

INDUSTRIAL FLEX

SITE PLAN APPLICATION

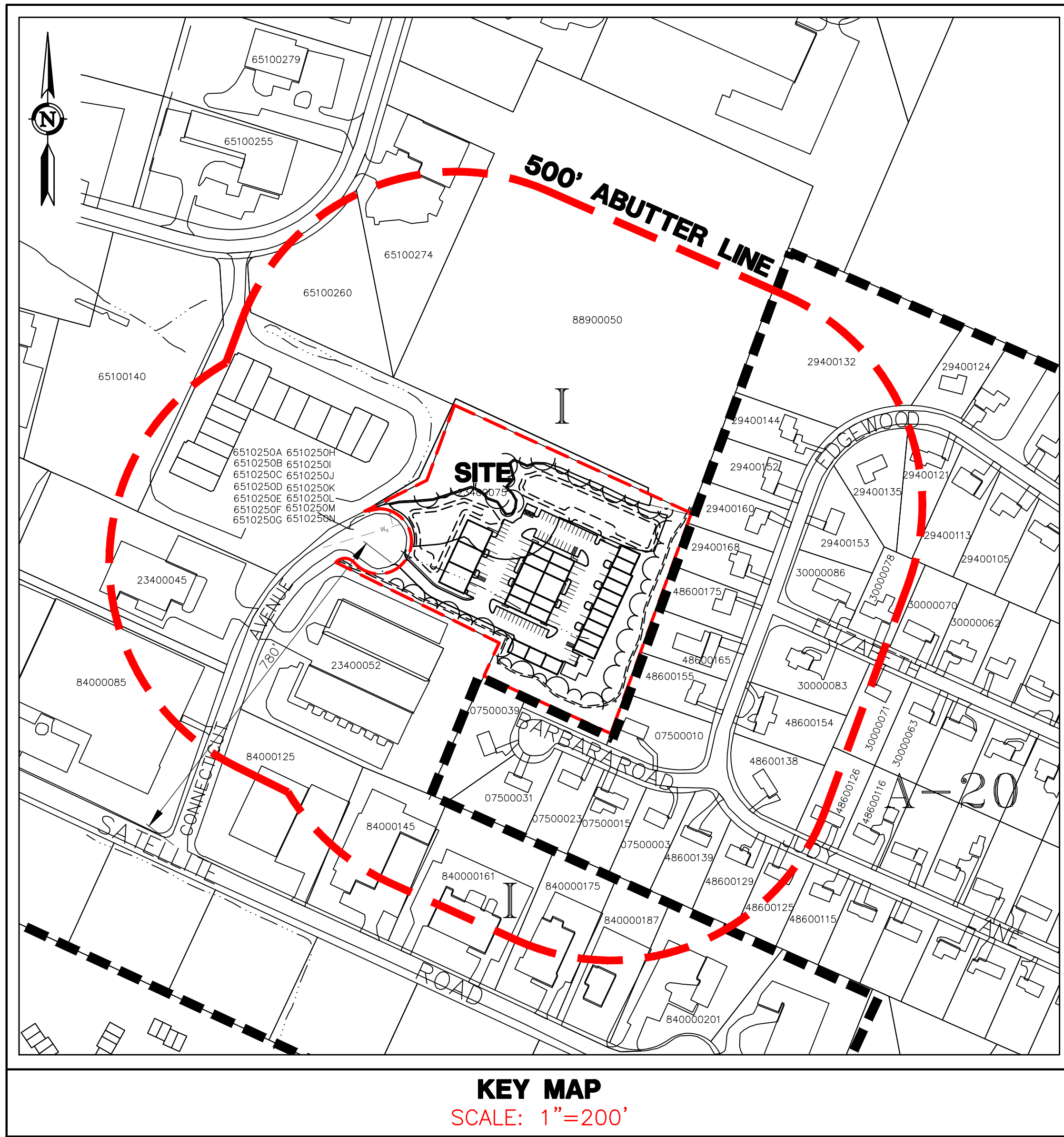
75 CONNECTICUT AVENUE ~ SOUTH WINDSOR ~ CT

GIS PIN: 23400075

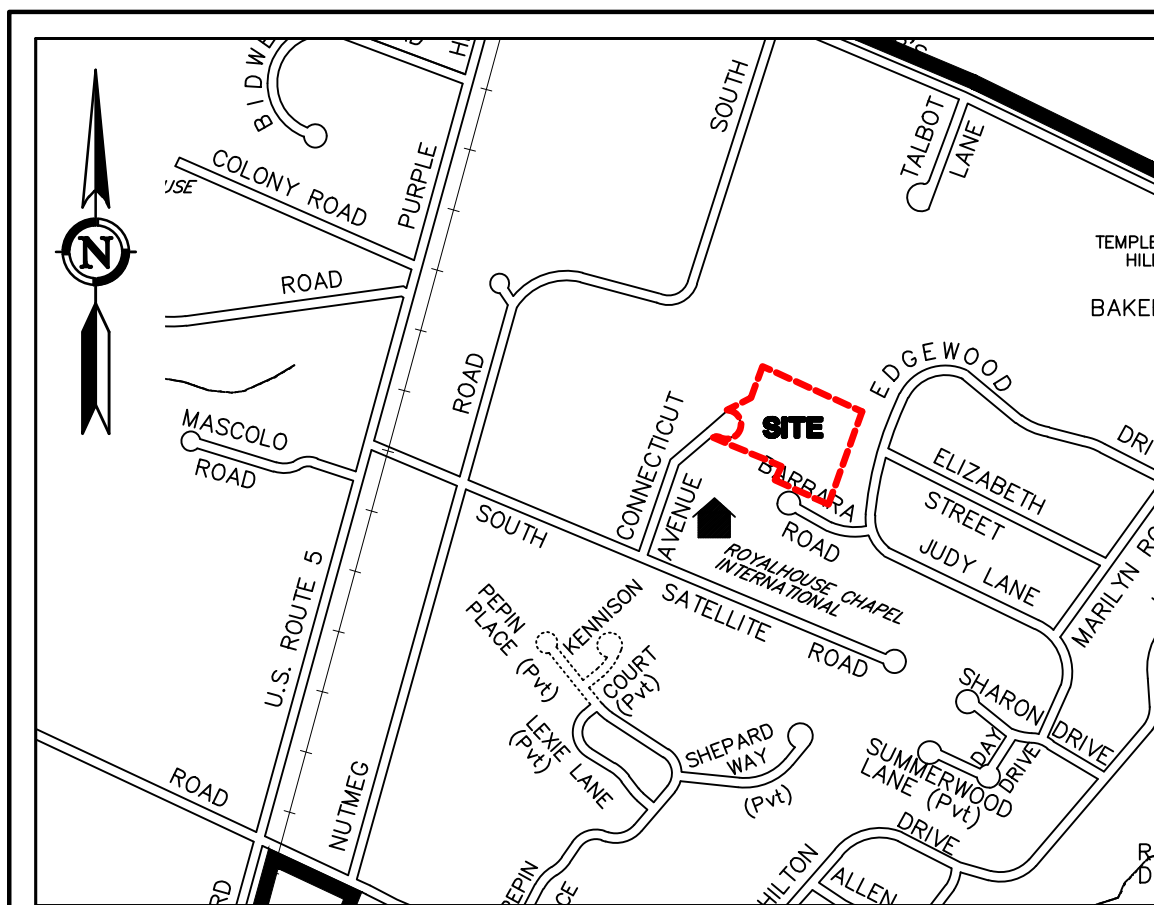
N/F 500' ABUTTERS

TOWN OF SOUTH WINDSOR, CONNECTICUT

Parcel ID	Site Address	Owner Name
7500003	3 BARBARA ROAD	CZAJA DANIEL E & JENNIFER A
7500010	10 BARBARA ROAD	STODDARD ROBERT E
7500015	15 BARBARA ROAD	BOLDUC RUSSELL A & JOANNA I
7500023	23 BARBARA ROAD	HUYNH TUNG &
7500031	31 BARBARA ROAD	RAMIREZ RUBEN & STACY
7500039	39 BARBARA ROAD	GUPTA PANKAJ & ANJALI
23400045	45 CONNECTICUT AVE	BODYCOTE HOOVEN INC
23400052	52 CONNECTICUT AVE	CONNECTICUT AVE LLC
29400113	113 EDGEWOOD DRIVE	CRENSHAW GARY A &
29400121	121 EDGEWOOD DRIVE	SINGHVI PRIYANK &
29400132	132 EDGEWOOD DRIVE	SOUTH WINDSOR TOWN OF
29400135	135 EDGEWOOD DRIVE	PHILLIP VERNELLE
29400144	144 EDGEWOOD DRIVE	DRENGA JOHN L & JILL A
29400152	152 EDGEWOOD DRIVE	COSTA RUI & AMY
29400153	153 EDGEWOOD DRIVE	WIND KEVIN P & DAWN
29400160	160 EDGEWOOD DRIVE	PANT VIVEK &
29400168	168 EDGEWOOD DRIVE	LAPENTA PAUL L & BARBARA
30000071	71 ELIZABETH STREET	LYONS CATHERINE L/U
30000078	78 ELIZABETH STREET	SARPONG AKUA P
30000083	83 ELIZABETH STREET	PATTERSON WILLIAM H & KAREN P
30000086	86 ELIZABETH STREET	CURRIN DANIEL E
48600125	125 JUDY LANE	KISZ IWONA & WOJCIECH
48600126	126 JUDY LANE	BUCHANAN PATRICIA
48600129	129 JUDY LANE	PRANITIS ERIC & RACHEL O
48600138	138 JUDY LANE	STATZ CHRISTOPHER M & CARA M
48600139	139 JUDY LANE	GIAMMARINO JESSE M JR & JANET G
48600154	154 JUDY LANE	KILLINGBECK EDWARD J & LYNN F
48600155	155 JUDY LANE	GRECH STEPHEN J
48600165	165 JUDY LANE	FOTARAS NIKOLAOS & MICHELLE
48600175	175 JUDY LANE	MARRYAT ALLAN F & JANICE E
65100140	140 NUTMEG ROAD	COOLEY REALTY LLC
65100260	260 NUTMEG ROAD	KF REALTY LLC
65100274	274 NUTMEG ROAD	NUTMEG ROAD SOUTH LLC
84000085	85 SOUTH SATELLITE ROAD	85 SOUTH SATELLITE ROAD LLC
84000125	125 SOUTH SATELLITE ROAD	GLOBAL TURBINE COMPONENT
84000145	145 SOUTH SATELLITE ROAD	TECHNOLO LLC
84000161	161 SOUTH SATELLITE ROAD	LEDYARD STREET LLC
84000175	175 SOUTH SATELLITE ROAD	OPTIMUS SOUTH WINDSOR LLC
84000187	187 SOUTH SATELLITE ROAD	BRENAMATT PROPERTIES L L C
84000201	201 SOUTH SATELLITE ROAD	BRENAMATT PROPERTIES LLC
88900050	50 TALBOT LANE	NFP REAL ESTATE LLC
6510250A	250 NUTMEG ROAD #A	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250B	250 NUTMEG ROAD #B	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250C	250 NUTMEG ROAD #C	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250D	250 NUTMEG ROAD #D	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250E	250 NUTMEG ROAD #E	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250F	250 NUTMEG ROAD #F	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250G	250 NUTMEG ROAD #G	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250H	250 NUTMEG ROAD #H	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250I	250 NUTMEG ROAD #I	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250J	250 NUTMEG ROAD #J	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250K	250 NUTMEG ROAD #K	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250L	250 NUTMEG ROAD #L	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250M	250 NUTMEG ROAD #M	NUTMEG ROAD SOUTH ASSOCIATES LLC
6510250N	250 NUTMEG ROAD #N	PENN HILLS LLC



