

THE RESIDENCE AT EVERGREEN WALK

PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
 PROPERTY LOCATED AT
 UNIT 7C EVERGREEN WALK
 SOUTH WINDSOR, CONNECTICUT

EVERGREEN WALK, LLC
CITY PLACE, 185 ASYLUM STREET
HARTFORD, CT 06103

HOWARD S. RAPPAPORT, PRINCIPAL
LONGLEAF DEVELOPERS, L.L.C.
145 HUDSON STREET, SUITE 6C
NEW YORK, NY 10013
PHONE: 212-874-5486
EMAIL: hsrappaport@continentalproperties.com

CONSULTANTS

ZONING COUNSEL

Peter Jay Alter
Alter & Pearson, LLC, Attorneys at Law
701 Hebron Avenue
P.O. Box 1530
Glastonbury, CT 06033
PHONE: 860.652.4020
EMAIL: palter@alterpearson.com

CIVIL ENGINEERING AND SURVEYING

JAMES. P. CASSIDY, P.E.
HALLISEY, PEARSON & CASSIDY ENGINEERING ASSOCIATES, INC.
630 MAIN STREET, SUITE 1A
CROMWELL, CT 06416
TELEPHONE NUMBER: 860-529-6812
EMAIL: jcassidy@hpcengr.com

ARCHITECTURE FOR CLUBHOUSE & 37 / 38 UNIT BUILDINGS

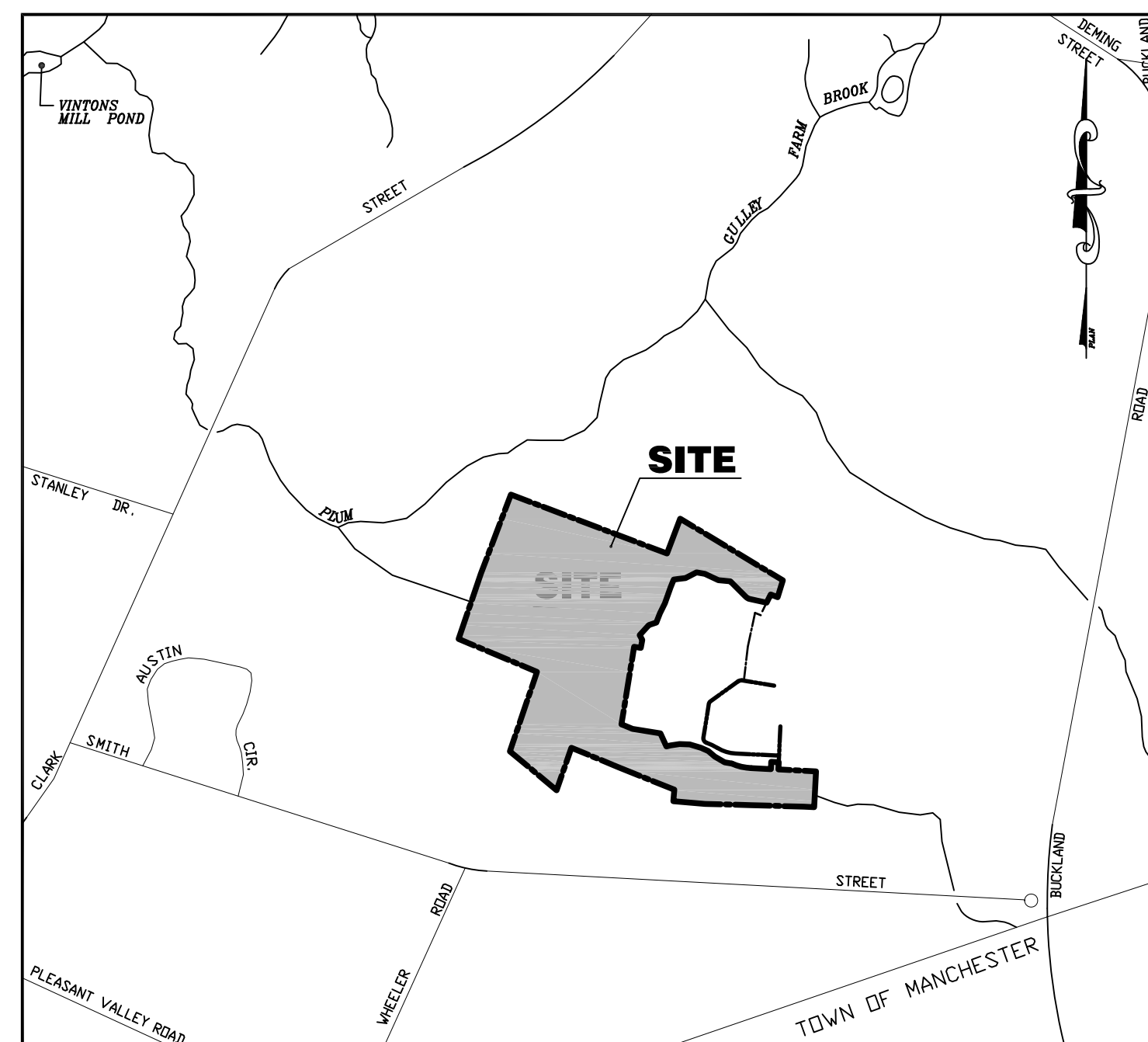
STEVEN MAST, RA
EMAIL: smast@MARTINAIA.com
The Martin Architectural Group, P.C.
240 N. 22nd Street
Philadelphia, PA 19103
PHONE: (215) 665-1080 x195

ARCHITECTURE FOR 10 & 5 UNIT BUILDINGS

STEVEN MAST, RA
EMAIL: smast@MARTINAIA.com
The Martin Architectural Group, P.C.
240 N. 22nd Street
Philadelphia, PA 19103
PHONE: (215) 665-1080 x195

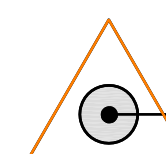
PUBLIC OUTREACH

CHUCK COURSEY, PRINCIPAL and PRESIDENT
COURSEY & COMPANY
P.O. BOX 271834
WEST HARTFORD, CT 06127
PHONE: 860-305-0055
EMAIL: chuck@courseyco.com



LOCATION MAP

SCALE: 1"=1,000'

**HALLISEY, PEARSON & CASSIDY**

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- IRON PIN OR IRON PIPE FOUND
- EXISTING TREE LINE
- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING TELEPHONE POLE
- EXISTING BIT. CURB
- EXISTING STORM DRAINAGE SYSTEM
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- LIMITS OF TOWN WETLANDS
- SOIL SERIES LINE
- SOIL SERIES UNIT NUMBER

23A

NOTES:

1. SURVEY NOTES:

-This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 25, 1996.

-Type Of Survey is ALTA/NSPS LAND TITLE SURVEY

-Boundary Determination Category is DEPENDENT RESURVEY

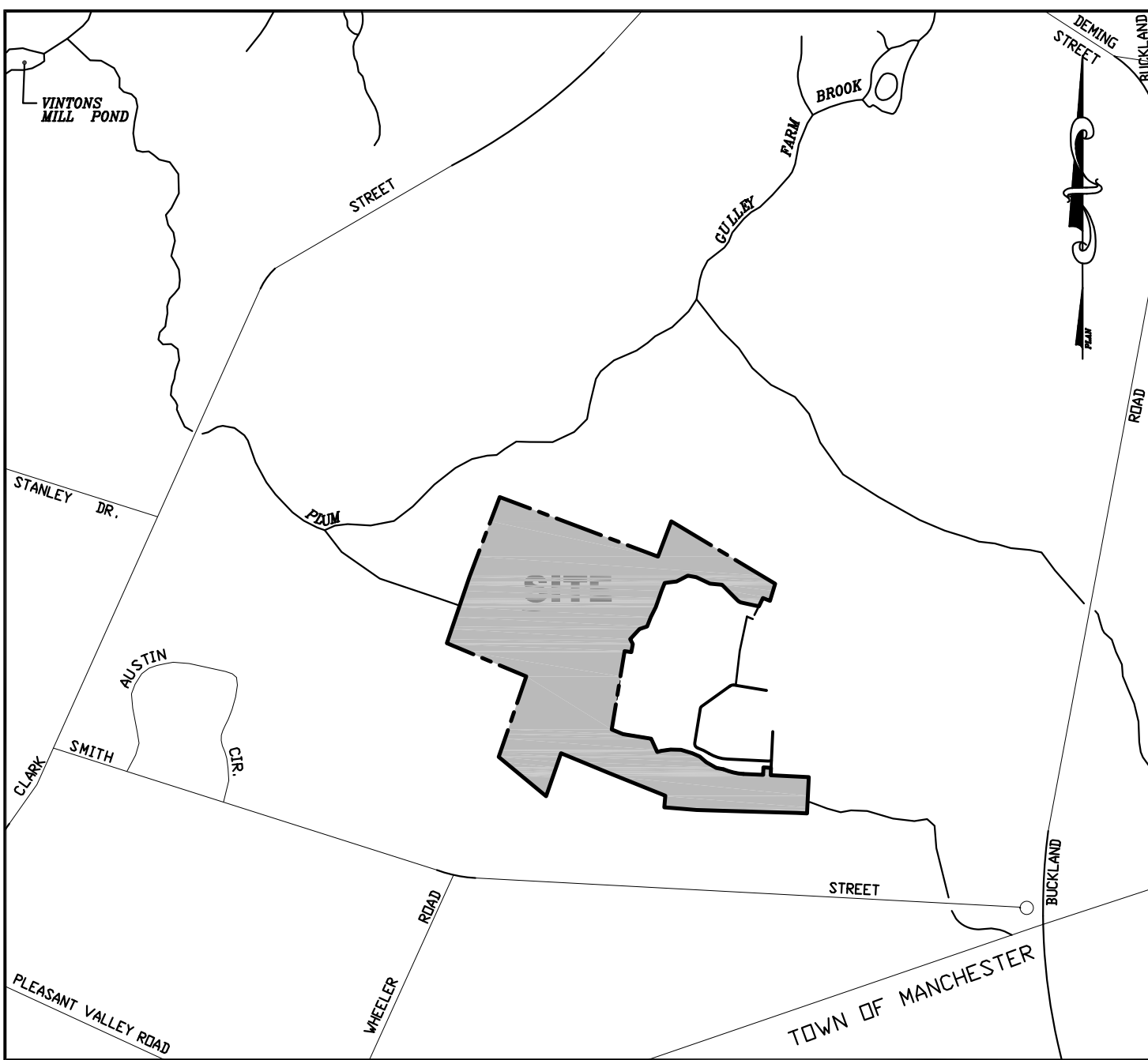
-Class of Accuracy is HOR.-"A"-2

2. MAP REFERENCE:

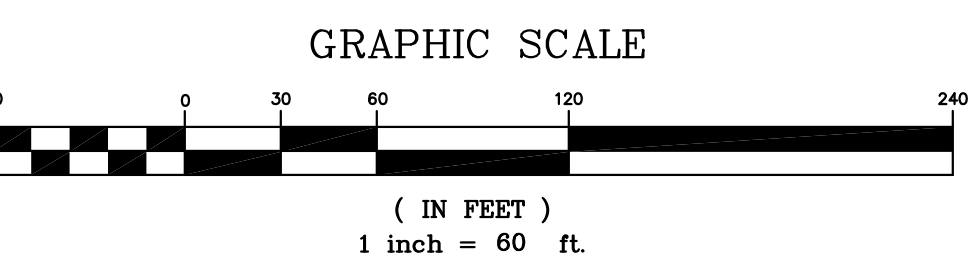
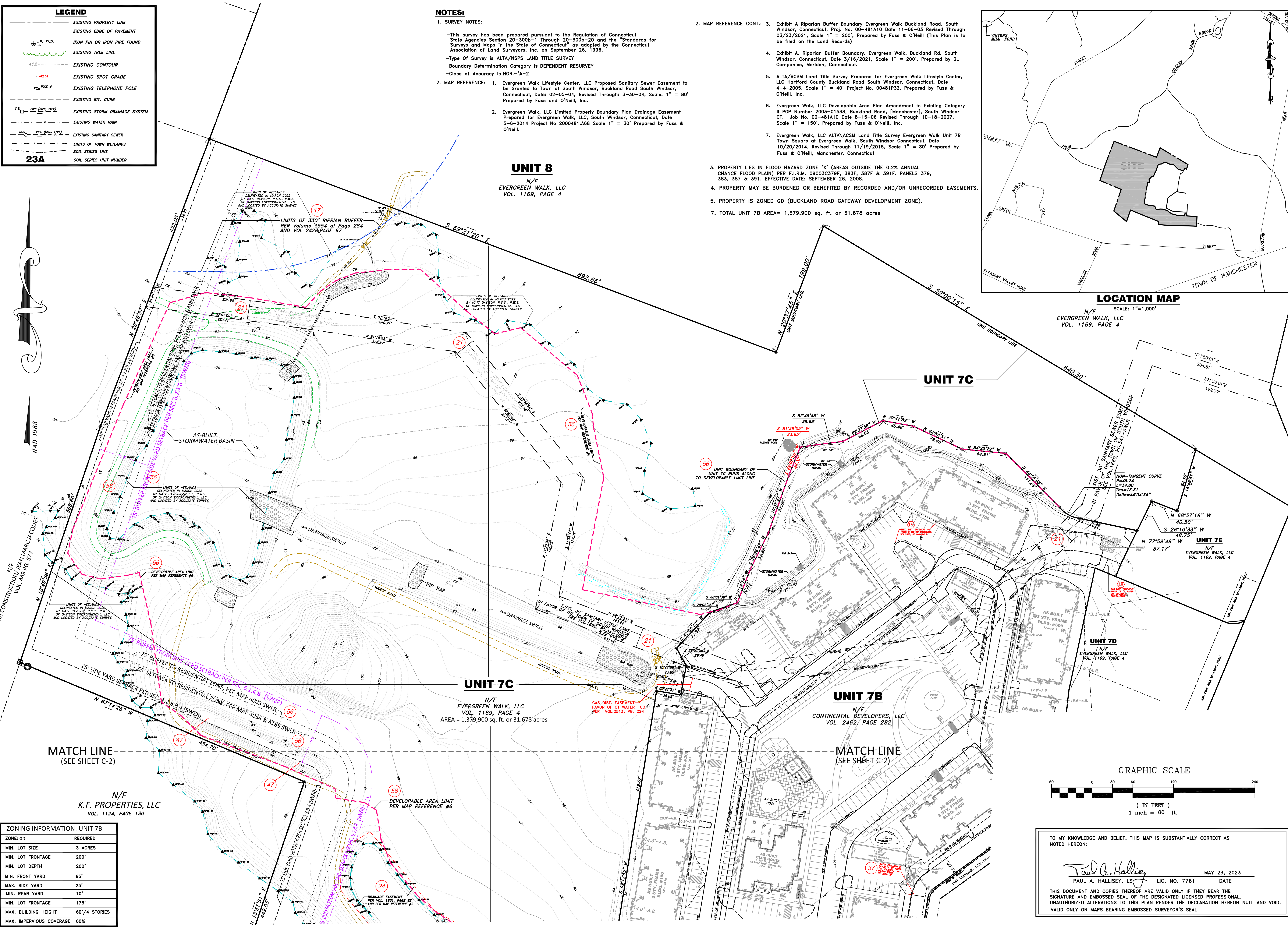
- Evergreen Walk Lifestyle Center, LLC Proposed Sanitary Sewer Easement to be Granted to Town of South Windsor, Buckland Road South Windsor, Connecticut, Date: 02-05-04, Revised Through: 3-30-04, Scale: 1" = 80' Prepared by Fuss and O'Neill, Inc.
- Evergreen Walk, LLC Limited Property Boundary Plan Drainage Easement Prepared for Evergreen Walk, LLC, South Windsor, Connecticut, Date 5-6-2014 Project No 2000481.A68 Scale 1" = 30' Prepared by Fuss & O'Neill.

2. MAP REFERENCE CONT.:

- Exhibit A Riparian Buffer Boundary Evergreen Walk Buckland Road, South Windsor, Connecticut, Proj. No. 00-481A10 Date 11-06-03 Revised Through 03/23/2021, Scale 1" = 200', Prepared by Fuss & O'Neill (This Plan is to be filed on the Land Records)
 - Exhibit A. Riparian Buffer Boundary, Evergreen Walk, Buckland Rd, South Windsor, Connecticut, Date 3/16/2021, Scale 1" = 200', Prepared by BL Companies, Meriden, Connecticut.
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 - Evergreen Walk, LLC ALTA/ACSM Land Title Survey Evergreen Walk Unit 7B Town Square at Evergreen Walk, South Windsor Connecticut, Date 10/20/2014, Revised Through 11/19/2015, Scale 1" = 80' Prepared by Fuss & O'Neill, Manchester, Connecticut
3. PROPERTY LIES IN FLOOD HAZARD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) PER F.I.R.M. 09003C379F, 383F, 387F & 391F. PANELS 379, 383, 387 & 391. EFFECTIVE DATE: SEPTEMBER 26, 2008.
4. PROPERTY MAY BE BURDENED OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.
5. PROPERTY IS ZONED GD (BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE).
7. TOTAL UNIT 7B AREA= 1,379,900 sq. ft. or 31.678 acres



LOCATION MAP
SCALE: 1"=1,000'
N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

Paul A. Hallisey MAY 23, 2023
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

ZONING INFORMATION: UNIT 7B	
ZONE: GD	REQUIRED
MIN. LOT SIZE	3 ACRES
MIN. LOT FRONTAGE	200'
MIN. LOT DEPTH	200'
MIN. FRONT YARD	65'
MAX. SIDE YARD	25'
MIN. REAR YARD	10'
MIN. LOT FRONTAGE	175'
MAX. BUILDING HEIGHT	60'/4 STORIES
MAX. IMPERVIOUS COVERAGE	60%

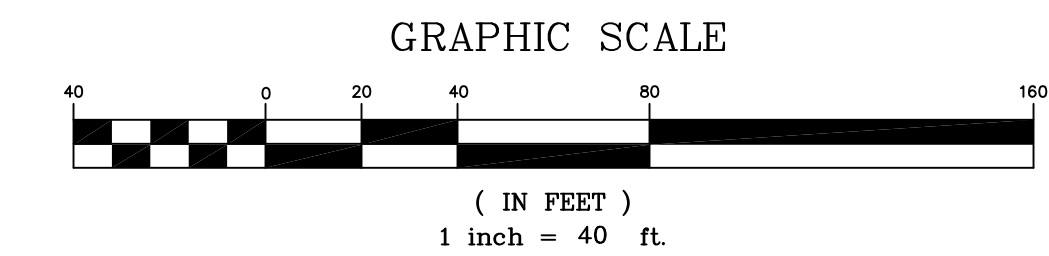
BOUNDARY / TOPOGRAPHIC SURVEY
PROPERTY SURVEY
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

CHECKED BY: J.P.C.
SCALE: 1"=80'
DATE: MAY 23, 2023
JOB NO.: 2574
ACAD FILE: 2574-EX
SHEET: C of 1
REVISIONS:

LEGEND

EXISTING PROPERTY LINE	PROPOSED BIT. CURB
EXISTING EDGE OF PAVEMENT	LIMITS OF FLAGGED WETLANDS
IRON PIN OR IRON PIPE FOUND	PROPOSED TREE LINE
CONC. MERESTONE OR CHD. FND.	IRON PIN TO BE SET
EXISTING TREE LINE	CONC. MERESTONE TO BE SET
EXISTING TELEPHONE POLE	PROPOSED BIT. CURB
EXISTING BIT. CURB	PROPOSED CONC. CURB
LIMITS OF 100' UPLANDS REVIEW AREA	AREA OF PAVEMENT
EXISTING FENCE	PROPOSED CONCRETE
AREA OF SNOW STORAGE	



CT GRID NAD 83

Wetlands Impact Activity #2: Install riprap energy dissipator and riprap filtration berm. Impact: 3,898 sq. ft. or 0.0895 acres

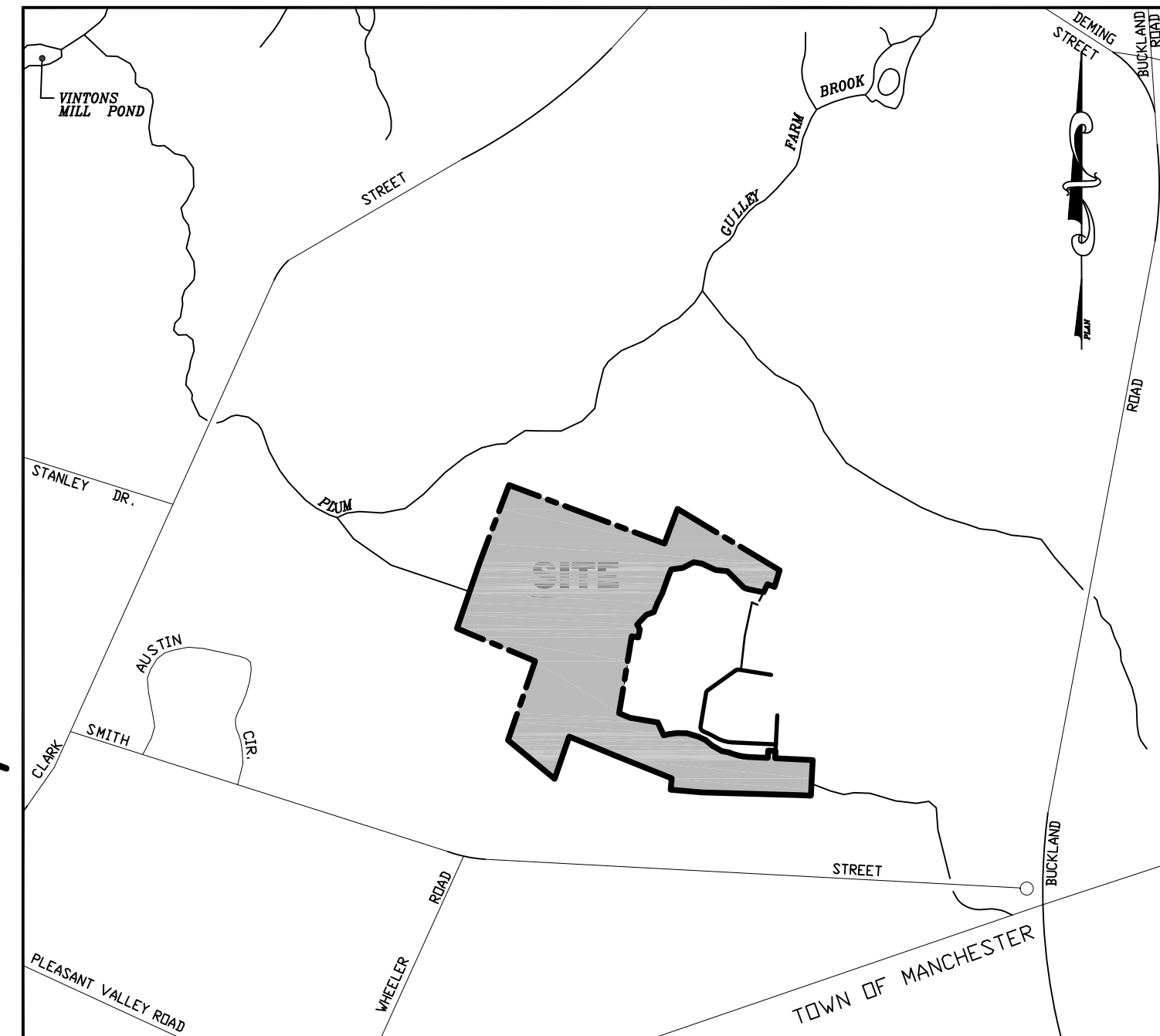
N/F
VOL. 449 PG. 577

Upland Review Area Activity #1: Clearing and grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

Wetlands Impact Activity #1: Removal of existing rap, then extend level spreader and install new riprap. Impact: 282 sq. ft. or 0.0065 acres

Upland Review Area Activity #1: Grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

UNIT 8
N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4



NOTES:

1. SURVEY NOTES:

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- Type of Survey is ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED
- Boundary Determination Category is DEPENDENT RESURVEY
- Class of Accuracy is HOR.-"A-2"

MAP REFERENCE:

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SEE SHEET #C-4 FOR ZONING AND PARKING TABLE

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

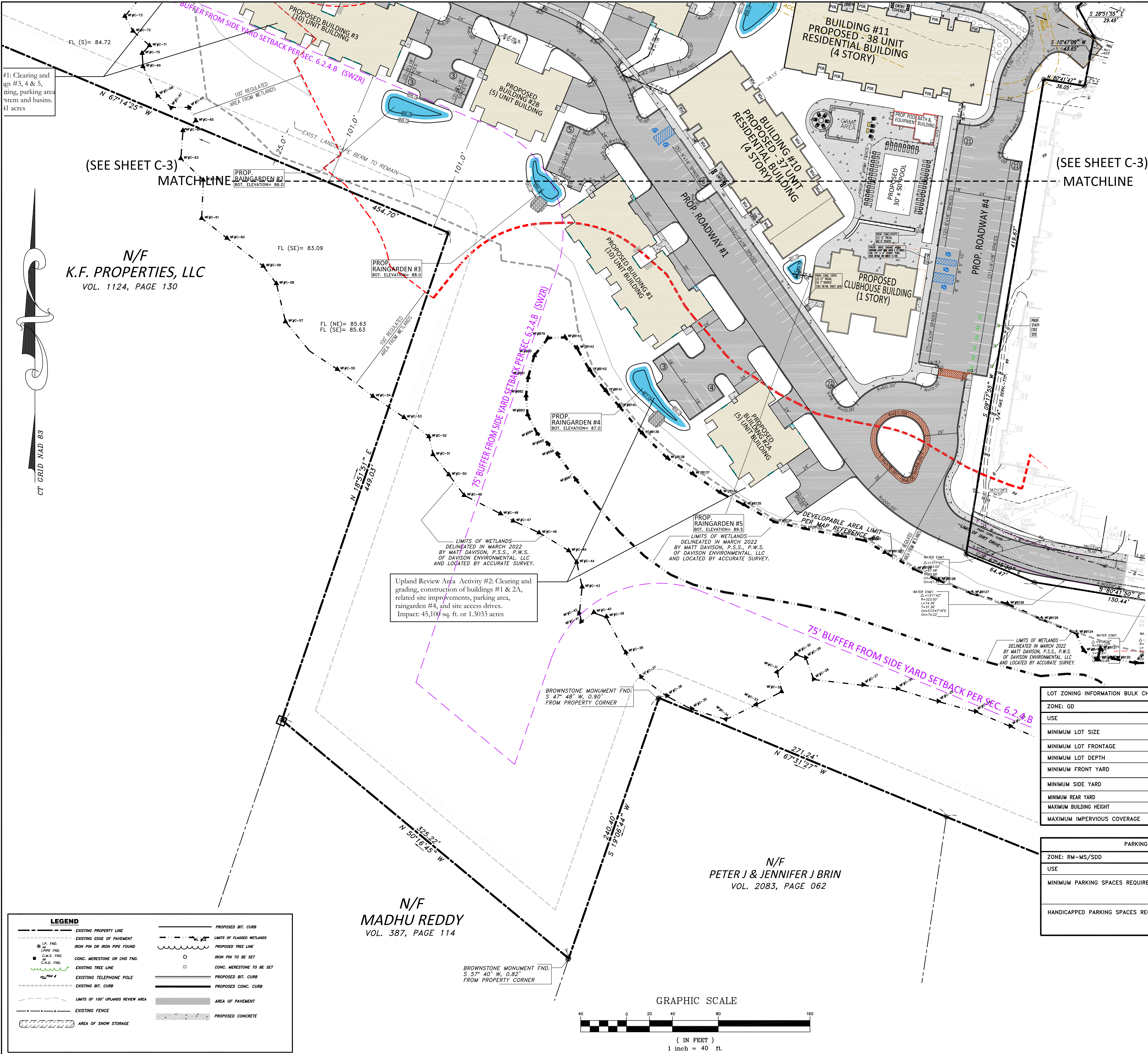
Paul A. Hallisey
PAUL A. HALLISEY, LS LIC. NO. 7761 DATE MAY 23, 2023

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HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812. FAX: (860)-721-7709

**ZONING IMPROVEMENT LOCATION SURVEY - PROPOSED
& SITE LAYOUT PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT**





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LOT ZONING INFORMATION BULK CHART: GD (BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE)		
ZONE: GD	REQUIRED	PROVIDED
USE		MULTI-FAMILY DWELLING
MINIMUM LOT SIZE	3 acres	31.678 acres
MINIMUM LOT FRONTAGE	200'	>200' (OVERALL DEVELOPMENT)
MINIMUM LOT DEPTH	200'	>200' (OVERALL DEVELOPMENT)
MINIMUM FRONT YARD	65'	>65' TO BUCKLAND STREET
MINIMUM SIDE YARD	25'	101.0'/168.6'
MINIMUM REAR YARD	10'	219.2'
MAXIMUM BUILDING HEIGHT	60'/4 STORIES	<60'
MAXIMUM IMPERVIOUS COVERAGE	60%	264,390 sq. ft. / 1,379,900 sq. ft. = 19.2%

PARKING DATA:		
ZONE: RM-MS/SDD	REQUIRED	PROVIDED
USE		MULTIFAMILY DWELLING
MINIMUM PARKING SPACES REQUIRED	2 SPACES PER UNIT x 165 UNITS = 330 spaces	DRIVEWAY SPACES= 92 SURFACE SPACES= 193 (INC. 12 H.C. SPACES) GARAGE SPACES= 92 TOTAL SPACES= 377 (12 H.C. SPACES) OR 2.28/UNIT
HANDICAPPED PARKING SPACES REQUIRED	2% OF UNITS x 165 UNITS= 4 SPACES + 2% OF REMAINING PARKING SPACES 377-4 = 373 x 2% = 8 SPACES TOTAL H.C. SPACES REQUIRED= 12 SPACES	TOTAL SPACES= (12 H.C. SPACES)

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

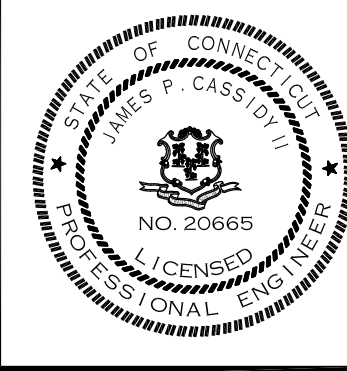
Paul A. Hallisey MAY 23, 2023
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE

