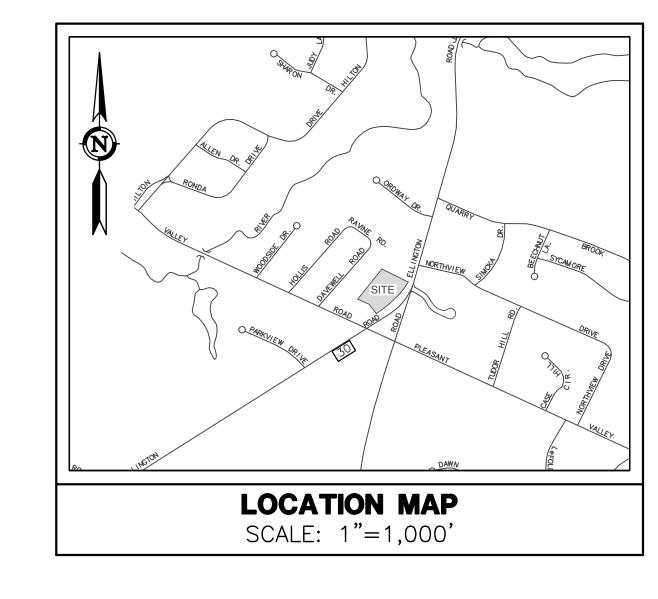
EDUCATIONAL PLAYCARE, LTD. 555 DAYHILL ROAD WINDSOR, CT 06095 860-803-0807

PRELIMINARY NOT FOR CONSTRUCTION APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF
- REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.





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	ARCHITECTURAL ELEVATIONS (BY OTHERS)			
	ARCHITECTURAL FLOOR PLANS (BY OTHERS)			

CIVIL ENGINEER, LANDSCAPE ARCHITECT, & LAND SURVEYOR:

esign rofessionals

CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS GIS ANALYSTS / LANDSCAPE ARCHITECTS

21 Jeffrey Drive P.O. Box 1167 South Windsor, CT 06074

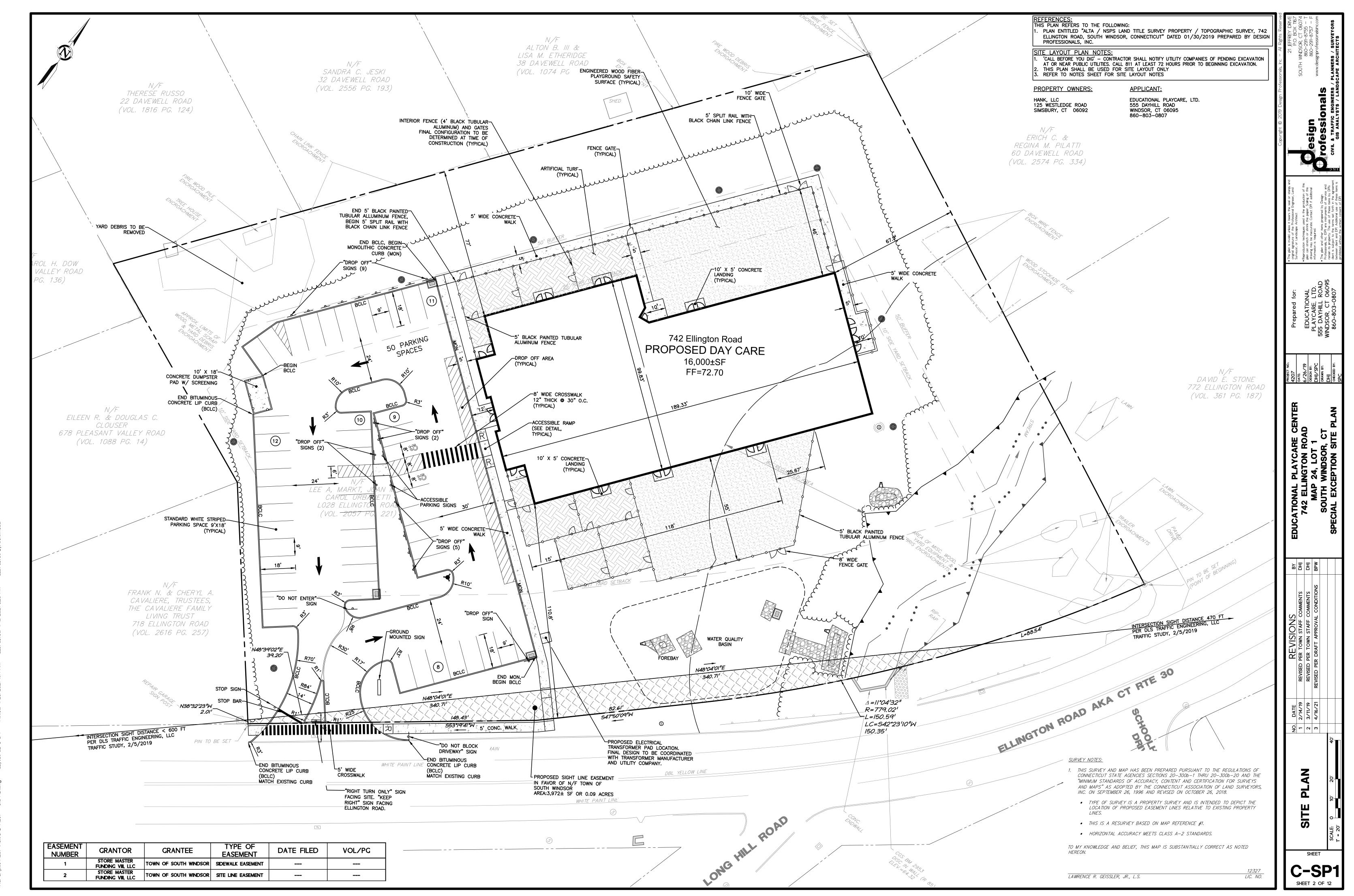
Phone: 860-291-8755 Fax: 860-291-8757 www.designprofessionalsinc.com

ARCHITECT

DCarchitecture, llc 11 Kettle Pond Road lane Granby, CT 06035 (860) 205-9549

BPW BPW

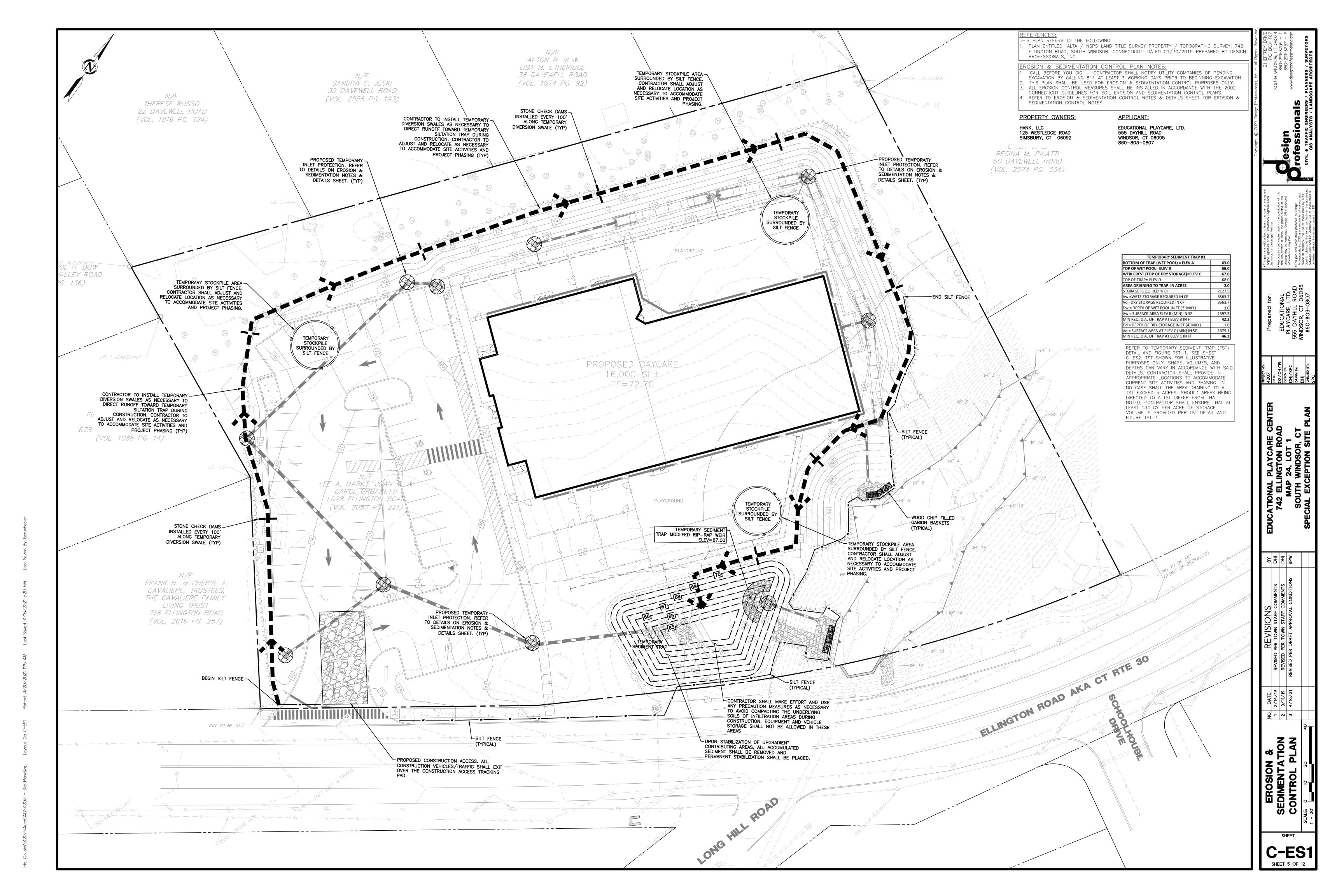
C-T1



Fle: C. Joba V 420/20 Autho CAD V 430/2021 1114 AM lest

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TRENCH UPGRADIENT OF POSTS

SILT FENCE

N.T.S.

FILTER

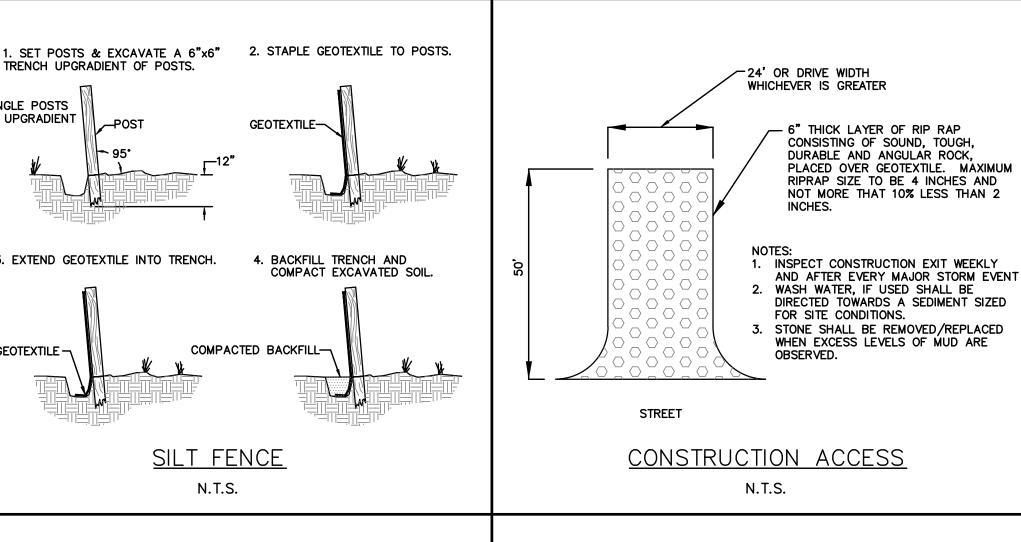
WITH STONE OR EARTH PILE.