KEY MAP
SCALE: 1"=200'



LOCATION MAP
SCALE: 1"=1,000'

PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA/UNITS	PROPOSED EMPLOYEES	REQUIRED
INDUSTRIAL & MANUFACTURING	1 SPACE/700 GSF	38,030 GSF	N/A	54.33
OFFICE	4.5 SPACES/1,000 GSF	1820 GSF	N/A	8.19
TOTAL		39,850 GSF	TOTAL	63

PARKING PROVIDED

TYPE	QUANTITY
PARKING	69*
RESERVE PARKING	8/NET 5
TOTAL	74*

NOTES:
* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLE 6.4.3B, PARKING SPACES SHALL BE PROVIDED AT A RATIO OF 4.5 SP./1,000 SF GFA FOR OFFICE SPACE AND 1 SP./700 SF GFA FOR INDUSTRIAL/MANUFACTURING SPACE.
1,820 SF GFA OF OFFICE / 1,000 SF = 1.82*4.5 SP. = 8.19 SPACES REQUIRED
38,030 SF GFA OF INDUSTRIAL/ 700 SF = 54.33 SPACES REQUIRED
8.19 + 54.33 = 62.52
A TOTAL OF 63 SPACES ARE REQUIRED FOR THIS DEVELOPMENT INCLUDING 3 ACCESSIBLE SPACES. 69 SPACES ARE PROVIDED PLUS 5 RESERVE SPACES FOR A TOTAL OF 74 SPACES.
26 ADDITIONAL SPACES ARE AVAILABLE IN FRONT OF OVERHEAD DOORS (BUILDINGS 1, 2 & 3) AND AN ADDITIONAL 32 GARAGE SPACES IN BUILDINGS 1-4.
74 + 26 + 32 = 132 POTENTIAL SPACES.
ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES ARE PROVIDED AS LEVEL TWO EV INSTALLED AND LEVEL TWO EV READY:
10% OF PROPOSED SPACES = 7 EV READY SPACES. (69 SPACES x .10 = 6.9)
3/10 OF EV READY SPACES = 2 EV INSTALLED SPACES. (7 SPACES x .3 = 2.1)
OF THE 2 EV INSTALLED SPACES, 2 ARE VAN ACCESSIBLE.

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ZONING TABLE

ZONING: INDUSTRIAL (I)			
ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
USE	PLUMBING, HEATING, ELECTRICAL, MECHANICAL, INDUSTRIAL AND GENERAL CONTRACTING ESTABLISHMENTS (TABLE 4.1.1.A ZONING REGULATIONS)	-	PLUMBING, HEATING, ELECTRICAL, MECHANICAL, INDUSTRIAL AND GENERAL CONTRACTING ESTABLISHMENTS (TABLE 4.1.1.A ZONING REGULATIONS)
LOT AREA	30,000 SF	280,424 SF (6.44 AC)	280,424 SF (6.44 AC)
LOT FRONTAGE	100'	252'	252'
FRONT YARD	35'	N/A	82.7'
SIDE YARD	10'	N/A	18.3'
REAR YARD	25'	N/A	76.7'
BUILDING HEIGHT	2 STORIES / 40'	N/A	<27'
PARKING	63	-	74 (WITH 5 RESERVE)
LOT COVERAGE	50%	0.0%	14.2%
IMPERVIOUS COVERAGE	65%	0.0%	33.9%
IMPERVIOUS COVERAGE WITH RESERVE PARKING	65%	0.0%	34.6%
PARKING LOT LANDSCAPING	10%	-	10.7%

PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

CIVIL ENGINEER,
LANDSCAPE ARCHITECT
& LAND SURVEYOR:

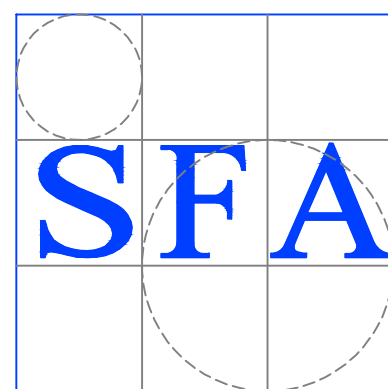
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ARCHITECT:



**STEPHEN FLESHMAN
ARCHITECT**

99 APPLE ROAD
BRIMFIELD, MA 01010
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F: 508.347.8939
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GENERAL CONTRACTOR

**Aldrich Construction
Company Inc.**

1395 Tolland Turnpike
Manchester Connecticut 06042-1632
860.647.7544

PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

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PREPARED FOR:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

PROJECT NO:
23400075

DATE:
03/10/23

DESIGNED BY:
BKW/CMM

CHECKED BY:
BKW/CMM

IN CHARGE:
BKW/PRD

INDUSTRIAL FLEX

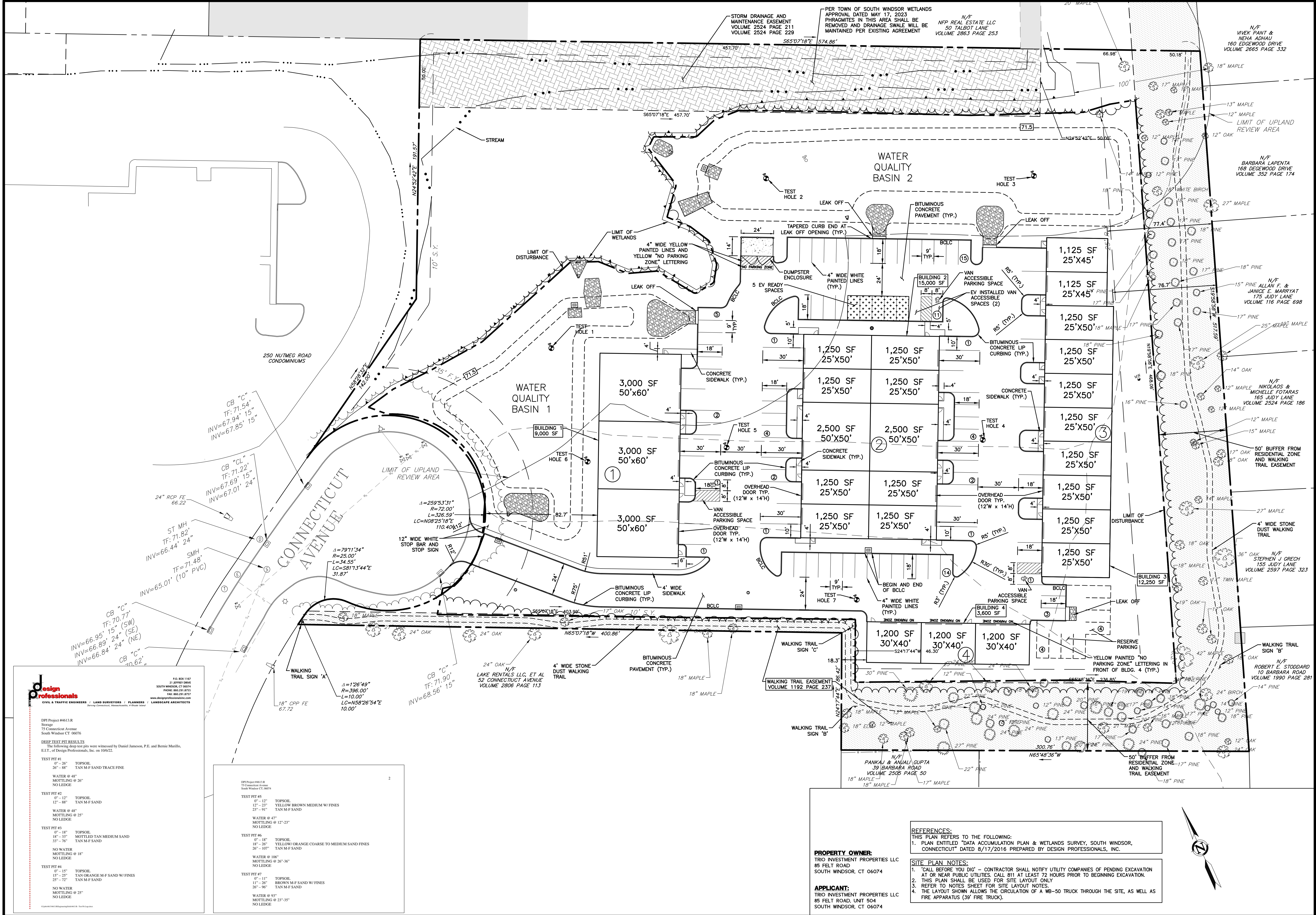
75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	4/10/23	AM	ADD WALKING TRAIL AND EXISTING TREES
2	4/10/23	AM	TOWN STAFF COMMENTS
3	6/2/23	AM	TOWN STAFF COMMENTS

TITLE SHEET

SHEET
C-T1
SHEET 1 OF 14



Design Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS / PLANNERS / LANDSCAPE ARCHITECTS

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DEEP TEST PIT RESULTS
The following deep test pits were witnessed by Daniel Jamieson, P.E. and Bonnie Mullins, E.I.T., of Design Professionals, Inc. on 10/6/22.