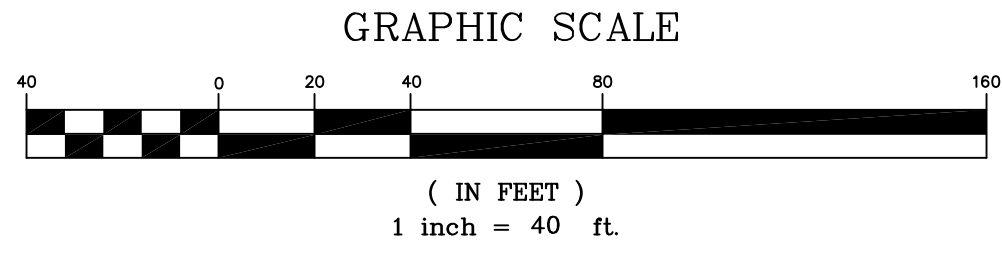
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CHECKED BY: J.P.C.	SCALE: 1"=40'
DRAWN BY: J.M.P.	DATE: MAY 23, 2023
ACAD FILE: 2574-21-25	JOB No.: 2574
SHEET: C	4
REVISIONS:	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
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CROMWELL, CONNECTICUT 06416
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ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED
PROPERTY SURVEY
PREPARED FOR
SOUTH WINDSOR DEVELOPERS, LLC
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



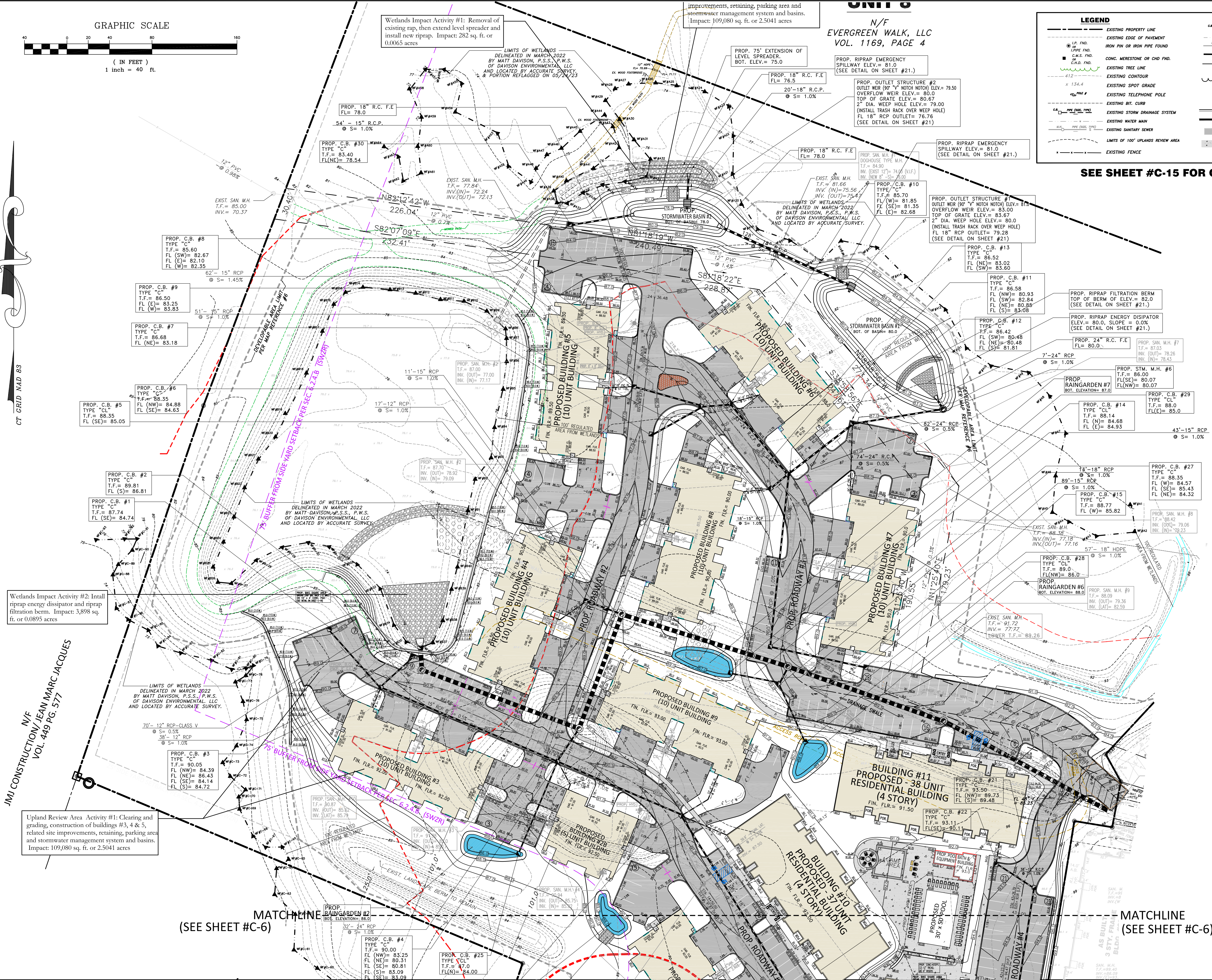


CT GRID NAD 83

N/F
VOL. 449 Pg. 577
JMI CONSTRUCTION/JEAN MARC JACQUES

Upland Review Area Activity #1: Clearing and grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

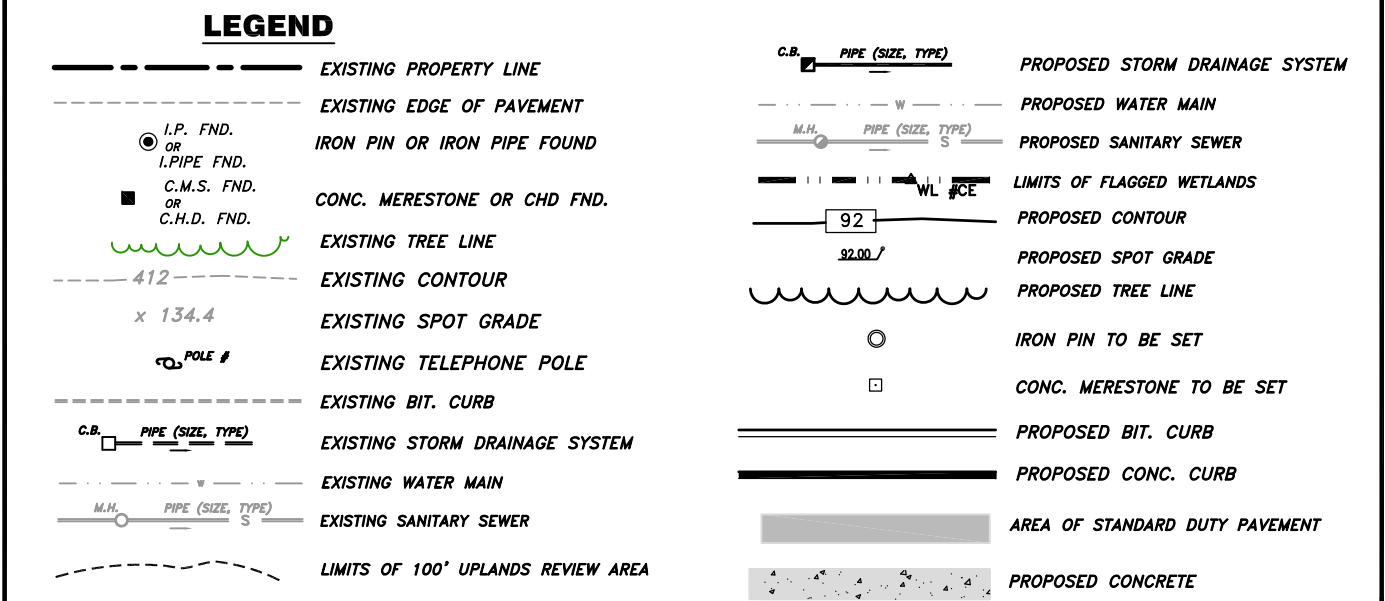
Wetlands Impact Activity #2: Install riprap energy dissipator and riprap filtration berm. Impact: 3,898 sq. ft. or 0.0895 acres



MATCHLINE
(SEE SHEET #C-6)

MATCHLINE
(SEE SHEET #C-6)

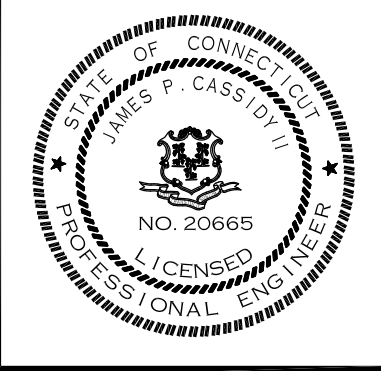
N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4

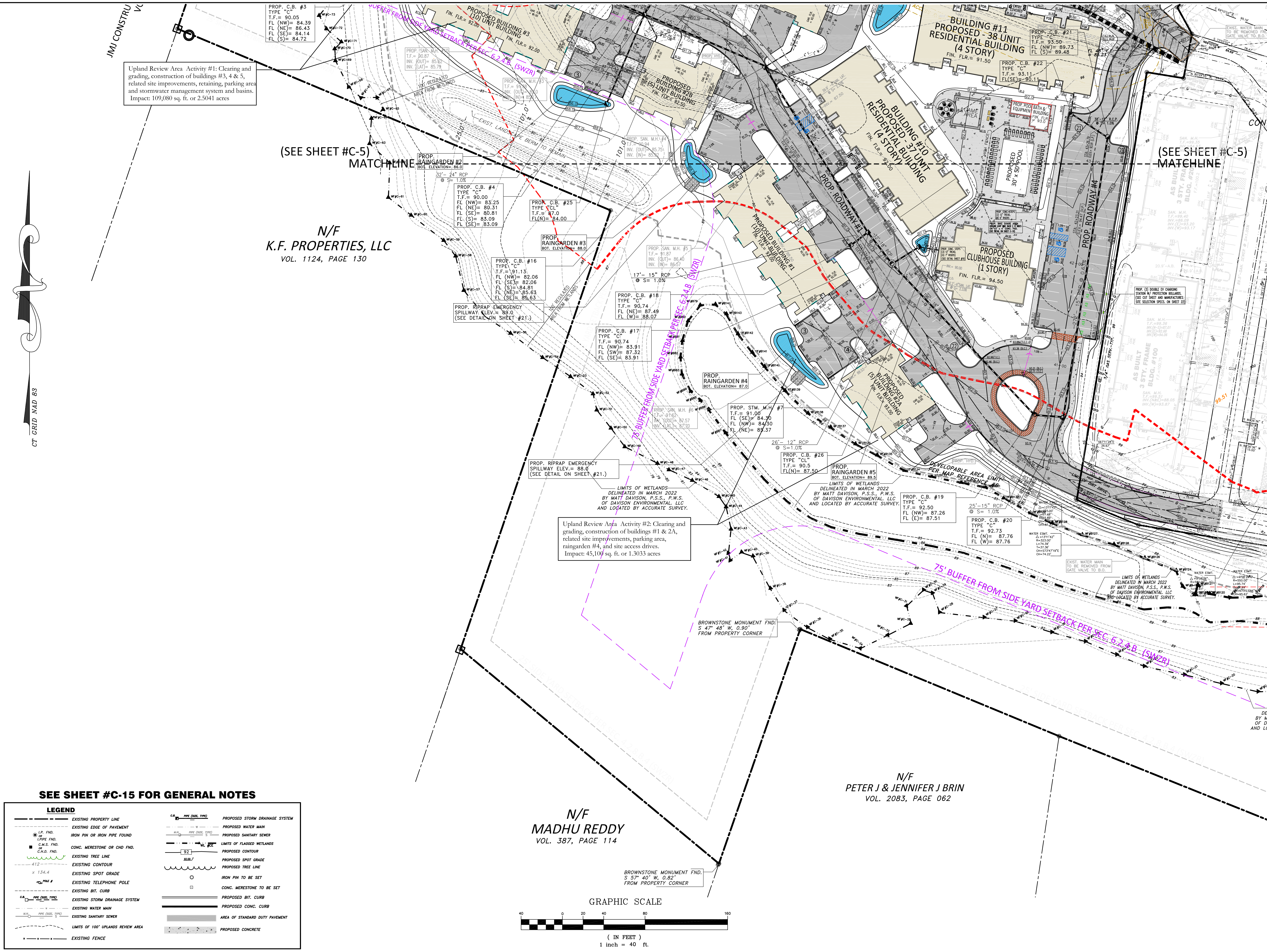


SEE SHEET #C-15 FOR GENERAL NOTES

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE GRADING & DRAINAGE PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





Upland Review Area Activity #1: Clearing and grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

Upland Review Area Activity #2: Clearing and grading, construction of buildings #1 & 2A, related site improvements, parking area, raingarden #4, and site access drives. Impact: 45,100 sq. ft. or 1.3033 acres

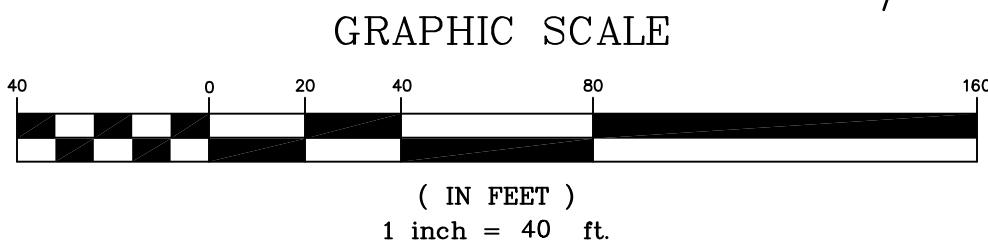
SEE SHEET #C-15 FOR GENERAL NOTES

LEGEND

EXISTING PROPERTY LINE	PROPOSED STORM DRAINAGE SYSTEM
EXISTING EDGE OF PAVEMENT	PROPOSED WATER MAIN
IRON PIN OR IRON PIPE FOUND	PROPOSED SANITARY SEWER
CONC. MERESTONE OR CHD FND.	LIMITS OF FLAGGED WETLANDS
EXISTING TREE LINE	PROPOSED CONTOUR
EXISTING CONTOUR	PROPOSED SPOT GRADE
EXISTING SPOT GRADE	PROPOSED TREE LINE
EXISTING TELEPHONE POLE	IRON PIN TO BE SET
EXISTING BIT. CURB	CONC. MERESTONE TO BE SET
EXISTING STORM DRAINAGE SYSTEM	PROPOSED BIT. CURB
EXISTING WATER MAIN	PROPOSED CONC. CURB
EXISTING SANITARY SEWER	AREA OF STANDARD DUTY PAVEMENT
LIMITS OF 100' UPLAND REVIEW AREA	PROPOSED CONCRETE
EXISTING FENCE	

N/F
MADHU REDDY
VOL. 387, PAGE 114

N/F
PETER J & JENNIFER J BRIN
VOL. 2083, PAGE 062

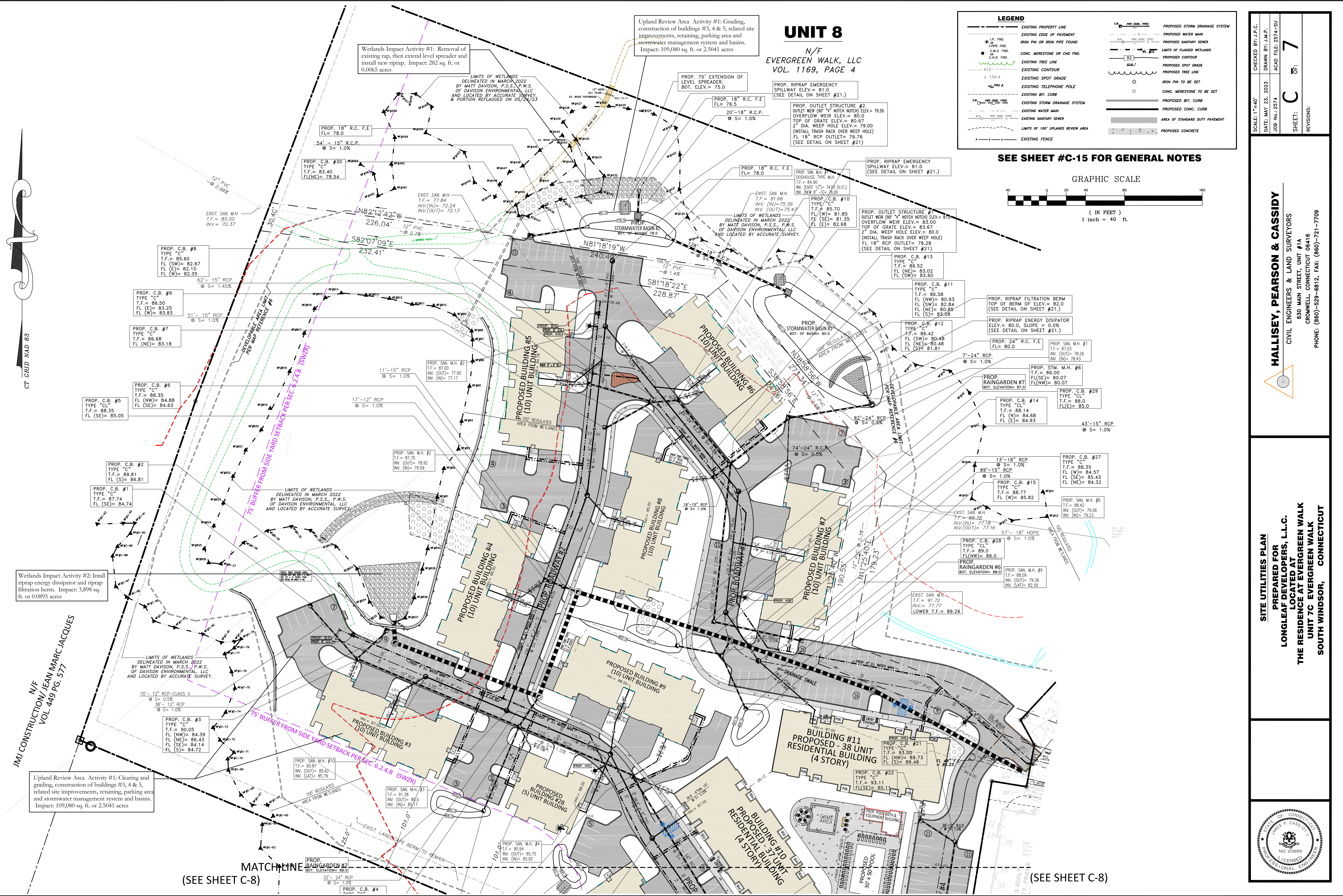


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SITE GRADING & DRAINAGE PLAN
PROPERTY SURVEY
PREPARED FOR
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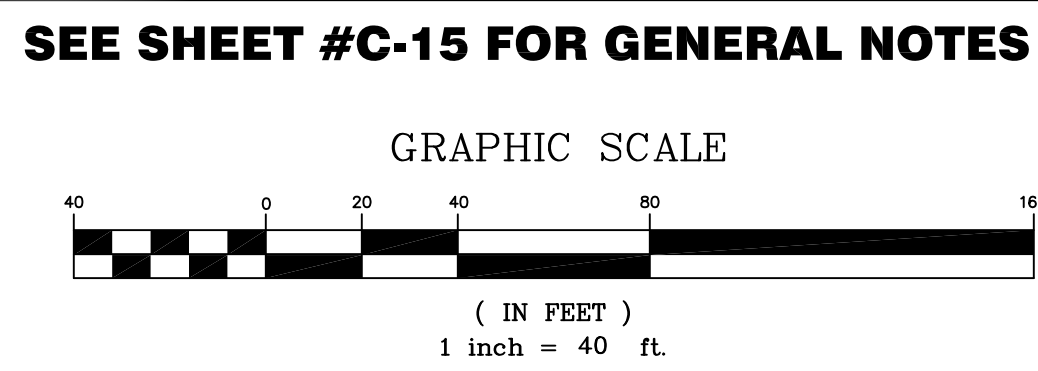
CHECKED BY: J.P.C.	SCALE: 1"=40'
DRAWN BY: J.M.P.	DATE: MAY 23, 2023
ACAD FILE: 2374-SG	JOB NO.: 2574
SHEET: C	OF: 6
REVISIONS:	



UNIT 8
N/F
EVERGREEN WALK, LLC
VOL. 1169, PAGE 4

LEGEND

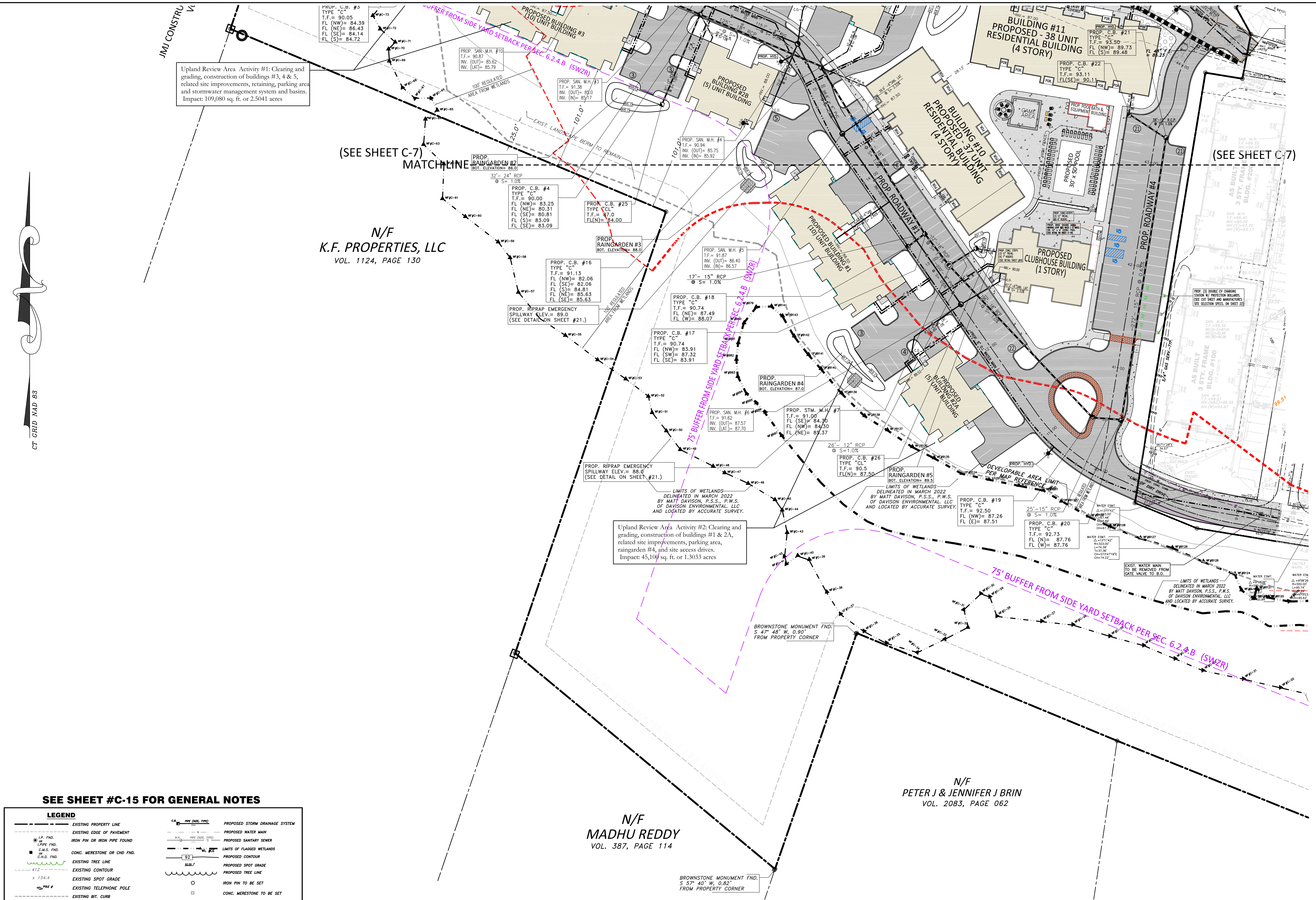
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EXISTING TREE LINE	PROPOSED SPOT GRADE
EXISTING CONTOUR	PROPOSED TREE LINE
EXISTING SPOT GRADE	IRON PIN TO BE SET
EXISTING TELEPHONE POLE	CONC. KERESTONE TO BE SET
EXISTING BIT. CURB	PROPOSED BIT. CURB
EXISTING STORM DRAINAGE SYSTEM	PROPOSED CONC. CURB
EXISTING WATER MAIN	AREA OF STANDARD DUTY PAVEMENT
EXISTING SANITARY SEWER	PROPOSED CONCRETE
LIMITS OF 100' UPLANDS REVIEW AREA	
EXISTING FENCE	



CHECKED BY: J.P.C.	
DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB NO.: 2574	ACAD FILE: 2574-SU
SHEET: C	7
REVISIONS:	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE UTILITIES PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



Upland Review Area Activity #1: Clearing and grading, construction of buildings #3, 4 & 5, related site improvements, retaining, parking area and stormwater management system and basins. Impact: 109,080 sq. ft. or 2.5041 acres

N/F
K.F. PROPERTIES, LLC
VOL. 1124, PAGE 130

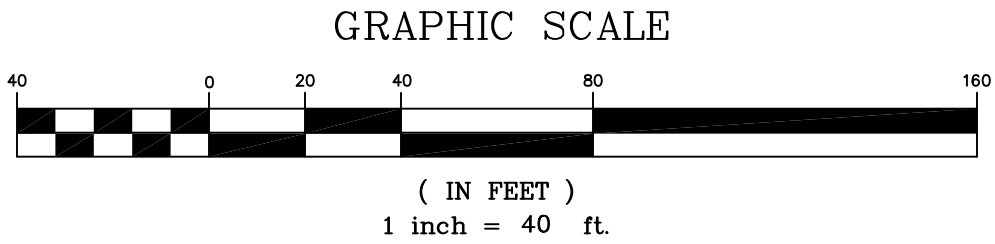
Upland Review Area Activity #2: Clearing and grading, construction of buildings #1 & 2A, related site improvements, parking area, raingarden #4, and site access drives. Impact: 45,100 sq. ft. or 1.3033 acres

N/F
MADHU REDDY
VOL. 387, PAGE 114

N/F
PETER J & JENNIFER J BRIN
VOL. 2083, PAGE 062

SEE SHEET #C-15 FOR GENERAL NOTES

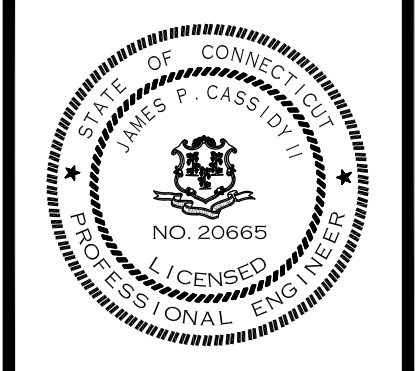
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD. FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER
	LIMITS OF 100' UPLAND REVIEW AREA
	EXISTING FENCE
	PROPOSED STORM DRAINAGE SYSTEM
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	LIMITS OF FLAGGED WETLANDS
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TREE LINE
	IRON PIN TO BE SET
	CONC. MERESTONE TO BE SET
	PROPOSED BIT. CURB
	PROPOSED CONC. CURB
	AREA OF STANDARD DUTY PAVEMENT
	PROPOSED CONCRETE

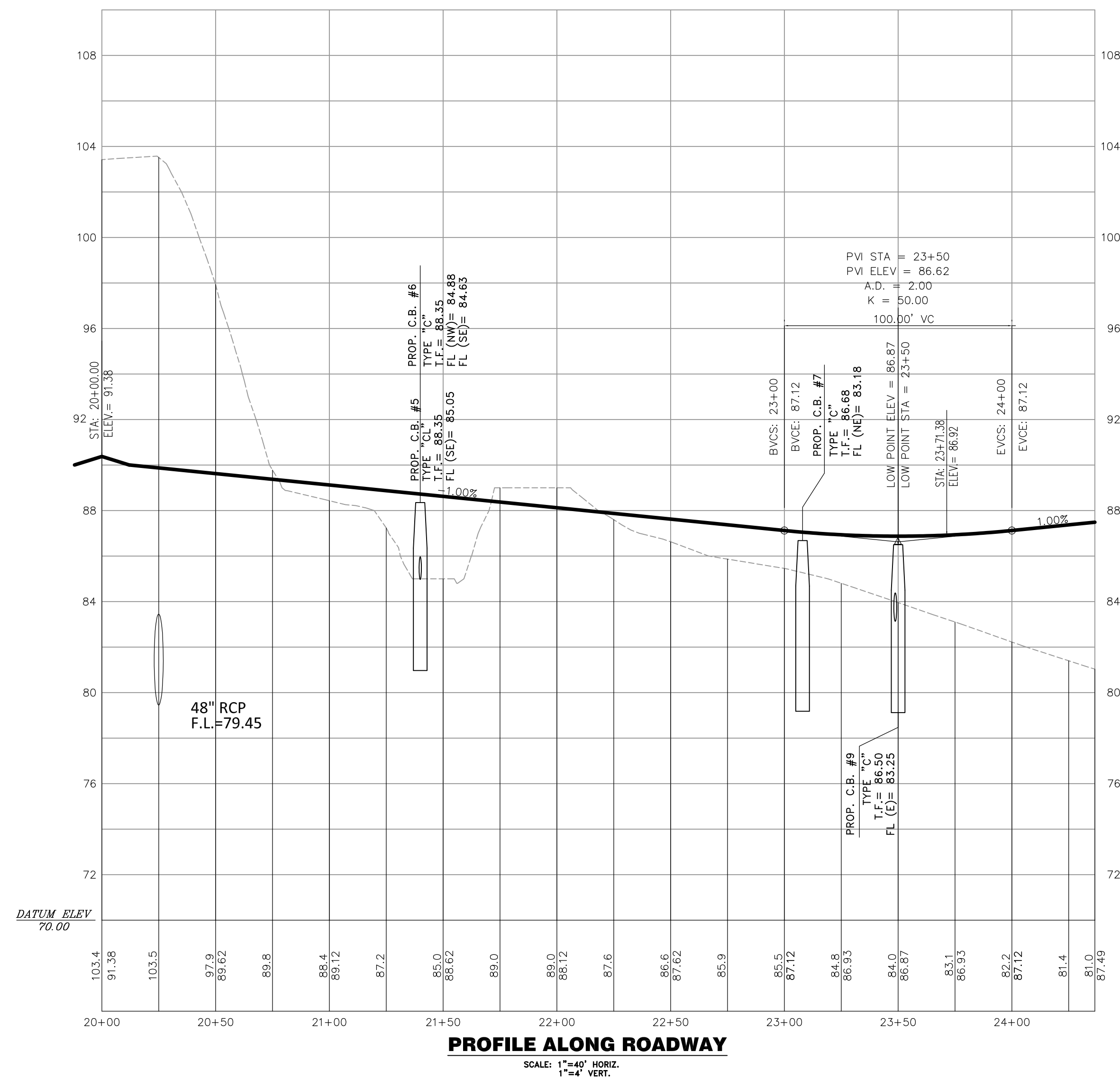
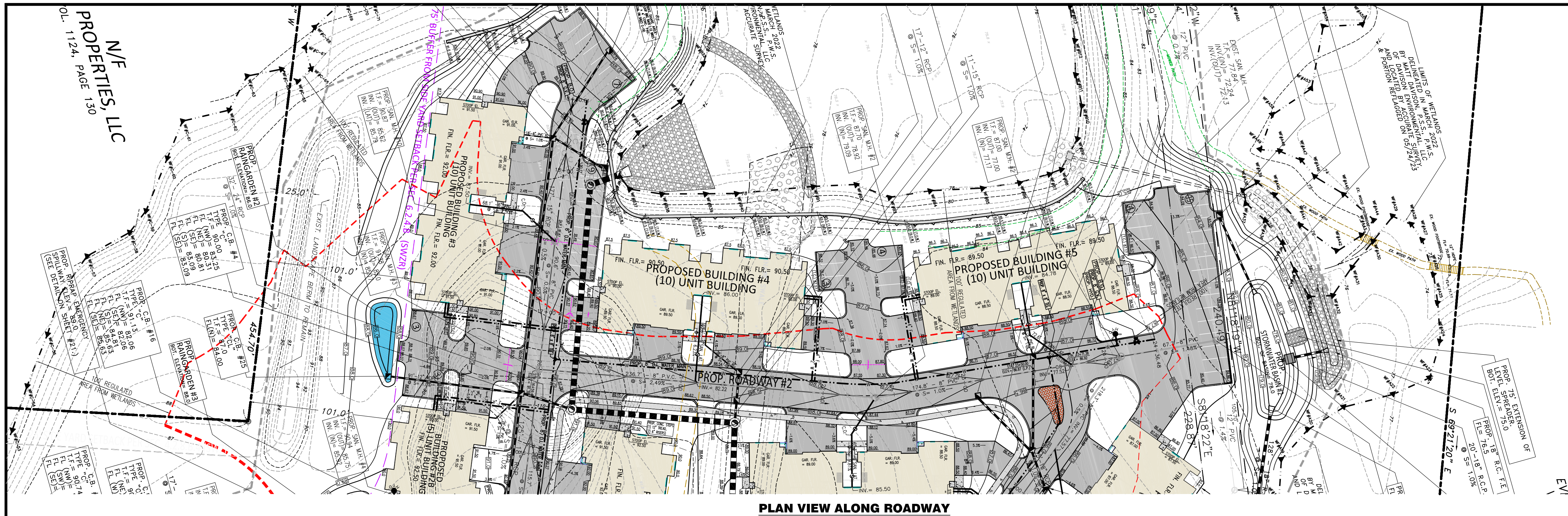