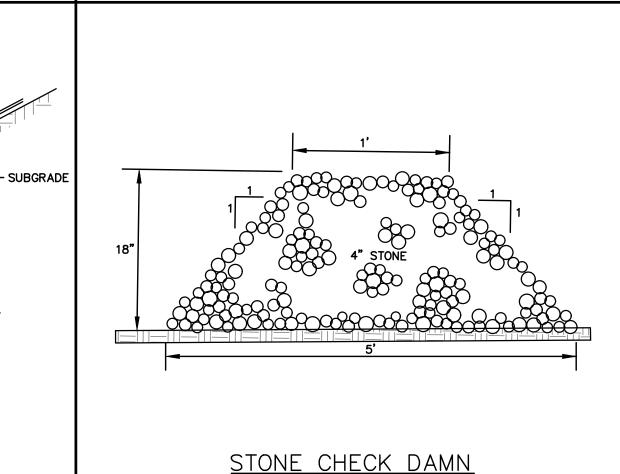
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STONE ANCHOR-

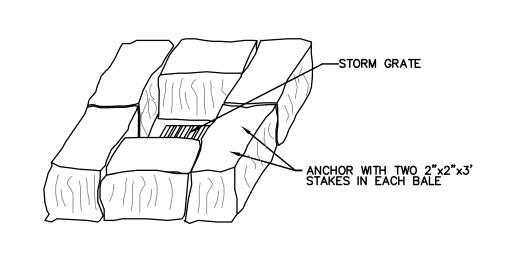
REMOVE CB GRATE. PLACE FILTER FABRIC. REPLACE GRATE TAKING CARE NOT TO DAMAGE FILTER FABRIC. ANCHOR

ANGLE POSTS

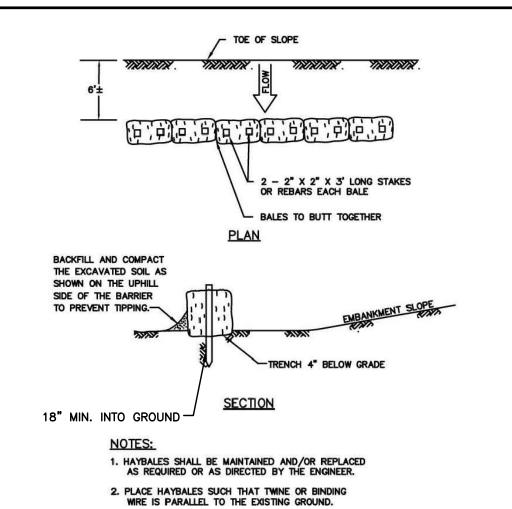




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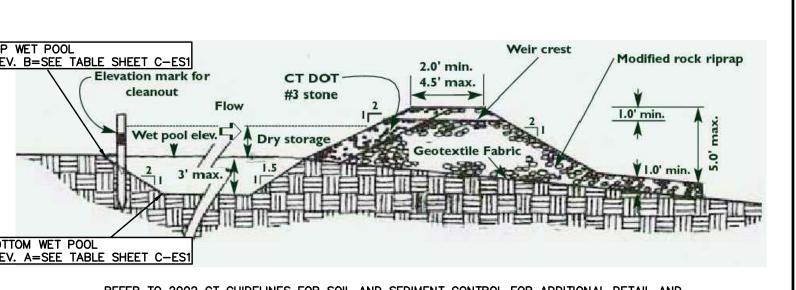


STRAW BALE INSTALLATION AT CATCH **BASINS** N.T.S.

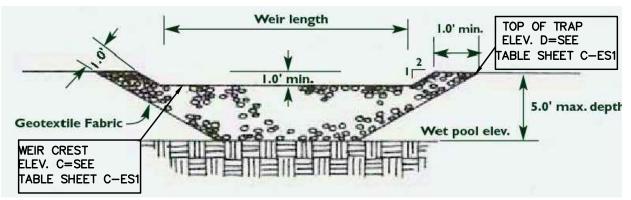


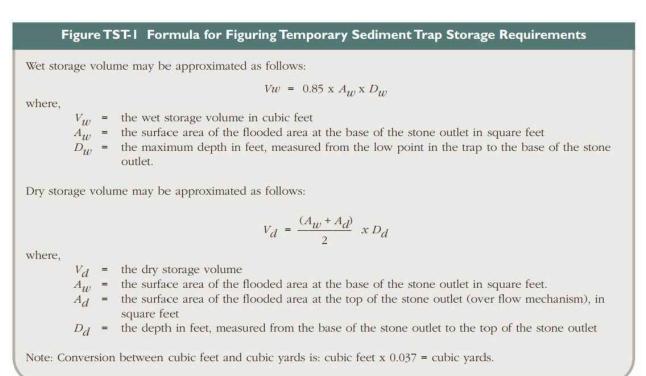
STRAW BALES FOR EROSION CONTROL

N.T.S.



REFER TO 2002 CT GUIDELINES FOR SOIL AND SEDIMENT CONTROL FOR ADDITIONAL DETAIL AND

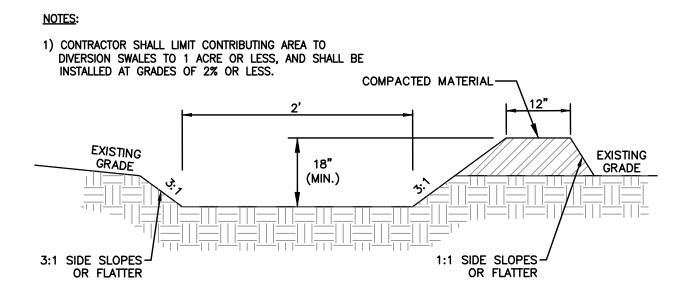




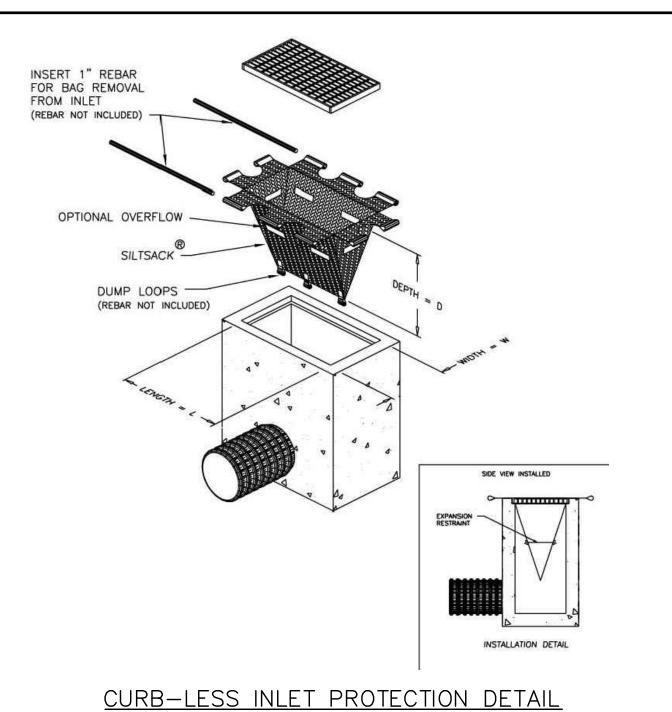
VOLUME OF TST SHALL BE A MINIMUM OF 134 CUBIC YARDS PER ACRE DRAINING TO IT. HALF OF THE REQUIRED VOLUME SHALL BE FOR WET STORAGE WHILE THE OTHER HALF SHALL BE FOR DRY STORAGE. REFER TO GENERAL SIZING CALCULATIONS FOR TST BELOW.

TEMPORARY SEDIMENT TRAP

N.T.S.



TEMPORARY DIVERSION SWALE



CONSTRUCTION SEQUENCE (DETENTION BASIN):

PRACTICES AS SHOWN ON THE PLANS.

REQUIREMENTS.

DOWNSTREAM.

OR INCREASE THE LENGTH AS CONDITIONS DEMAND.

5. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.

8. INSTALL PAVEMENT, SIDEWALKS AND CURBING.

10. PLACE TOPSOIL, GRASS SEED, AND MULCH.

FINAL GRADES SHOWN ON PLANS.

EXISTING VEGETATION.

MATERIAL REACHES TWELVE INCHES.

(WEEKLY CONSTRUCTION REPORTS):

PREPARED WITHIN 24 HOURS OF SAID EVENT.

VEGETATION.

INSTALL CONSTRUCTION EXIT AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON

2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND

CONSTRUCT TEMPORARY SEDIMENTATION TRAP AND OTHER BEST MANAGEMENT

4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE

SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING.

CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON

STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL

AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.

ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR

LONGER THAN 30 DAYS. REFER TO LANDSCAPE PLANS FOR TEMPORARY SEEDING

6. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED

EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION

INLETS/OUTLETS WITH HAYBALES AND FILTER FABRIC AS SHOWN IN THE DETAILS.

9. REMOVE SEDIMENT FROM SEDIMENTATION TRAP. FINE GRADE DETENTION BASIN TO

11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL

THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF

THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND/OR UNDERGROUND BASINS. THE

DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR

PIPE OUTLET LOCATIONS: PIPE OUTLETS SHALL BE INSPECTED ANNUALLY AND CLEANED

CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEPT AT LEAST TWICE PER YEAR.

AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF

INFILTRATION BASINS, WATER QUALITY BASINS, DETENTION BASINS, AND SEDIMENT

SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

FOREBAYS: SHALL BE INSPECTED BIANNUALLY. ALL LARGE WOODY NON LANDSCAPE

BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM

GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL

EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION

AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS

ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE

UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN

THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GRATER) REPORTS SHALL BE

OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL

MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM

OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF

12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE

PERMANENT STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:

GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

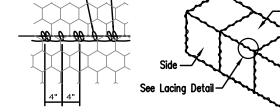
SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

7. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT

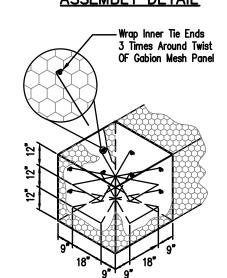
BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL

PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT

TRACKING AND WASHING OF SEDIMENT ONTO ABUTTING PAVED SURFACES. ADD STONE



ASSEMBLY DETAIL LACING DETAIL <u> WIRE LACING DETAIL</u>



1. THE ENDS OF A LACING WIRE WILL BE SECURED BY LOOPING IT THRU THE MESH AND TWISTING. PROCEED TO LACE WITH ALTERNATE TWO LOOPS AND ONE LOOP AT APPROXIMATELY 4 INCH INTERVALS.

2. OTHER LACING METHODS MAY BE USED IF RECOMMENDED BY THE MANFUACTURER AND APPROVED BY THE ENGINEER/INSPECTOR.

3. THE "X" SHAPED INNER TIE MAY BE TWISTED AT THE "X" TO TIGHTEN, IF PLACED TOO

INNER TIE WIRE DETAILS

WOOD CHIP FILLED

EROSION & SEDIMENTATION CONTROL NARRATIVE

HAVING JURISDICTION.