TEST PIT #	DEPTH	TOPSOIL	TAN M-F SAND	WATER	NO LEDGE
TEST PIT #1	0" - 20"	TOPSOIL	TAN M-F SAND	WATER @ 48"	MOTTLING @ 26"
TEST PIT #2	0" - 12"	TOPSOIL	TAN M-F SAND	WATER @ 48"	MOTTLING @ 25"
TEST PIT #3	0" - 18"	TOPSOIL	MOTTLED TAN MEDIUM SAND	WATER @ 18"	MOTTLING @ 18"
TEST PIT #4	0" - 15"	TOPSOIL	TAN ORANGE M-F SAND W/FINES	WATER @ 25"	MOTTLING @ 25"
TEST PIT #5	0" - 12"	TOPSOIL	TAN M-F SAND	WATER @ 48"	MOTTLING @ 26"
TEST PIT #6	0" - 18"	TOPSOIL	MOTTLED TAN MEDIUM SAND	WATER @ 18"	MOTTLING @ 18"
TEST PIT #7	0" - 15"	TOPSOIL	TAN ORANGE M-F SAND W/FINES	WATER @ 25"	MOTTLING @ 25"

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PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "DATA ACCUMULATION PLAN & WETLANDS SURVEY, SOUTH WINDSOR, CONNECTICUT" DATED 8/17/2016 PREPARED BY DESIGN PROFESSIONALS, INC.

SITE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES.
4. THE LAYOUT SHOWN ALLOWS THE CIRCULATION OF A W-50 TRUCK THROUGH THE SITE, AS WELL AS FIRE APPARATUS (39' FIRE TRUCK).

INDUSTRIAL FLEX
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CONNECTICUT 06074

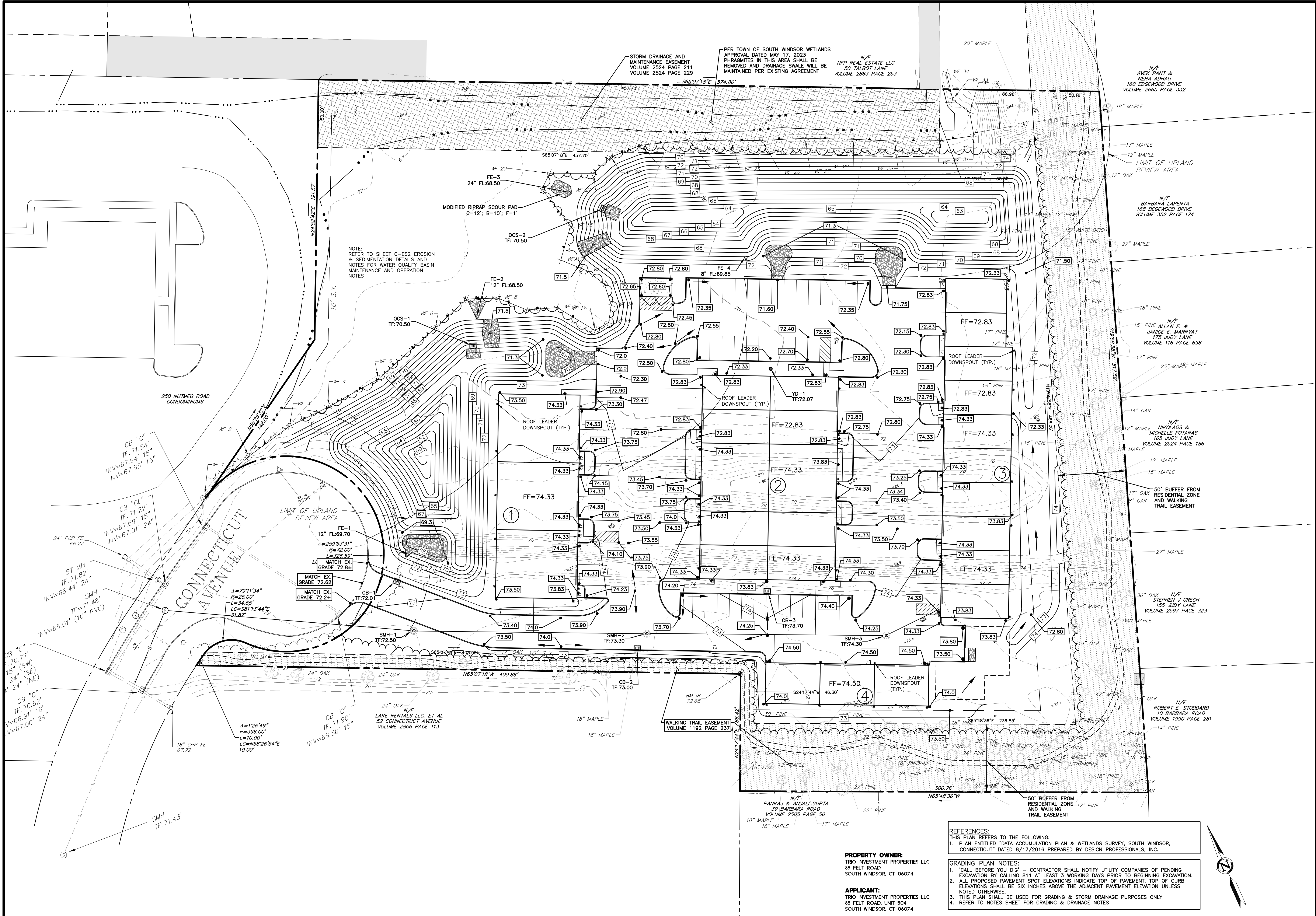
REVISIONS

NO.	DATE	BY	ADD	WALKING TRAIL AND EXISTING TREES	COMMENTS
1	4/10/23	GM			
2	6/2/23	GM			
3	6/21/23	GM			

SITE PLAN
SCALE: 0' 15' 30' 60'
1" = 30'

DESIGN PROFESSIONALS
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS / PLANNERS / LANDSCAPE ARCHITECTS

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WWW.DESIGNPROFESSIONALS.COM



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GRADING PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. ALL PROPOSED PAVEMENT SPOT ELEVATIONS INDICATE TOP OF PAVEMENT, TOP OF CURB ELEVATIONS SHALL BE SIX INCHES ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.
3. THIS PLAN SHALL BE USED FOR GRADING & STORM DRAINAGE PURPOSES ONLY
4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

REVISIONS			
NO.	DATE	ADD, WALKING TRAIL AND EXISTING TREES	BY
1	4/10/23	TOWN STAFF COMMENTS	CAH
2	6/6/23	TOWN STAFF COMMENTS	CAH
3	6/21/23	TOWN STAFF COMMENTS	CAH

GRADING PLAN	
NO.	DATE
1	4/10/23
2	6/6/23
3	6/21/23

SCALE: 0' 15' 30' 60'

1" = 30'

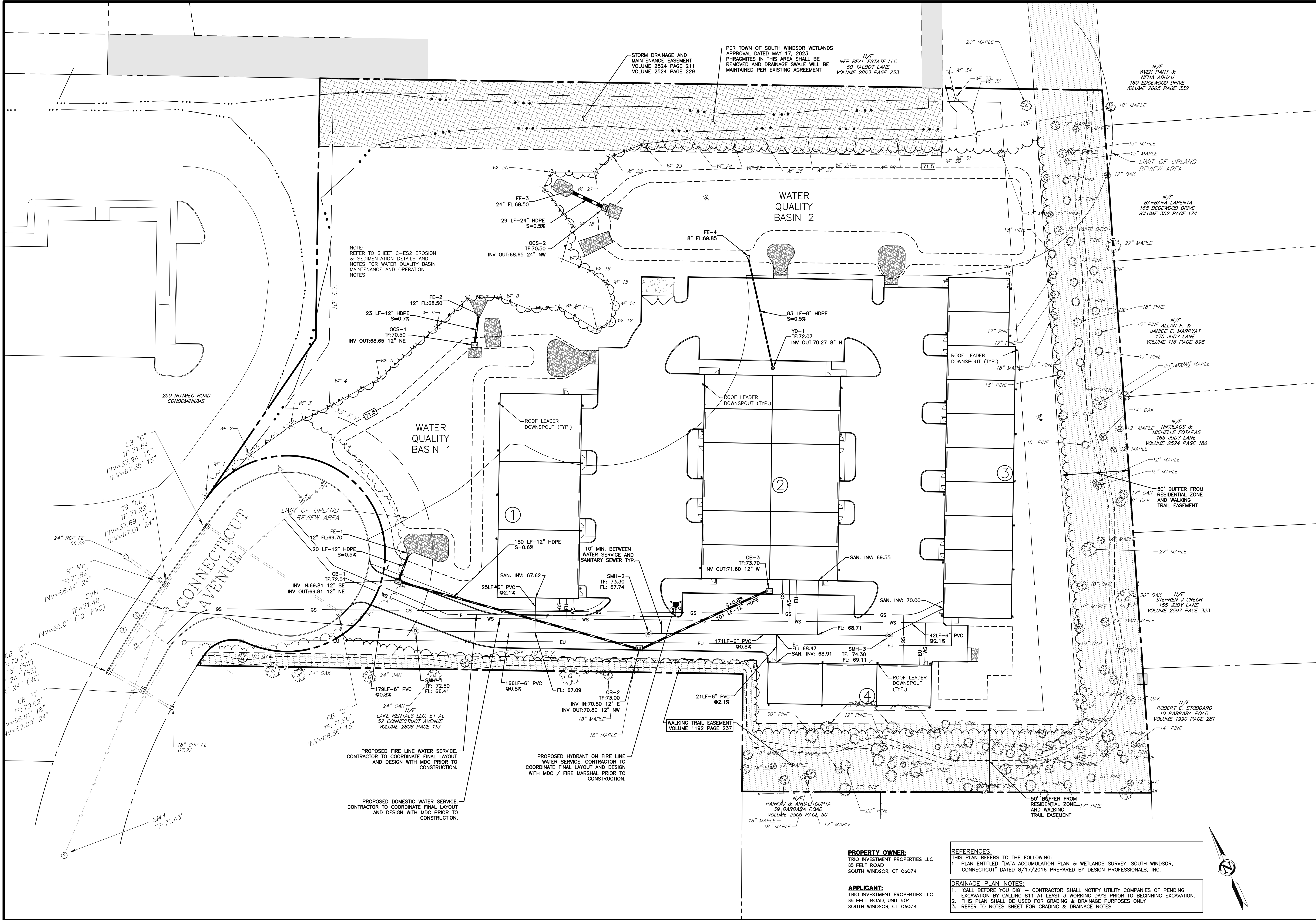
SHEET
C-GD1
SHEET 4 OF 14

INDUSTRIAL FLEX
75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

PREPARED FOR:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

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APPLICANT:
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85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