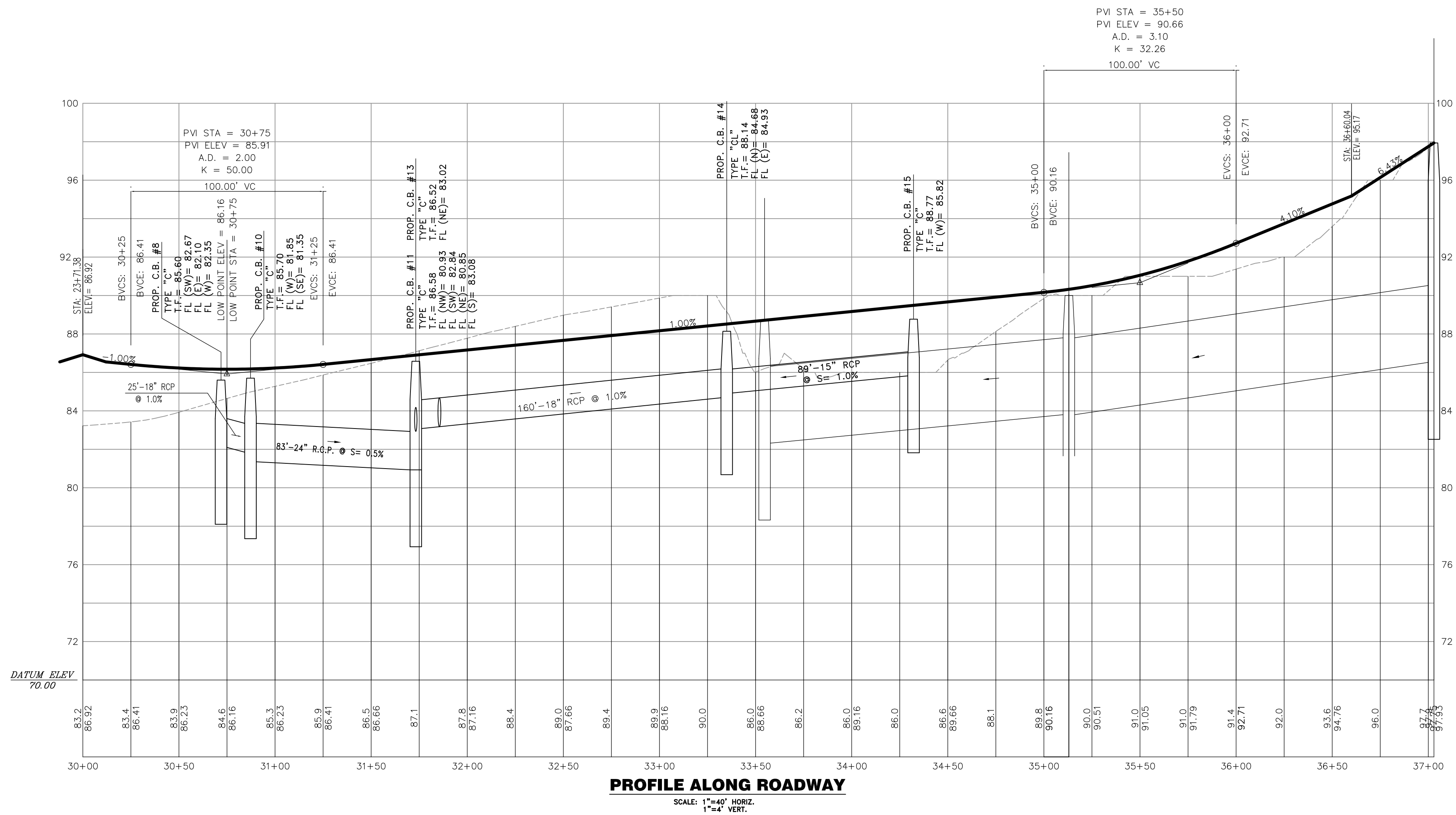
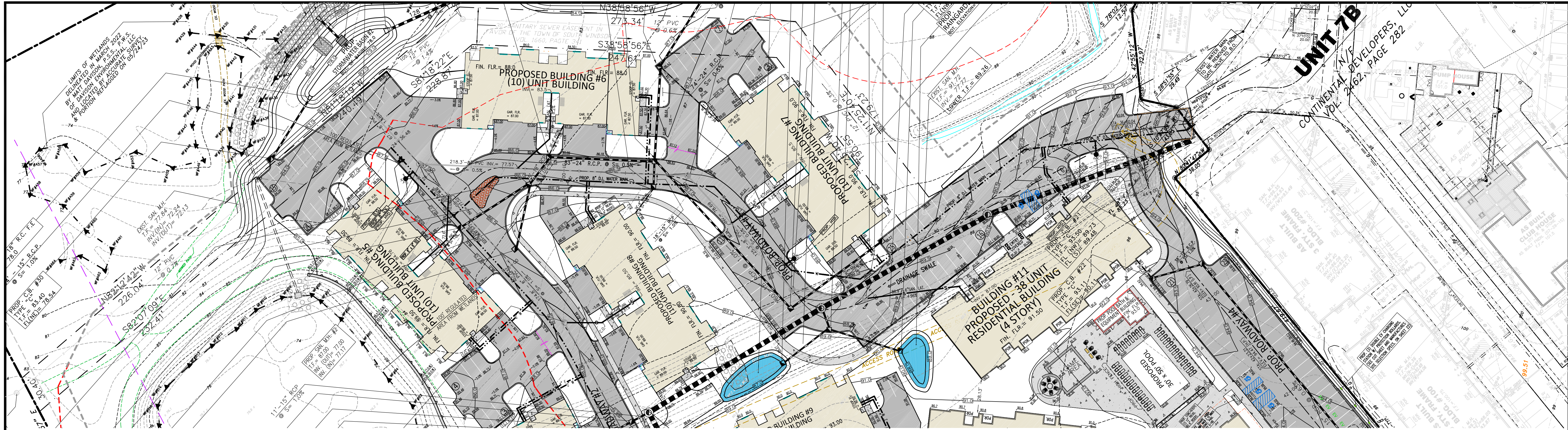
CHECKED BY: J.P.C.	SCALE: 1"=40'
DRAWN BY: J.M.P.	DATE: MAY 23, 2023
ACAD FILE: 2574-SU	JOB No.: 2574
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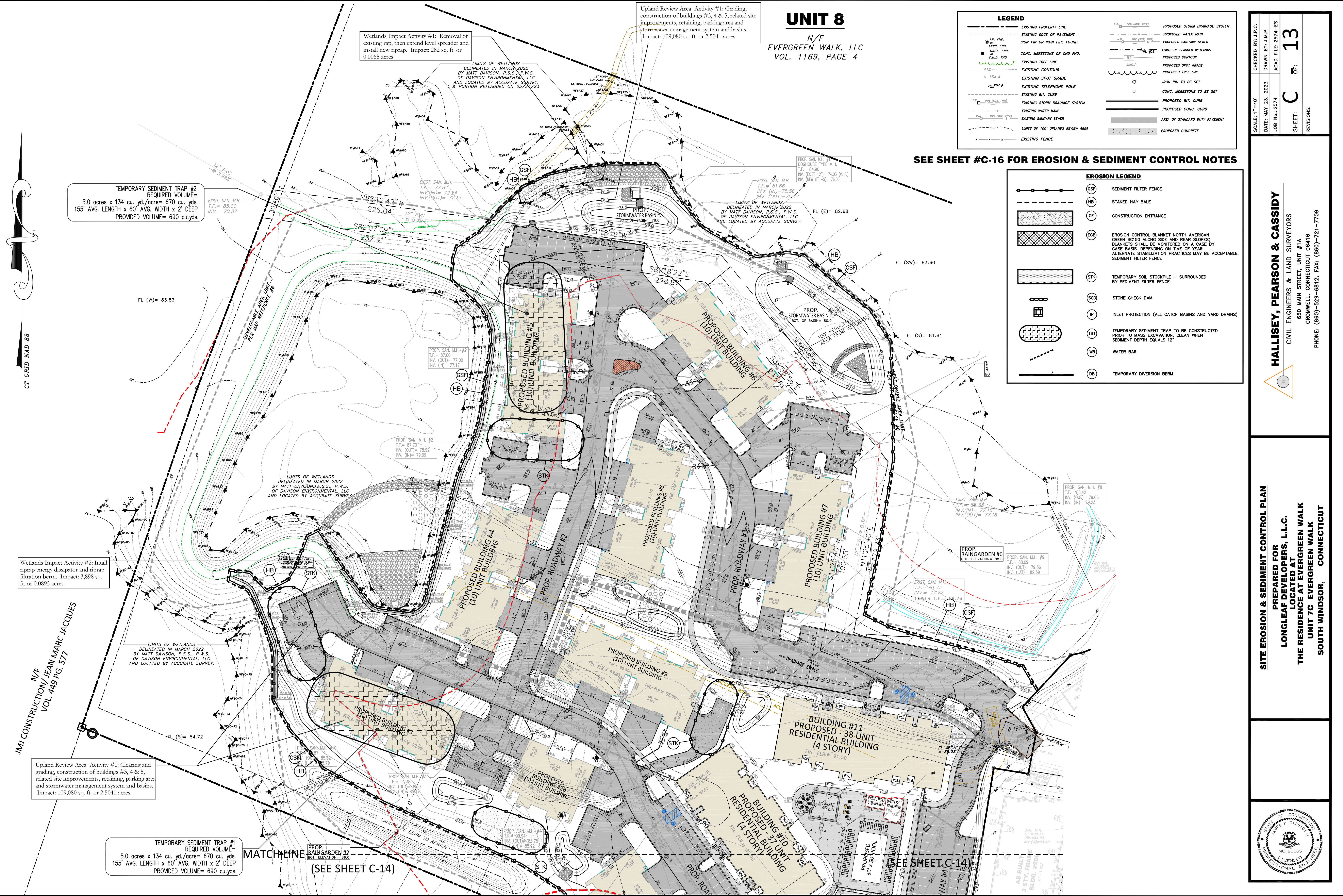
HALLISEY, PEARSON & CASSIDY
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PROPERTY SURVEY
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UNIT 8
N/F
EVERGREEN WALK, LLC
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LEGEND

EXISTING PROPERTY LINE	PROPOSED STORM DRAINAGE SYSTEM
EXISTING EDGE OF PAVEMENT	PROPOSED WATER MAIN
IRON PIN OR IRON PIPE FOUND	PROPOSED SANITARY SEWER
CONC. MERESTONE OR CHD FND.	LIMITS OF FLAGGED WETLANDS
EXISTING TREE LINE	PROPOSED CONTOUR
EXISTING CONTOUR	PROPOSED SPOT GRADE
EXISTING SPOT GRADE	PROPOSED TREE LINE
EXISTING TELEPHONE POLE	IRON PIN TO BE SET
EXISTING BIT. CURB	CONC. MERESTONE TO BE SET
EXISTING STORM DRAINAGE SYSTEM	PROPOSED BIT. CURB
EXISTING WATER MAIN	PROPOSED CONC. CURB
EXISTING SANITARY SEWER	AREA OF STANDARD DUTY PAVEMENT
LIMITS OF 100' UPLANDS REVIEW AREA	PROPOSED CONCRETE
EXISTING FENCE	

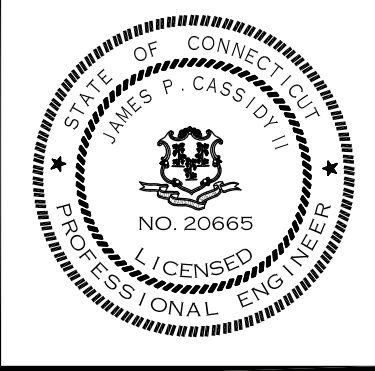
SEE SHEET #C-16 FOR EROSION & SEDIMENT CONTROL NOTES

EROSION LEGEND

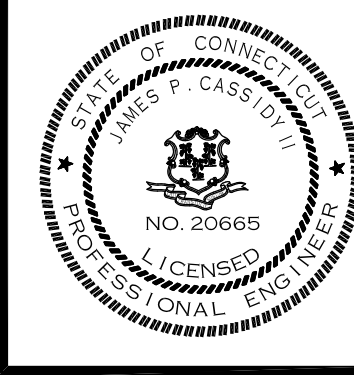
SEDIMENT FILTER FENCE	TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
STAKED HAY BALE	STONE CHECK DAM
CONSTRUCTION ENTRANCE	INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
EROSION CONTROL BLANKET NORTH AMERICAN GREEN SC150 ALONG SIDE AND REAR SLOPES) BLANKETS SHALL BE MONITORED ON A CASE BY CASE BASIS. DEPENDING ON TIME OF YEAR ALTERNATE STABILIZATION PRACTICES MAY BE ACCEPTABLE. SEDIMENT FILTER FENCE	TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION. CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE	WATER BAR
STONE CHECK DAM	TEMPORARY DIVERSION BERM
INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)	
TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION. CLEAN WHEN SEDIMENT DEPTH EQUALS 12"	
WATER BAR	
TEMPORARY DIVERSION BERM	

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ACAD FILE: 2574-ES	JOB NO.: 2574
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REVISIONS:	



SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF SOUTH WINDSOR, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL NOTES ON SHEET 10.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
15. PAVEMENT MARKING KEY:
- | | |
|----------|---|
| 4" SYDL | 4" SOLID YELLOW DOUBLE LINE |
| 4" SYL | 4" SOLID YELLOW LINE |
| 4" SWL | 4" SOLID WHITE LINE |
| 12" SWGB | 12" SOLID WHITE STOP BAR |
| 4" BWL | 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE |
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTRIBUTE THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH CTR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE, AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1(800)922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH TOWN OF SOUTH WINDSOR SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
24. TOWN OF SOUTH WINDSOR STREET EXCAVATION PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
28. THESE PLANS ARE FOR PERMITTING.
29. THE SITE IS PROPOSED TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
30. THE PROPERTY IS LOCATED WITHIN FEMA FLOOD ZONE "X" (AREAS OUTSIDE 500 YEAR FLOOD ZONE) PER F.I.R.M. PANEL NUMBER 518 OF 675, MAP #09003C00518F, EFFECTIVE DATE SEPT. 08, 2008
31. 12" SWGB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO TOWN OF SOUTH WINDSOR SPECIFICATIONS.
32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.
38. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.
39. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.
40. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.
41. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.
42. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.
43. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH POXY PAINT.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE SOUTH WINDSOR TOWN STAFF.
9. VERTICAL DATUM IS NVGD 1988.
10. LIMITS OF DISTURBANCE SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF SOUTH WINDSOR AGENT PRIOR TO THE START OF WORK ON THE SITE.
11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF SOUTH WINDSOR AUTHORITY AND STATE OF CONNECTICUT.
14. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.
- PROTECT NOTES:
1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
2. POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOCK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLERS BANDING MEETING THE REQUIREMENTS OF AASHTOS M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM FULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLERS BANDING MEETING THE REQUIREMENTS OF AASHTO 252. FULL CORRUGATIONS ON EACH END OF THE PIPE. SILT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF AASHTO D1056 GRADE 24. THE CONNECTION CONDUIT SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
- GENERAL NOTES
1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1-(800)-922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
8. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
13. A PERMIT FROM THE STATE OF CONNECTICUT DOT IS REQUIRED TO OUTLET INTO THEIR STORM DRAINAGE FACILITY

UTILITIES NOTES

UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF SOUTH WINDSOR PUBLIC WORKS DEPARTMENT AND THE MOC.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEP DRAWINGS AND CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASEMENT.
17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OR SOUTH WINDSOR FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF SOUTH WINDSOR. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE # 3720.
- THE CONTRACTOR SHALL INSTALL AND BACKFILL TWO 4" PVC CONDUITS FOR TELEPHONE & CATV SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY ER BUILDING. THE PVC CONDUITS SHALL BE PER ELECTRICAL PLANS (SCHEDULE BON UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE METROPOLITAN DISTRICT SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ABUTTING HOUSES WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:

LONGLEAF DEVELOPERS, L.L.C.
145 HUDSON STREET, SUITE 6C
NEW YORK, NEW YORK 10013
212-874-5486

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:

1. PAVEMENT SWEEPING: PARKING LOTS AND DRIVES SHALL BE SWEEPED A MINIMUM OF TWICE A YEAR (SPRING AND Fall)
2. CATCH BASIN SLUMPS: CATCH BASIN SLUMPS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND SEDIMENT WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)
3. THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING ITEMS:
-INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
-CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
-REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.
4. LANDSCAPING: LANDSCAPED AREAS WILL MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING MOWING LAWN, RAKING LEAVES, ECT. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A TYPICAL HEIGHT OF 3 1/2". THIS WILL ALLOW THE GRASS TO BE MAINTAINED WITH A MINIMAL IMPACT FROM WEEDS AND/OR PEST.
PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHEN NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
5. TRASH COLLECTION: ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
6. HYDRODYNAMIC SEPARATOR "STORMCEPTOR" SHALL BE CLEANED PER MANUFACTURES SPECIFICATIONS.
7. UNDERGROUND DETENTION SYSTEM SHALL BE INSPECTED BIENNIAL. IF SEDIMENT OR DEBRIS IS ENCOUNTERED IN SYSTEM, IT SHALL BE CLEANED AND DEPOSED OF OFF-SITE.
8. THE OWNER SHALL BE KEEP AN OFF-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF SOUTH WINDSOR INSPECTION.
9. ORGANIC FERTILIZERS ARE ONLY ALLOWED TO BE USED IN LANDSCAPED AND LAWN WITHIN 100' UPLAND REVIEW AREAS FROM WETLANDS.
10. RANGARDEN SHALL BE INSPECTED AND MAINTAINED PER THE SCHEDULE BELOW.

Check inflow and outflow regularly and clear away any debris
Check for time to time to make sure it is draining properly
Make sure a hard surface or crust hasn't formed
Maintain 2 to 4 inches of mulch

Do not use inorganic fertilizers
Remove weeds, don't use pesticides to control them

Water after planting and during dry spells whenever the top 4 inches is dry-especially during the first two years after establishing your rain garden
Maintain a 2 to 4 inch layer of organic mulch (ideally shredded hardwood)
Keep weeded, especially in the first two years
Remove dead plants and dead or unsightly growth; replace with healthy plants unless the dead plant had a fungus or other disease
Don't remove plants when dormant (early Spring)

BASIC MAINTENANCE

SEASONAL MAINTENANCE

Early Fall (September-October)
Check for erosion and excessive flooding during storms
Weed, and water during periods of drought or if soil is dry below 4 inches
Replant if necessary
Check pH and adjust if necessary (keep pH between 8 and 8.5)

Early Winter (November-December)
Replace mulch as needed
If excess fine sediment has accumulated, remove gently with a shovel without disturbing plants

Late Winter (January - February)
Remove trash and debris
Don't pile snow onto rain garden - but don't remove snow that has fallen there;
Don't use chemical ice melts near the inflow of the rain garden

Spring (March-April-May)
Remove dead plant parts; replace mulch if needed; thin or trim overcrowded plants
Check for erosion and excessive flooding during storms
Weed, water if dry, and replant if needed
Clear any gutters connected to the rain garden

Summer (June-July-August)
Check for erosion and excessive flooding during storms
Weed weekly, water during periods of drought or if soil is dry below 4 inches

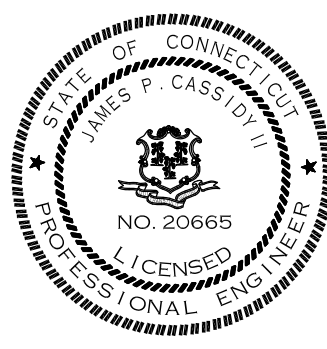
CORRECTING PROBLEMS

If water stands for more than 24 hours, the rain garden is not draining properly. This can be corrected by a contractor.
If you see gullying or other signs of erosion during and after rain, adding more stones to the inflow area, or more mulch, can slow down the inflow of water

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS

650 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812. FAX: (860)-721-7709

GENERAL SITE NOTES
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



SCALE: 1"=40'
DATE: MAY 23, 2023
JOB No.: 2574
SHEET: C OF 15
REVISIONS:

CHECKED BY: J.P.C.
DRAWN BY: J.M.P.
ACAD FILE: 2574-GEN-07E

EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

PROJECT OVERVIEW:

This project will consist of the development of a property located on the easterly side of Trout Brook Drive, 300' south of the intersection of Farmington Avenue and Trout Brook Drive. The development of this site will consist of one (1) 5-story multi-family apartment building with a total of 172 residential living units. The total building footprint area will be 46,472 sq. ft. Associated with the development of this new building, a parking lot will be constructed to accommodate 323 vehicles (131 spaces in a garage under the new building and 192 surface parking spaces). Access to this parking lot will be through a new driveway to be constructed off of Trout Brook Drive.

The proposed building will to be serviced by public sewers and public water supply. All other utilities such as electric, telephone, cable & natural gas service will be provided by the existing services adjacent to the project site and shall be located underground. More detailed design information regarding the proposed utilities can be obtained from the site plans.

The storm water management system for this site has been designed utilizing Best Management Practices (BMPs) to provide water quality measures, while attenuating peak flows to prevent increases in the predevelopment runoff rates to the wetlands areas and watercourses to the north and south of this site. The overall storm water management system will use a hydrodynamic separator and an underground detention system, along with several other water quality measures before discharging storm water to the receiving watercourse. The goal of the storm water management design is to provide removal of total suspended solids while attenuating the post development peak runoff rates.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS FALL, 2023 WITH COMPLETION ANTICIPATED FALL 2026. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PUBLIC WORKS, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT TOWN OF SOUTH WINDSOR AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY CLEARING, DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT. A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF SOUTH WINDSOR WETLANDS AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALE SEDIMENT BARRIERS.
- CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
- INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND SEDIMENT TRAPS.
- CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING.
- INSTALLATION OF STORM DRAINAGE.
- FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
- REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL SANITARY LATERAL, WATER SERVICE AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
- INSTALL SITE LIGHTING.
- FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT SIDEWALKS.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL GRADING OF SLOPE AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 1 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- CONSTRUCT STORM WATER QUALITY BASIN AND FINAL OUTLET.
- LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
- UPON DIRECTION OF THE TOWN OF SOUTH WINDSOR AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN). SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
- AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

- STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

OPERATION V – FINAL GRADING AND PAVING

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION

& SEDIMENTATION CONTROL MEASURES

- ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
- STRIP TOPSOIL AND STOCKPILE.
- PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
- STABILIZE STOCK PILE.

PHASE 2

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- ROUGH GRADING.

PHASE 3

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- PERFORM FILLING ACTIVITIES.

PHASE 4

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.

PHASE 5

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- PERFORM FINAL GRADING AND PAVING.

PHASE 6

- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- RESPREAD TOPSOIL.
- LIME, FERTILIZE, AND SEED.
- MULCH.
- FINAL COVER.

PHASE 7

- MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.
- PERFORM FINAL INSPECTION.
- REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND

EROSION CONTROL MEASURES

I. SILTATION FENCE

- DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
- POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
- LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
- BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE

- ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.

- SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

II. SEDIMENT TRAPS/BASINS

- CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.

- ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.

- SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

- SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

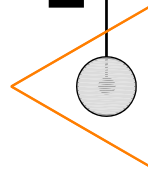
EROSION AND SEDIMENT CONTROL PLAN

- SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR SHAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- LONGLEAF DEVELOPERS, L.L.C. IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE SOUTH WINDSOR WETLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES

- THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.
- SOUTH WINDSOR PARTNERS, L.L.C. IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF SOUTH WINDSOR. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM, OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE FOR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- INSTALL PERMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.
- SEDIMENTATION BASINS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- COMPLY WITH REQUIREMENTS OF CCS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORDKEEPING AND INSPECTION REQUIREMENTS.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIROFENCE, AMOCO SILT STOP OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION PIPE SYSTEM OUTLET CONTROL ORIFICE UNTIL SITE IS STABILIZED AND BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDES WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FENCE. DISPOSE OF SEDIMENT LEGALLY ON SITE IN NON-WETLANDS AREAS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY.
- THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS: LONGLEAF DEVELOPERS, L.L.C. 145 HUDSON STREET, SUITE 60 NEW YORK, NEW YORK 10013
- IF WIND EROSION OCCURS, THEN GROUND SHALL BE COVERED WITH CALCIUM CHLORIDE OR WATER TRACK APPLICATIONS AS REQUIRED TO CORRECT THE PROBLEM.

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS



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CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812. FAX: (860)-721-7709

EROSION & SEDIMENT CONTROL NOTES

PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.