- 1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
- 2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY
- 3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEPT CLEAN AT ALL TIMES.
- 5. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE.
- 6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH: 90# / 1000 S.F. TEMPORARY SEEDING: 1.0# / 1000 S.F. PERENNIAL RYEGRASS

- 7. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
- 8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
- 9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET
- 10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
- 11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
- 12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
- 13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
- 14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
- 15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
- 16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
- 17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
- 18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE - FALL 2019 ESTIMATED COMPLETION DATE **WINTER 2019**

SIMSBURY, CT 06092

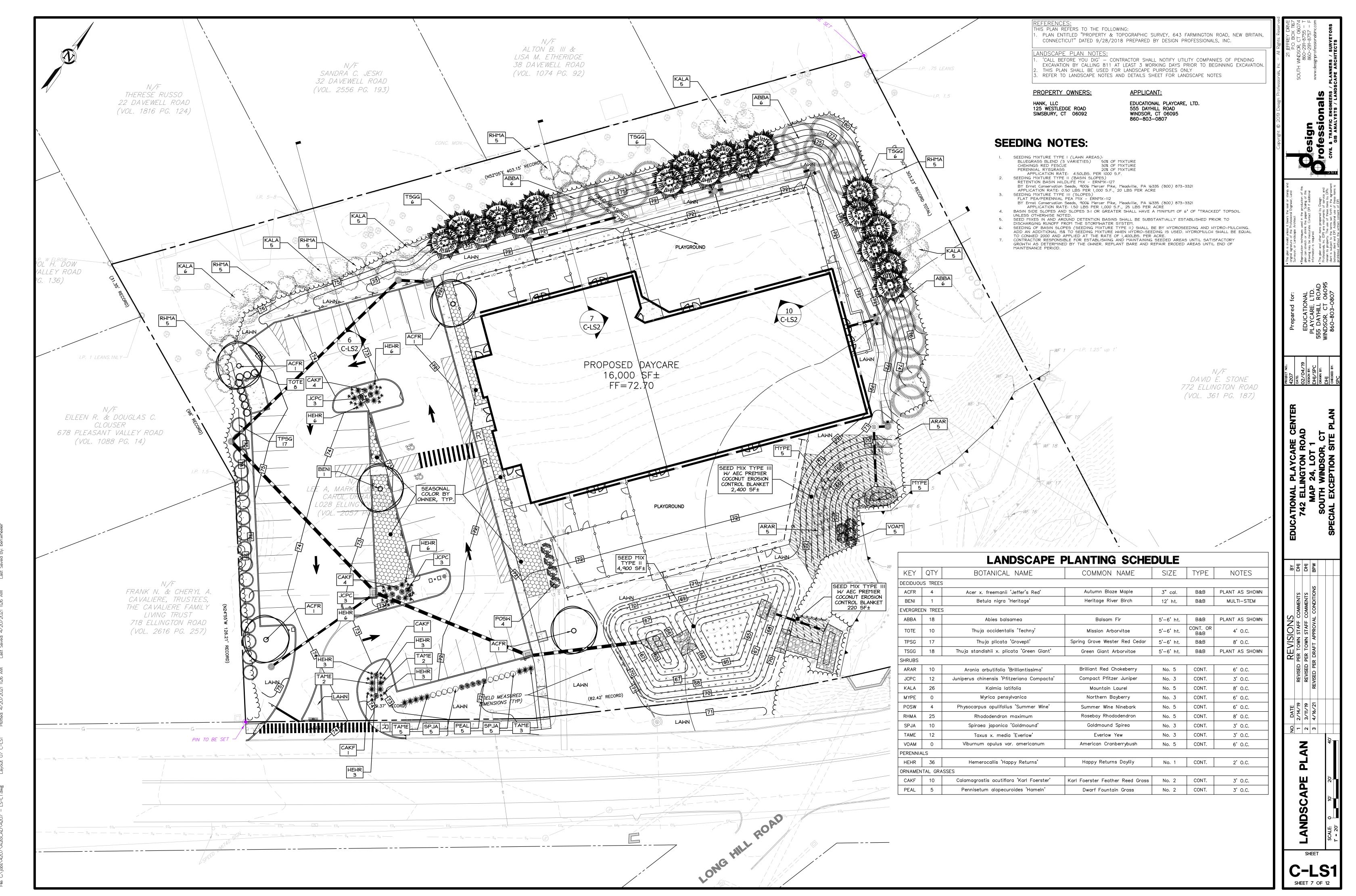
APPLICANT: EDUCATIONAL PLAYCARE, LTD. 555 DAYHILL ROAD WINDSOR, CT 06095 860-803-0807

<u>PROPERTY OWNERS:</u> 125 WESTLEDGE ROAD

SHEET 6 OF 12

Reproduction of the Program of the Color of

DATE: 02/C



A. BARK MULCH/COMPOST 10%-12%

SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES.

BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF HE "AMERICAN STANDARD FOR NURSERY STOCK". CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE. BARE-ROOT PLANTS: DUG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORMLY THICK COATING
OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT

SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.

CONTAINER STOCK SHALL NOT BE POT BOUND.

CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.

ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY

OF THE PROJECT, FOR AT LEAST ONE YEAR.

CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF I YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE Y OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL. CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS. CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY O CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING

DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER. PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS. PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:

B. COARSE SAND 40-45% PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF LIME SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MAXIMUM OF 60% OXIDE. (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE

POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOSITION. NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT ETTING AND DETERIORATION.

DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS. NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.

CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.

PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY.
FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS
CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING.
INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH THE OWNER.

NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE

SIZE INDICATED ON THE DRAWINGS.

THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN I INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.

ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT

SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:

REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.

MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY

OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.

PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES. ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE. MULCH TO BE APPLIED AS FOLLOWS: AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL

PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS. APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER

THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS: CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:

MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.

MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE
INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.

RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT

MATERIAL AND REMOVE DEAD MATERIAL. 27.D. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE

OMNER.

REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.

LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.

LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER

GOVERNING REGULATIONS.

CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES. ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE

ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT. TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

3" HIGH EARTH SAUCER (TYP.) 2" SHREDDED BARK MULCH REMOVE BURLAP AND TIES FROM TOP 1/3 BALL 2" SHREDDED BARK MULCH GROUND COVER BEDS COMPACTED SUBGRADE (TYP.) PLANTING SOIL MIXTURE (TYP.)

SHRUB & GROUNDCOVER PLANTING DETAIL

OF THE LANDSCAPE ARCHITECT SEE STAKING DETAIL. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE WRAPPING DETAIL. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE EACH TREE MUST BE PLANTED SUCH THAT TO FACE NORTH AT THE SITE WHEN THE TRUNK FLARE IS VISIBLE AT THE TOP EVER POSSIBLE. SET TOP OF ROOT BALL FLUSH TO -FLARE IS NOT VISIBLE SHALL BE REJECTED. GRADE OR 25MM-50MM (1"-2") DON'T COVER THE TOP OF THE ROOT BALL HIGHER IN SLOWLY DRAINING SOILS. WITH SOIL. MULCH RING, 1800MM (6') DIA, MIN. -- 100MM (4") HIGH FARTH SAUCER BEYOND EDGE OF ROOT BALL. 2400MM (8') DIA. PREFERRED BURLAP FROM TOP HALF OF ROOT BALL 50MM (2") MULCH. DO NOT PLACE ----REMOVE COMPLETELY IF SYNTHETIC IS USED. MULCH IN CONTACT WITH TREE TRUNK. - IF PLANT IS SHIPPED WITH A WIRE MAINTAIN THE MULCH WEED-FREE FOR A MIN. OF THREE YEARS AFTER THE WIRE BASKET IN FOUR PLACES ND FOLD DOWN 200MM (8") INTO TAMP SOIL AROUND ROOT BALL BASE -PLANTING HOLE. FIRMLY WITH FOOT PRESSURE SO THAT PLACE ROOT BALL ON UNEXCAVATED ROOT BALL DOESN'T SHIFT. OR TAMPED SOIL NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT SEE "SOIL IMPROVEMENT DETAILS." NO MULCH WITHIN 3" OF TREE TRUNK THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR TREE PLANTING DETAIL Not to Scale

O NOT HEAVILY PRUNE THE TREE AT PLANTING

DO NOT HEAVILY PRONE I HE I REE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

NOTE: FOR DETAILED REQUIREMENTS -RELATED TO THE PLANTING OF THE TREE IN THE IMPROVED SOIL SEE "TREE PLANTING DETAIL." IN SANDY LOAM SOILS, ADD 20% MAX. BY VOLUME COMPOSTED ORGANIC MATERIAL TO THE EXISTING SOIL. 1:1 SLOPE ON SIDES OF PLANTING HOLE. TAMP SOIL AROUND ROOT BALL ----COMPACTED MOUND BASE FIRMLY WITH FOOT UNDER THE ROOT PRESSURE SO THAT ROOT

LOAMY SOILS INCLUDE THE FOLLOWING USDA TEXTURAL CLASSIFICATIONS AND HAVE A CLAY CONTENT OF BETWEEN 15 TO 27%: LOAM, SANDY LOAM AND SILT LOAM. NOTE THAT SOILS AT THE OUTER LIMITS OF THE LOAM CLASSIFICATIONS MAY PRESENT SPECIAL PLANTING PLANTING PROBLEMS NOT ANTICIPATED BY THIS DETAIL.

SETTLEMENT.

Not to Scale

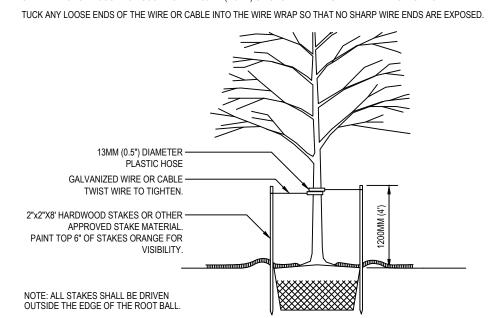
LOAMY SOILS ARE DEFINED AS GRANULAR OR BLOCKY FRIABLE SOILS, A MIXTURE OF SAND, SILT AND CLAY PARTICLES WITH A MINIMUM OF 1.5% BY DRY WEIGHT ORGANIC MATTER. THE SOIL MUST NOT BE SO COMPACTED AS TO IMPEDE ROOT GROWTH OR DRAINAGE. THE SOIL STRUCTURE SHALL NOT BE PLATY OR MASSIVE. THE SOIL MUST BE TESTED FOR TEXTURE, DRAINAGE CAPABILITY, PH, AND NUTRIENT VALUES PRIOR TO DETERMINING PLANT SELECTIONS AND ANY ADDITIONAL SOIL IMPROVEMENTS.

FOR TREES PLANTED IN NON-RESTRICTED SOIL CONDITIONS. THIS DETAIL ASSUMES THAT THE AREA OF LOAMY SOIL AVAILABLE TO EACH TREE IS A MINIMUM OF 45 SQ. M (500 SQ. FT)

SOIL IMPROVEMENT DETAIL

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS: TREES UP TO 65 MM (2.5 IN.) CALIPER - 14 GAUGE TREES 65 MM (2.5 IN.) TO 75 MM (3 IN.) CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35MM (1.5 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

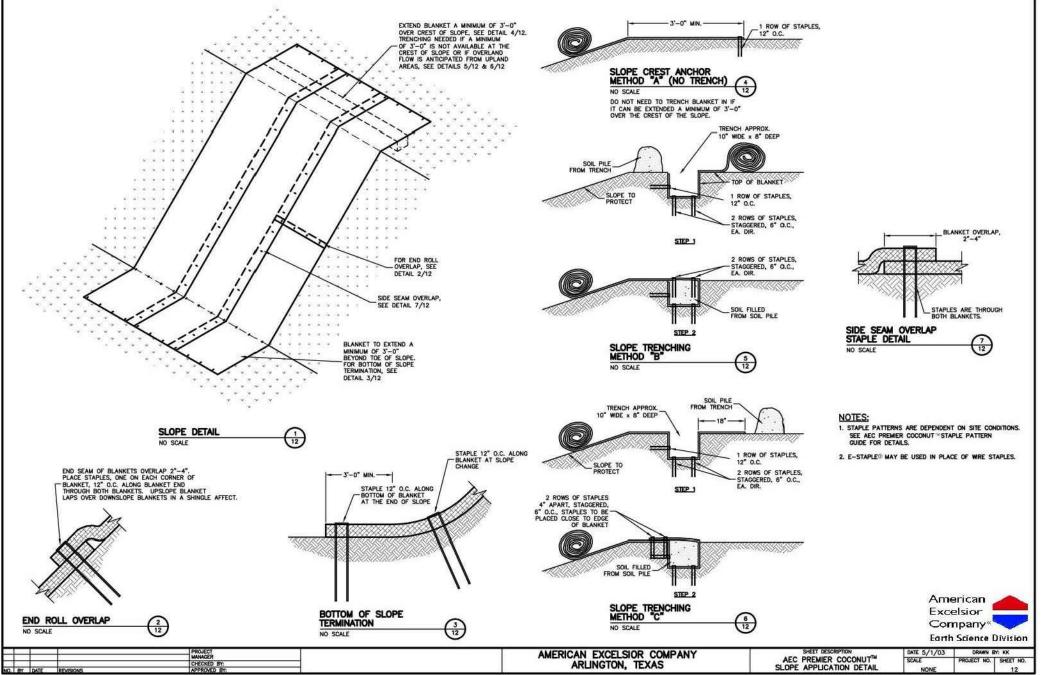


ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN.)