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DRAINAGE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY.
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

INDUSTRIAL FLEX

75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

NO.	DATE	REVISIONS	BY
1	4/10/23	ADD WALKING TRAIL AND EXISTING TREES	GM
2	6/12/23	TOWN STAFF COMMENTS	GM
3	6/21/23	TOWN STAFF COMMENTS	GM

DRAINAGE & UTILITY PLAN

SHEET

C-DU1

SHEET 5 OF 14

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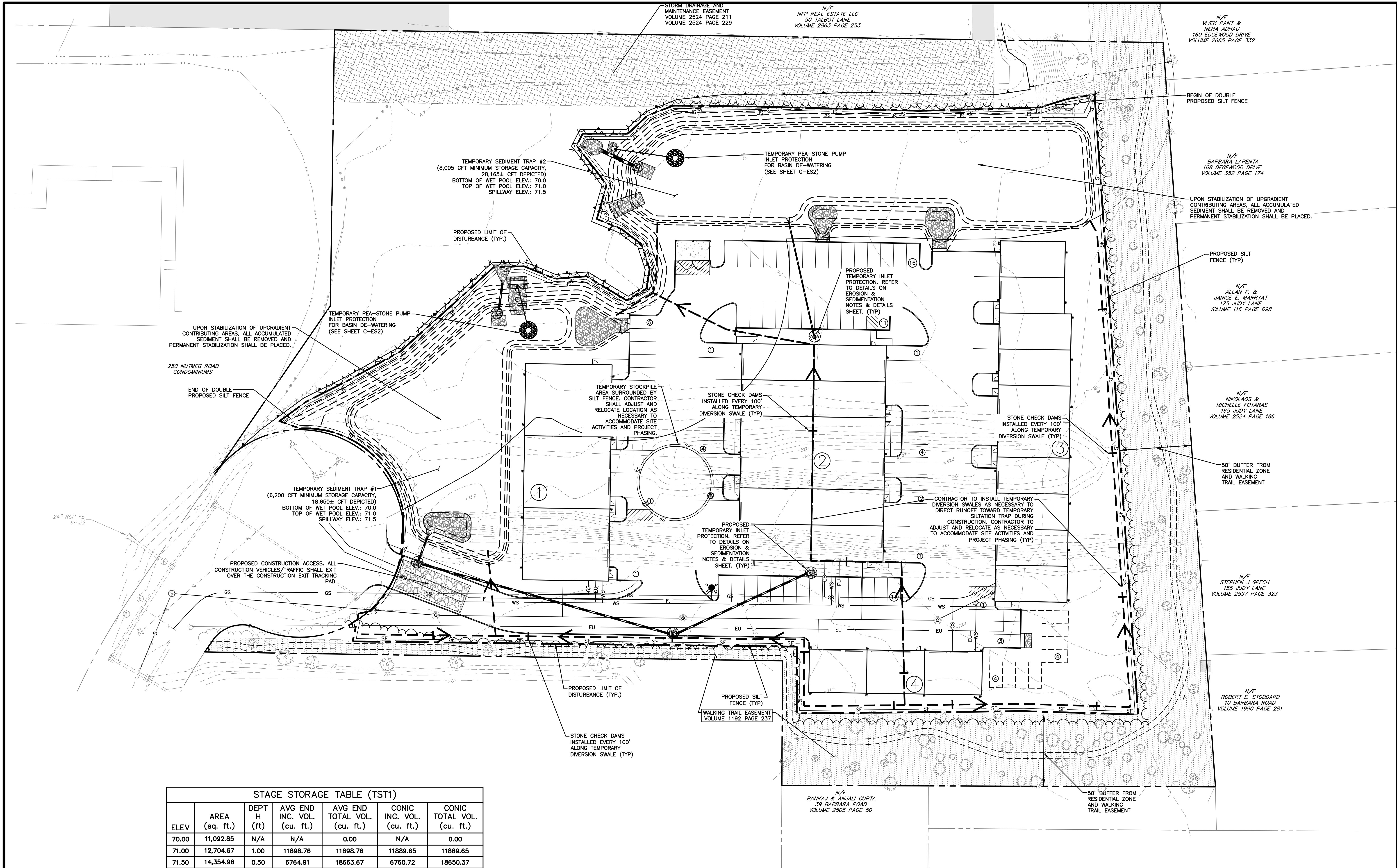
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PREPARED FOR:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

PROJECT NO.: 4613R
DATE: 03/10/23
DESIGNED BY: BKM/CMM
CHECKED BY: BKM/CMM
IN CHARGE: AKC/PRD

* This plan is a preliminary plan and is not to be used for construction. It is subject to change without notice. The user assumes all liability for any errors or omissions. The user agrees to hold the designer harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising from the use of this plan for any purpose other than that for which it was prepared. The user also agrees to defend, indemnify and hold the designer harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising from the use of this plan for any purpose other than that for which it was prepared. The user also agrees to hold the designer harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, arising from the use of this plan for any purpose other than that for which it was prepared.



STAGE STORAGE TABLE (TST1)						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
70.00	11,092.85	N/A	N/A	0.00	N/A	0.00
71.00	12,704.67	1.00	11898.76	11898.76	11889.65	11889.65
71.50	14,354.98	0.50	6764.91	18663.67	6760.72	18650.37

STAGE STORAGE TABLE (TST2)						
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
70.00	16,818.22	N/A	N/A	0.00	N/A	0.00
71.00	19,028.12	1.00	17923.17	17923.17	17911.81	17911.81
71.50	22,018.11	0.50	10261.56	28184.73	10252.47	28164.28

PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

REFER TO TEMPORARY SEDIMENT TRAP (TST) DETAIL AND FIGURE TST-1. SEE SHEET C-ES2. TST SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SHAPE, VOLUMES, AND DEPTHS CAN VARY IN ACCORDANCE WITH SAID DETAILS. CONTRACTOR SHALL PROVIDE IN APPROPRIATE LOCATIONS TO ACCOMMODATE CURRENT SITE ACTIVITIES AND PHASING. IN NO CASE SHALL THE AREA DRAINING TO A TST EXCEED 5 ACRES. SHOULD AREAS BEING DIRECTED TO A TST DIFFER FROM THAT NOTED, CONTRACTOR SHALL ENSURE THAT AT LEAST 1.34 CY PER ACRE OF STORAGE VOLUME IS PROVIDED PER TST DETAIL AND FIGURE TST-1.

- REFERENCES:**
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "DATA ACCUMULATION PLAN & WETLANDS SURVEY, SOUTH WINDSOR, CONNECTICUT" DATED 8/17/2016 PREPARED BY DESIGN PROFESSIONALS, INC.

- EROSION & SEDIMENTATION CONTROL PLAN NOTES:**
1. CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

PROJECT NO.	DATE	PROJECT NO.	DATE
46135	03/10/23	46135	03/10/23
DESIGNED BY	CHKD BY	DESIGNED BY	CHKD BY
BKM/CMM	BKM/CMM	BKM/CMM	BKM/CMM
APPROVED BY	APPROVED BY	APPROVED BY	APPROVED BY
AK/PRD	AK/PRD	AK/PRD	AK/PRD

INDUSTRIAL FLEX

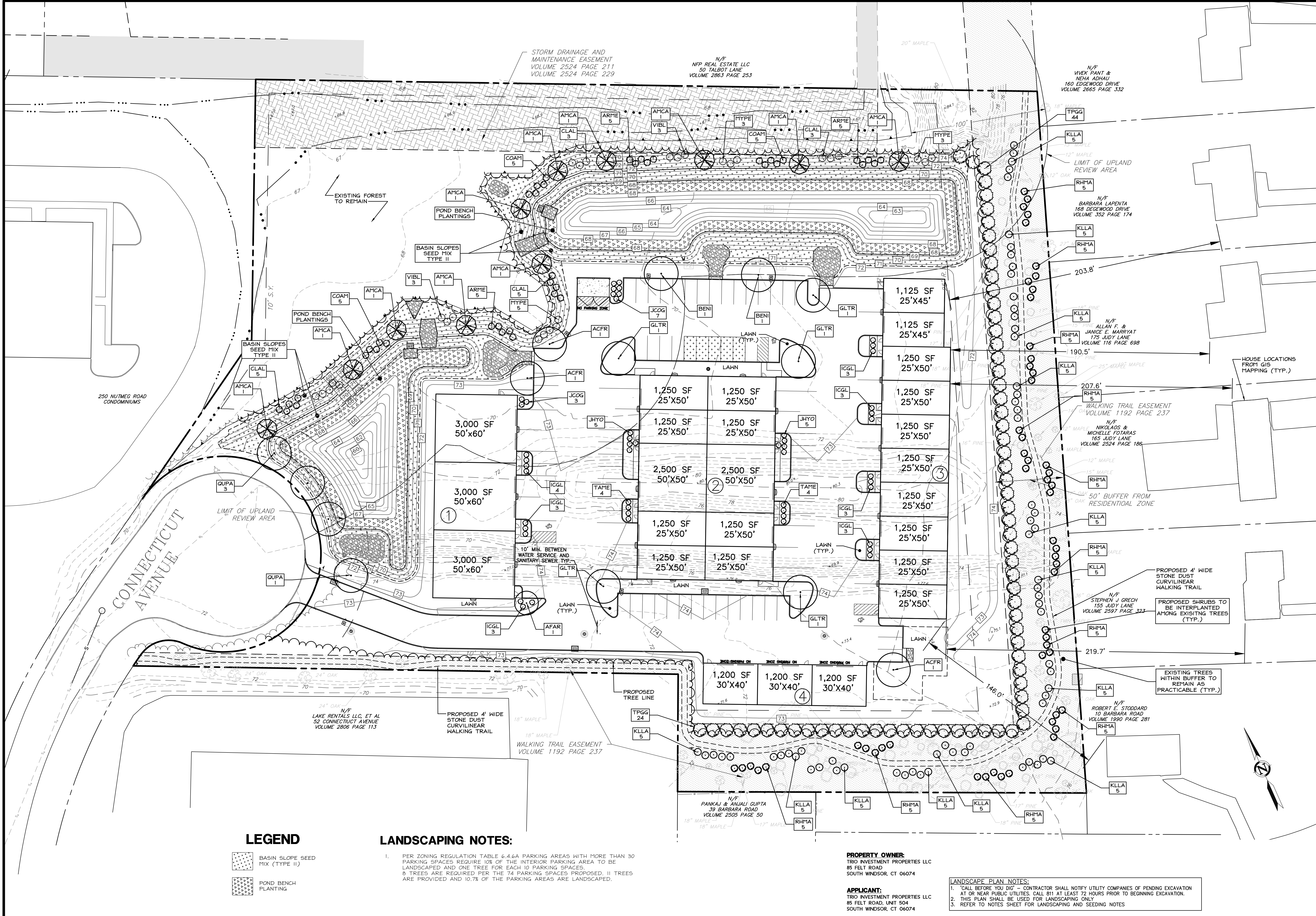
75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