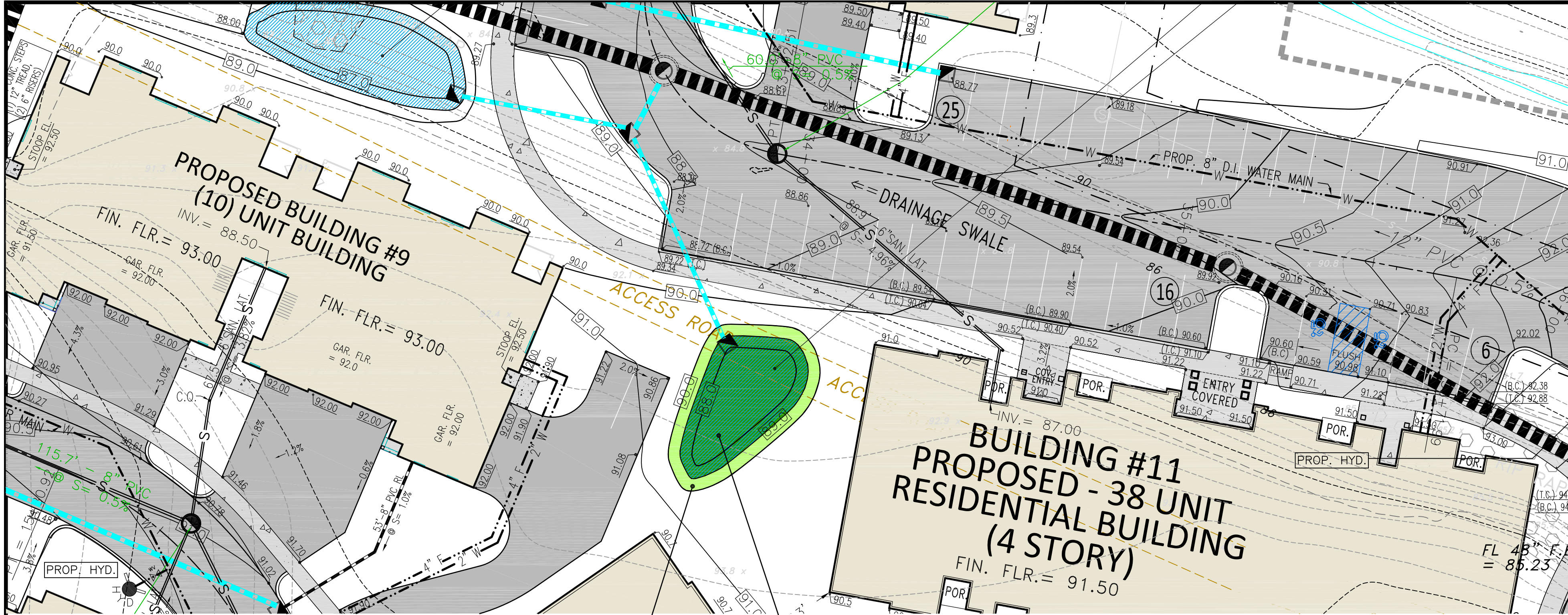
LOCATED AT


THE RESIDENCE AT EVERGREEN WALK


UNIT 7C EVERGREEN WALK

SOUTH WINDSOR, CONNECTICUT



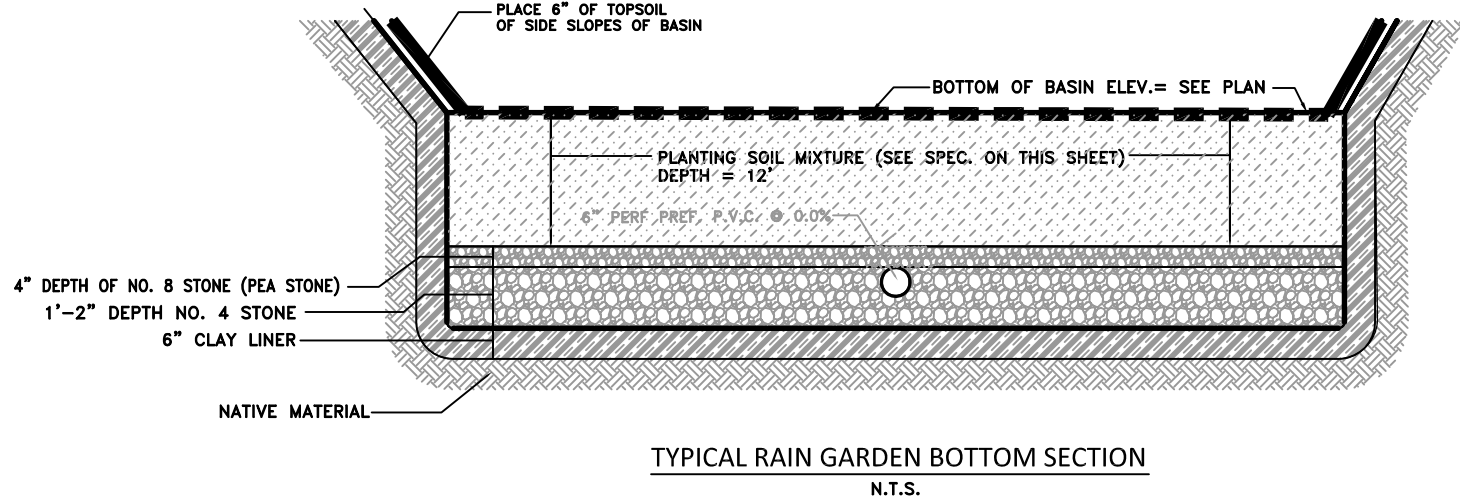
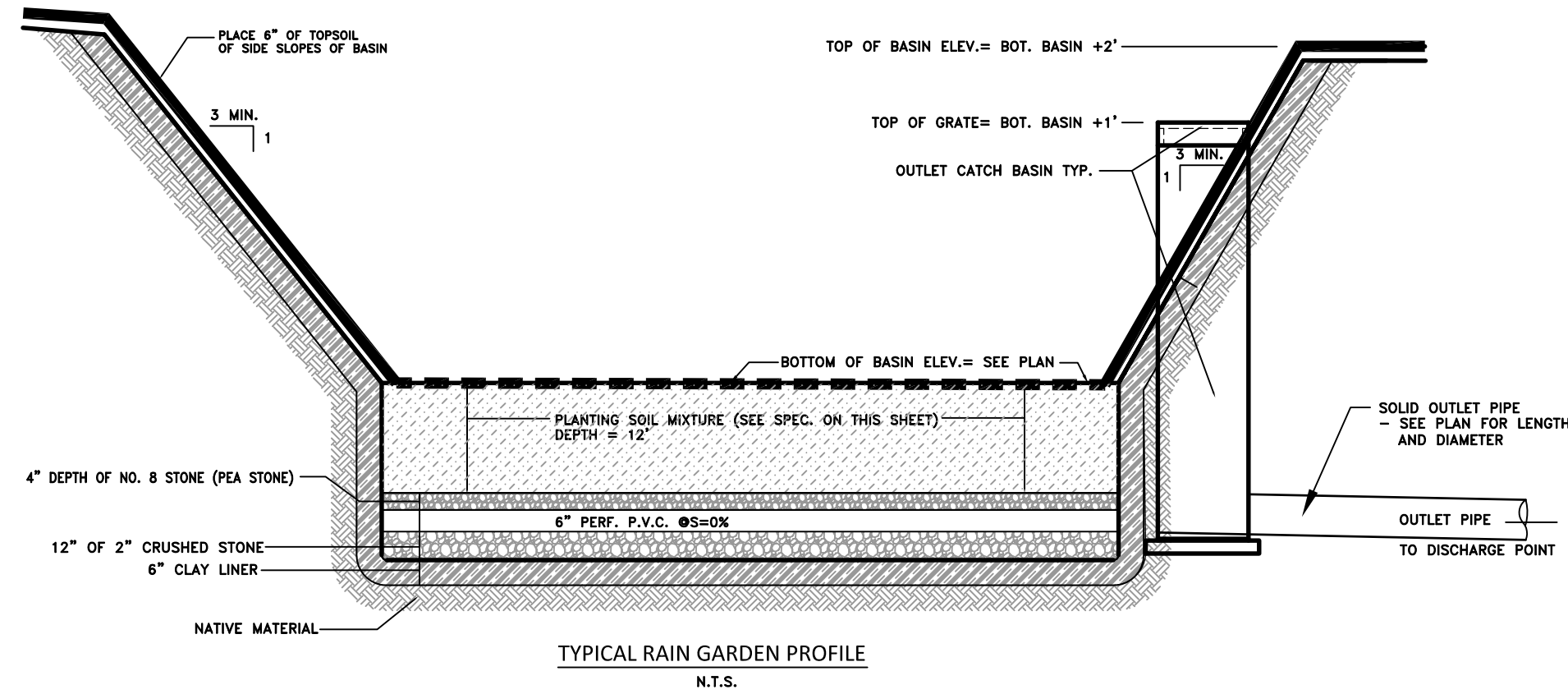


ZONE B= 
NEW ENGLAND WILDLIFE/CONSERVATION MIX AT A RATE OF 1,750 sq. ft./lb.. SUPPLEMENT WITH ANNUAL RYEGRASS AT 50% OF THE RECOMMENDED SEEDING RATE FOR RAPID GERMINATION AND STABILIZATION.

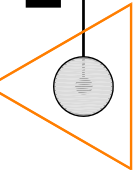
ZONE A= 
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES AT A RATE OF 1,250 sq. ft./lb.. SUPPLEMENT WITH ANNUAL RYEGRASS AT 50% OF THE RECOMMENDED SEEDING RATE FOR RAPID GERMINATION AND STABILIZATION.

TYPICAL RAIN GARDEN PLANTING SCHEDULE

SCALE: 1"=20'



CHECKED BY: J.P.C.	SCALE: 1"=20'
DRAWN BY: J.M.P.	DATE: MAY 23, 2023
ACAD FILE: 2574-RAIN	JOB NO.: 2574
SHEET: C	OF: 17
REVISIONS:	

**HALLISEY, PEARSON & CASSIDY**
CIVIL ENGINEERS & LAND SURVEYORS

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PHONE: (860)-529-6812, FAX: (860)-721-7709

RAIN GARDEN DETAIL SHEET
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





NO SCALE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF
OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN
SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

- (A) THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- (B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- (C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



SEDIMENTATION CONTROL BALES

NO SCALING

INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE THE BARRIER BECAUSE:

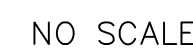
- A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.
- C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



NO SCALE



CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

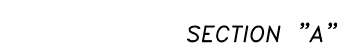
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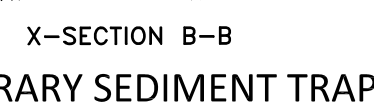


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0=SEED DO NOT SEED PREPARED AREA. CELL-0=SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

14649 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47711
USA 1-800-772-2040 CANADA 1-800-448-2040



(N.T.S.)



NTS

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FROMWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DETAILS

PREPARED FOR

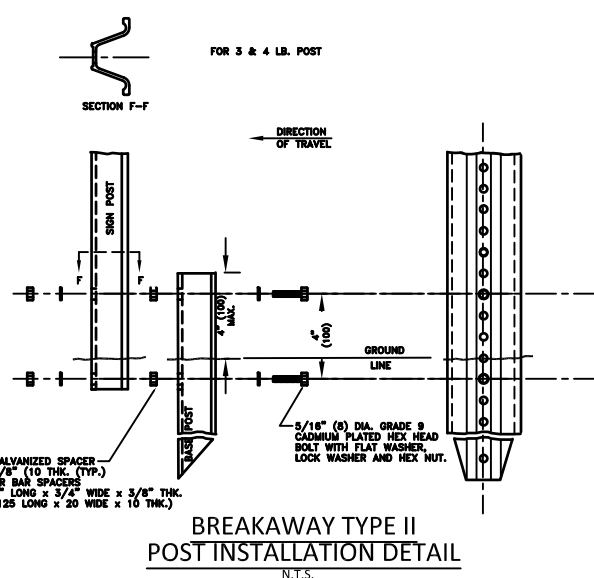
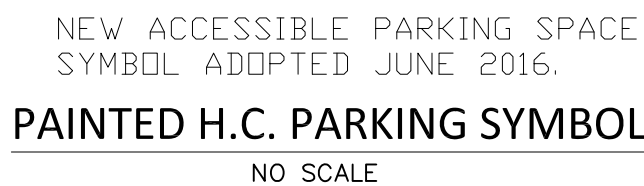
LONGLEAF DEVELOPERS, L.L.C.

**LOCATED AT
THE RESIDENCE AT EVERGREEN WALK**

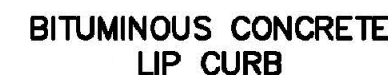
UNIT 7C EVERGREEN WALK

SOUTH WINDSOR, CONNECTICUT





- GENERAL NOTES:
1. STEEL FOR DELINEATOR POST SHALL BE ASTM A36/A36M STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A490. ALL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153/A153M STEEL. TRAIL RAILING HAVING NOMINAL WEIGHT (MASS) OF 91 lbs./ft. (42 kg./m.) OR GREATER PER LINEAR YARD (METER).
 2. AFTER FABRICATION, ALL STEEL POSTS, TRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153/A153M STEEL.
 3. WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
 4. ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153/A153M STEEL.
 5. ALL SIGN POST SHALL HAVE BREAKAWAY FEATURES TO MEET ASHSTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL STEEL FOR HIGHWAY BRIDGES AND STRUCTURES". THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE DESIGN LOADS. THE BREAKAWAY FEATURES SHALL BE DESIGNED SO THAT THE INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURING RECOMMENDATIONS.
 6. TYPE A POST - 3 lbs./ft. (4.5 kg./m.) TYPE B POST - 4 lbs./ft. (8 kg./m.)

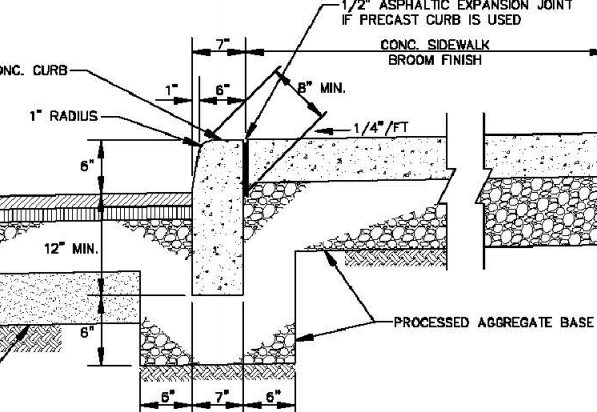


- NOTES:
1. CURBING MATERIAL TO BE CLASS 3 BITUMINOUS CONCRETE PER CONN. D.O.T. FORM 816.
 2. CURBING TO BE LAID ON TOP OF BINDER COURSE.
 3. TACK COAT TO BE APPLIED PRIOR TO CURB PLACEMENT AS REQUIRED BY TOWN. COATING TO BE APPLIED PER M 04.01.1.d.4, FORM 816 AS AMENDED.

		NOT TO SCALE
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	BITUMINOUS CONCRETE CURBING	APPROVED
	REVISED:	PUBLIC WORKS DIRECTOR

SD-9

BITCURE.D\WC

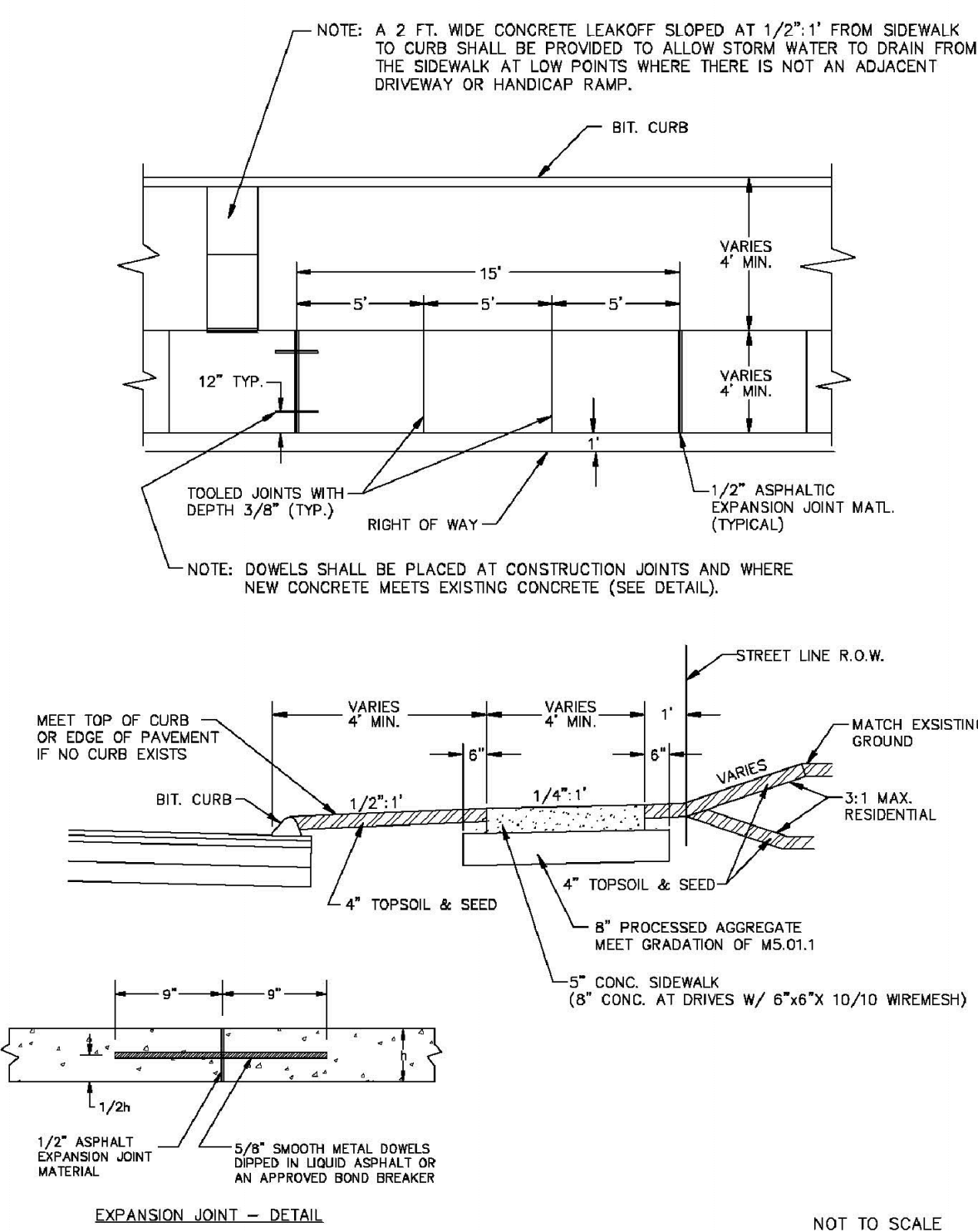


PAVEMENT/ SIDEWALK SECTION

		NOT TO SCALE
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	CONCRETE INTEGRAL CURB DETAIL	APPROVED
	REVISED:	PUBLIC WORKS DIRECTOR

SD-12

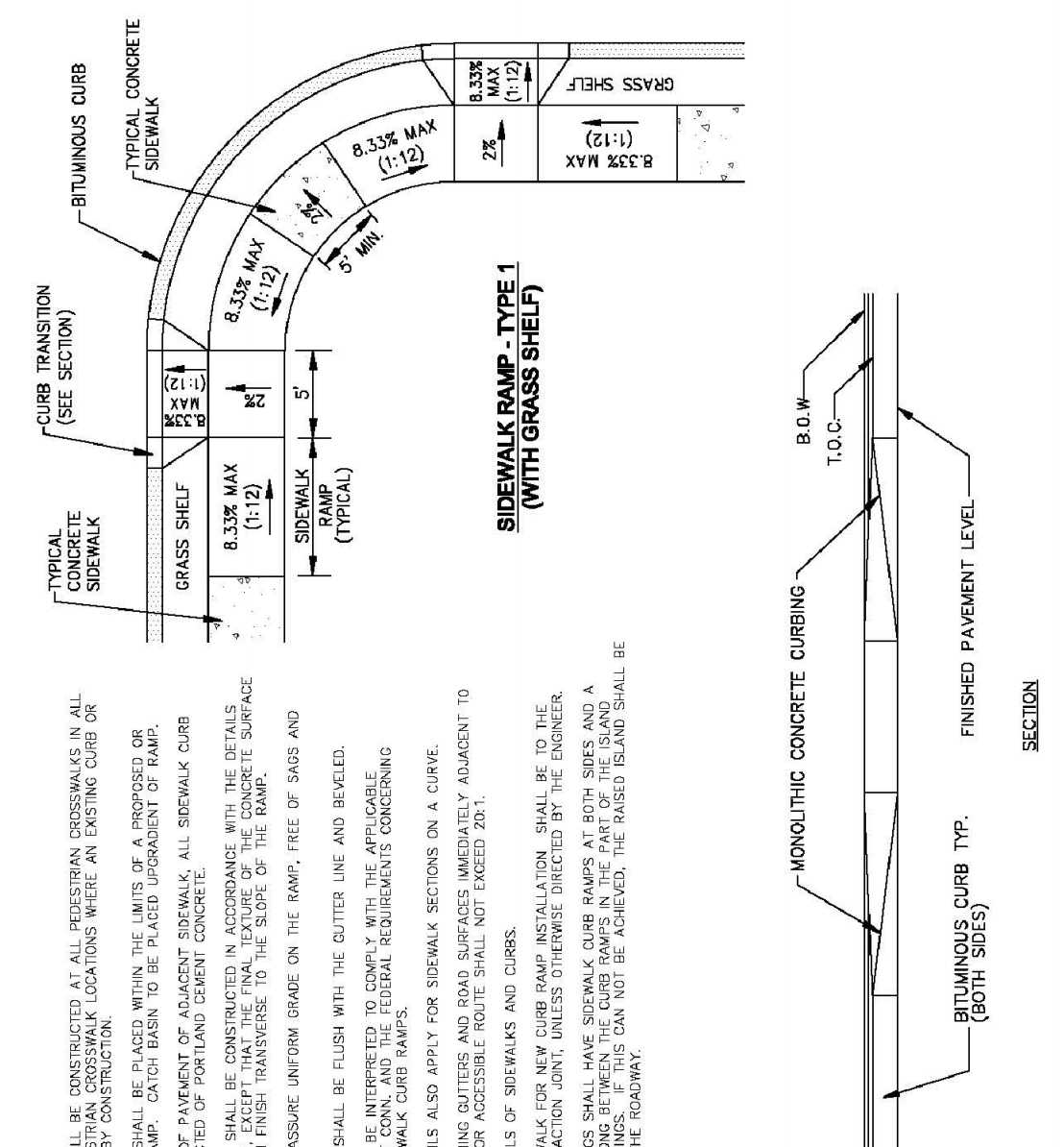
INTEGRAL=CURB.DV



TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TYPICAL SIDEWALK DETAIL	APPROVED
	REVISED:	PUBLIC WORKS DIRECTOR

SD-11

SIDEWALK.DWG

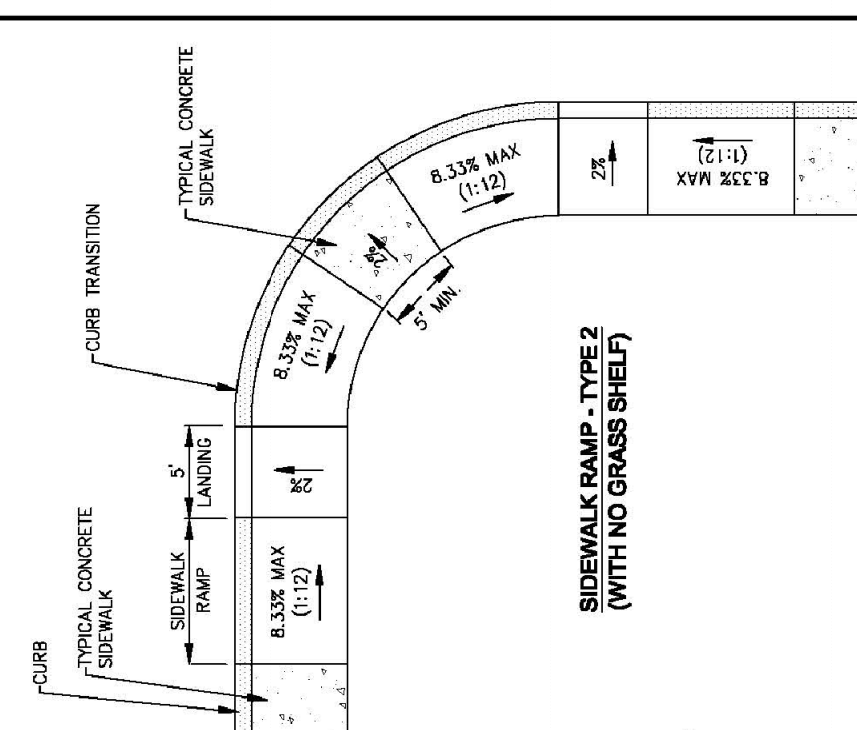


- ### GENERAL NOTES

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	CONCRETE SIDEWALK RAMP TYPE 1	APPROVED
	REVISED:	PUBLIC WORKS DIRECTOR

SD-13

HANDICAP.DWG

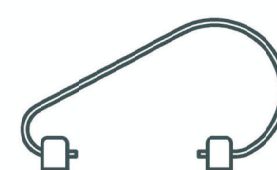
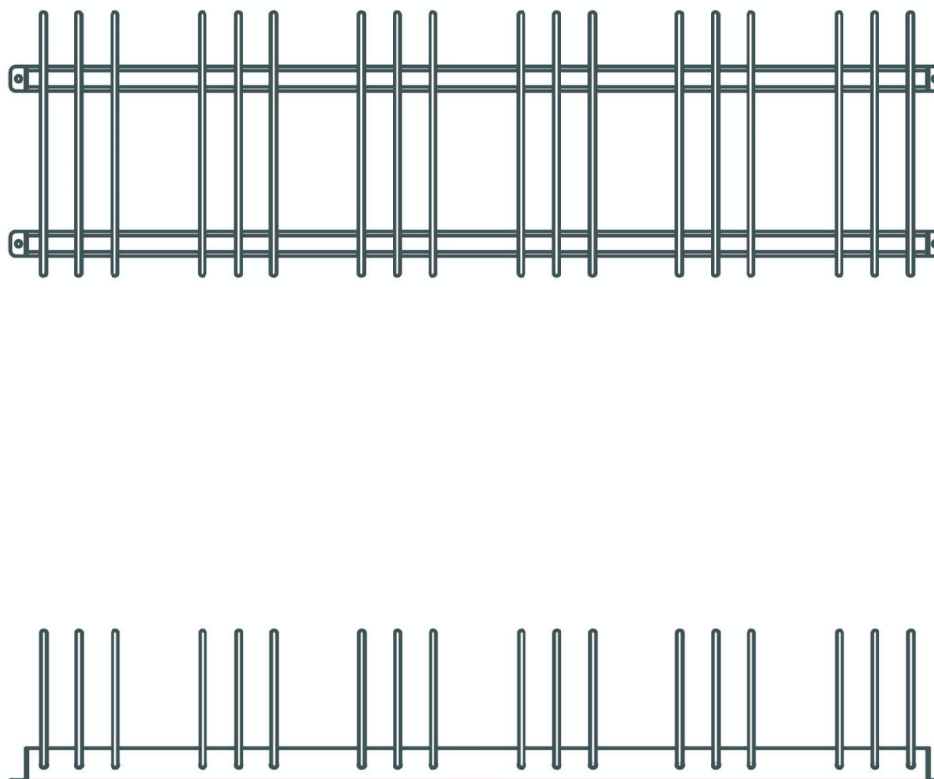
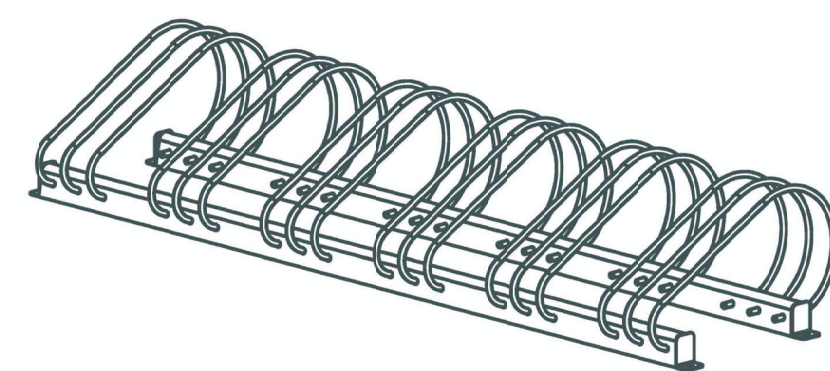


- ## GENERAL NOTES

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	CONCRETE SIDEWALK RAMP TYPE 2	APPROVED
	REVISED:	PUBLIC WORKS DIRECTOR

SD-14

HANDICAP DAY



SITE DETAILS
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

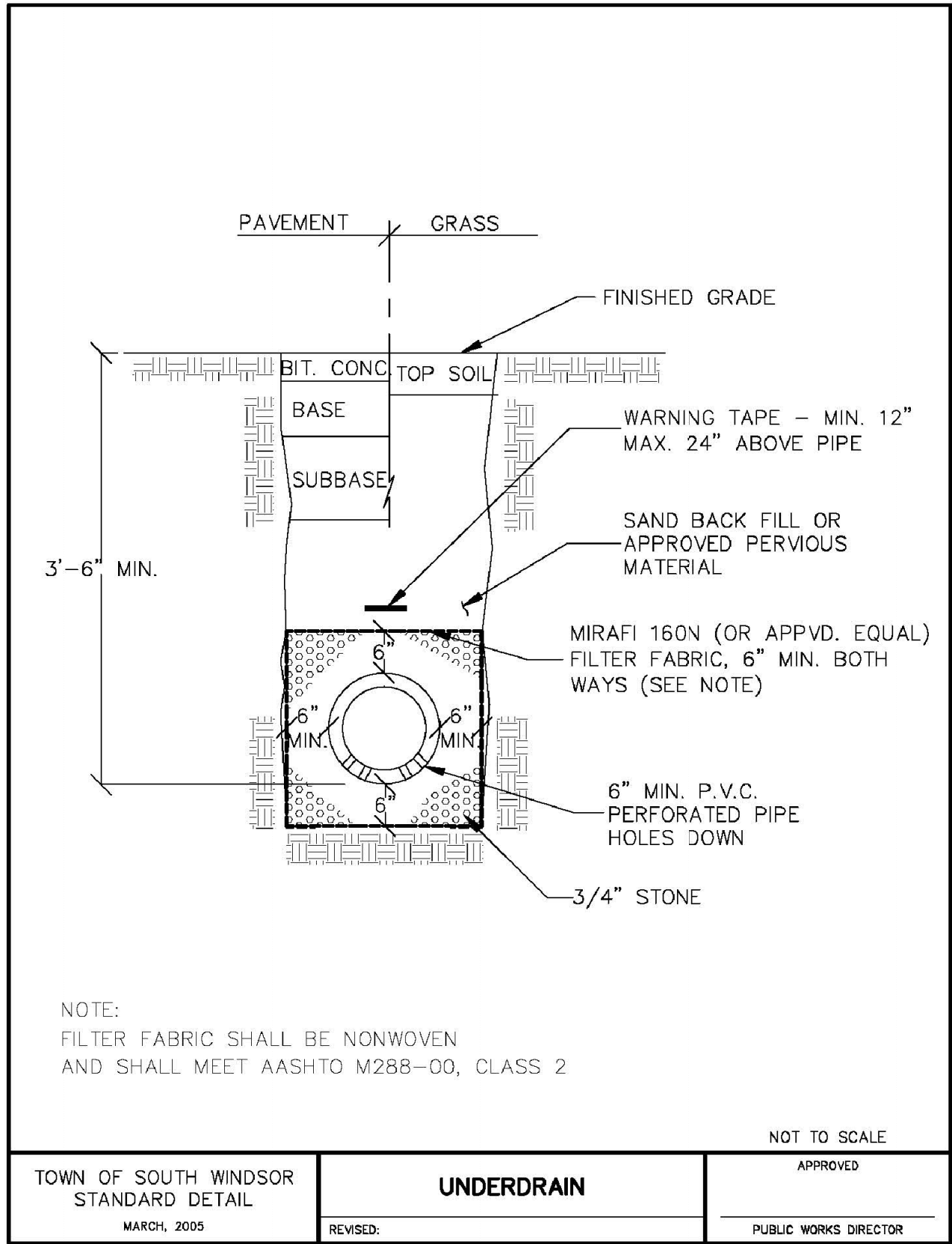


HALLISEY, PEARSON & CASSIDY
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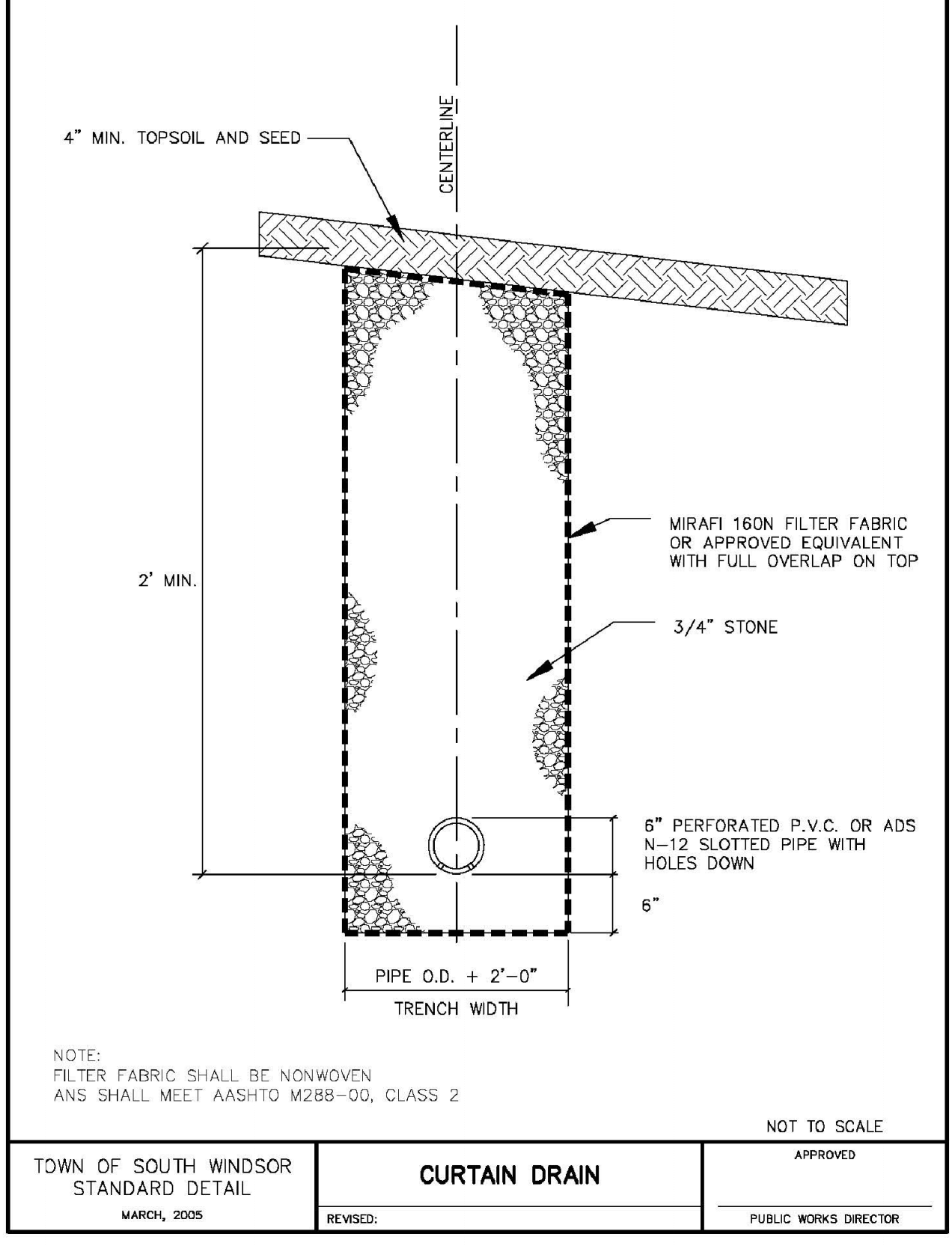
PHONE: (860)-529-6812, FAX: (860)-721-7709