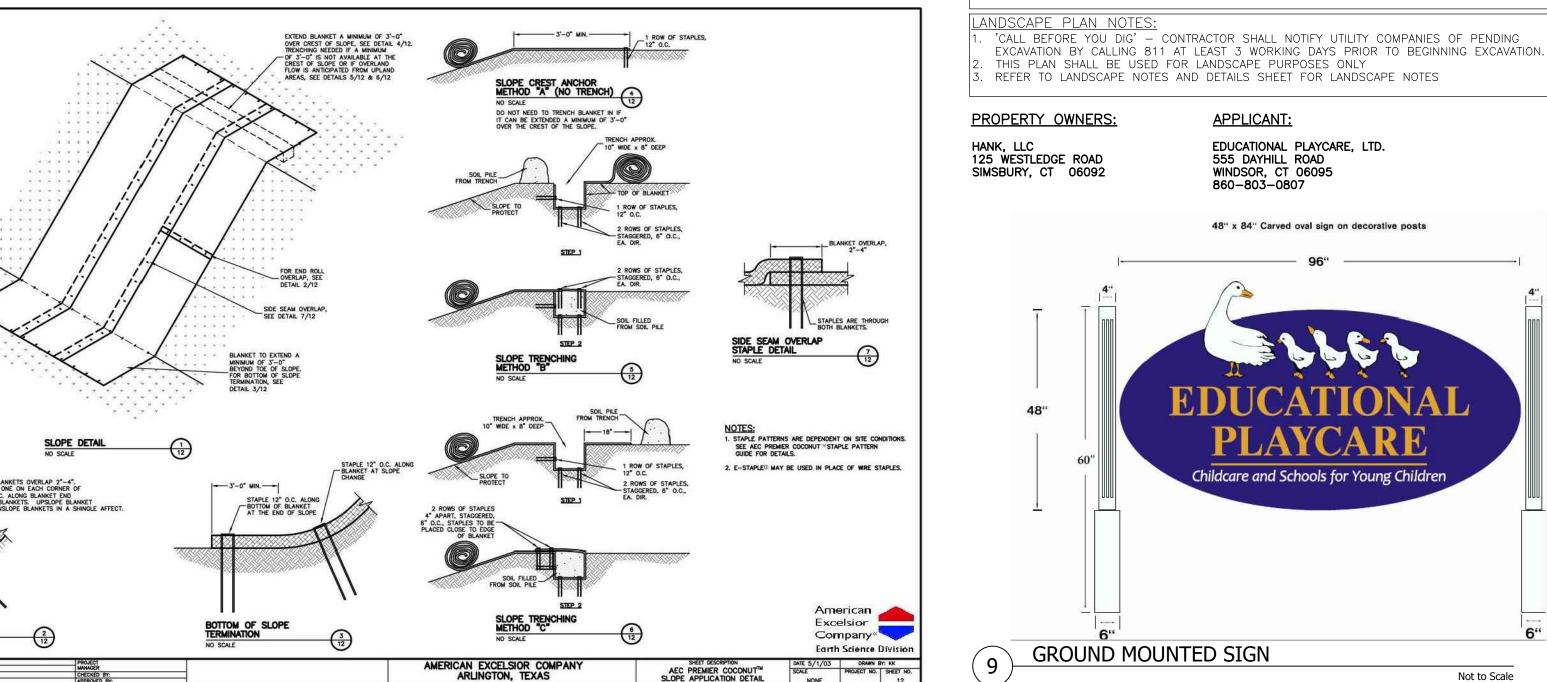
REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT. o TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE. o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE. O PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING. o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE. o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE

FREE STAKING DETAIL (3" CAL. OR SMALLER)



EROSION CONTROL BLANKET DETAIL

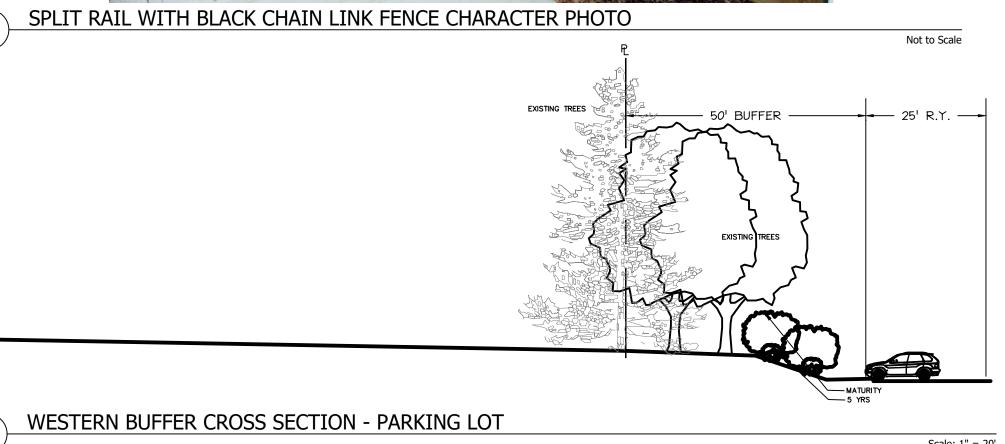


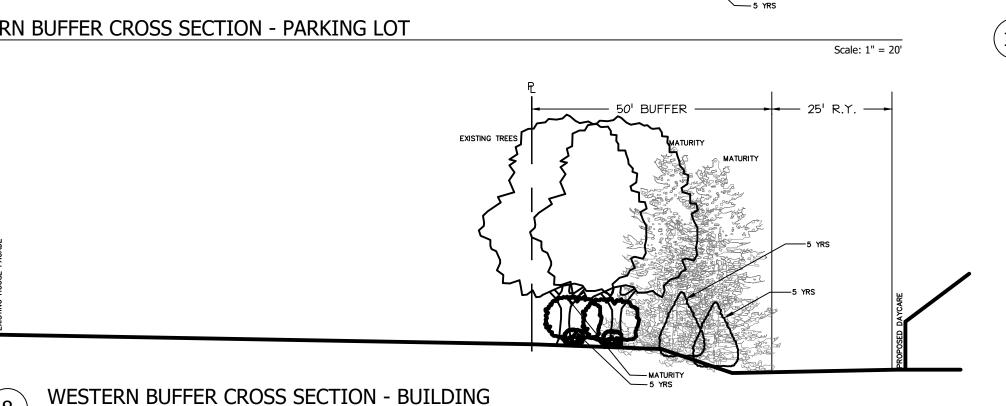


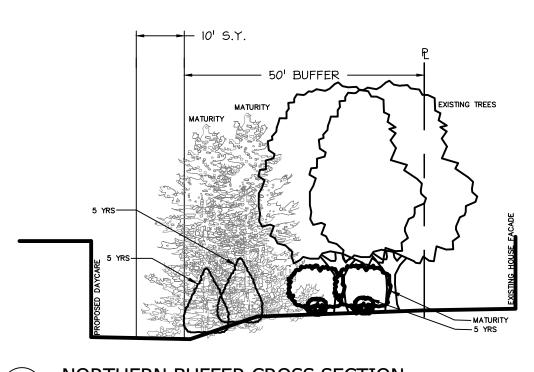
THIS PLAN REFERS TO THE FOLLOWING:

PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 643 FARMINGTON ROAD, NEW BRITAIN,

CONNECTICUT" DATED 9/28/2018 PREPARED BY DESIGN PROFESSIONALS, INC.





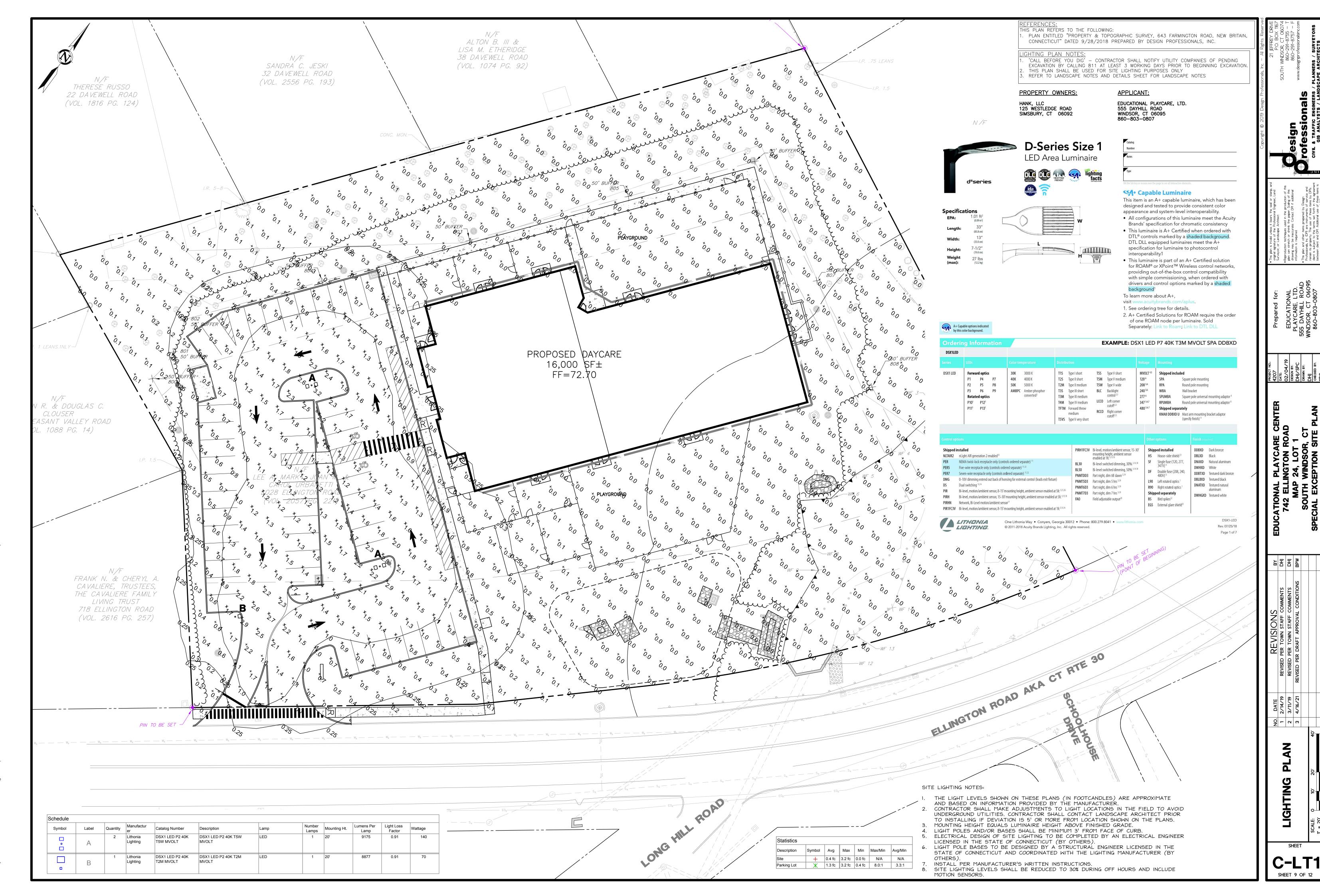


NORTHERN BUFFER CROSS SECTION

Scale: 1" = 20'

2 - | 0 | 0

Scale: 1" = 20'



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- 1. At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- 2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of
- 3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- 4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with iurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- 5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- 6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- 7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- 8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- 9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- 10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- 11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- 12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- 13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- 14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- 15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- 16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- 17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- 18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- 19. The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.
- 20. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
- 21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.