EROSION & SEDIMENTATION CONTROL PLAN

SHEET
C-ES1

SCALE: 0' 15' 30' 60'
1" = 30'

6 OF 14



LEGEND

- BASIN SLOPE SEED MIX (TYPE II)
- POND BENCH PLANTING

LANDSCAPING NOTES:

- PER ZONING REGULATION TABLE 6.4.6A PARKING AREAS WITH MORE THAN 30 PARKING SPACES REQUIRE 10% OF THE INTERIOR PARKING AREA TO BE LANDSCAPED AND ONE TREE FOR EACH 10 PARKING SPACES. 8 TREES ARE REQUIRED PER THE 74 PARKING SPACES PROPOSED. 11 TREES ARE PROVIDED AND 10.7% OF THE PARKING AREAS ARE LANDSCAPED.

PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

- LANDSCAPE PLAN NOTES:
- CALL BEFORE YOU DIG - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
 - THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.
 - REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

INDUSTRIAL FLEX

75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

NO.	DATE	REVISIONS	BY
1	4/10/23	ADD WALKING TRAIL AND EXISTING TREES	GM
2	6/12/23	TOWN STAFF COMMENTS	GM
3	6/21/23	TOWN STAFF COMMENTS	GM

LANDSCAPE PLAN

SHEET 8 OF 14

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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:

TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

PROJECT NO.

4613R

DATE

6/21/23

DESIGNED BY

BRM/GMM

CHECKED BY

BRM/GMM

APPROVED BY

AKV/PRD

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LANDSCAPE NOTES:

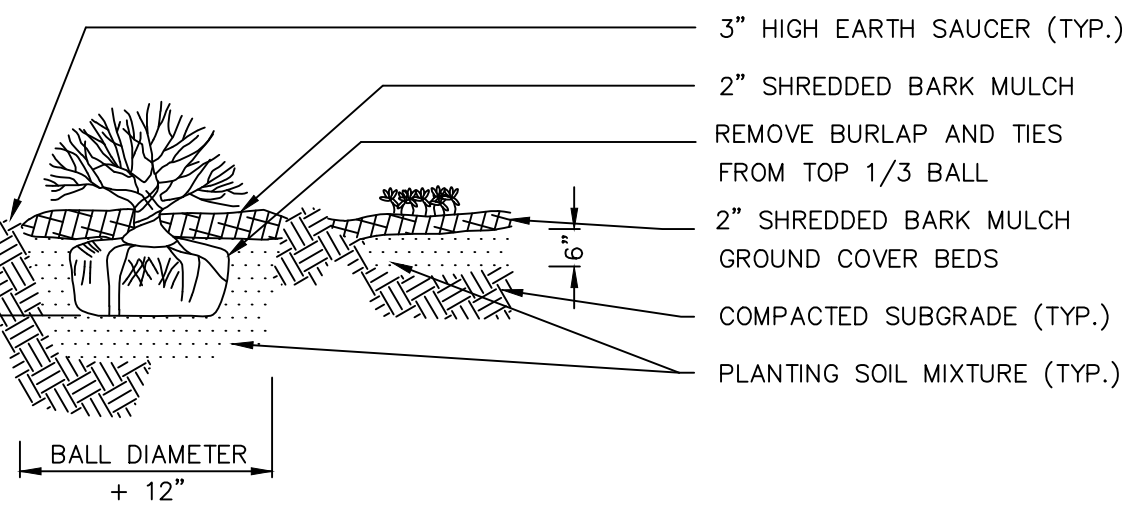
- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIGHT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK," PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORTH WITHOUT Voids AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM. IT IS NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK," CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE. BARE-ROOT PLANTS: DIG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM, 1" THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- CONTAINER STOCK SHALL NOT BE POT BOUND.
- ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR.
- CONTRACTOR RESPONSIBLE TO MAINTAIN PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
- CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT AT PLANT SITE AND UNDER FULL RESPONSIBILITY OF CONTRACTOR. PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES. THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE PERMITTED UNLESS APPROVED IN WRITING BY THE OWNER.
- ROOT TYPES: PLANTS SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE WITHOUT RECEIPT OF A CHANGE ORDER.
- PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
 - BARK MULCH/COMPOST 10%-15%
 - TOPSOIL 40-45%
 - COARSE SAND 45-50%
- PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- LIFE SHALL BE BELIEVED LIFE MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MINIMUM OF 60% OXIDE (N, P, K), CALCIUM OXIDE PLUS MAGNESIUM OXIDE.
- FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC, SLOW-RELEASE COMPOSITION.
- NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER, STORE IN MANNER TO PREVENT WETTING AND DETEIORATION.
- DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF MULCH IN AREAS OF GROUND COVER AND PERENNIALS.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESSER THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
- TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR TO PLANTING.
- CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT TO NURSERY INSPECTION FOR VENEER'S CERTIFICATE OF FERTILIZER MATERIALS, S, MOVING AND STORAGE OF PLANT MATERIALS. CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER HAZARDOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING. INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL, THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
- A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
- STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE SPECIFIED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
- THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
- SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
- NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1/4 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES. PERMEABLE TO PERMIT TRANSPARATION, FIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
- CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
 - REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
 - MULIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
 - PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
 - ALL TREES DIRECTLY ADJACENT TO HIGHWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
 - MULCH TO BE APPLIED AS FOLLOWS:
 - AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
 - PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
 - APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
 - MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH. FREE OF MOOD CURPS AND SANDUST.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:
- MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
- INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
- RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
- WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
- REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTEE SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
- LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4465 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
- CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
- ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRADED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
- TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
- THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

SEEDING NOTES:

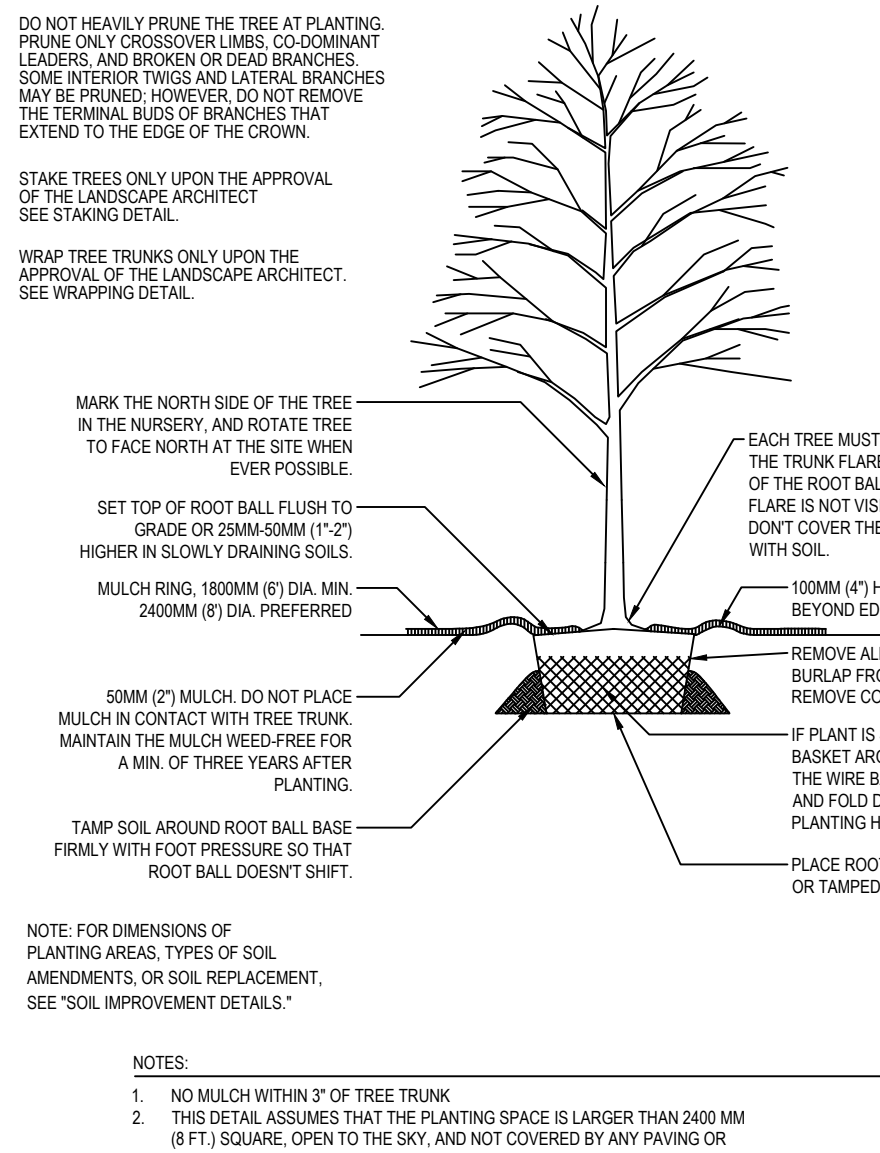
- SEEDING MIXTURE TYPE I (LAWN AREAS):
 - BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
 - CHENING RED FESCUE 50% OF MIXTURE
 - PERENNIAL RYEGRASS 20% OF MIXTURE
- SEEDING MIXTURE TYPE II (BASIN SLOPES):
 - RETENTION BASIN HILLCLIFF MIX - ENRIV-127
 - BY Ernst Conservation Seeds, 9006 Mercer Pike, Medford, PA 16336 (800) 873-3321
 - APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- BASIN SIDE SLOPES SHALL BE A MINIMUM 4" OF "TRACED" TOPSOIL, UNLESS OTHERWISE NOTED.
- SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.
- SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING, ADD AN ADDITIONAL 15% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE USED TO CORNER 2000 AND APPLIED AT THE RATE OF 1,400 LBS PER ACRE.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDING AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