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DATE: MAY 23, 2023	DRAWN BY: J.M.P.
JOB No.: 2574	ACAD FILE: 2574-DET
SHEET: C 20 OF: 20	
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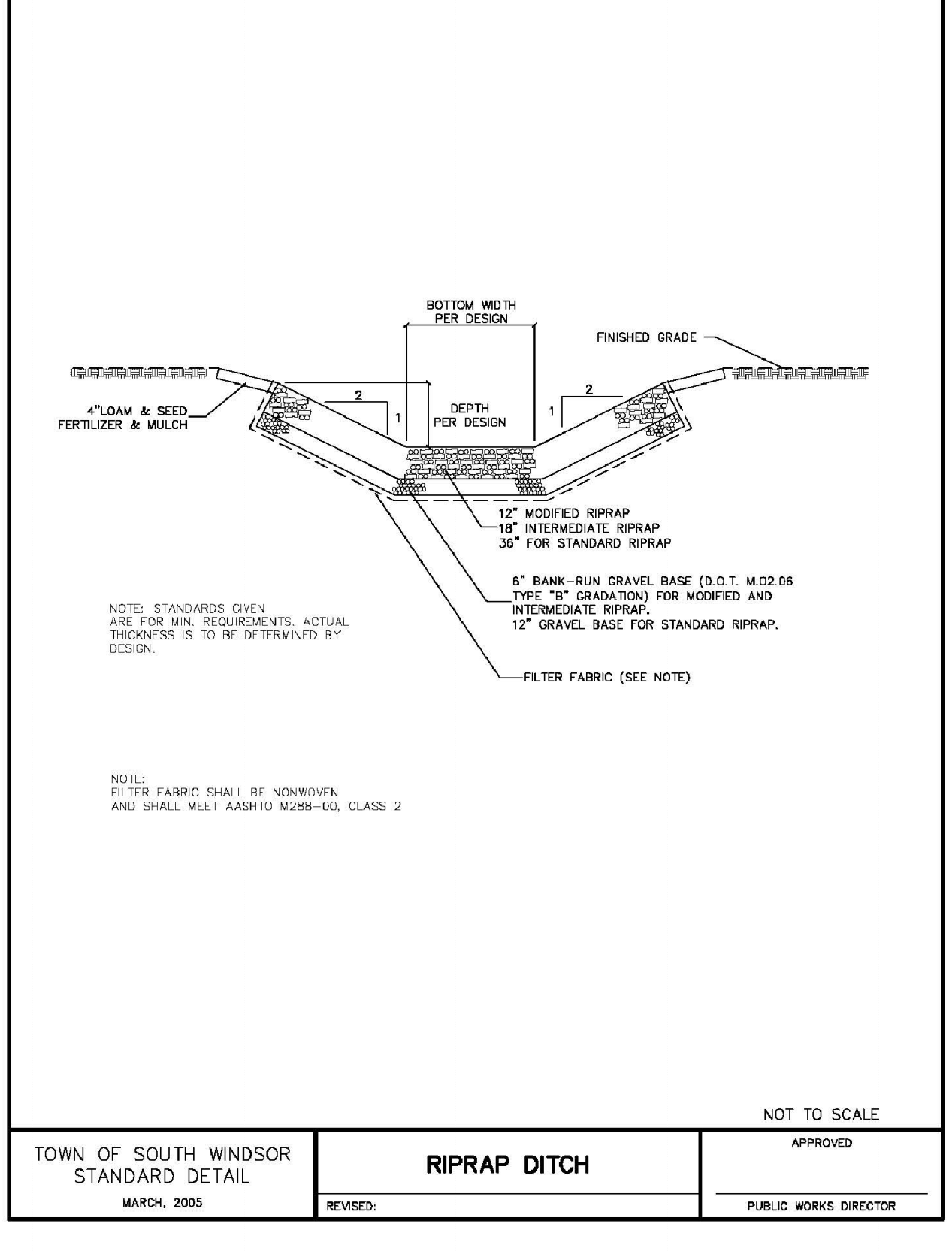
SD-33

UNDERDRAIN.DWG



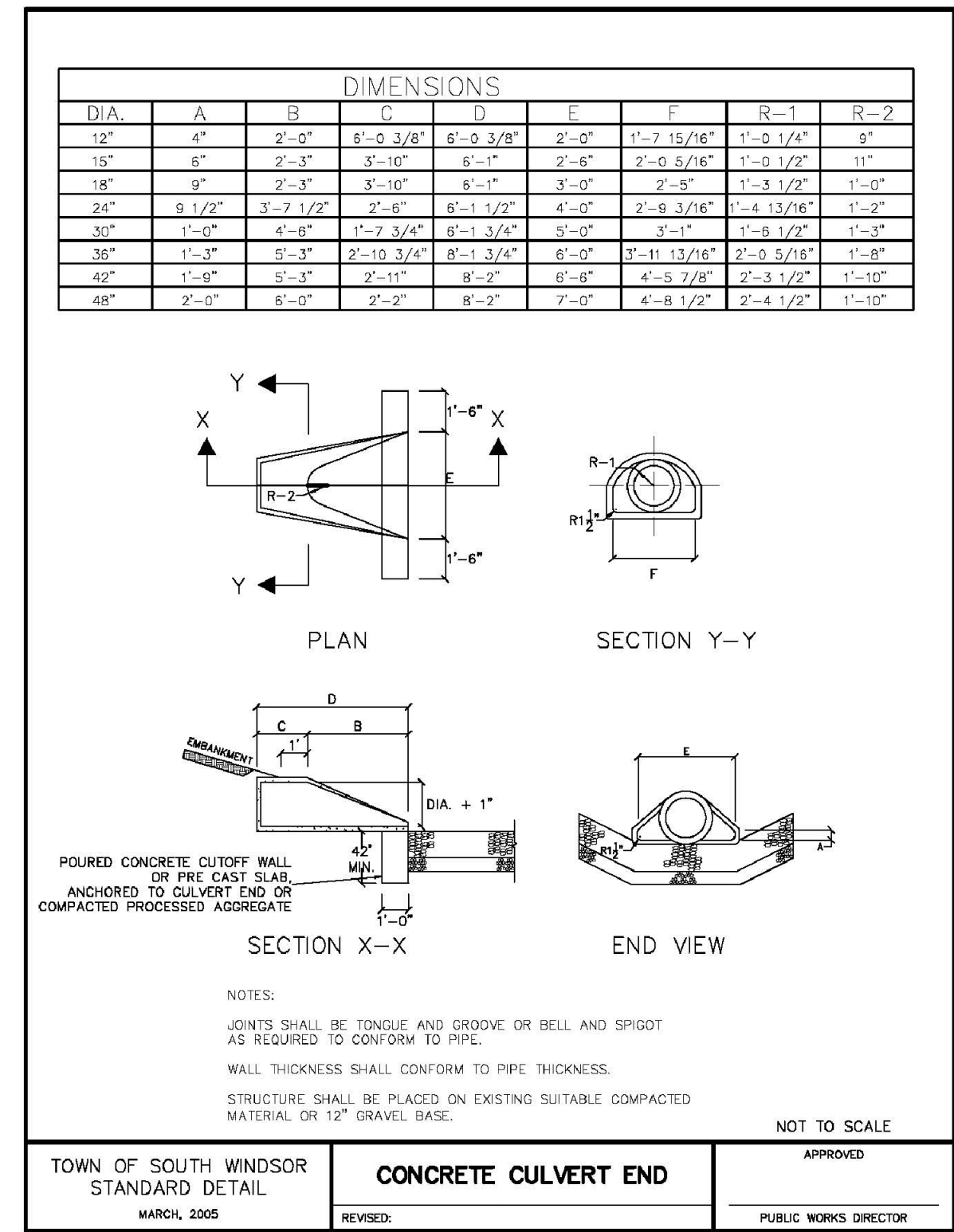
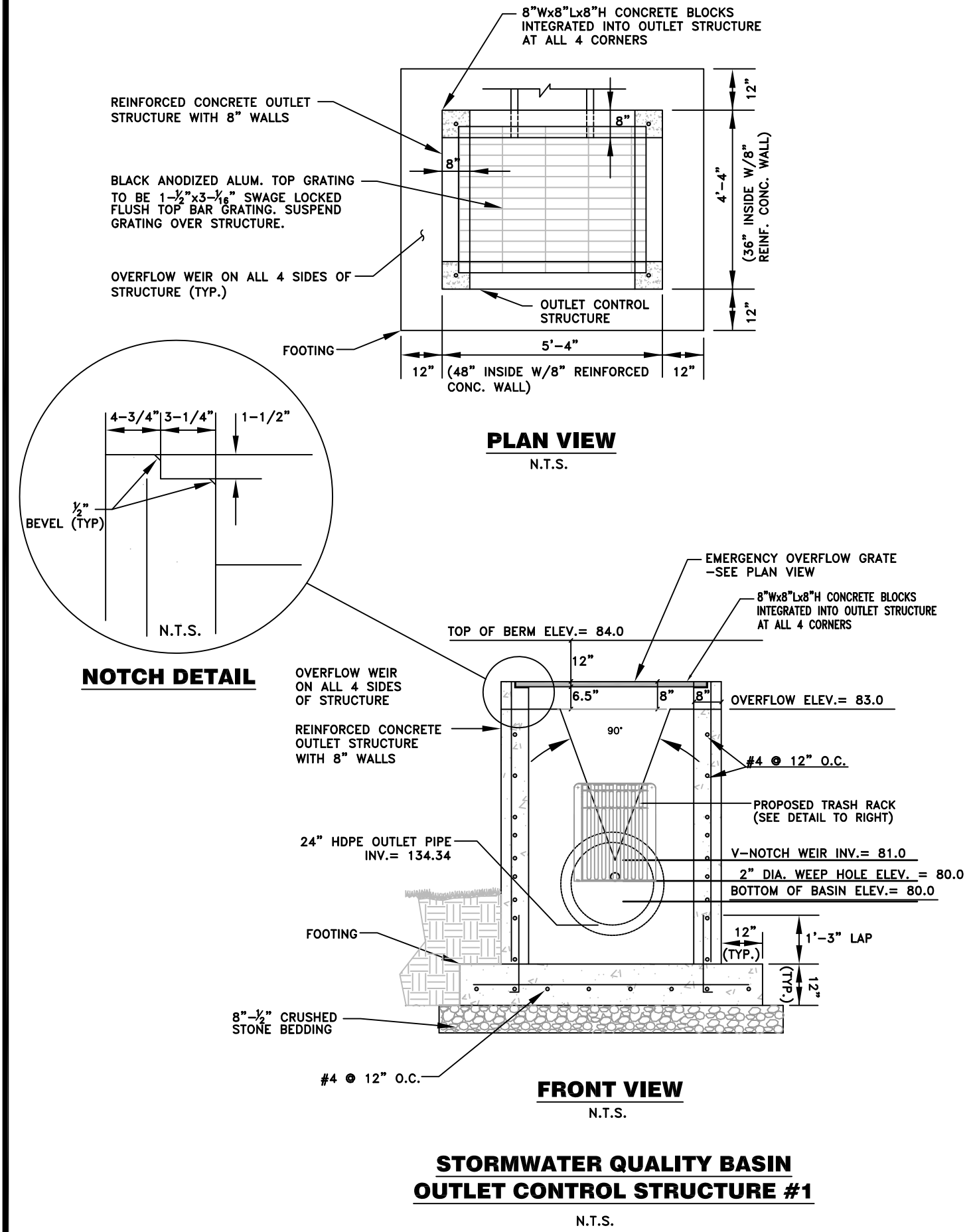
SD-35

CURTAIN.DWG



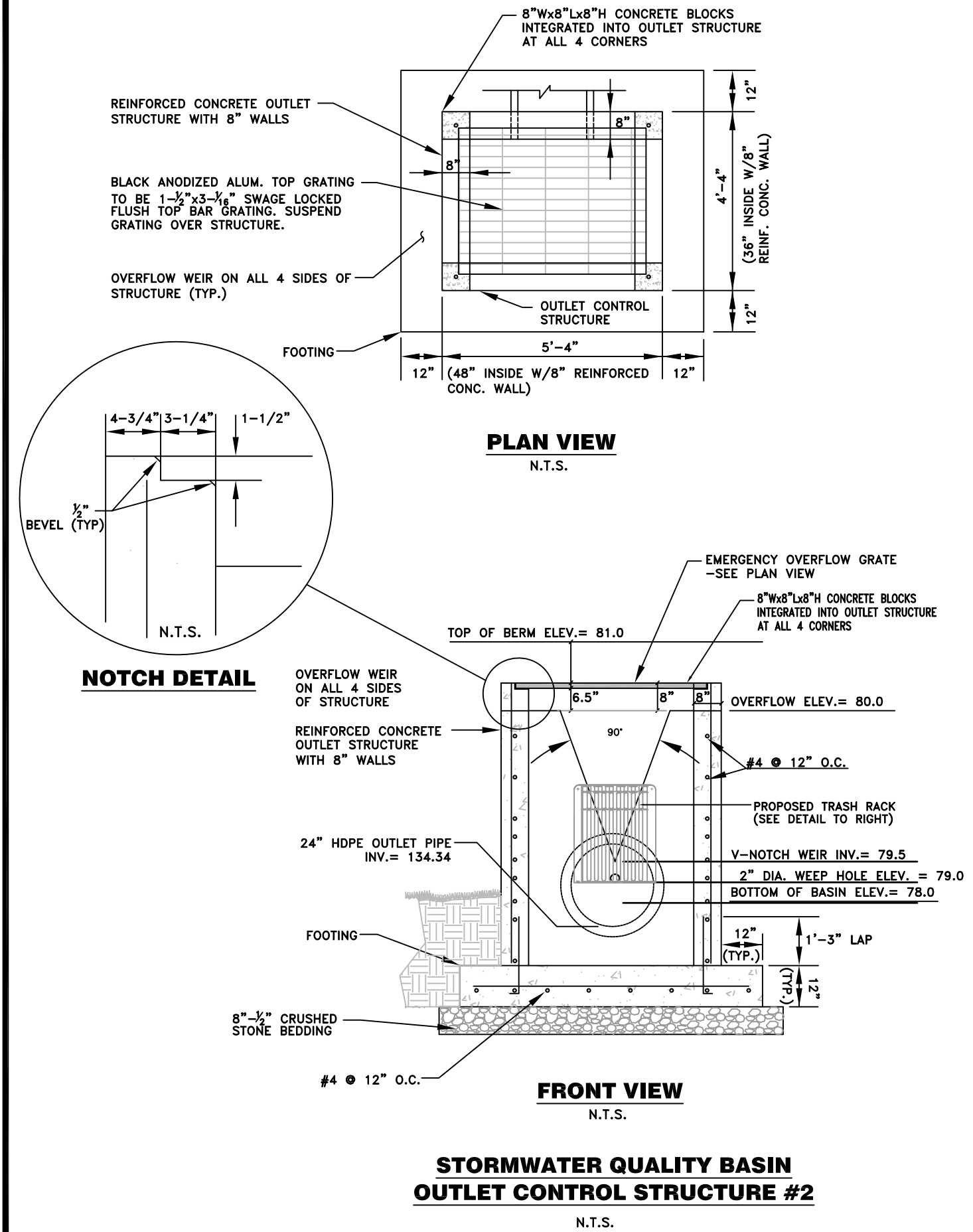
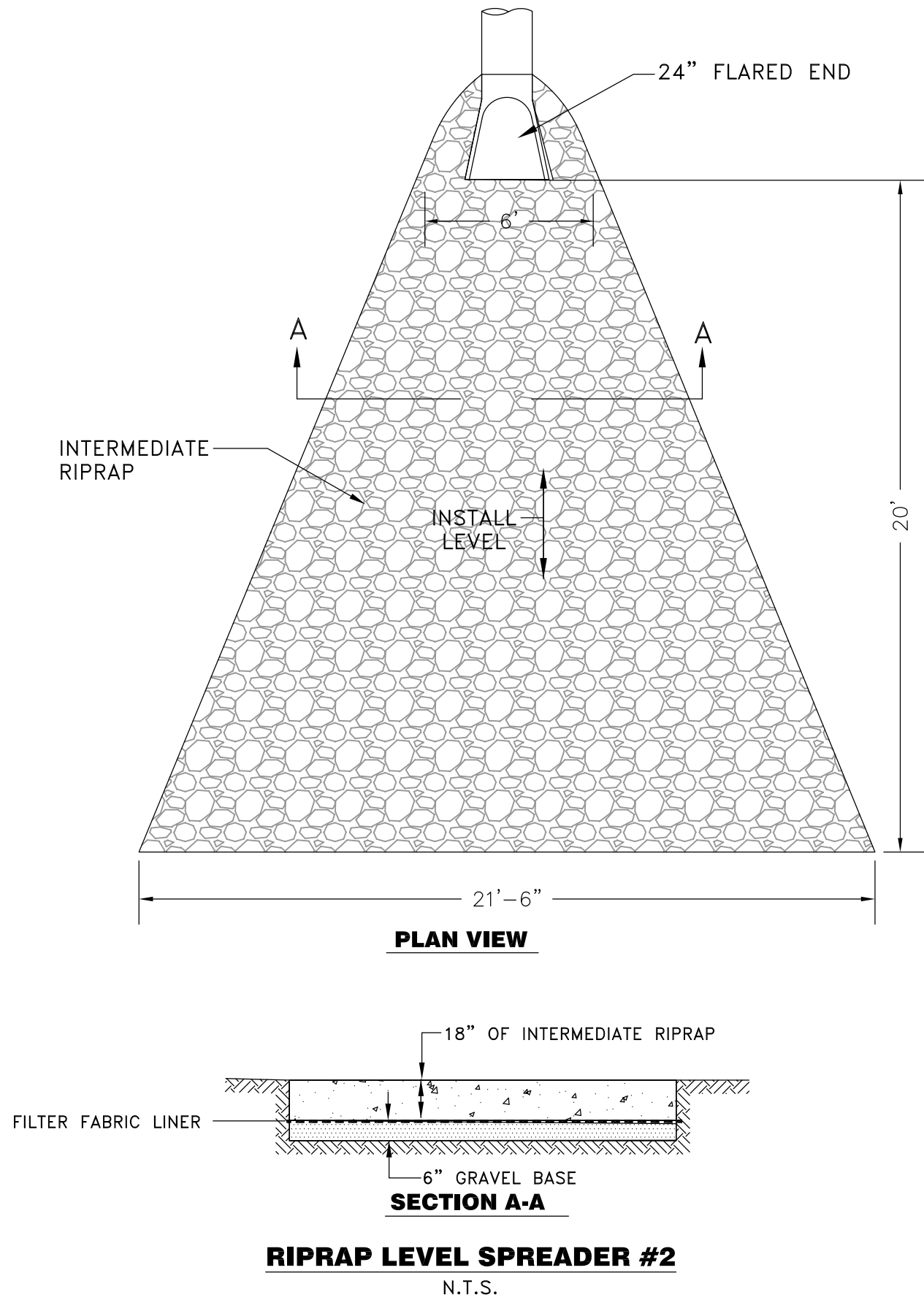
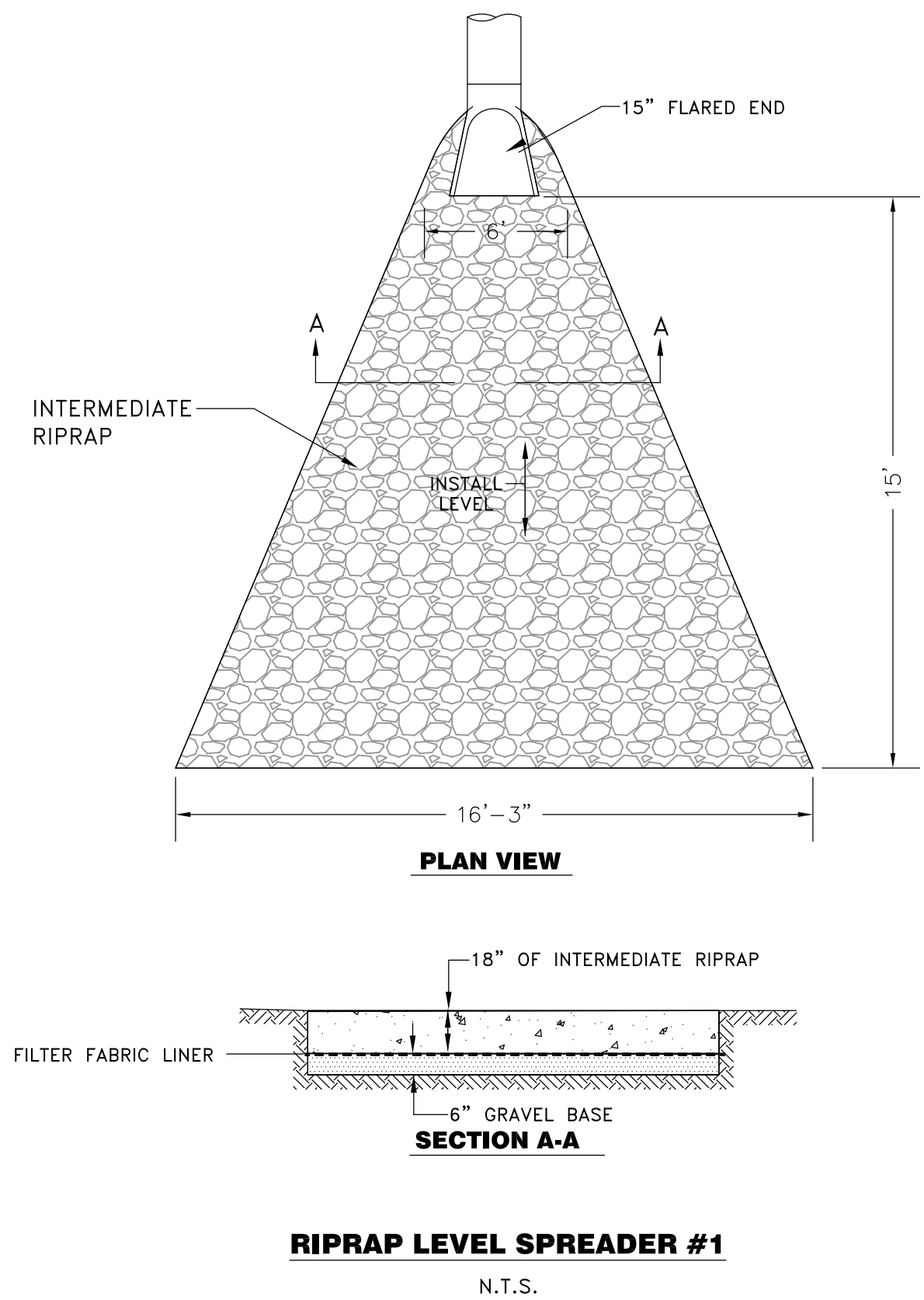
SD-38

RIPDITCH.DWG



VI-39

CULVERT.DWG



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CIVIL ENGINEERS & LAND SURVEYORS

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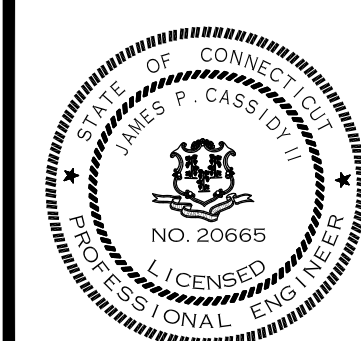
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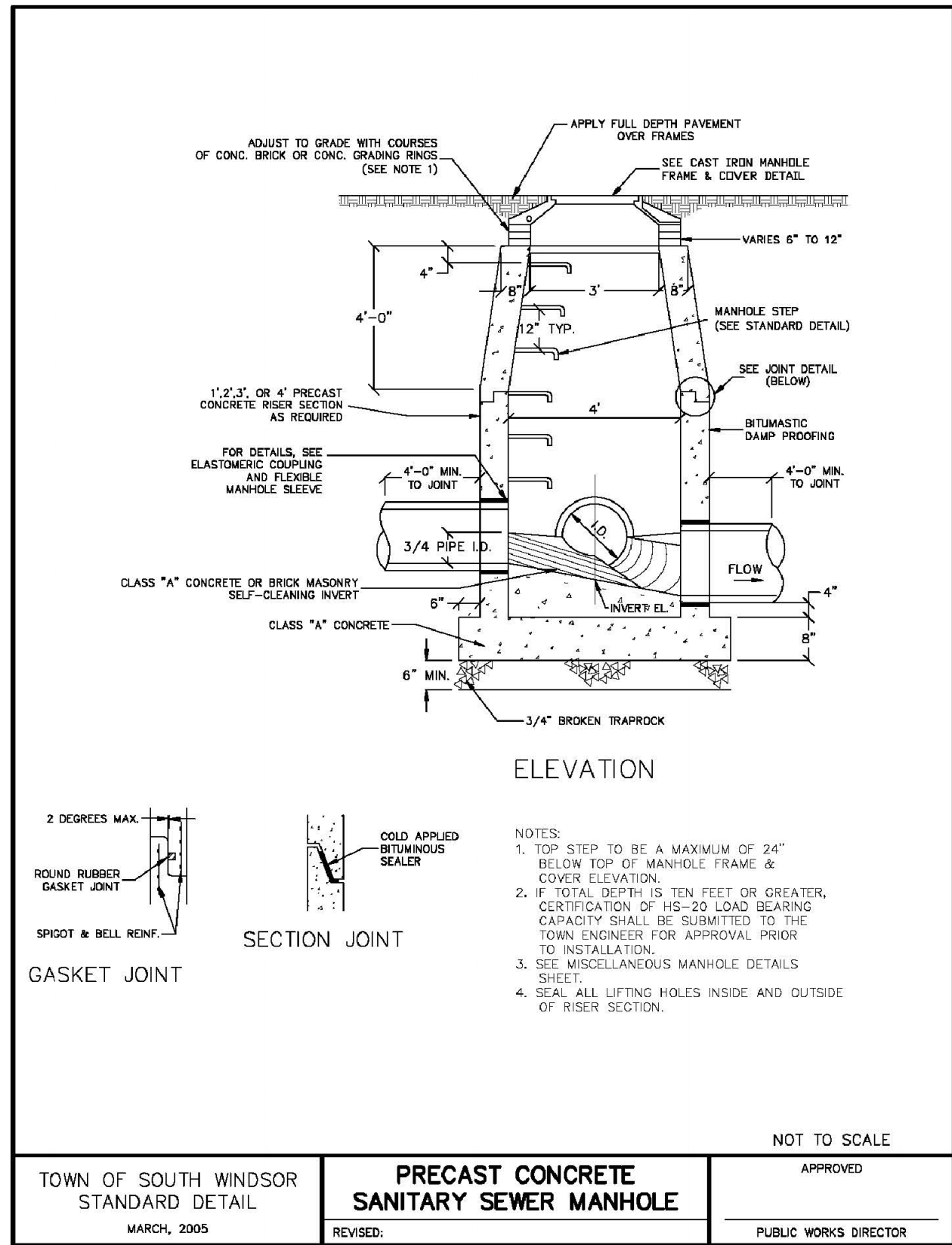
SITE DETAILS

PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.