- 22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
- 23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre—damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
- 24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
- 25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
- 26. The contractor is responsible for repairing all damage to any existing utilities during
- 27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
- 28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
- 29. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
- 30. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
- 31. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
- 32. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction
- 33. Unless indicated otherwise or required by the authority having jurisdiction, all pipes

Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.

High—Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.

Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.

- 34. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure.Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
- 35. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
- 36. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main or stormwater sewer, or such other separation as approved by the agency with jurisdiction over same. Sewers conveying sanitary flow, must be separated from stormwater sewers by a distance of at least 18 inches vertically. At pipe crossings, the pipes must be with the sanitary sewer at least 18 inches below the bottom of the water main or stormwater sewer. Where appropriate separation from a water main or stormwater sewer is not possible, the sanitary sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip—on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
- 37. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
- 38. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
- 39. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
- 40. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
- 41. Grades adjacent to the building in lawn and landscape areas shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.

- 42. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
- 43. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
- 44. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer orthe authority having jurisdiction.
- 45. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical
- 46. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
- 47. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
- 48. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:

The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the

- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6)feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

WHITE LETTERS

1/4" x 1/2" LG. PIN HD. BOLTS

SIDEWALK

APPROACH

└─ CURBING

WITH NUTS & LOCK

WASHERS

STOP SIGN

N.T.S.

PARALLEL SIDEWALK RAMP (TYPE 1) NO UTILITY STRIP

SIDEWALK RAMP

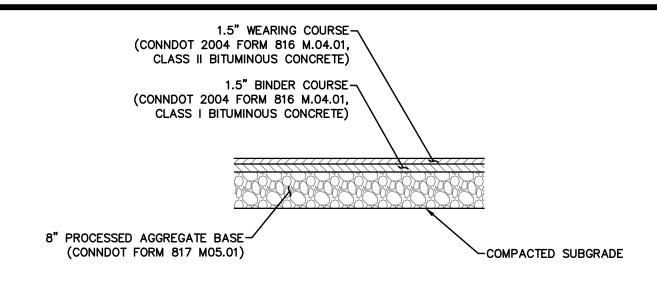
SIDEWALK

APPROACH

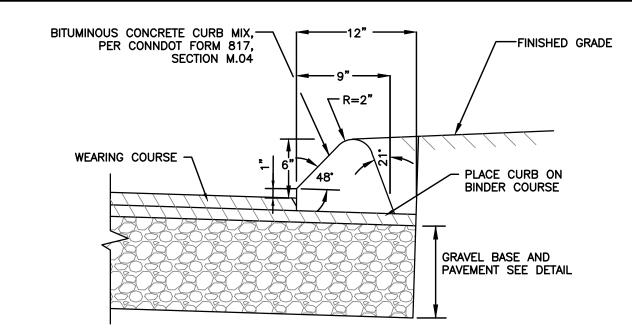
DETAILS TAKEN FROM CONNECTICUT

DOT STANDARD GUIDE SHEETS ~ SIDEWALK RAMPS

SIDEWALK CURB (OPTIONAL

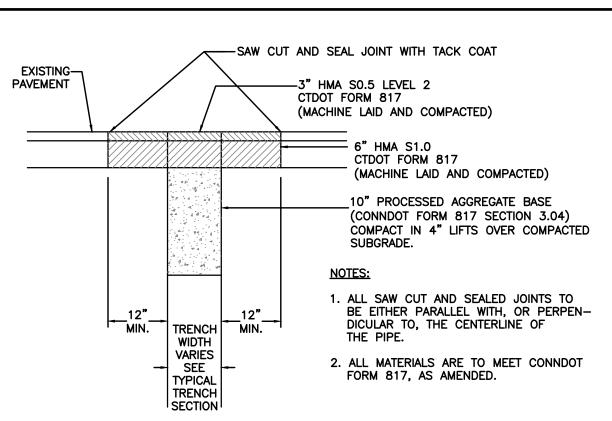


BITUMINOUS CONCRETE PAVEMENT SECTION STANDARD DUTY



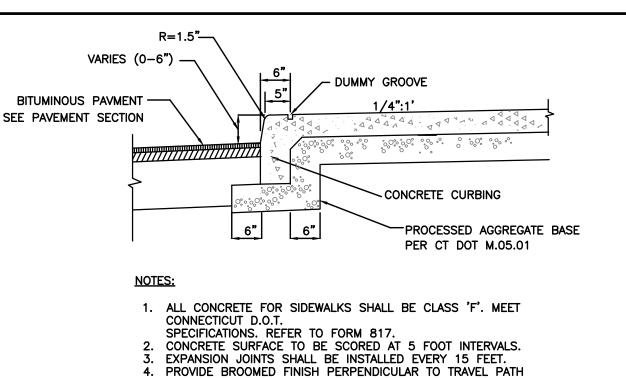
BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CONNDOT FORM 817 SECTION 8.15.

BITUMINOUS CONCRETE LIP CURB

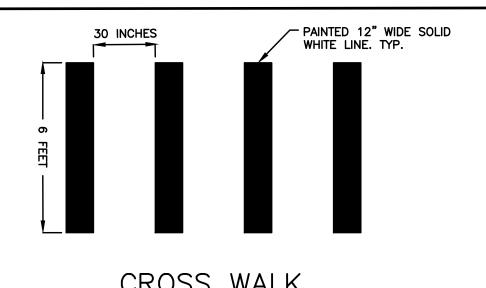


ROUTE 30 PAVEMENT PATCH

N.T.S.



MONOLITHIC CONCRETE WALK AND CURB



N.T.S.

CROSS WALK

— FIJ —— UNDERGROUND UTILITY POLE д യ PROPERTY _ _ _ _ PROPERTY LINE _ _ _ _ EASEMENT LINE IRON PIPE IRON ROD MONUMENT IROADS 0 0 0 0 GUARD RAIL EROSION CONTROL SILT FENCE --- SF ----SITE FEATURES 4" DOUBLE SOLID DSYL YELLOW LINE 4" SINGLE SOLID WHITE SSWL BIT. CONC. LIP CURB BCLC PRECAST CONCRETE PCC SANITARY SEWER · — — s_x — — s_x — | Sanitary Sewer Main | SERVICE LINE SANITARY SEWER MANHOLE STORM SEWER STORM DRAIN PIPE -- RL_x -- RL_x --ROOF LEADER - — — UD— — — UD— UNDERDRAIN — — UD— — — UD STORM DRAIN MANHOLE CURB INLET CATCH BASIN YARD DRAIN TOPOGRAPHY - — — — - *95*— — — — | CONTOUR **--**| 95 |-SPOT ELEVATION OTHER RAMP R LANDSCAPE AREA LSA #4 @ 12" EACH WAY - 1' CLEARANCE COMPACTED TO 95% √ 6" BOLLARDS 6' CHAIN LINK FENCE WITH OPAQUE - BLACK VINYL COATED CHAIN LINK, GALVANIZED 9GA., 2" MESH WITH BLACK VINYL PRIVACY STRIPS SURROUNDING DUMPSTER ENCLOSURE (INSTALL PER MANUFACTURERS RECOMMENDATION). POST CAP - TENSION BAND TENSION BAR

WATER SERVICE _____ _ _ ws_x ____ — ws —— FIRE SERVICE LINE NON-POTABLE WATER _____ __ NPW__ - NPW -WATER VALVE / $W \langle W \rangle$ \odot \triangle \bowtie \triangle **FIXTURES** FIRE HYDRANT • LIQUID FUEL —— — LF_x — MAIN LIQUID FUEL LINE LIQUID FUEL SERVICE LIQUID FUEL LINE, ----- --- LF_a ----ABANDONED IRRIGATION _ _ _ ı_x__ _ _ ı_x__ | IRRIGATION LINES LIGHTING ***** / **€** NATURAL GAS - — G_x — — G_x — | GAS MAIN — G —— GAS SERVICE LINE _____ _ _ GS_x ____ — GS — POWER ELECTRICAL LINES, — ЕО_х — OVERHEAD ELECTRICAL LINES, ——— — EU_x —