STREET TREE NOTES:

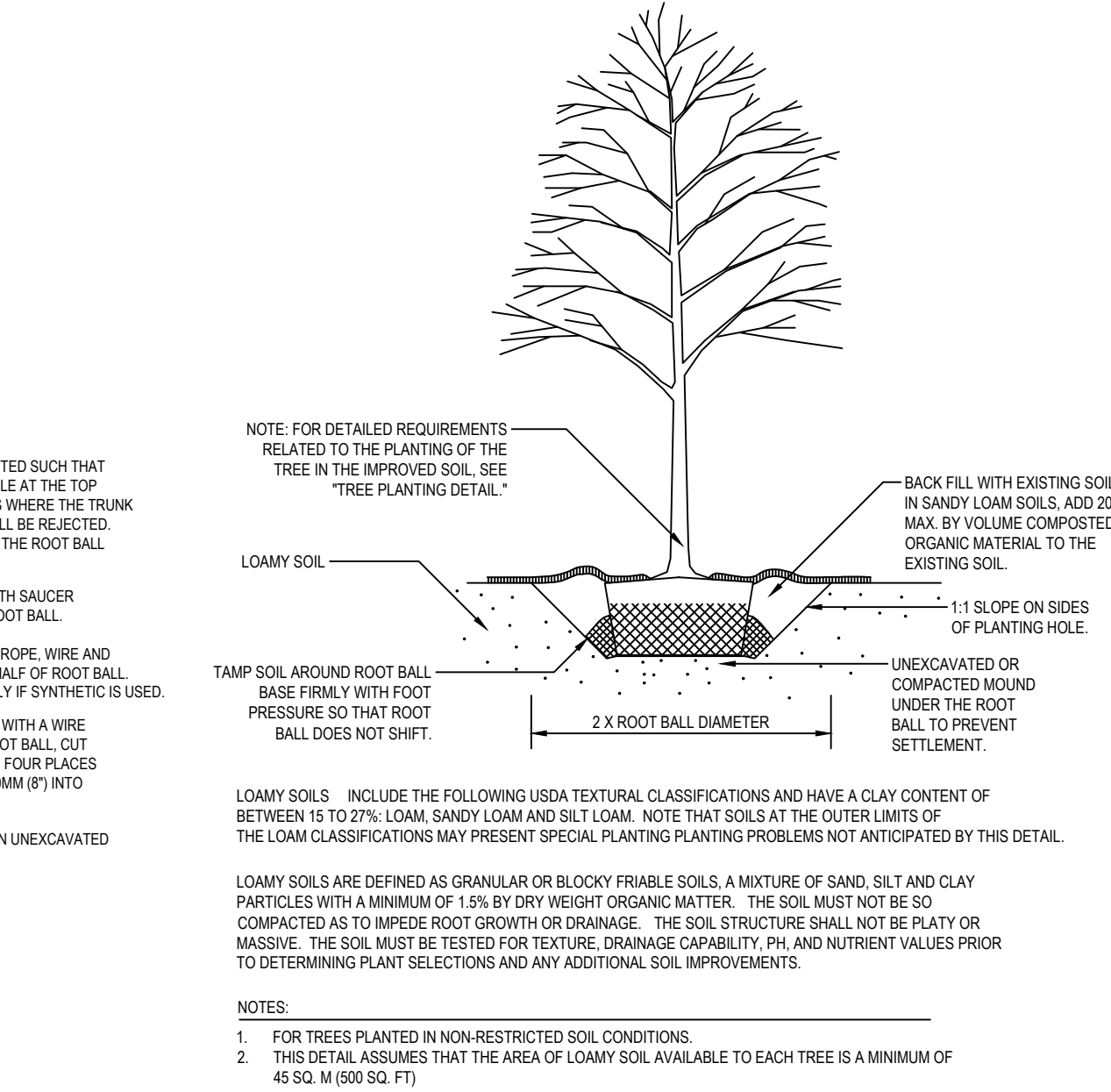
- ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY THE TRUNK OF THE TREE.
- ALL ROPE OR TAPPE SHALL BE COMPLETELY REMOVED ONCE THE TREE HAS BEEN PLANTED IN THE PLANTING AREA. BURLAP SHALL BE BOLLED DOWN AND CUT OR TUCKED UNDER THE SOOT BALL.
- ANY WIRE BASKETS SHALL BE CUT AND THE UPPER 2/3 REMOVED AFTER THE TREE IS PLACED IN THE PLANTING AREA.
- ALL TREES SHALL BE FRESHLY DUG WITHIN 30 DAYS OF DELIVERY TO THE PLANTING SITE.
- ALL TONNE, ROPE OR ANY OTHER OBJECTS AROUND THE ROOT BALL SHALL BE REMOVED.
- A PLANTING AREA OF TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE TWO INCHES LESS THAN THE OVERALL HEIGHT OF THE ROOT BALL AS MEASURED FROM THE ROOT FLARE ON THE TRUNK TO THE BOTTOM OF THE ROOT BALL.
- ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED SITES.
- WHEN BACK FILLING TREES, GROWING MEDIUM SHALL BE HOKED IN TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO COMPACT GROWING MEDIUM EXCESSIVELY.
- THE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES ABOVE FINAL GRADE.
- WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE.
- ALL TREE TRUNKS SHALL BE FREE FROM ANY INJURY OR DAMAGE.
- ALL TREES SHALL HAVE A SINGLE CENTRAL DOMINANT LEADER.
- TREES SHALL NOT BE STAKED OR GUYED UNLESS DICTATED BY THE TREE WARDEN.
- THE DEPTH OF ALL MULCH SHALL NOT EXCEED MORE THAN TWO INCHES.
- ALL TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED.
- NO PRUNING SHALL BE PERFORMED UNLESS DIRECTED BY THE TREE WARDEN.
- NO FERTILIZERS OR WATER POLYMERS SHALL BE APPLIED AT PLANTING.



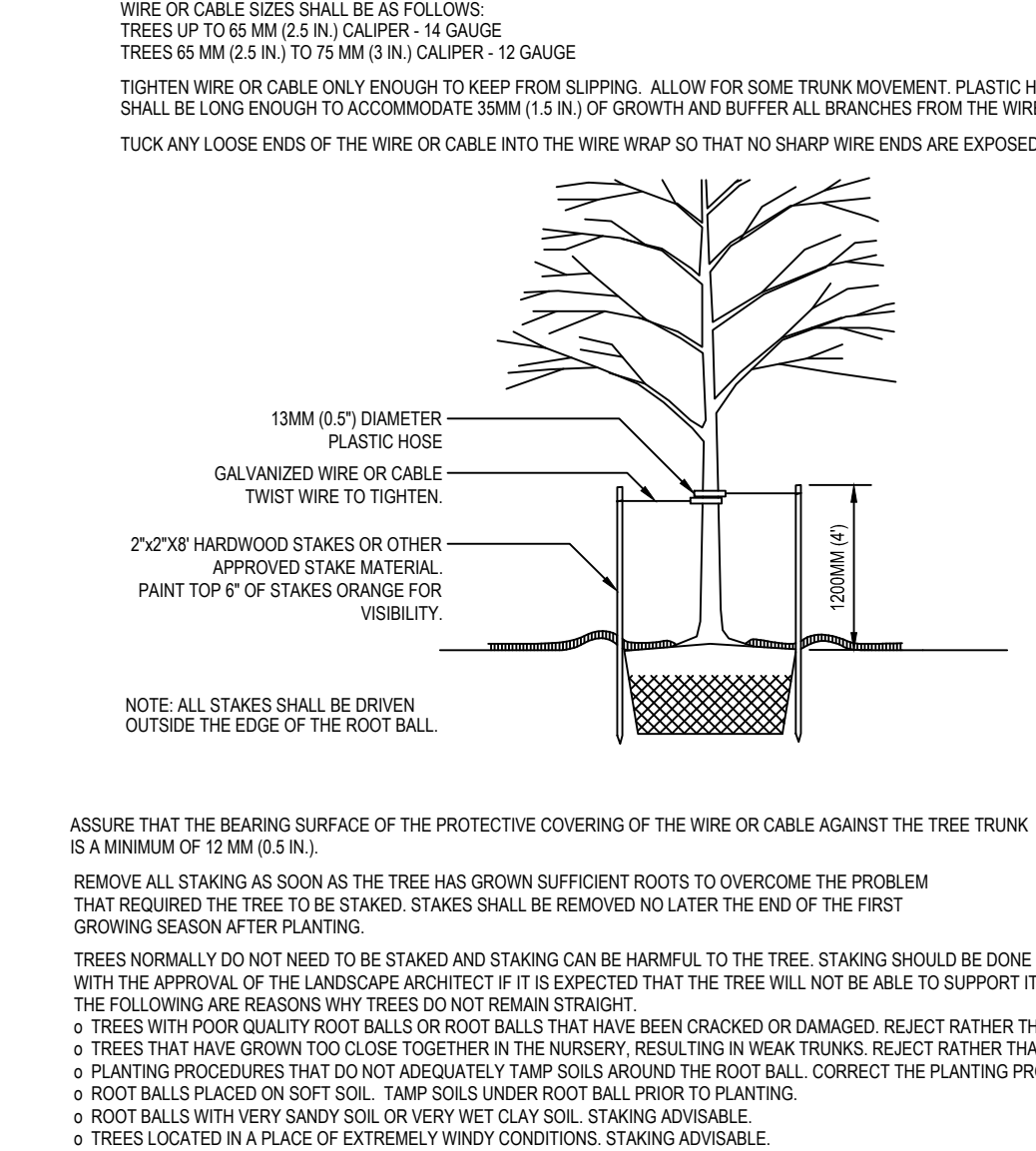
1 SHRUB & GROUNDCOVER PLANTING DETAIL



2 TREE PLANTING DETAIL



3 SOIL IMPROVEMENT DETAIL



4 TREE STAKING DETAIL (3" CAL. OR SMALLER)

POND BENCH PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
90	Colomnagrostis canadensis	Canada Bluejoint	ONE YR GROWTH	2\" POT	3' O.C.
90	Carex stricta	Tussock Sedge	ONE YR GROWTH	2\" POT	3' O.C.
90	Iris versicolor	Blue Flag Iris	ONE YR GROWTH	2\" POT	3' O.C.
90	Juncus effusus	Soft Rush	ONE YR GROWTH	2\" POT	3' O.C.
90	Leersia oryzoides	Rice Cutgrass	ONE YR GROWTH	2\" POT	3' O.C.
90	Mimulus ringens	Monkey-flower	ONE YR GROWTH	2\" POT	3' O.C.
90	Sagittaria latifolia	Northern Arrowhead	ONE YR GROWTH	2\" POT	3' O.C.
90	Scirpus cyperinus	Wool Grass	ONE YR GROWTH	2\" POT	3' O.C.
90	Scirpus pungens	Common Three-Square	ONE YR GROWTH	2\" POT	3' O.C.
90	Scirpus validus	Soft-stem Bulrush	ONE YR GROWTH	2\" POT	3' O.C.
90	Sparganium eurucarpum	Giant Burreed	ONE YR GROWTH	2\" POT	3' O.C.
90	Verbena hastata	Blue Vervain	ONE YR GROWTH	2\" POT	3' O.C.