LOCATED AT
THE RESIDENCE AT EVERGREEN WALK

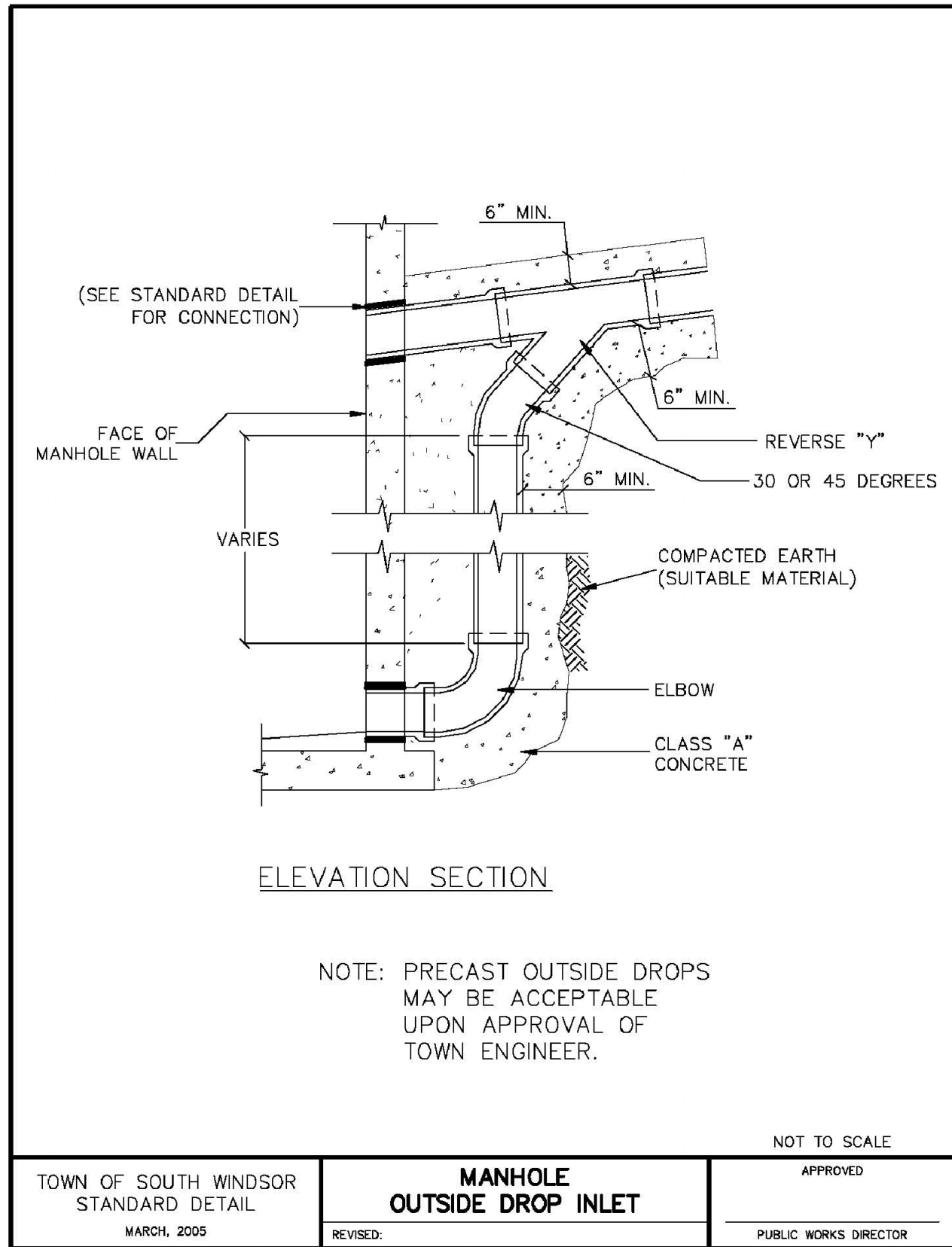
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SOUTH WINDSOR, CONNECTICUT





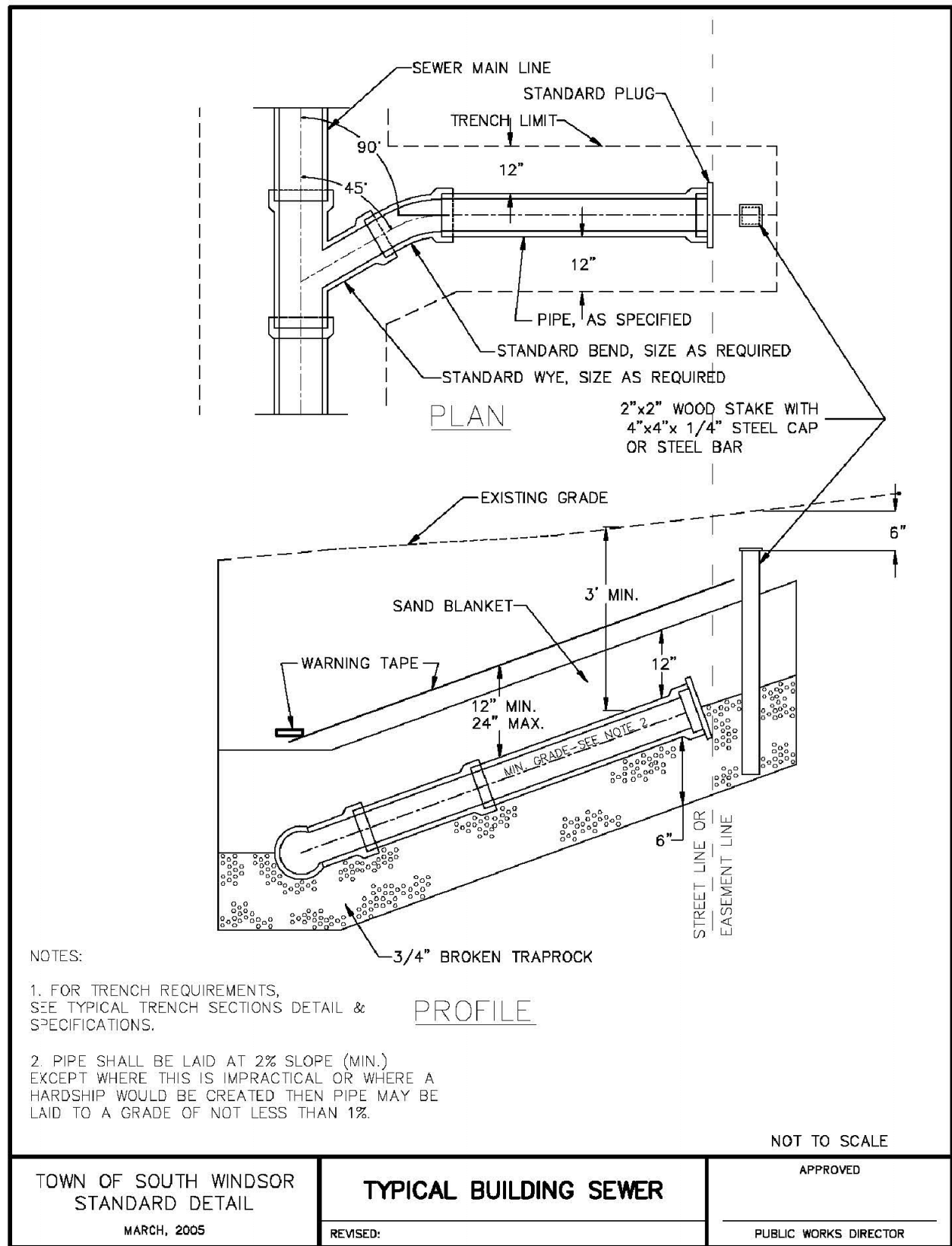
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WHOLE.DWG



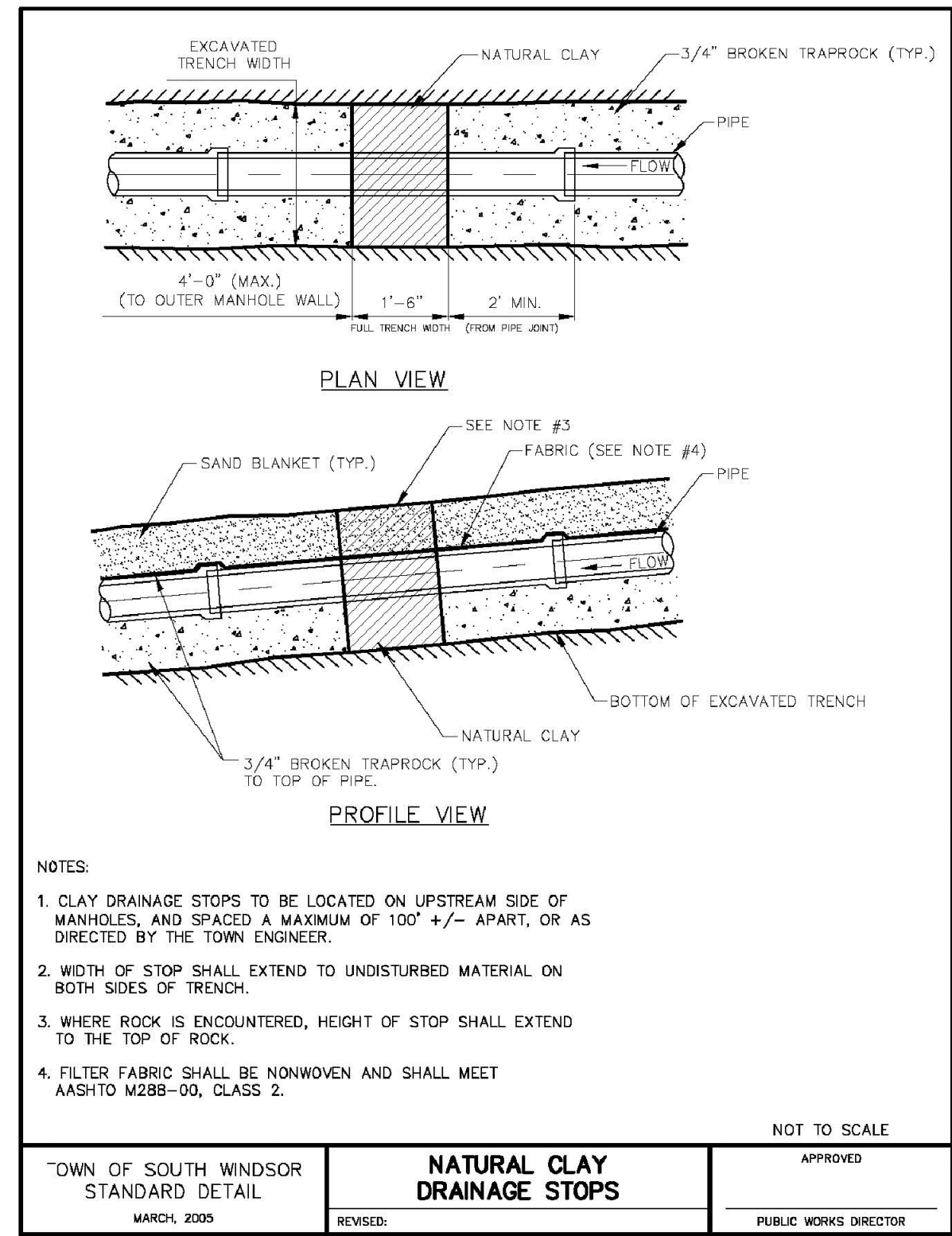
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DROP MANHOLE.DWG



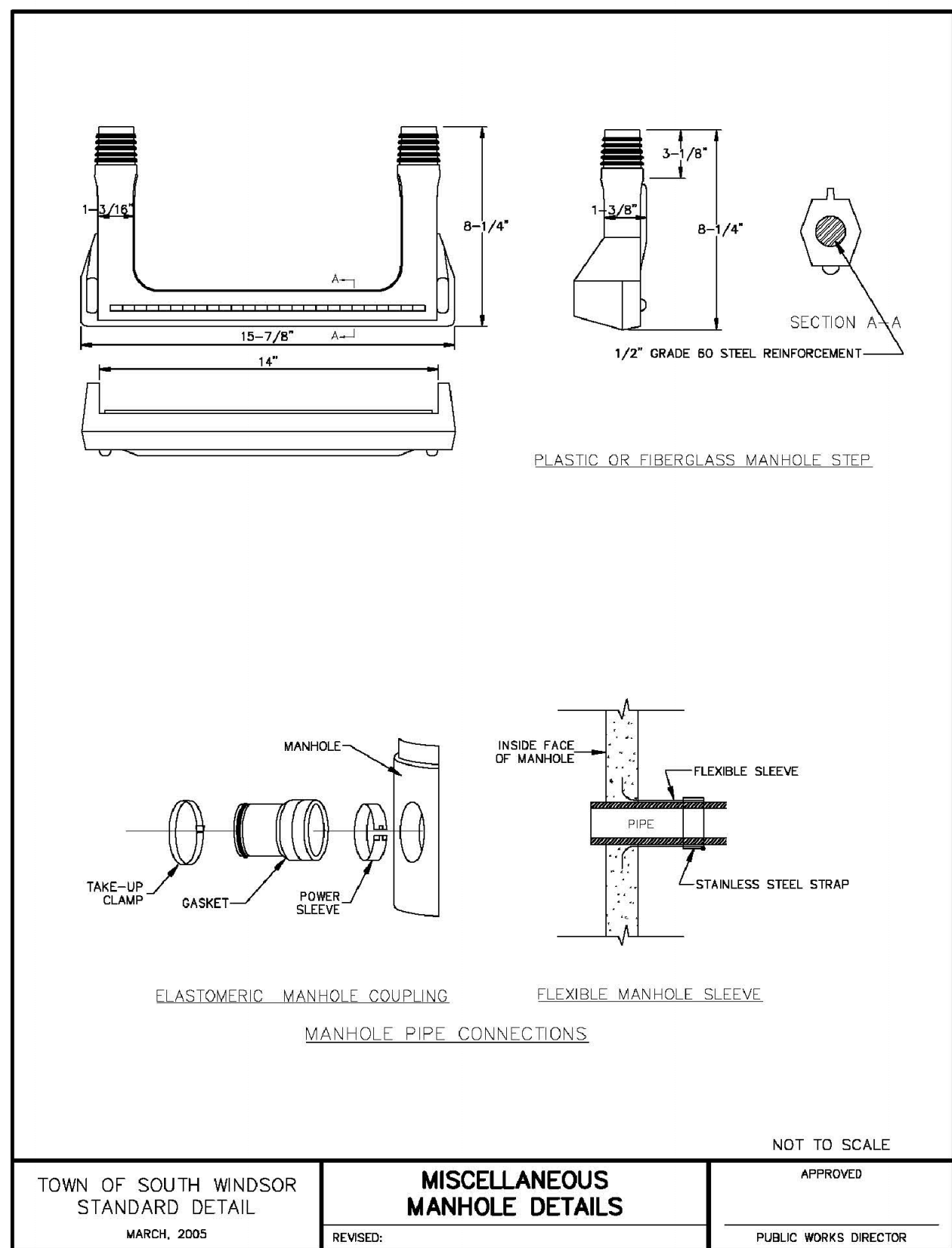
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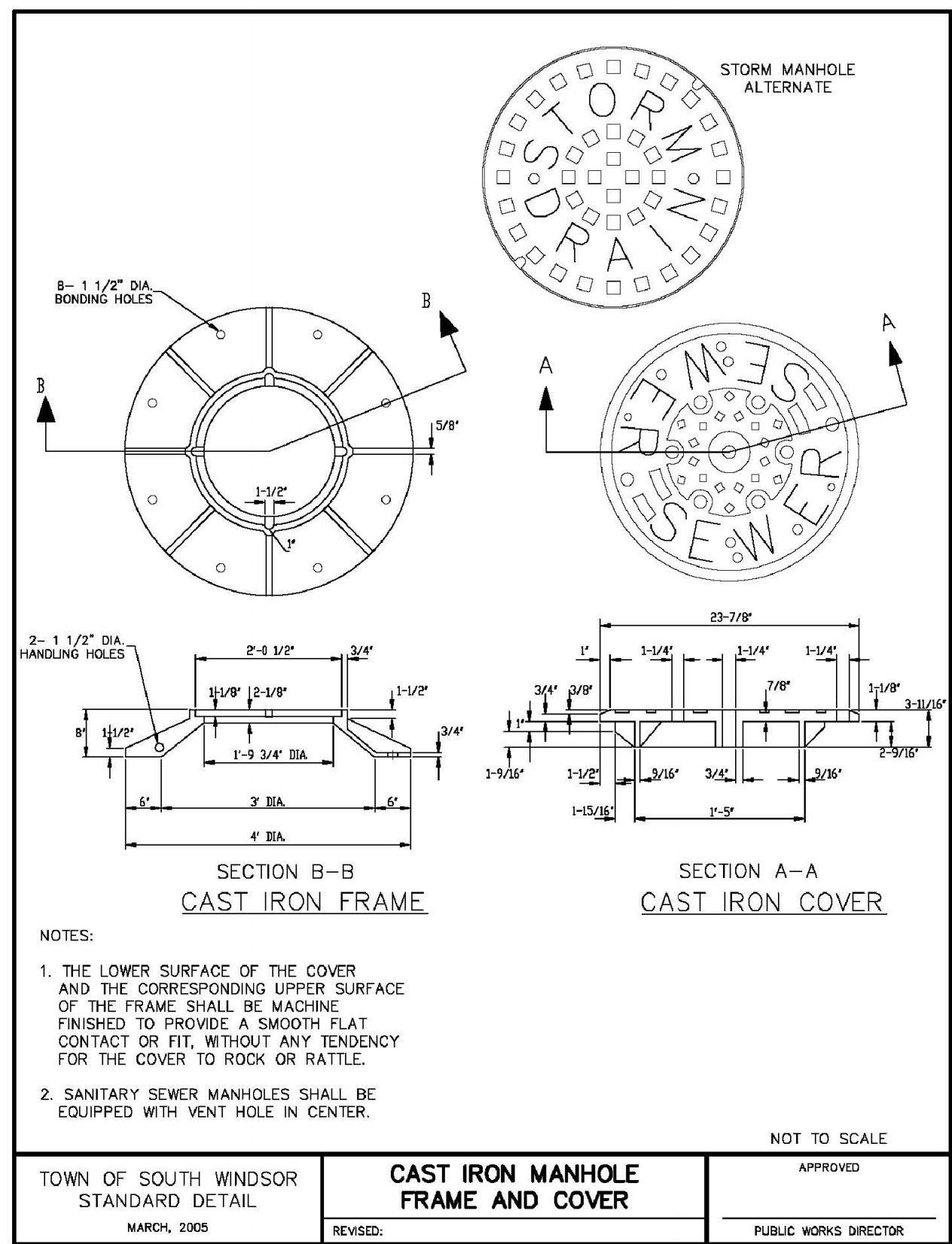
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CLAY TRANS TOP.DWG



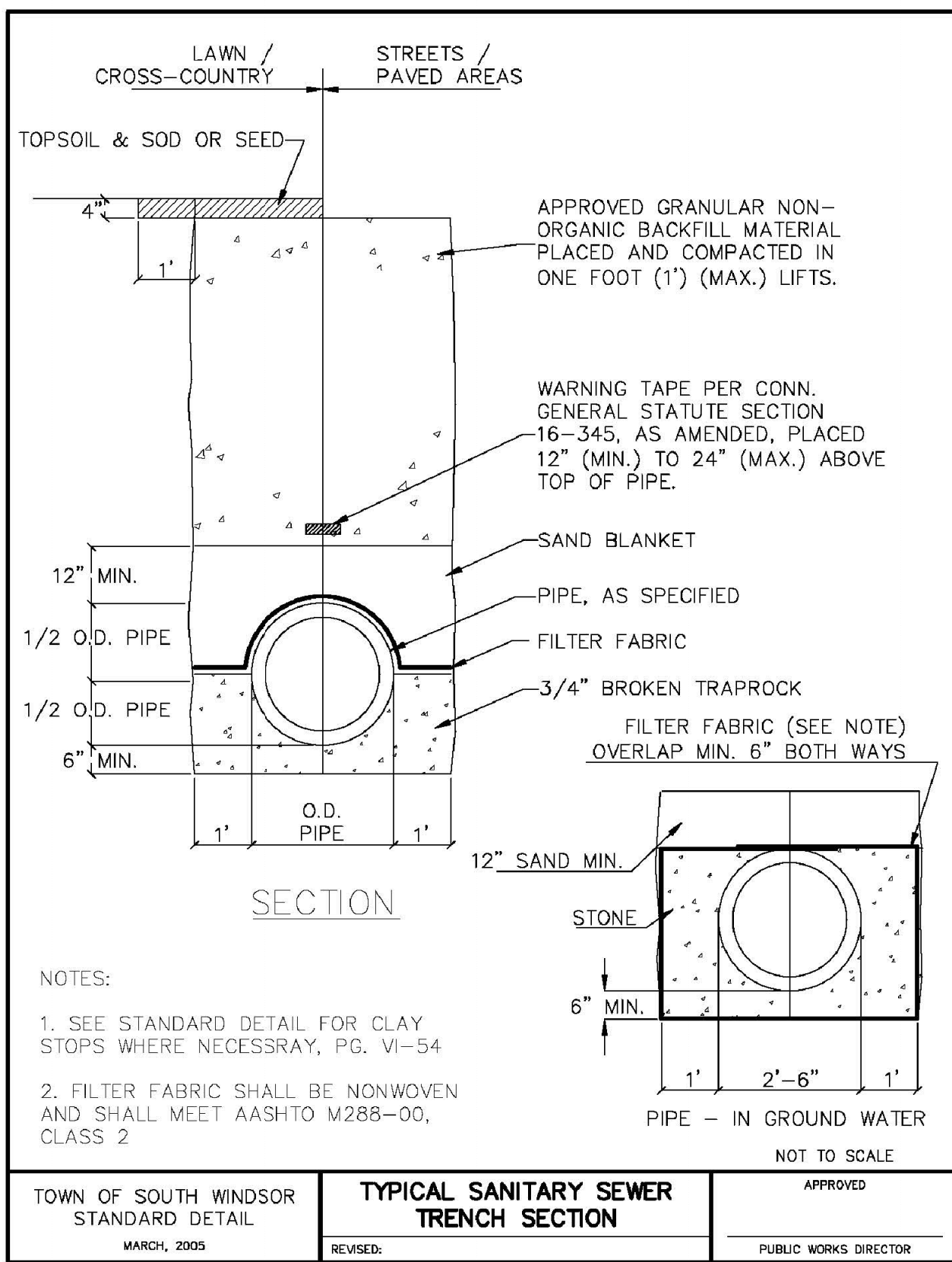
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MISMANDET.DWG



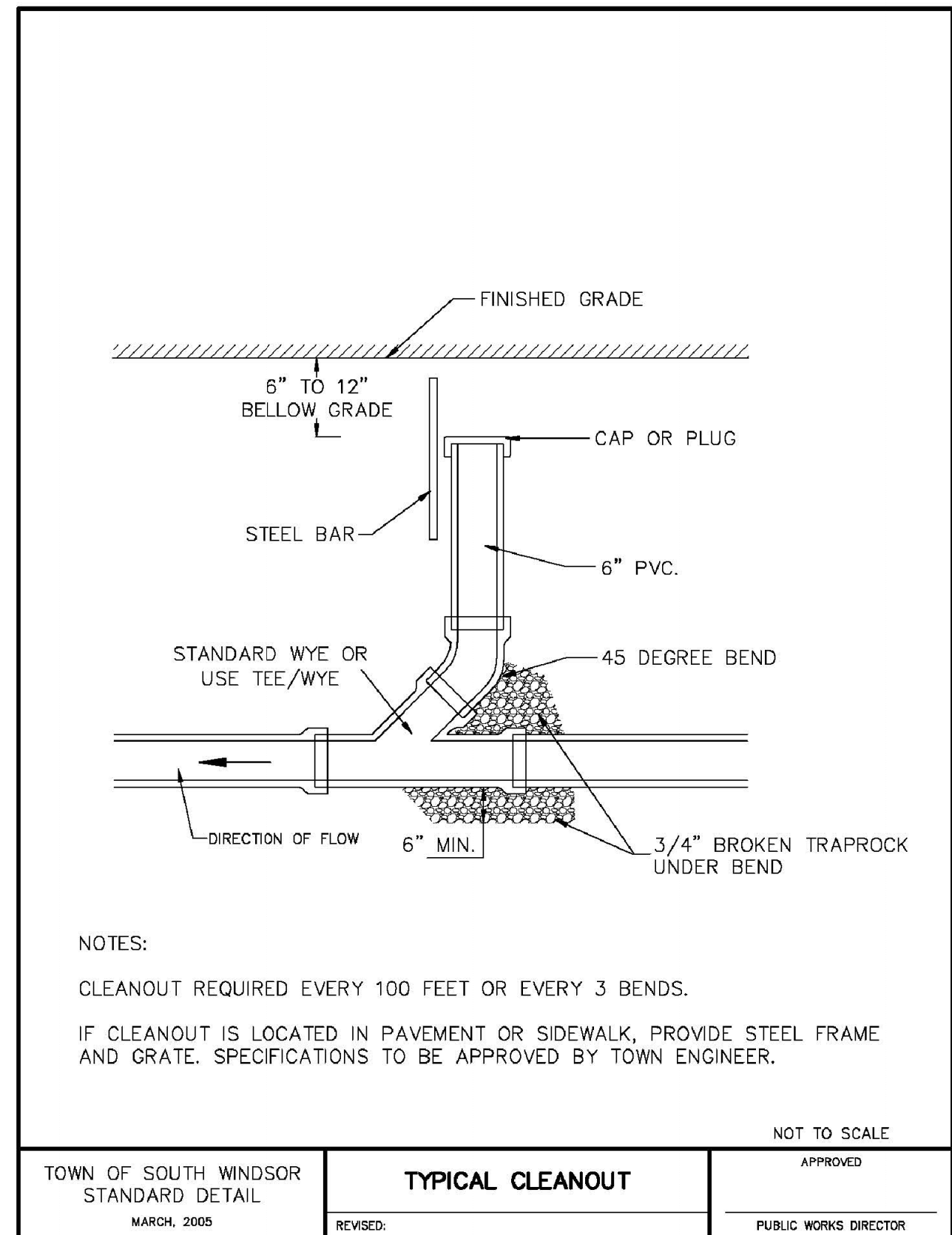
SD-47

MANCOVER.DWG



SD-50

SEWTRENCH.DWG



SD-55

CLEANOUT.DWG

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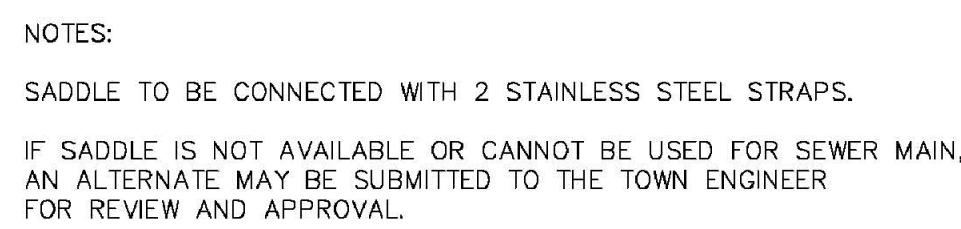
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SITE DETAILS
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LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





SD-56

SADOLEWYED.WO

SITE DETAILS
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LOCATED AT
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UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT

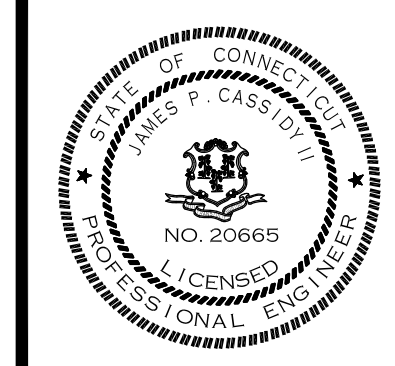
SITE DETAILS

PREPARED FOR
THE DEVELOPERS, ILLC

**LOCATED AT
THE RESIDENCE AT EVERGREEN WALK**

UNIT 7C EVERGREEN WALK

SOUTH WINDSOR, CONNECTICUT



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REVISIONS:	

320 SERIES: 32A LEVEL 2

MODEL #	DESCRIPTION
JB3.0-321	Single Connector Charger
JB3.0-322	Dual Connector Charger

CERTIFICATIONS
TUV Rheinland UL 2231-1, UL 2231-2, UL 2594 Energy Star – Dual port only
AC OUTPUT PER CONNECTOR
7.7 kW at 240VAC 5.5 kW at 208VAC

OPERATING TEMPERATURE
-20° C to +50° C -4° F to +122° F

COMMUNICATIONS
Cellular, Ethernet

PROTOCOL
OCPP 1.6J

DIMENSIONS
71.25' Total Height with Pedestal 36.5' Total Height w/out Pedestal 16" Width Without Connectors 12" Depth

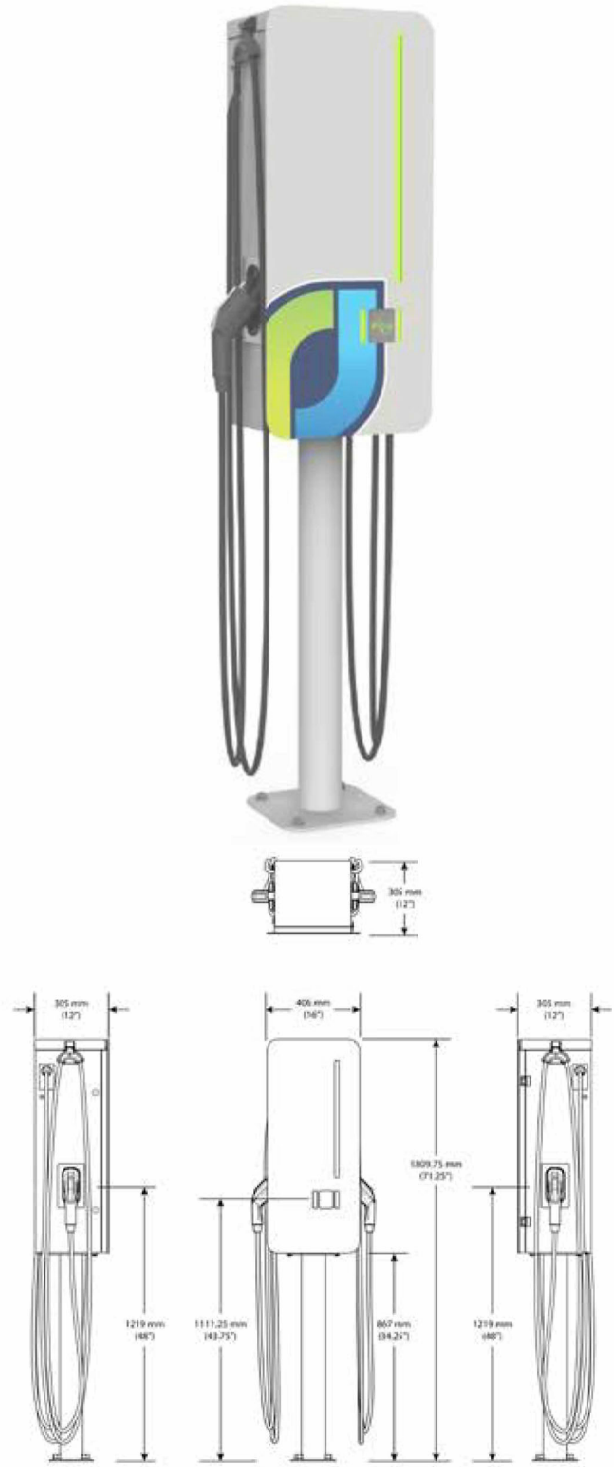
CORD LENGTH
18 feet

CONNECTORS
SAE J1772 Type 1

ENCLOSURE
Type 3R Aluminum

OPTIONS
Wall Bracket Pedestal Mount Branded Door Graphics

USER INTERFACE
LED Indicators RFID Card Reader

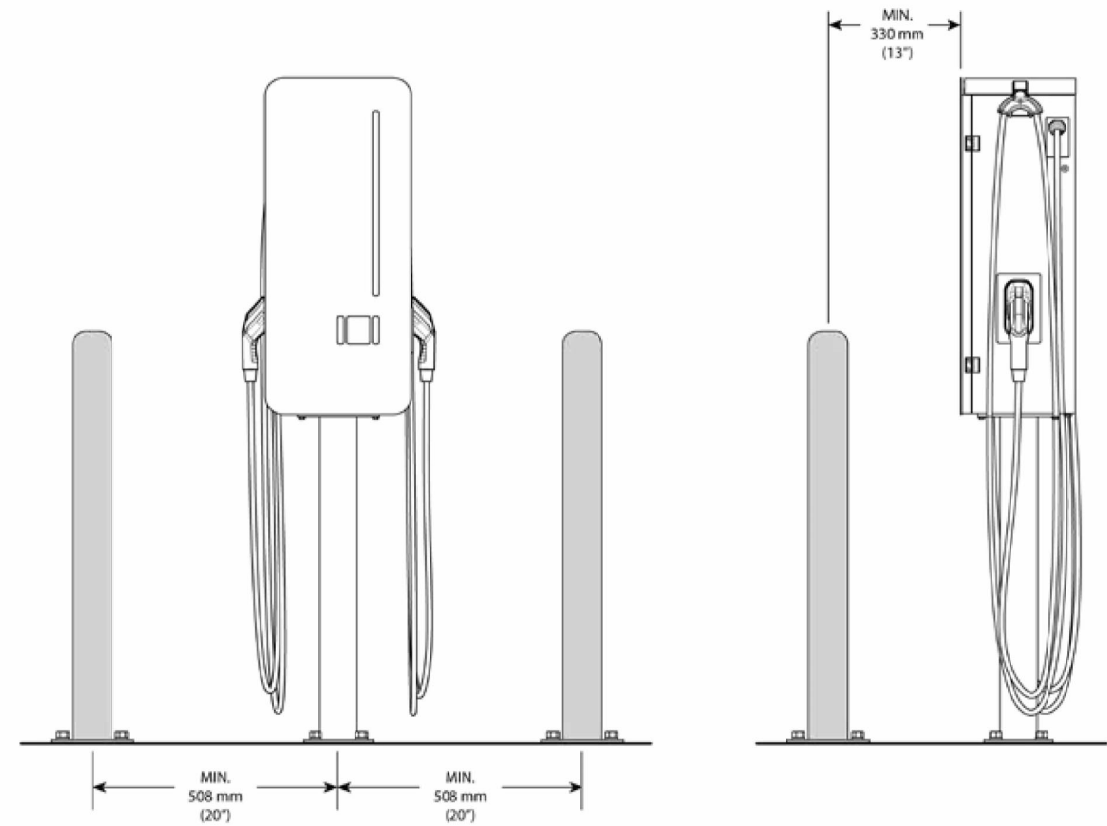


SITE SELECTION (continued)

Things to Consider when Selecting Locations for JuiceBar Gen 3 Charging Stations

- Placement of traffic protection including bollards and/or wheel stops is recommended to protect the EVSE.