LEGEND

DESCRIPTION

BORING / TEST PIT LOCATION

UNDERGROUND

COMMUNICATION LINE

WATER MAIN

BORINGS

COMMUNICATION

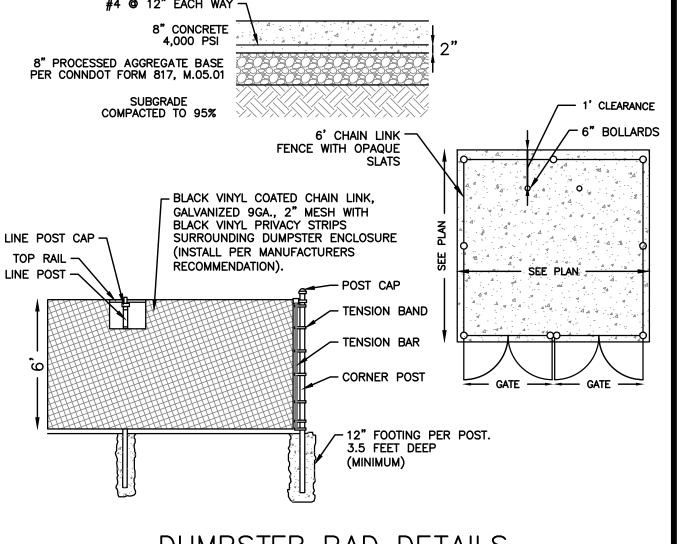
DOMESTIC WATER

 $- - - c_x - - c_x -$

_ _ _ w_x _ _ _ w_x _ |

PROPOSED

— w----



DUMPSTER PAD DETAILS

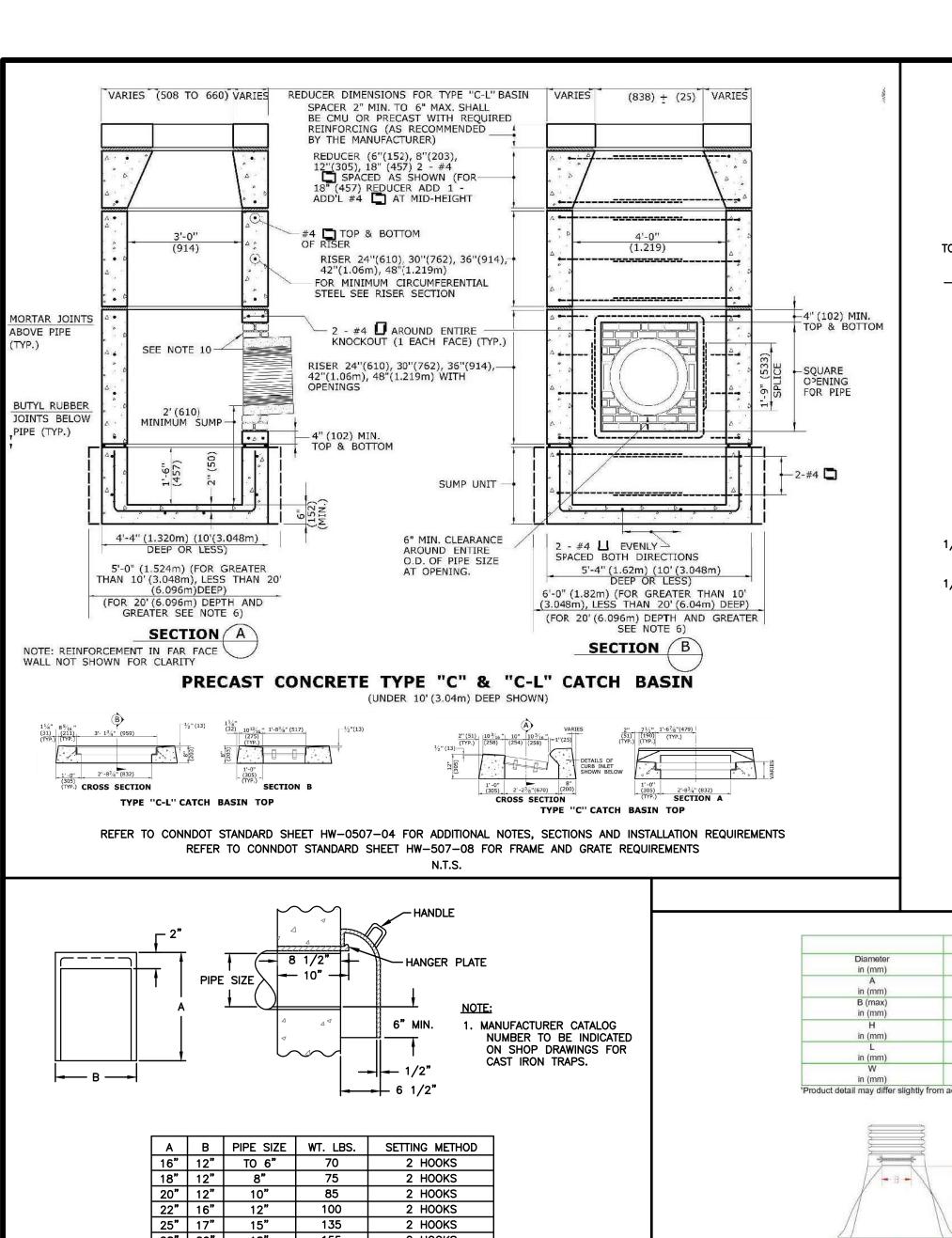
PROPERTY OWNERS: HANK, LLC 125 WESTLEDGE ROAD

SIMSBURY, CT 06092

APPLICANT: EDUCATIONAL PLAYCARE, LTD. 555 DAYHILL ROAD WINDSOR, CT 06095 860-803-0807

C-D1

B H H

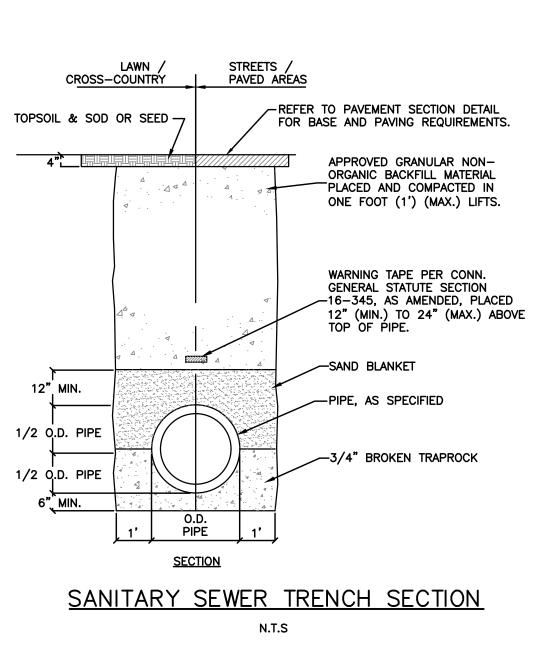


2 HOOKS

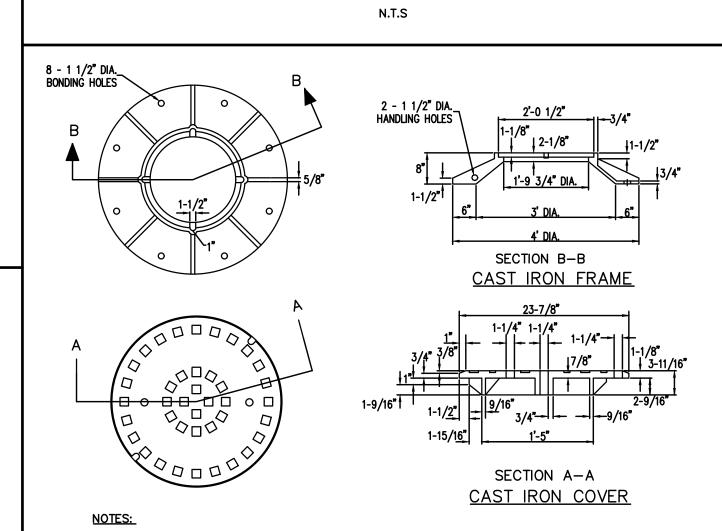
2 HOOKS

2 HOOKS

2 HOOKS



PIPE DIAMETER, in (mm



FINAL INSTALLATION REQUIREMENTS FOR DOMESTIC WATER SUPPLY AND FIRE SERVICE MAINS

WATER TRENCH SECTION

STREETS / PAVED AREAS

GRAVEL BACKFILL

PLACED AND COMPACTED IN

ONE FOOT (1') (MAX.) LIFTS.

CONNDOT FORM 817, M.02.06 GRADING "C"

BLUE WARNING TAPE PER CONN. GENERAL STATUTE SECTION

16-345, AS AMENDED, PLACED

12" (MIN.) TO 24" (MAX.) ABOVE TOP OF PIPE.

M.03.01-2 (FINE AGGREGATE)

M.03.01-2 (FINE AGGREGATE)

PIPE, AS SPECIFIED

SAND BACK FILL PER CONNDOT FORM 817,

SAND BACK FILL PER CONNDOT FORM 817,

CROSS-COUNTRY

TOPSOIL & SOD OR SEED -

12" MIN.

1/2 O.D. PIPE

1/2 O.D. PIPE

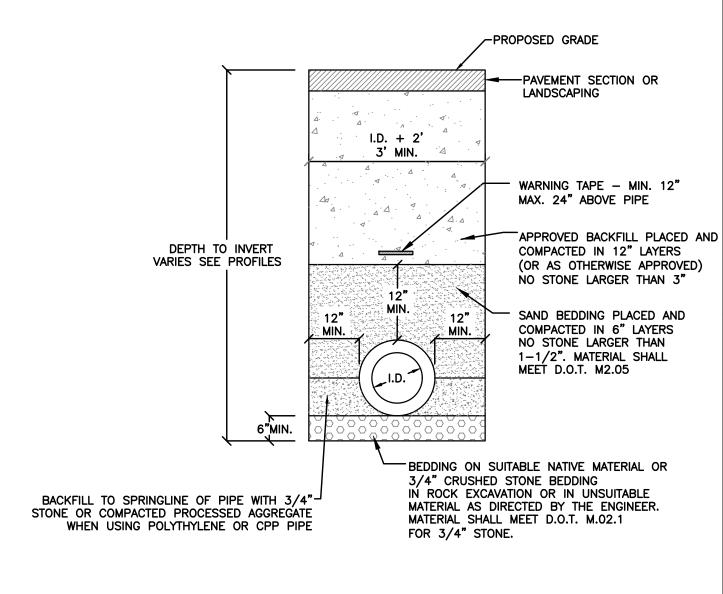
6" MIN.

PIPE

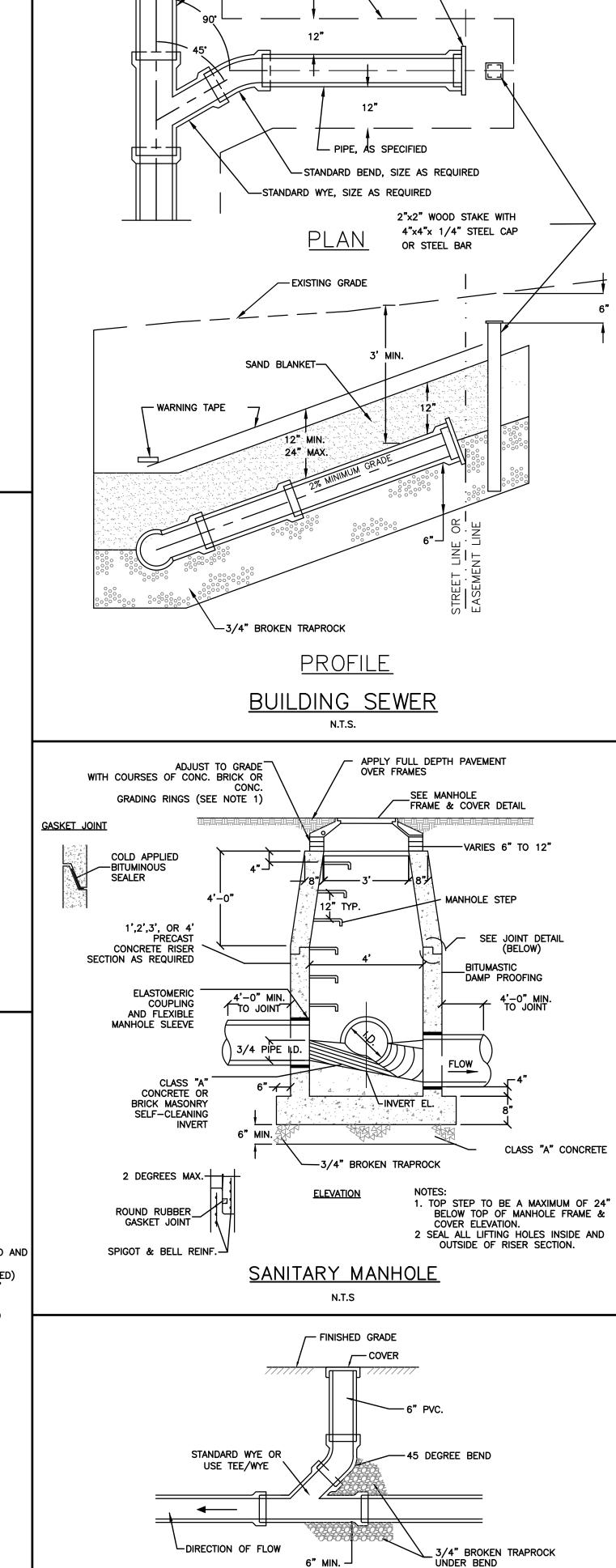
SHALL BE COORDINATED WITH THE WATER COMPANY.

1. THE LOWER SURFACE OF THE COVER AND THE CORRESPONDING UPPER SURFACE OF THE FRAME SHALL BE MACHINE FINISHED TO PROVIDE A SMOOTH FLAT CONTACT OR FIT, WITHOUT ANY TENDENCY FOR THE COVER TO ROCK OR RATTLE. 2. SANITARY SEWER MANHOLES SHALL BE EQUIPPED WITH VENT HOLE IN CENTER.

> MANHOLE FRAME AND COVER N.T.S







1. IF CLEANOUT IS LOCATED IN PAVEMENT OR SIDEWALK, PROVIDE STEEL FRAME AND GRATE. SPECIFICATIONS TO BE APPROVED BY TOWN ENGINEER.