LANDSCAPE PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
DECIDUOUS TREES						
ACFR	3	Acer x. freemanii 'Jeffers' Red'	Autumn Blaze Maple	2\" cal.	B&B	PLANT AS SHOWN
AMCA	11	Amelanchier canadensis	Serviceberry	5'-6' Ht.	B&B	PLANT AS SHOWN
AFAR	1	Acer x. freemanii 'Armstrong'	Armstrong Maple	2\" Cal.	B&B	PLANT AS SHOWN
BENI	2	Betula nigra 'Heritage'	Heritage River Birch	8'-10' Ht.	B&B	PLANT AS SHOWN
GLTR	5	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2\" cal.	B&B	PLANT AS SHOWN
QUPA	4	Quercus palustris	Pin Oak	2\" cal.	B&B	PLANT AS SHOWN
EVERGREEN TREES						
TPGG	68	Thuja plicata 'Green Giant'	Green Giant Arborvitae	6'-8' Ht.	B&B	PLANT AS SHOWN
SHRUBS						
ARME	15	Aronia melanocarpa	Black Chokeberry	No. 3	CONT.	PLANT AS SHOWN
CLAL	16	Clethra alnifolia	Sweet Pepperbush	No. 3	CONT.	PLANT AS SHOWN
COAM	15	Corylus americana	American Hazelnut	No. 3	CONT.	PLANT AS SHOWN
ICGL	22	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	No. 3	CONT.	PLANT AS SHOWN
JCOG	10	Juniperus chinensis 'Old Gold'	Old Gold Juniper	No. 3	CONT.	PLANT AS SHOWN
JHYO	10	Juniperus horizontalis 'Youngstown'	Compact Pfizer Juniper	No. 3	CONT.	PLANT AS SHOWN
KLLA	65	Kalmia latifolia	Mt. Laurel	No. 3	CONT.	PANT AS SHOWN
MYPE	11	Myrica pensylvanica	Northern Bayberry	No. 3	CONT.	PLANT AS SHOWN
RHMA	55	Rhododendron maximum	Rosebay Rhododendron	No. 3	CONT.	PLANT AS SHOWN
TAME	8	Taxus x media 'Densiformis'	Dense Spreading Yew	No. 3	CONT.	PLANT AS SHOWN
VIBL	6	Viburnum lentago	Nannyberry	No. 3	CONT.	PLANT AS SHOWN

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SOUTH WINDSOR, CT 06074

LANDSCAPE NOTES & DETAILS

SHEET

C-LS2

SHEET 9 OF 14

PREPARED FOR:

TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

PROJECT NO.:
03/10/23
DATE:
BY:
CHK:
APP: /

INDUSTRIAL FLEX
75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

REVISIONS

ADD WALKWAY, TREIL, AND EXISTING TREES
TOWN STAFF COMMENTS
TOWN STAFF COMMENTS

DATE

4/10/23
2
3
6/2/23

NO.

1
2
3

SHEET

C-LS2

SHEET 9 OF 14

21 JEFFREY DRIVE
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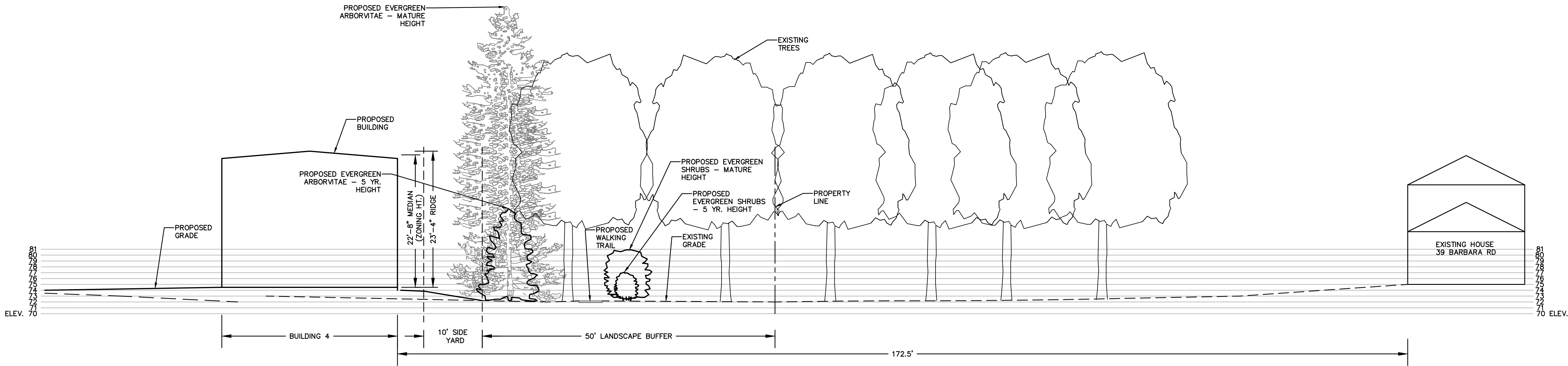
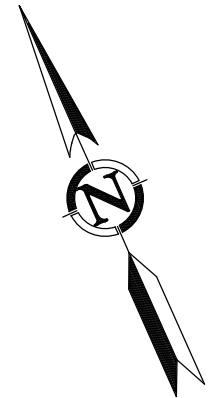
design professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

* This plan is a professional design prepared by a registered professional engineer and architect. It is not to be used for any other purpose without the written consent of the engineer and architect.

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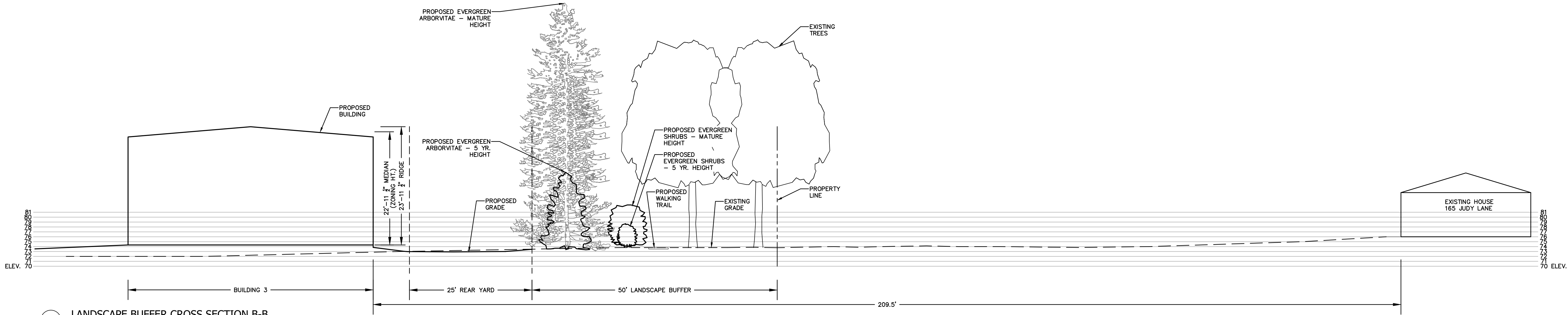
* Representation of landscape architect: TRIO INVESTMENT PROPERTIES LLC, 85 FELT ROAD, UNIT 504, SOUTH WINDSOR, CT 06074. Tel: 860-291-8295, Fax: 860-291-8757, Email: info@trioinvestments.com

File: C:\joh\4613\4613R-Landscape Arch\4613R-L5-L1 Plan rev.dwg Layout: 10 C-L53 Plotted: 6/21/2023 11:15 AM Last Saved By: glemartin Last Saved: 6/14/2023 8:17 AM