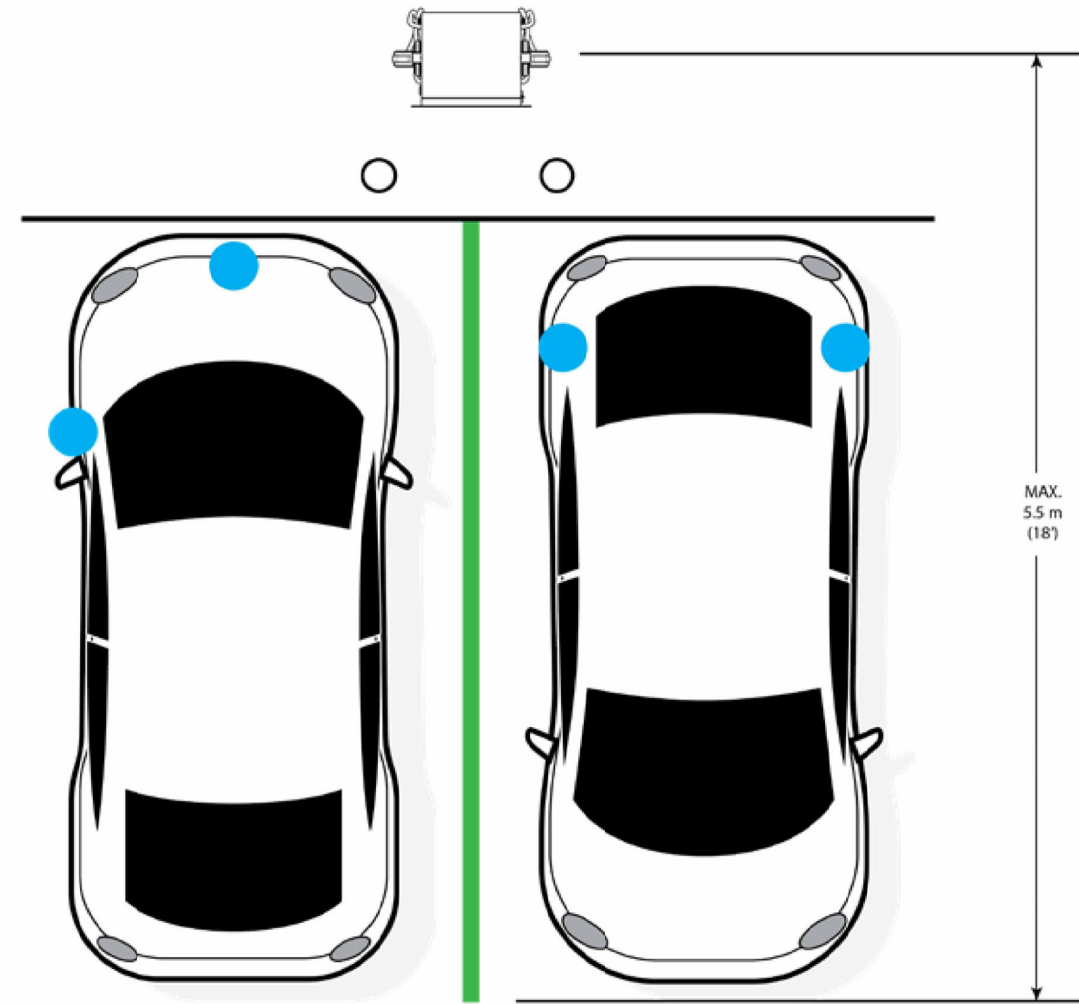
Bollards



SITE SELECTION (continued)

Things to Consider when Selecting Locations for JuiceBar Gen 3 Charging Stations

- Place the EVSE in a way that will enable access to the port locations on electric vehicles. JuiceBar's chargers can be equipped with cords of various lengths up to 18' and may include cord management systems.
- Longer and wider parking spaces are preferred to enable optimal cord handling and placement during use.



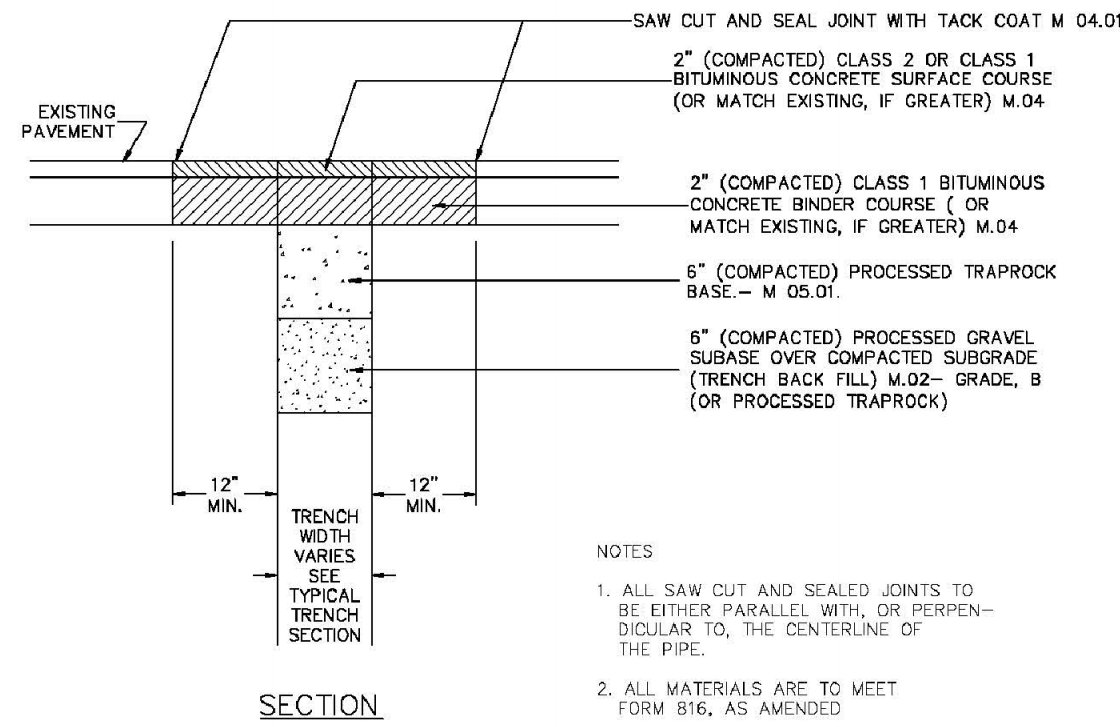
EV PARKING SYMBOL
N.T.S.

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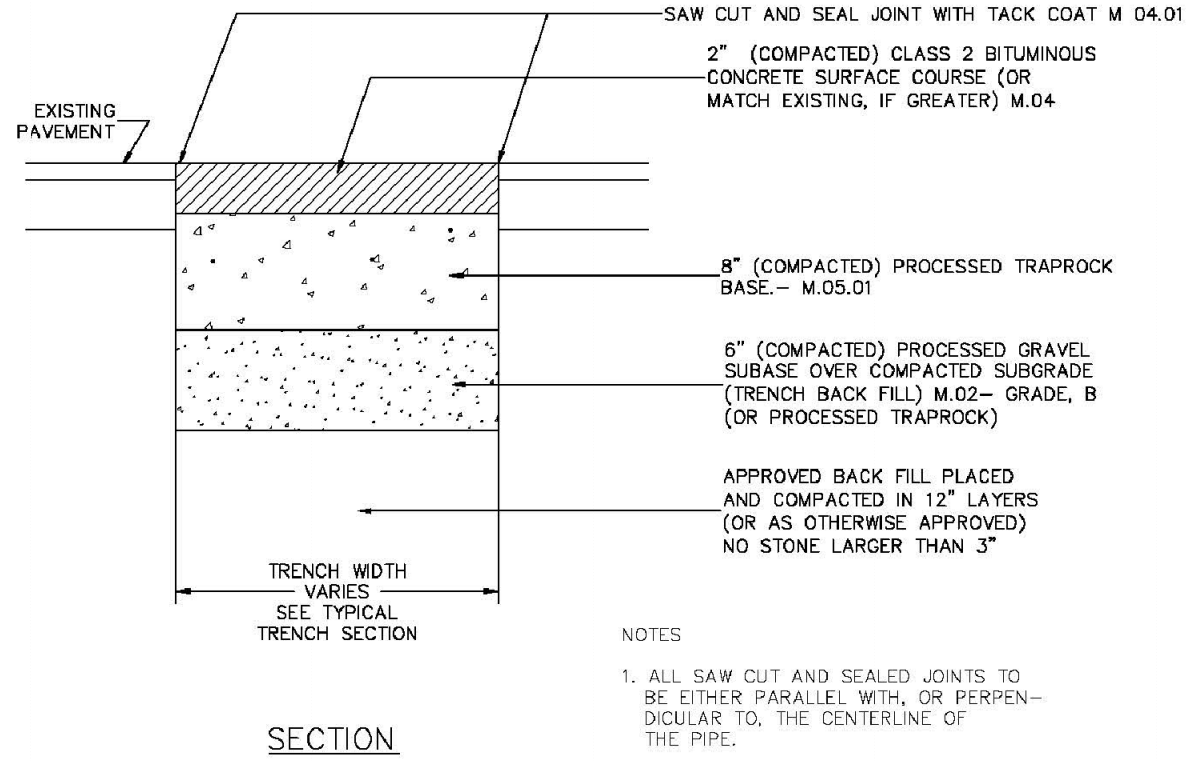
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PREPARED FOR
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LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT



- NOTES
1. ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH, OR PERPENDICULAR TO, THE CENTERLINE OF THE PIPE.
 2. ALL MATERIALS ARE TO MEET FORM 616, AS AMENDED

SECTION

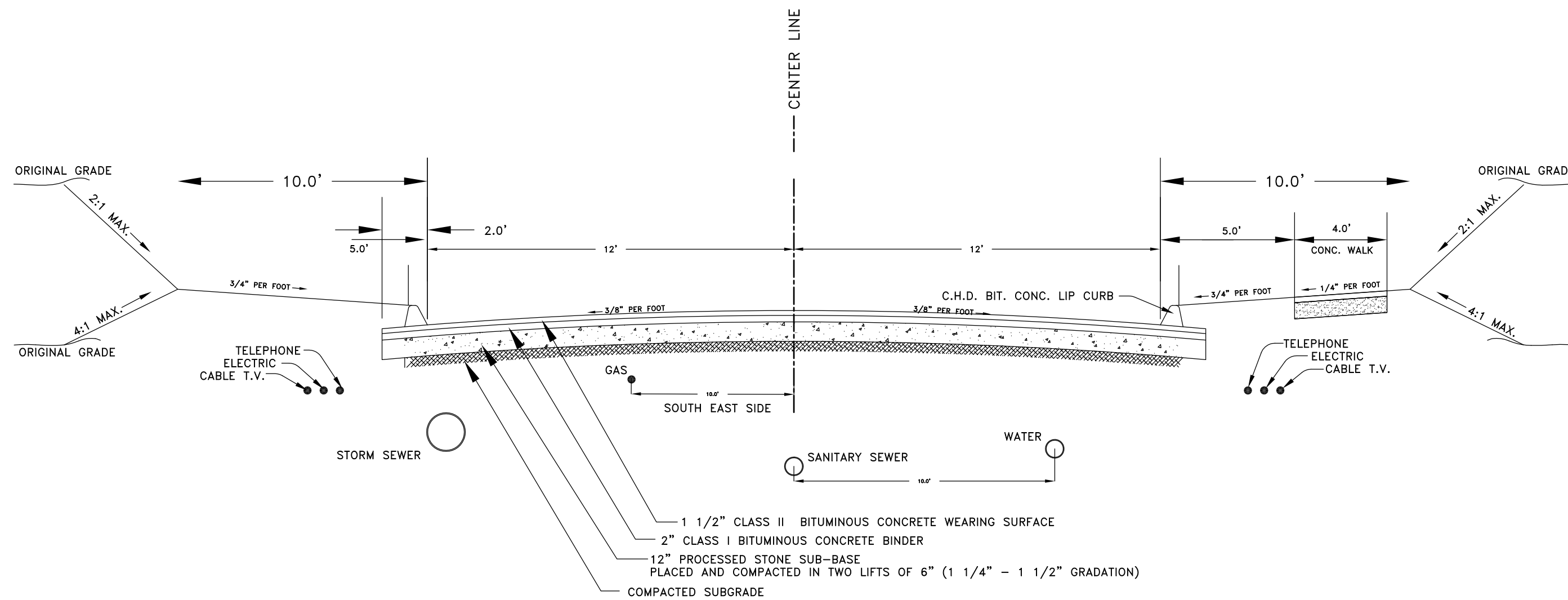
TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	PERMANENT PAVEMENT PATCHING DETAIL REVISED:	NOT TO SCALE APPROVED PUBLIC WORKS DIRECTOR
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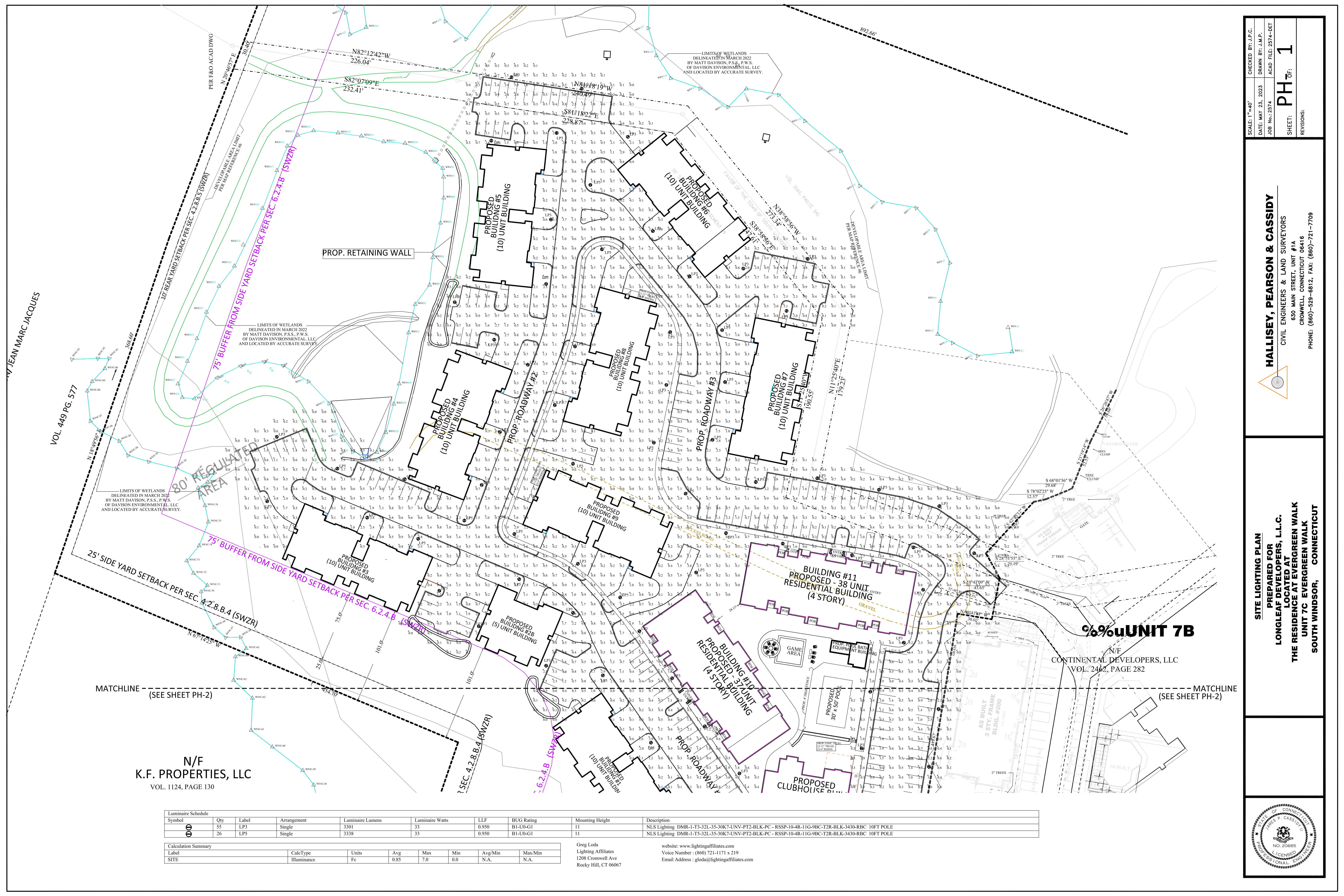
- NOTES
1. ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH, OR PERPENDICULAR TO, THE CENTERLINE OF THE PIPE.
 2. ALL MATERIALS ARE TO MEET FORM 616, AS AMENDED
 3. IF THERE IS EVIDENCE OF SETTLEMENT OR UNDERMINING AT EDGE OF TRENCH, THE CONTRACTOR SHALL CUT BACK BASE AND SUBBASE AS NEEDED AND REPLACE AND RECOMPACT BASE AND SUBBASE PRIOR TO PAVING.

SECTION

TOWN OF SOUTH WINDSOR STANDARD DETAIL MARCH, 2005	TEMPORARY PAVEMENT PATCHING DETAIL REVISED:	NOT TO SCALE APPROVED PUBLIC WORKS DIRECTOR
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TYPICAL ROADWAY SECTION
N.T.S.



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating
	55	LP5	Single	3301	33	0.950	B1-U0-G1
	26	LP3	Single	3338	33	0.950	B1-U0-G1

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SITE	Illuminance	Fc	0.85	7.0	0.0	N.A.

Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

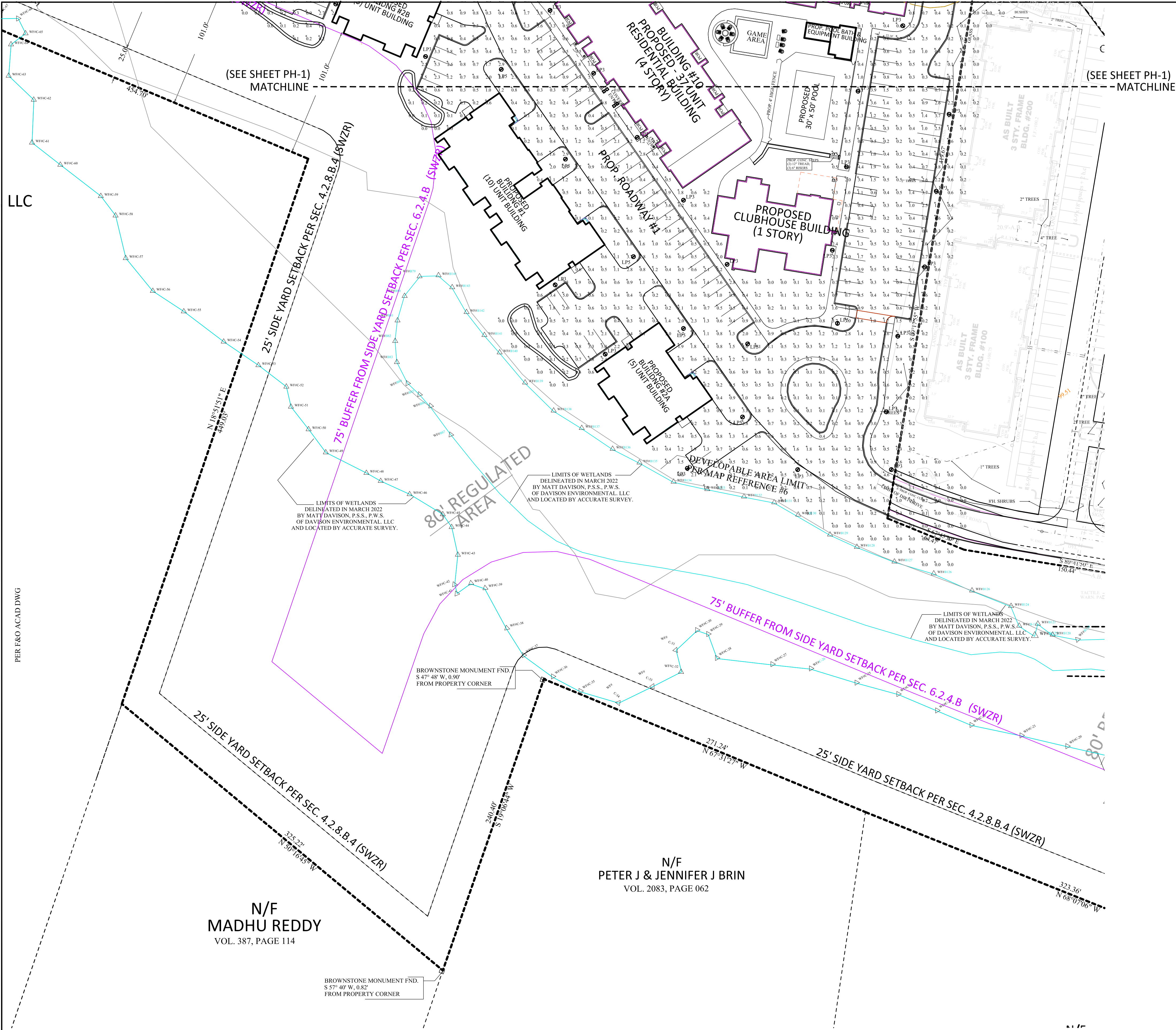
website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

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PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE LIGHTING PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





NLS
LIGHTING

DEL MAR

ARCHITECTURAL LIGHTING

The Del Mar is the perfect luminaire designed to replace existing post top fixtures saving seventy five percent energy while meeting IES minimum foot candle levels while improving light distribution and uniformity.

The Del Mar luminaire features LEDs recessed deep into the luminaire eliminating any direct glare. The fixture is Full Cutoff Dark Sky. The Del Mar also features a clear tempered safety glass lens with silicone gasket which improves fixture reliability.

Del Mar is available from 18 to 104 watts and its scale is perfect to replace any wattage between 70-400 watt HID. The Del Mar throws light four to five mounting heights in all directions which is a major improvement to existing optical technology. The Del Mar features the Star Power Reflector system, a diffused 95 percent reflective low glare optical material.

Del Mar is available in Kelvin temperatures of 2700K, 3000K, 3500K, 4000K and 5000K in Types 3, and 5 light distributions.

STAR POWER™ OPTICAL SYSTEM

The Star Power™ reflector is an excellent system which provides great value and performance.

LED WATTAGE CHART				
	16L	32L	48L	64L
350 milliwatts	15w	30w	45w	60w
500 milliwatts	20w	40w	60w	80w
700 milliwatts	28w	56w	84w	112w

Project Name:Type:

Cat#	Light Dist.	# of LEDs	Milliwatts	Kelvin	Volts	Mounting	Color	Options
DEL MAR 1 (DMR-1)	Type 3 (T3)	16 (16L)	350 (35)	2700K, 70 CRI (27K7) ①	120-277 (UNV)	Post Top Over 2-3' O.D (PT3)	Bronze Textured (BRZ)	Marine Grade Finish (MGF)
	Type 4 (T4)	32 (32L)	530 (53)	2700K, 80 CRI (27K8) ①②	347-480 (HV)	Post Top Over 3' O.D (PT3)	White Textured (WHT)	Button Photocell (PC) ③
	Type 5 (T5)	48 (48L)	700 (7) ④	3000K, 70 CRI (30K7) ①		Post Top Over 3.5' O.D (PT35)	Smooth White Glass (SWT)	FSP-211 with Motion Sensor (FSP-211) ⑤ and Below (FSP-211) ⑥
		64 (64L) ⑦		3000K, 80 CRI (30K8) ①②			Silver (SVR)	
				3500K, 80 CRI (35K8) ①			Black Textured (BLK)	House Side Shield (HSS)
				4000K, 70 CRI (40K7)			Smooth Black Glass (SBK)	
				4000K, 80 CRI (40K8) ①			Graphite Textured (GPH)	
				5000K, 70 CRI (50K7)			Grey Textured (GRY)	
				5000K, 80 CRI (50K8) ①			Green (GRN)	
							Custom (CS)	

Notes:
① 800mA Max
② 48L Max
③ Consult Factory for Lead Time. Consult Factory for 90 CRI Requests.
④ Universal Voltage 120/277
⑤ 2000K or lower must be selected to meet International Dark Sky Association certification

REV: 03.23.231

Filename: Evergreen Walk Apartments - Site Lighting - South Windsor.AGI

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
⊙	55	LP3	Single	3301	33	0.950	B1-U0-G1	11	NLS Lighting DMR-1-T3-32L-35-30K7-UNV-PT2-BLK-PC - RSSP-10-4R-11G-9BC-T2R-BLK-3430-RBC 10FT POLE
⊙	26	LP5	Single	3338	33	0.950	B1-U0-G1	11	NLS Lighting DMR-1-T5-32L-35-30K7-UNV-PT2-BLK-PC - RSSP-10-4R-11G-9BC-T2R-BLK-3430-RBC 10FT POLE

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	Illuminance	Fc	0.85	7.0	0.0	N.A.	N.A.	