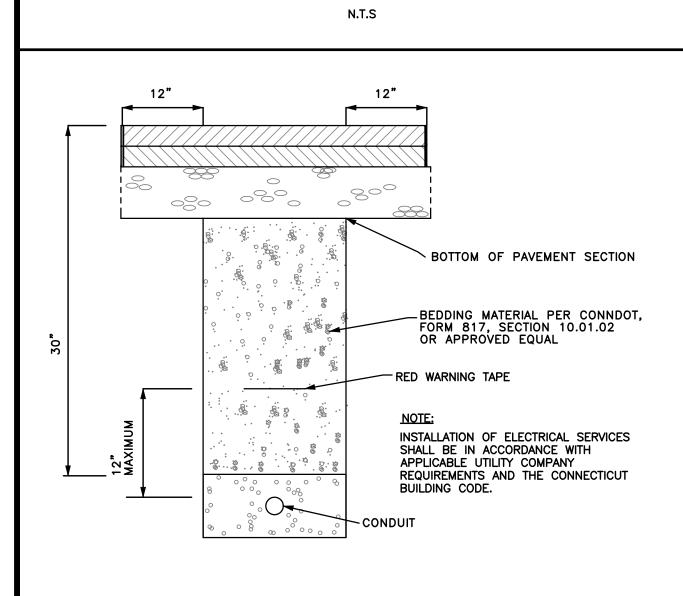
C-D2

ROOF LEADER / SANITARY CLEAN OUT

N.T.S

STANDARD PLUG-

TRENCH



ELECTRIC TRENCH

N.T.S.

EDUCATIONAL PLAYCARE, LTD.

APPLICANT:

555 DAYHILL ROAD WINDSOR, CT 06095 860-803-0807

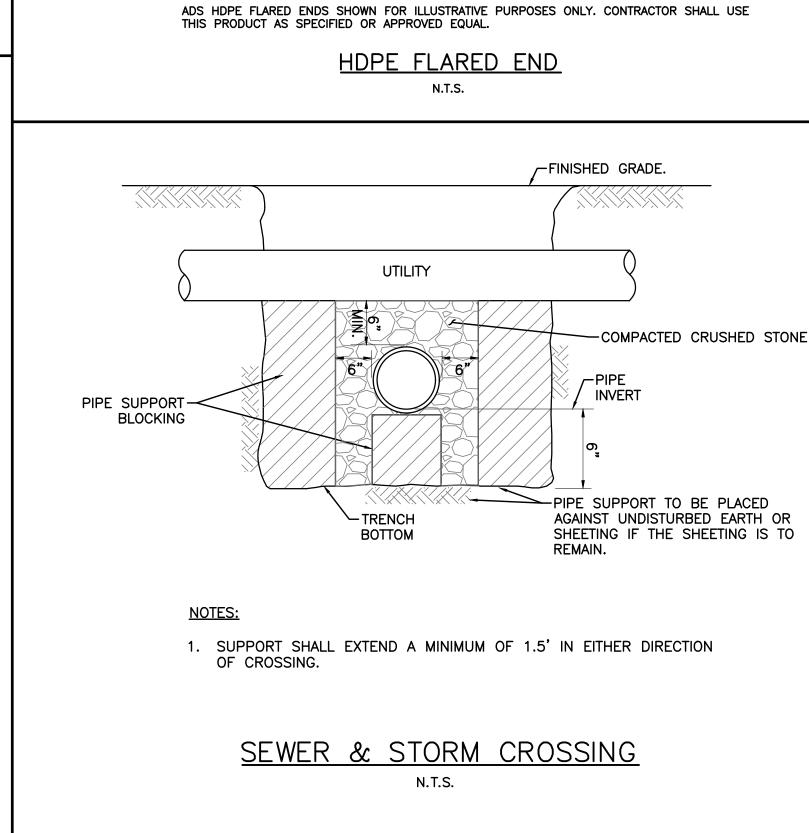
PROPERTY OWNERS:

125 WESTLEDGE ROAD

SIMSBURY, CT 06092

28" 20" 18" 155

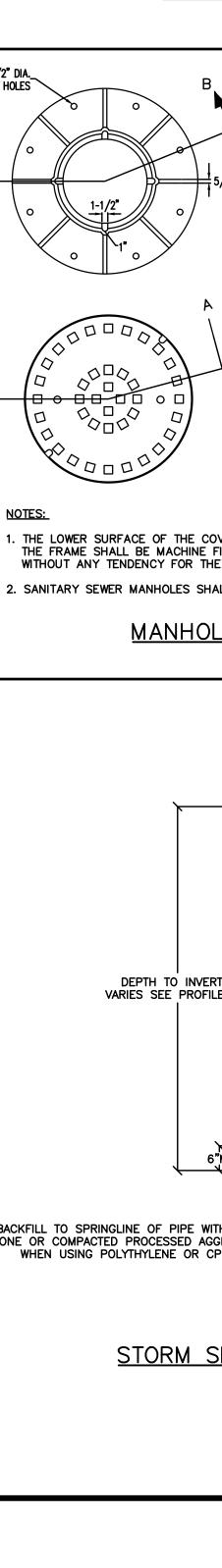
CATCH BASIN TRAP HOOD

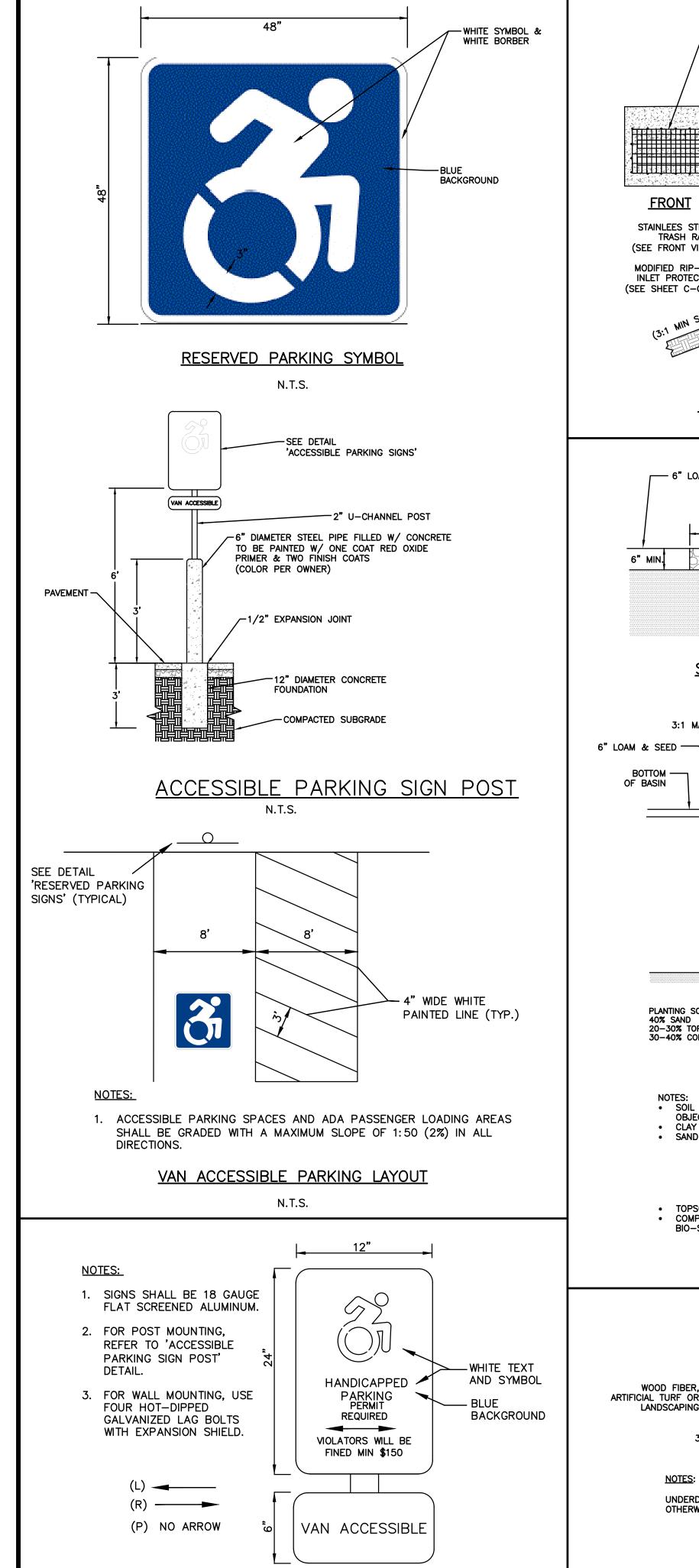


- A -

W - A -

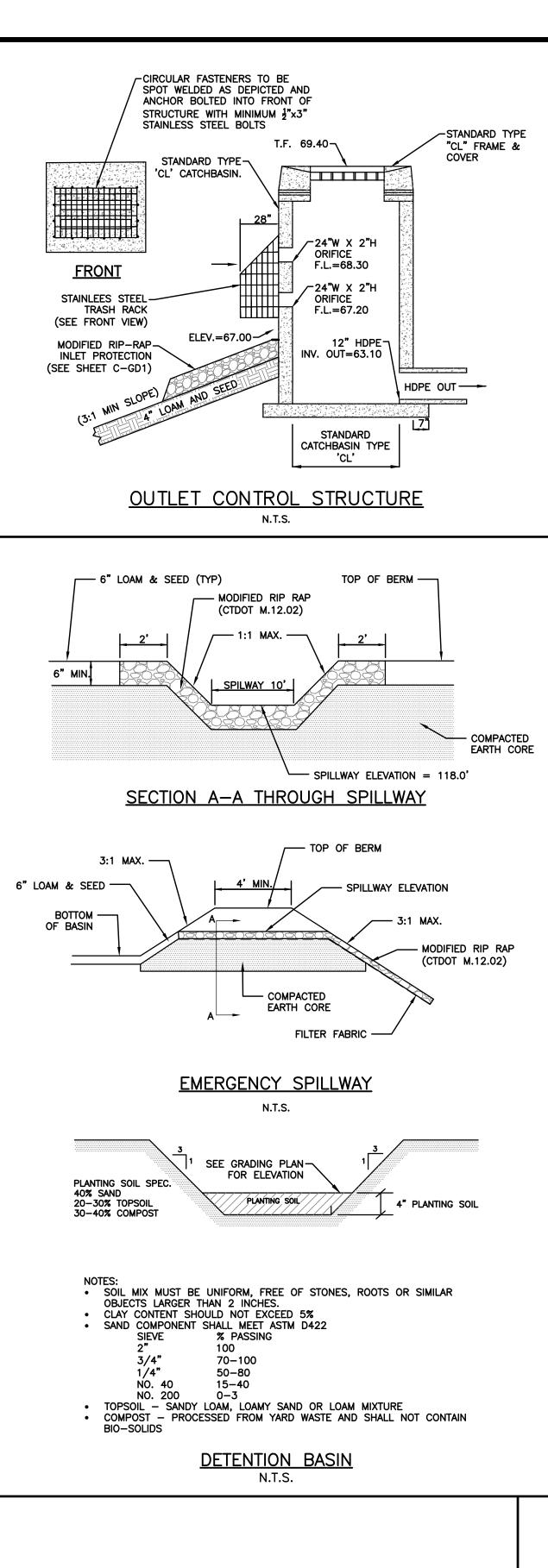
TOP VIEW





RESERVED PARKING SIGNAGE

N.T.S.



WOOD FIBER,

18"x18"──

UNDERDRAIN SHALL BE INSTALLED 21" BELOW THE PAVEMENT SURFACE UNLESS OTHERWISE SPECIFIED ON THE PLAN.