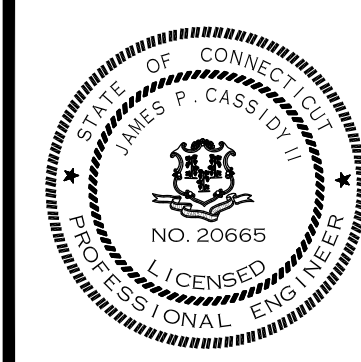
Greg Loda
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1208 Cromwell Ave
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website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

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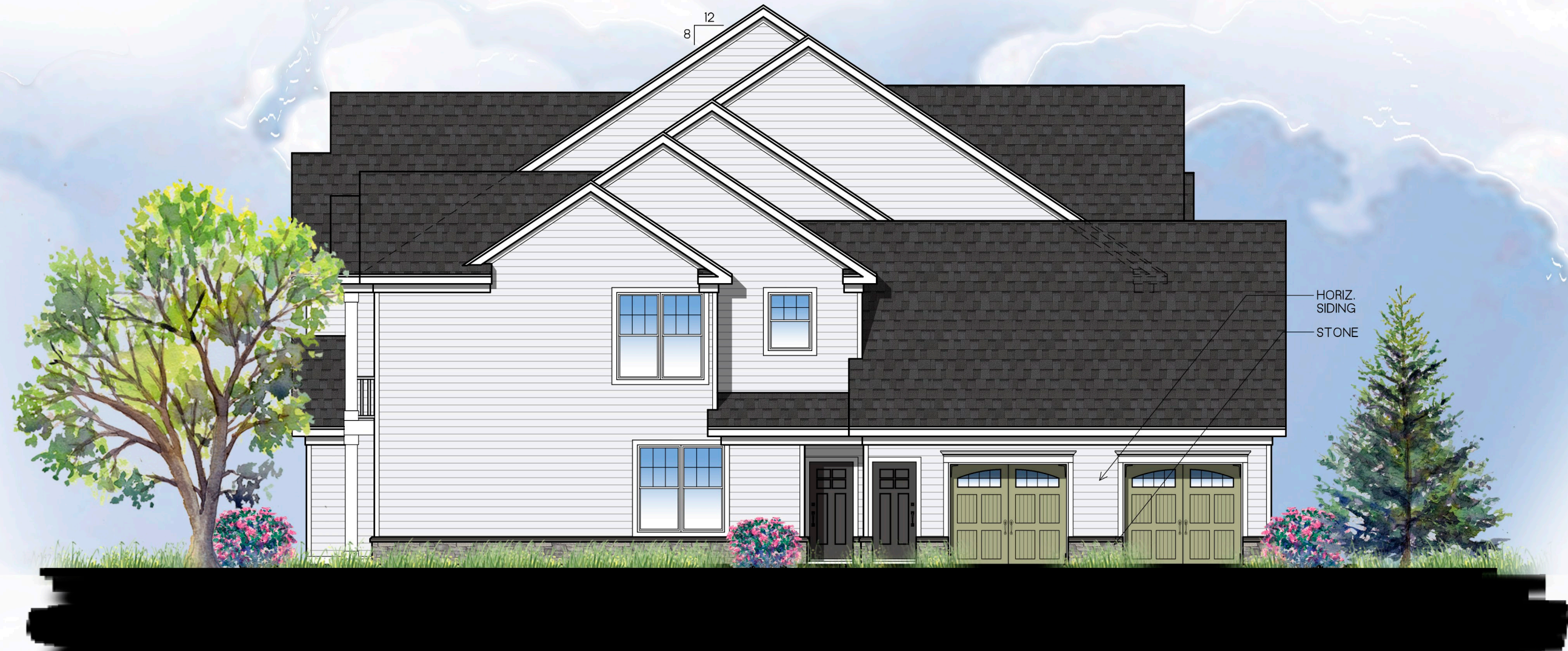
SITE LIGHTING PLAN
PREPARED FOR
LONGLEAF DEVELOPERS, L.L.C.
LOCATED AT
THE RESIDENCE AT EVERGREEN WALK
UNIT 7C EVERGREEN WALK
SOUTH WINDSOR, CONNECTICUT





Building Type A - Front Elevation
Scale: 1/8"=1'-0"

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Building Type A - Typical Side Elevation
Scale: 1/8"=1'-0"

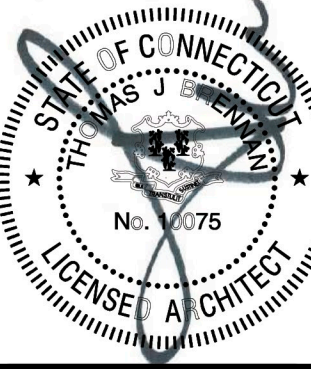


Building Type A - Rear Elevation
Scale: 1/8"=1'-0"

ISSUE FOR SUBMISSION: 04-14-2023

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NEW MULTI-FAMILY APARTMENT PROJECT FOR
EVERGREEN AT SOUTH WINDSOR
Somerville
Connecticut

**Thomas J. Brennan
ARCHITECTS**
♦ ♦ ♦
3803 Parkwood Blvd
Suite 700
Frisco, Texas 75034
972-867-3948
Fax
972-378-9416

APARTMENTS

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A0
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Building Type A - Front Elevation
Scale: 1/8"=1'-0"

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Building Type A - Typical Side Elevation
Scale: 1/8"=1'-0"



Building Type A - Rear Elevation
Scale: 1/8"=1'-0"

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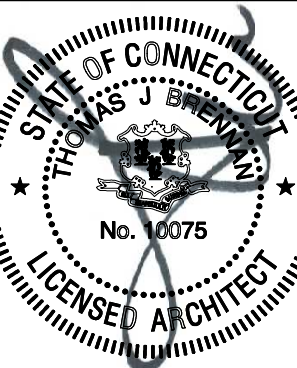
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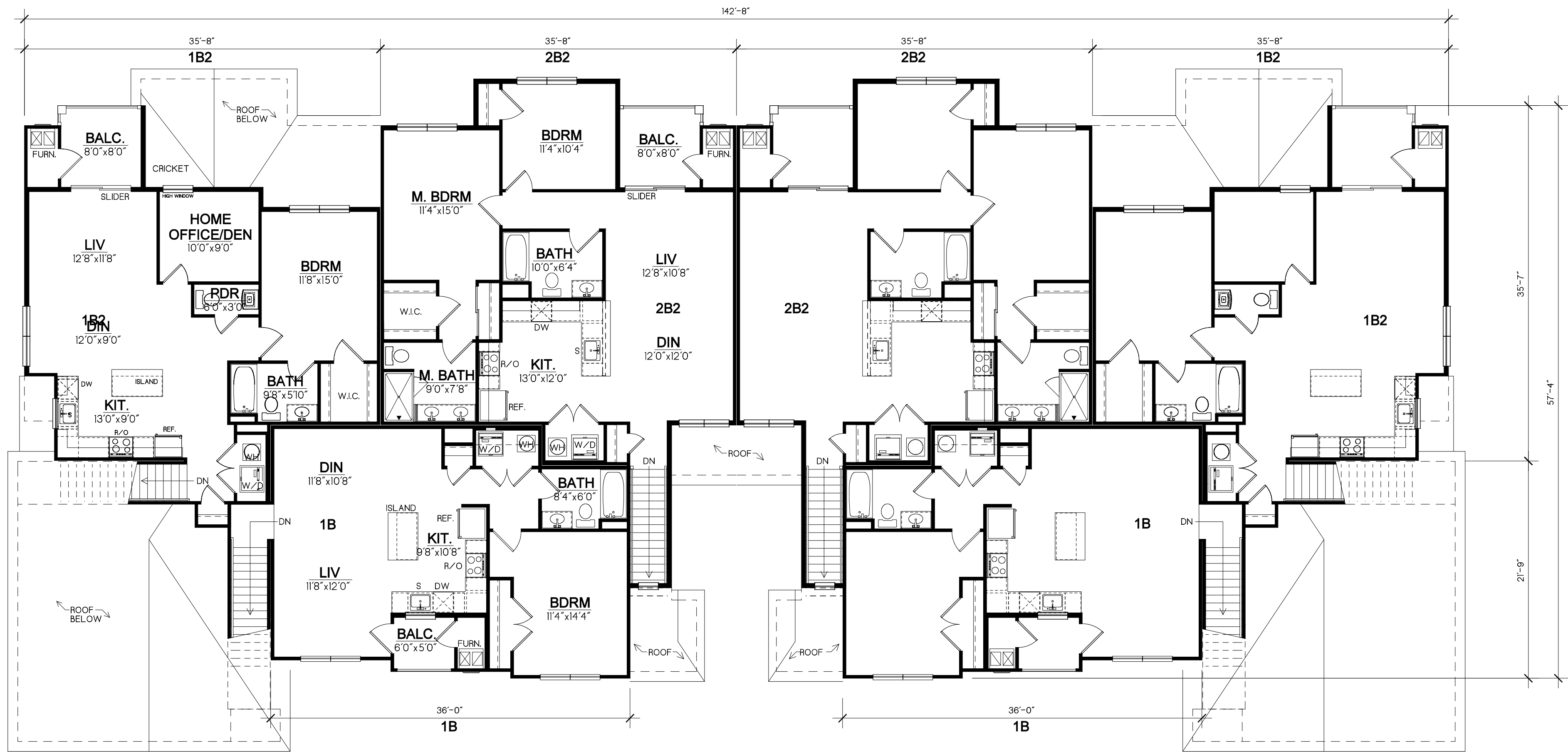
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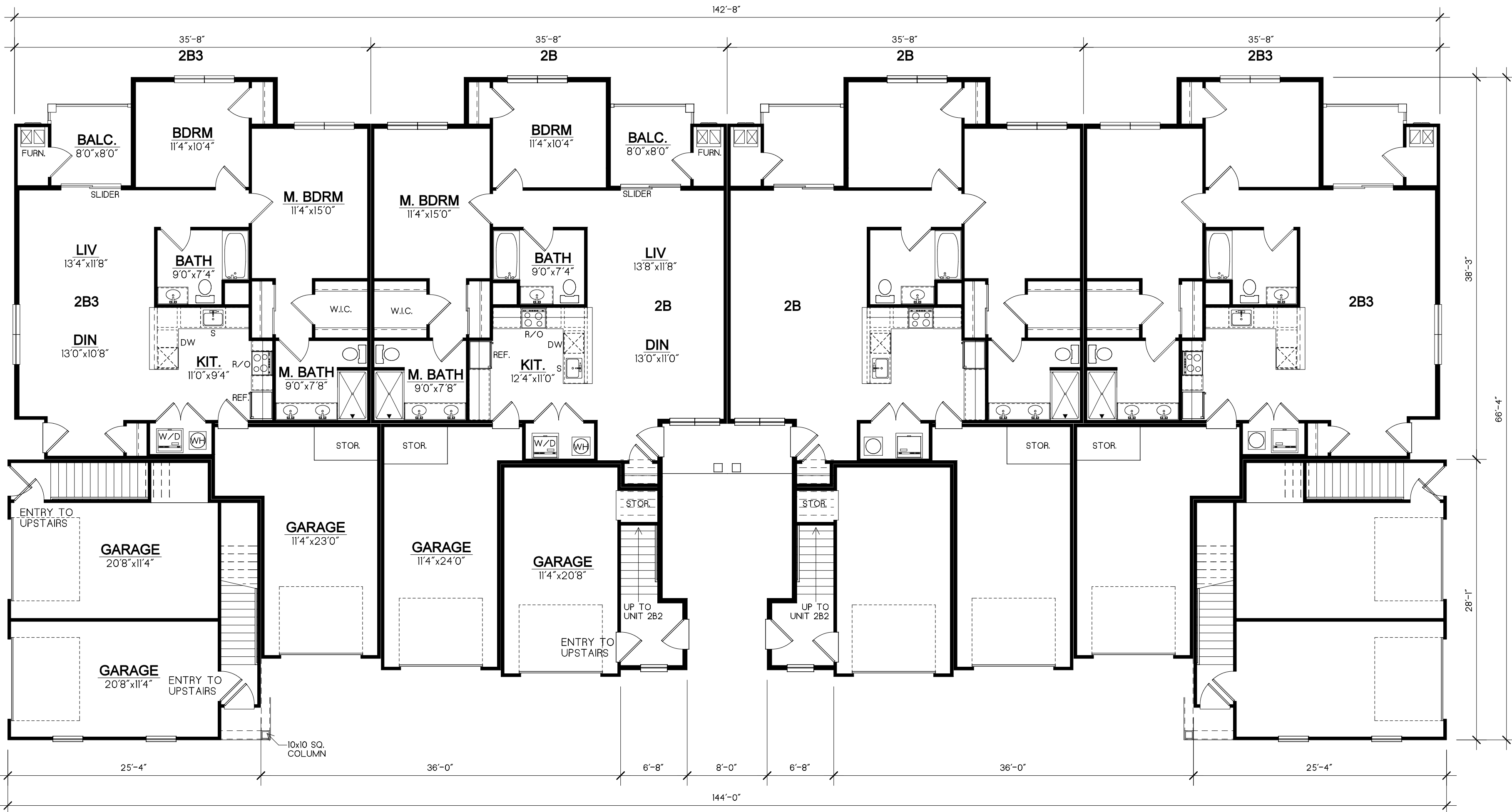
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Building Type A - 2nd Floor Plan
Scale: 1/8"=1'-0"

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Building Type A - 1st Floor Plan
Scale: 1/8"=1'-0"

Building Type A Program		
Apartment	Area	Units
Unit 1B	886 sq.ft.	2
Unit 1B2	1,007 sq.ft.	2
Unit 2B	1,131 sq.ft.	2
Unit 2B2	1,228 sq.ft.	2
Unit 2B3	1,126 sq.ft.	2
Total Units		10
Total Garages		10

APARTMENTS

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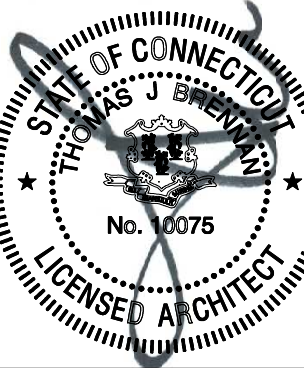
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Building Type B - Front Elevation
Scale: 1/8"=1'-0"

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Building Type B - Typical Side Elevation
Scale: 1/8"=1'-0"



Building Type B - Rear Elevation
Scale: 1/8"=1'-0"

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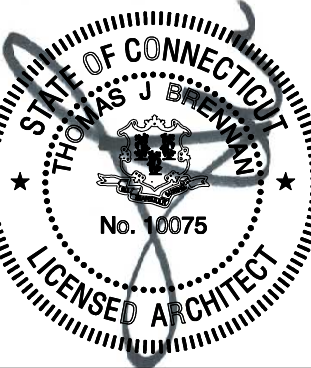
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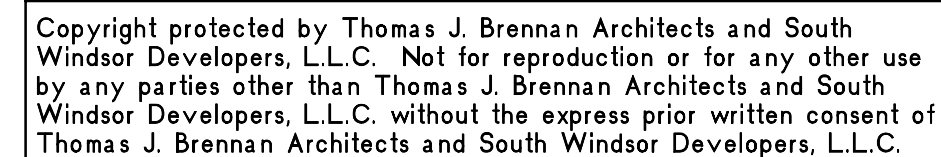
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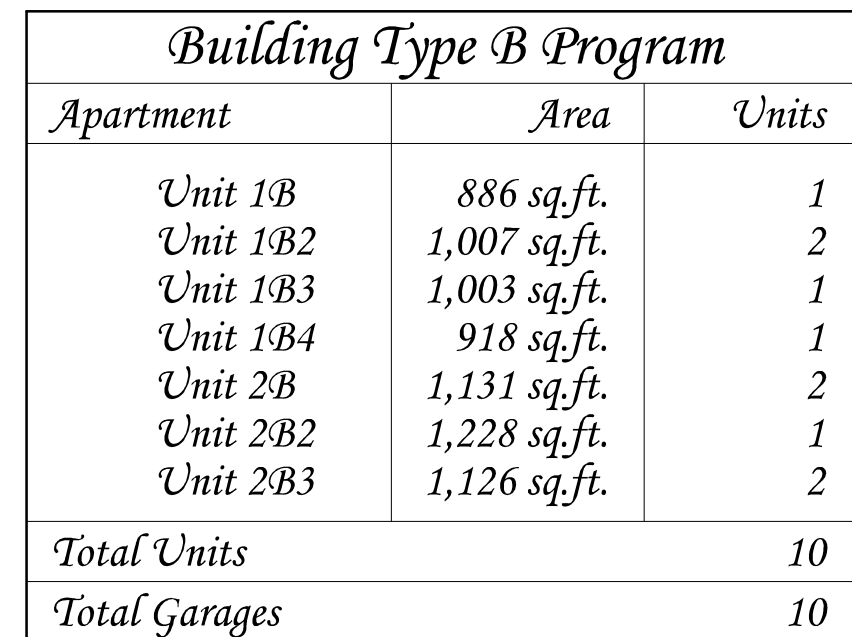
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Scale: $1/8"=1'-0"$



Scale: $1/8"=1'-0"$



Building Type C - Front Elevation
Scale: 1/8"=1'-0"

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Building Type C - Left Side Elevation
Scale: 1/8"=1'-0"



Building Type C - Rear Elevation
Scale: 1/8"=1'-0"

ISSUE FOR SUBMISSION: 04-14-2023

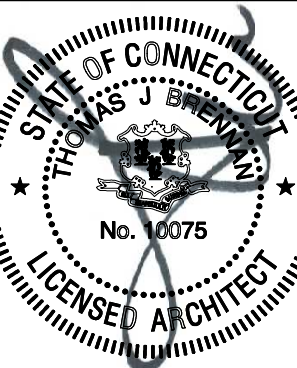
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Checked By:
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Date:
Issue For Permit:

Issue For Review:
04-14-23

Issue For Construction:

Revisions:

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NEW MULTI-FAMILY APARTMENT PROJECT FOR
EVERGREEN AT SOUTH WINDSOR
Somerville
Connecticut

**Thomas J. Brennan
ARCHITECTS**
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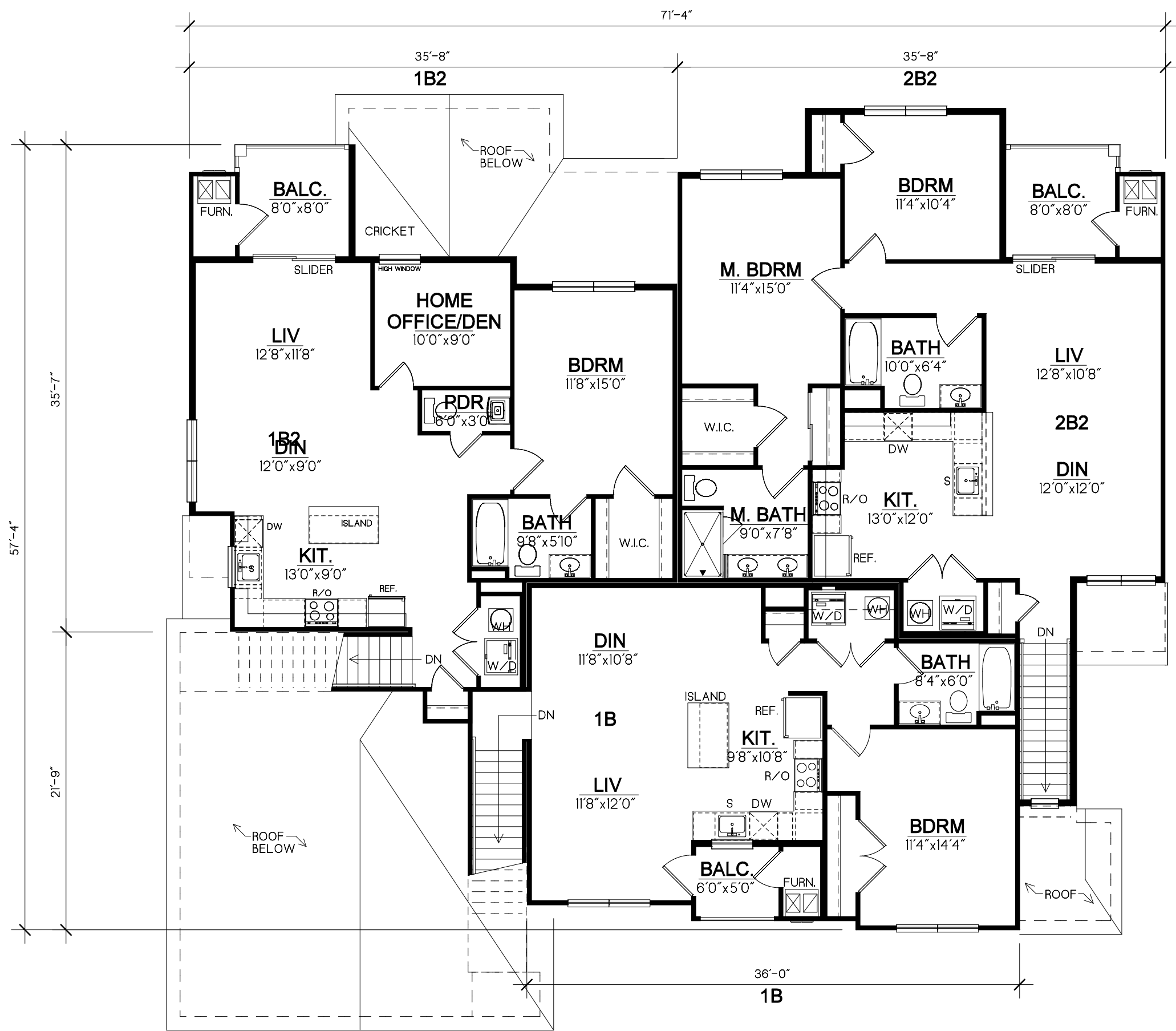
APARTMENTS

Sheet No.

A5

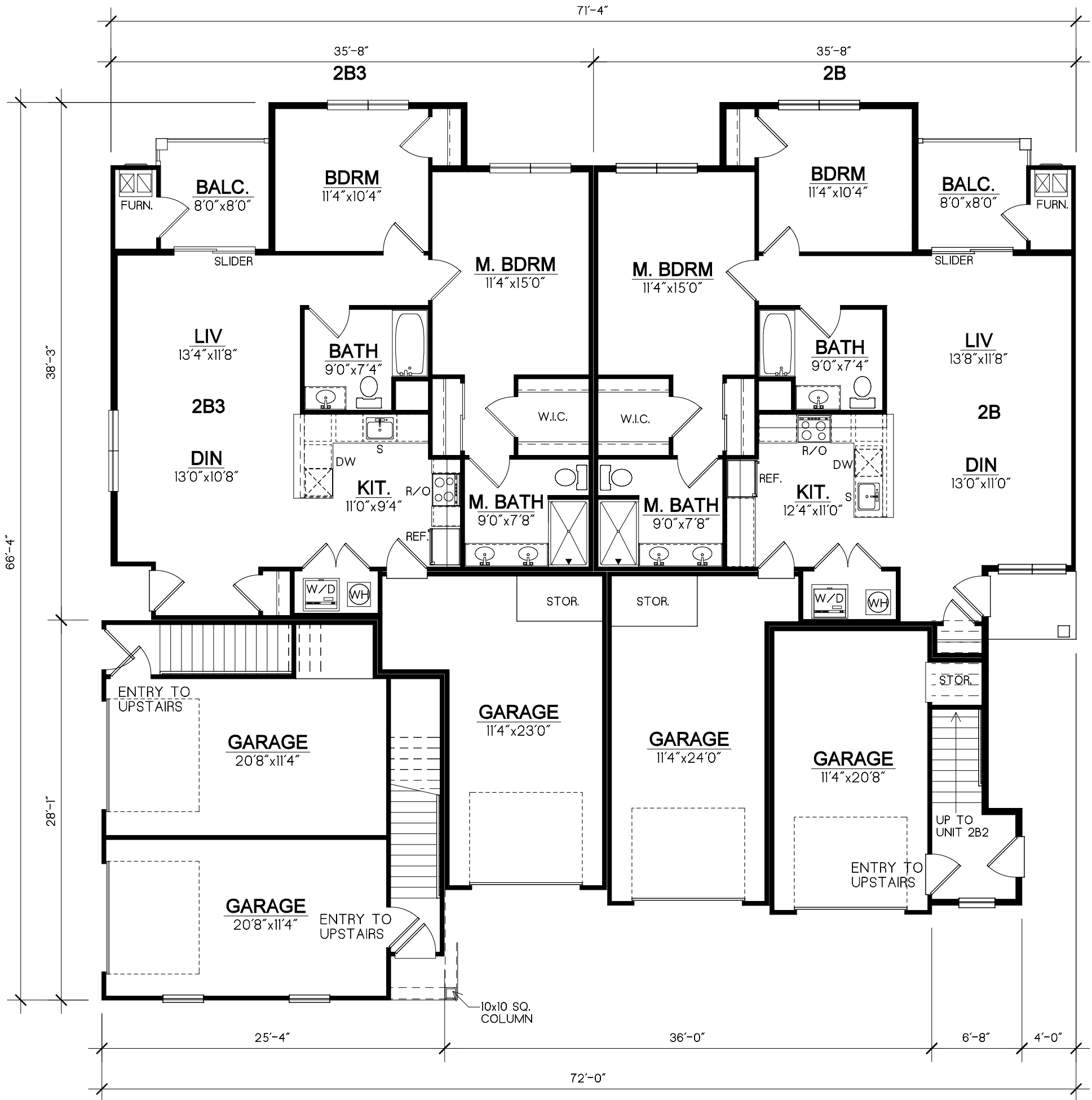
Of Sheets

Project No.
20347



Building Type C - 2nd Floor Plan
Scale: 1/8"=1'-0"

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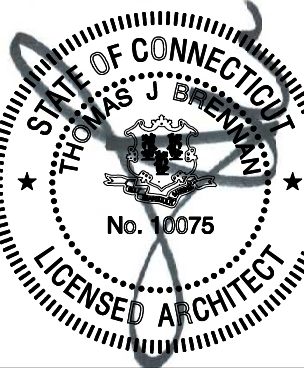


Building Type C - 1st Floor Plan
Scale: 1/8"=1'-0"

Building Type A Program		
Apartment	Area	Units
Unit 1B	886 sq.ft.	1
Unit 1B2	1,007 sq.ft.	1
Unit 2B	1,131 sq.ft.	1
Unit 2B2	1,228 sq.ft.	1
Unit 2B3	1,126 sq.ft.	1
Total Units		5
Total Garages		5

APARTMENTS

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Revisions:

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Issue For Permit:

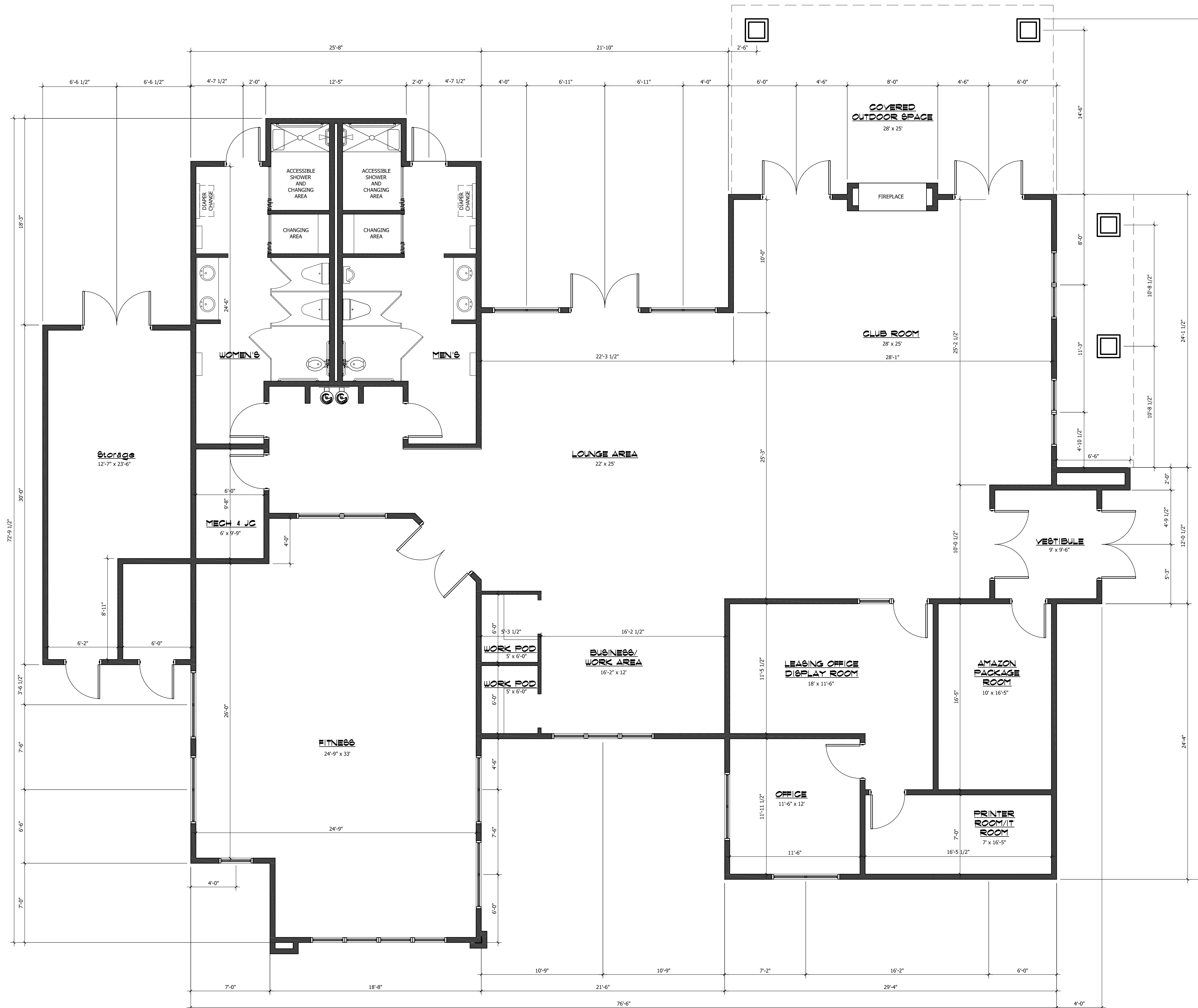
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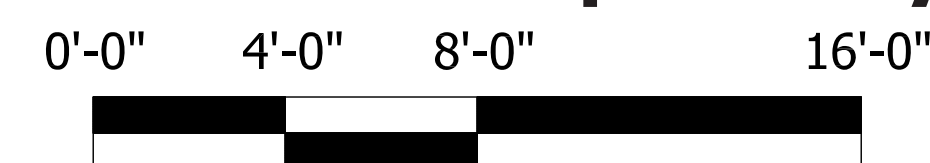
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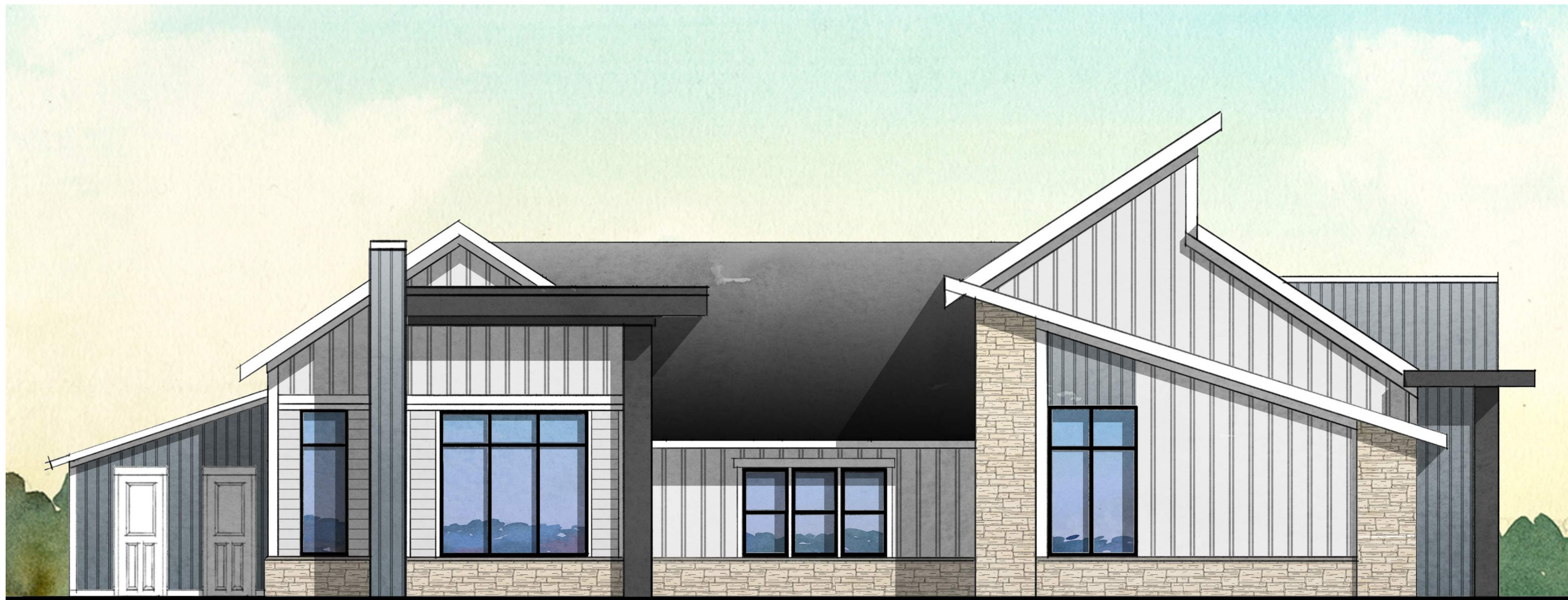
Clubhouse Conceptual Layout



A **A-21**

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Parking Elevation



Entry Elevation

Materials

- A. Cellular PVC Panels (White)
- B. Cementitious Siding or Equal (Vertical, Color TBD)
- C. Cementitious Siding or Equal (Board and Batten, Color TBD)
- D. Manufactured Stone (Color TBD)
- E. Cementitious Panels or Equal (Color TBD)
- F. Asphalt Shingles

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Pool Side Elevation



Left Side Elevation

Materials	
A.	Cellular PVC Panels (White)
B.	Cementitious Siding or Equal (Vertical, Color TBD)
C.	Cementitious Siding or Equal (Board and Batten, Color TBD)
D.	Manufactured Stone (Color TBD)
E.	Cementitious Panels or Equal (Color TBD)
F.	Asphalt Shingles

A-23



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±54'-9" to M.P. of ROOF



Enlarged Elevation

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- Materials
- A. Cellular PVC Panels (White)
 - B. Certainteed Vinyl Siding or Equal (Horizontal, Pacific Blue)
 - C. Certainteed Vinyl Siding or Equal (Cedar Impression, Granite Gray)
 - D. Manufactured Stone (Cobblefield Gray)
 - E. Metal Roof
 - F. Asphalt Shingles

Building 10 Elevation (Building 11 Similar)



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Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

A-32

Building 10 Elevations (Building 11 Similar)



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