-NONWOVEN FILTER FABRIC

(MIRAFI 140N O.A.E.)

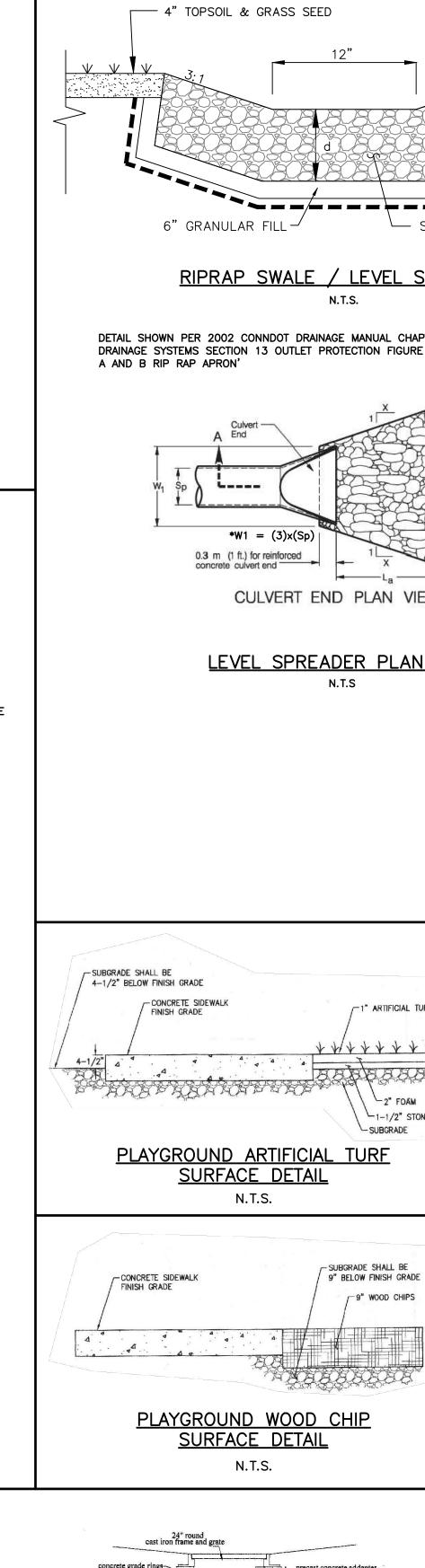
3/4" STONE WASHED

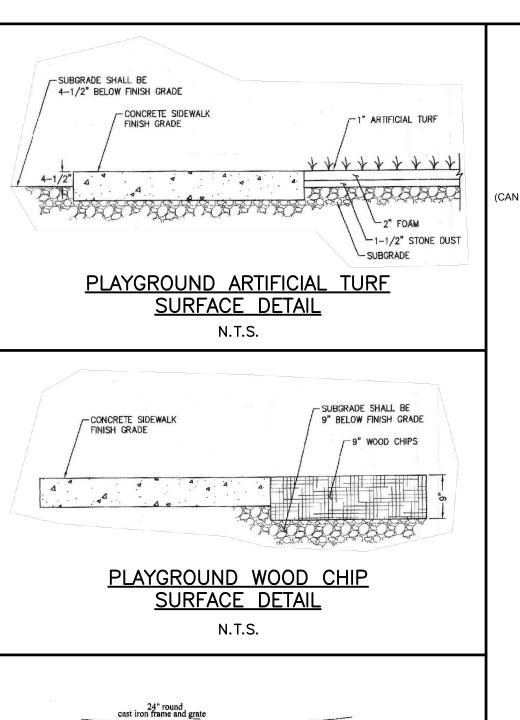
STONE ENCASEMENT

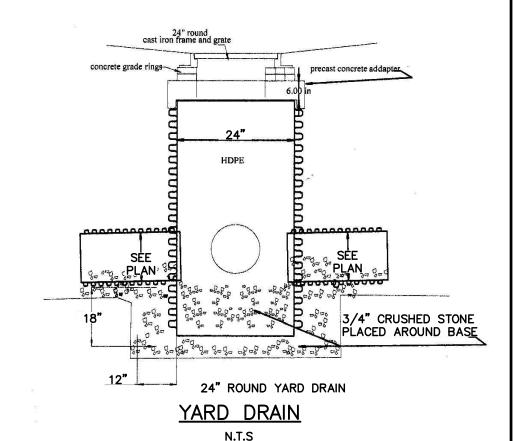
6" PERFORATED PVC-

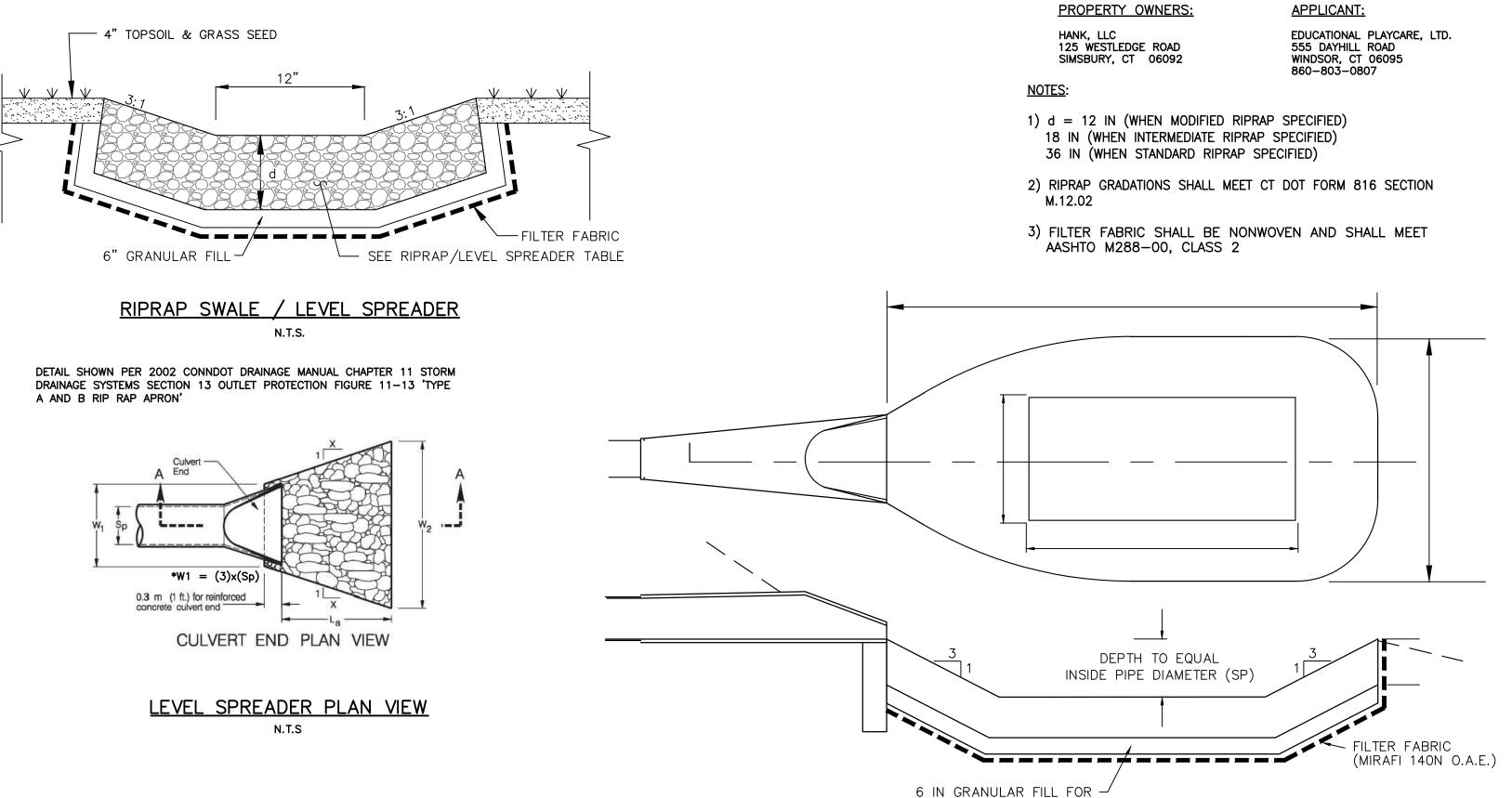
HOLES DOWN

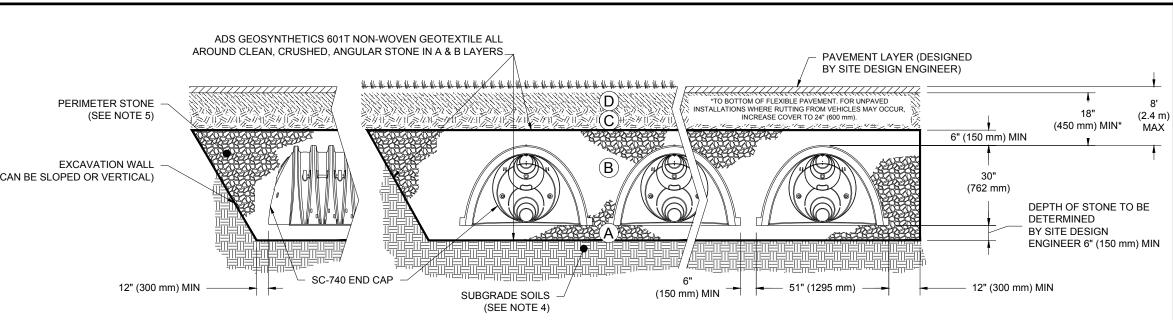
LANDSCAPING











MODIFIED/INTERMEDIATE RIPRAP AND 12 IN

FOR STANDARD RIPRAP.

RIPRAP PREFORMED SCOUR HOLE

N.T.S.

COMPACTION / DENSITY AASHTO MATERIAL MATERIAL LOCATION **DESCRIPTION** CLASSIFICATIONS REQUIREMENT FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM PREPARE PER SITE DESIGN ENGINEER'S PLANS. ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT PAVED INSTALLATIONS MAY HAVE STRINGENT OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED N/A SUBGRADE REQUIREMENTS. MATERIAL AND PREPARATION REQUIREMENTS. BEGIN COMPACTIONS AFTER 12" (300 mm) OF AASHTO M1451 MATERIAL OVER THE CHAMBERS IS REACHED. A-1, A-2-4, A-3 GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR FINES OR PROCESSED AGGREGATE. WELL GRADED MATERIAL AND 95% RELATIVE MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU DENSITY FOR PROCESSED AGGREGATE AASHTO M431

GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT MATERIALS. ROLLER GROSS VEHICLE WEIGHT SUBBASE MAY BE A PART OF THE 'C' LAYER. OF THIS LAYER. 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC 9, 10 FORCE NOT TO EXCEED 20,000 lbs (89 kN). **EMBEDMENT STONE:** FILL SURROUNDING THE AASHTO M431 CHAMBERS FROM THE FOUNDATION STONE ('A' CLEAN, CRUSHED, ANGULAR STONE NO COMPACTION REQUIRED. 3, 357, 4, 467, 5, 56, 57 LAYER) TO THE 'C' LAYER ABOVE. FOUNDATION STONE: FILL BELOW CHAMBERS AASHTO M431 PLATE COMPACT OR ROLL TO ACHIEVE A FLAT CLEAN, CRUSHED, ANGULAR STONE FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) 3, 357, 4, 467, 5, 56, 57 SURFACE.2,3 OF THE CHAMBER. PLEASE NOTE:

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR FOR EXAMPLE, ANGU ANGULAR NO. 4 (AASHTO M43) STONE". STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION
- EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

NOTES:

- 1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- 2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION
- 3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- 4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE
- WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. 5. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- 6. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

SC-740 CHAMBER