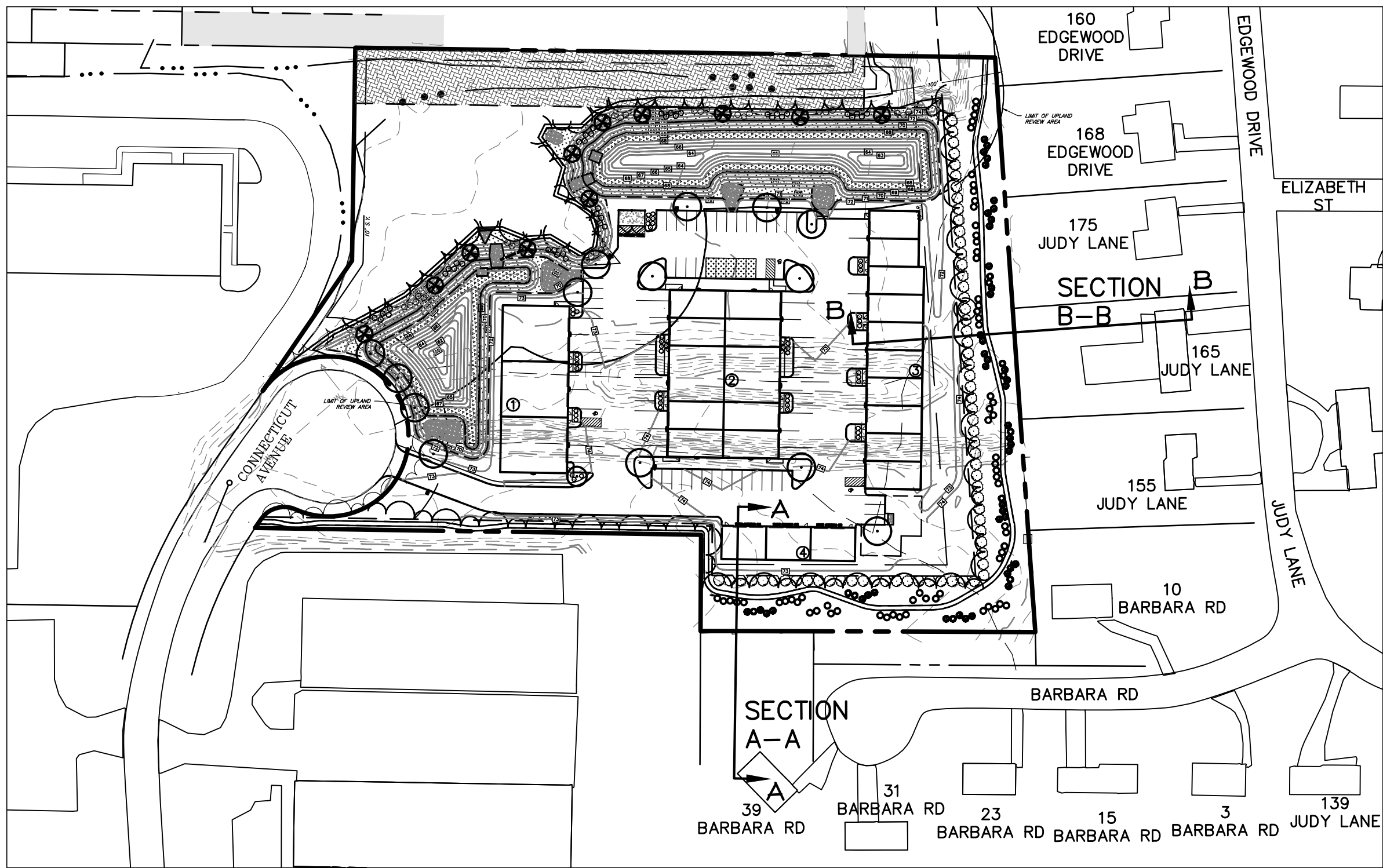
1 LANDSCAPE BUFFER CROSS SECTION A-A

1" = 10'



2 LANDSCAPE BUFFER CROSS SECTION B-B

1" = 10'



3 KEY PLAN

1" = 100'

PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

**LANDSCAPE
CROSS SECTIONS**

SHEET
C-L53
SHEET 10 OF 14

REVISIONS

NO.	DATE	BY
1	4/10/23	GM
2	6/12/23	GM
3	6/21/23	GM

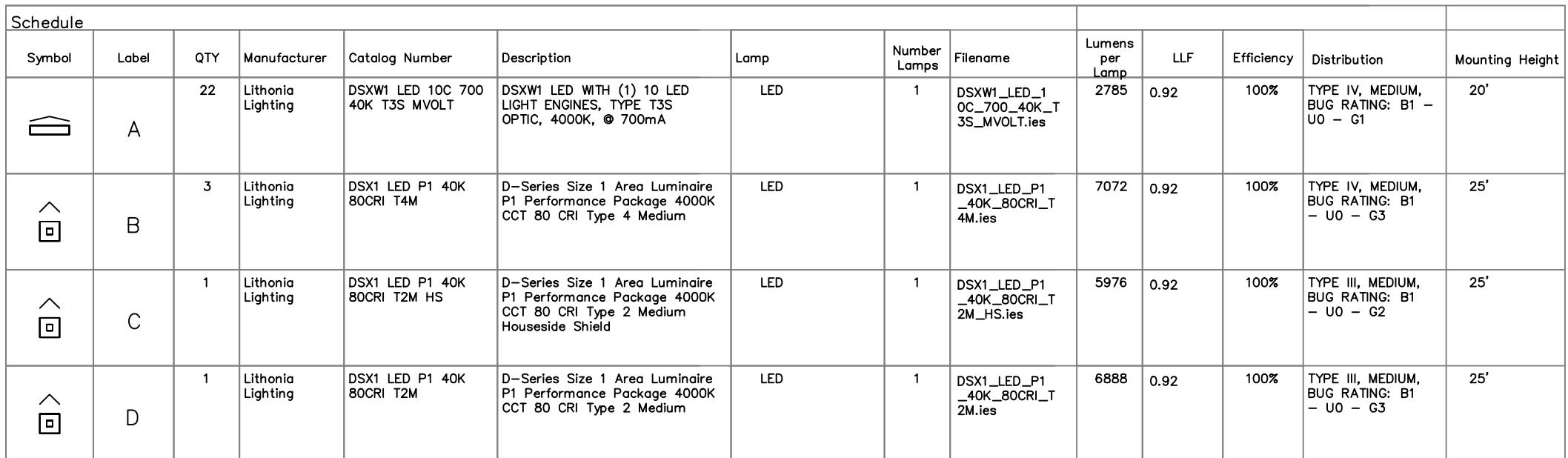
INDUSTRIAL FLEX
75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

PROJECT NO.:
03/10/23
DATE: 03/10/23
BY: BKM/CMH
CHECKED BY: BKM/CMH
APPROVED BY: AUC/PRD

PREPARED FOR:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

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1. THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOT-CANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
2. SURFACE MOUNTING SHALL BE USED TO LOCATE LUMINAIRE IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
3. MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
4. ALL LUMINAIRE BASES SHALL BE INSTALLED TO THE REAR FACE OF CURB.
5. ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
6. LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
7. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

Choosing Information									
EXAMPLE: DSXW1 ES2C 100 40K 4T3M MVOLT DBDTBX									
DSXW LED									
Series	LEDs	Drive Current	Color Temperature	Distribution	Package	Mounting	Shipped included	General Options	
DSXW1LED	100 TC100 (100mA, 100° beam)	700 100mA	30K 3000K	125 Type 1 (Spot)	HVOLT1 120°	180° Surface mounting bracket for 180° mounting (see below)	Shipped included 180° Surface mounting bracket for 180° mounting (see below)	RE Photocell cut, button type*	
	200 200mA	350 200mA	40K 4000K	128 Type 1 (Medium)	128°			DAG One dimming when pulsed address beam (see below) with an external dimmer, coded as 180° remote-control dimmer. C-CPing type.	
	300 300mA	500 300mA	50K 5000K	129 Type 1 (Medium)	129°			PR 180° remote-control light sensor, 1.30 MPH**	
	400 400mA	1000 1000mA (4A) 4000K	AWVC 4000K AWVC 4000K (AWVC color-coded)	130 Type 1 (Medium)	130°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW2	200 TC200 (200mA, 100° beam)	350 200mA	40K 4000K	128 Type 1 (Medium)	128°	180° Surface mounting bracket for 180° mounting (see below)	Shipped included 180° Surface mounting bracket for 180° mounting (see below)	PR 180° remote-control light sensor, 1.30 MPH**	
DSXW3	300 TC300 (300mA, 100° beam)	500 300mA	50K 5000K	129 Type 1 (Medium)	129°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW4	400 TC400 (400mA, 100° beam)	1000 400mA	50K 5000K	130 Type 1 (Medium)	130°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW5	500 TC500 (500mA, 100° beam)	1500 500mA	50K 5000K	131 Type 1 (Medium)	131°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW6	600 TC600 (600mA, 100° beam)	2000 600mA	50K 5000K	132 Type 1 (Medium)	132°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW7	700 TC700 (700mA, 100° beam)	2500 700mA	50K 5000K	133 Type 1 (Medium)	133°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW8	800 TC800 (800mA, 100° beam)	3000 800mA	50K 5000K	134 Type 1 (Medium)	134°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW9	900 TC900 (900mA, 100° beam)	3500 900mA	50K 5000K	135 Type 1 (Medium)	135°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW10	1000 TC1000 (1000mA, 100° beam)	4000 1000mA	50K 5000K	136 Type 1 (Medium)	136°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW11	1200 TC1200 (1200mA, 100° beam)	5000 1200mA	50K 5000K	137 Type 1 (Medium)	137°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW12	1500 TC1500 (1500mA, 100° beam)	6250 1500mA	50K 5000K	138 Type 1 (Medium)	138°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW13	2000 TC2000 (2000mA, 100° beam)	8000 2000mA	50K 5000K	139 Type 1 (Medium)	139°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW14	2500 TC2500 (2500mA, 100° beam)	10000 2500mA	50K 5000K	140 Type 1 (Medium)	140°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW15	3000 TC3000 (3000mA, 100° beam)	12500 3000mA	50K 5000K	141 Type 1 (Medium)	141°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW16	3500 TC3500 (3500mA, 100° beam)	14000 3500mA	50K 5000K	142 Type 1 (Medium)	142°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW17	4000 TC4000 (4000mA, 100° beam)	16000 4000mA	50K 5000K	143 Type 1 (Medium)	143°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW18	4500 TC4500 (4500mA, 100° beam)	17500 4500mA	50K 5000K	144 Type 1 (Medium)	144°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW19	5000 TC5000 (5000mA, 100° beam)	20000 5000mA	50K 5000K	145 Type 1 (Medium)	145°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW20	6000 TC6000 (6000mA, 100° beam)	24000 6000mA	50K 5000K	146 Type 1 (Medium)	146°			PR 180° remote-control light sensor, 1.30 MPH**	
DSXW21	7000 TC7000 (7000mA, 100° beam)	28000 7000mA	50K 5000K	147 Type 1 (Medium)	147°				

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1. At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, field oral testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
19. The contractor shall protect and maintain the operation and service of all other utilities and systems that are not being removed during the construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply for all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29. All materials and work shall conform to the state Department of Transportation standard specifications (latest edition, and any amendments or revisions thereto), unless otherwise specified in these plans.
30. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is being performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
31. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
32. The tops of existing manholes, inlet structures, and sanitary cleannout tops must be adjusted as necessary, to match proposed grades.
33. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footings/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
34. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
- Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with slit joint joints.
- RCP Class V pipe shall be used in paved areas with less than 1 ft. of cover or in locations noted on the plans.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for slit joint joints.
- Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
35. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
36. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
37. Sewers crossing streams and/or location within 10 feet of the stream, embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontal. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer should be located so that all joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.



































3. Contractor's price for water service must include all fees, costs and allowances required by the utility to provide full and complete working service.
39. Contractor must contact the applicable water company to confirm the proper water meter and vault prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
40. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection, and approval of completed work with the agency having jurisdiction over the proposed work.
41. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
42. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
43. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
44. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
45. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
46. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
47. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
48. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
49. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

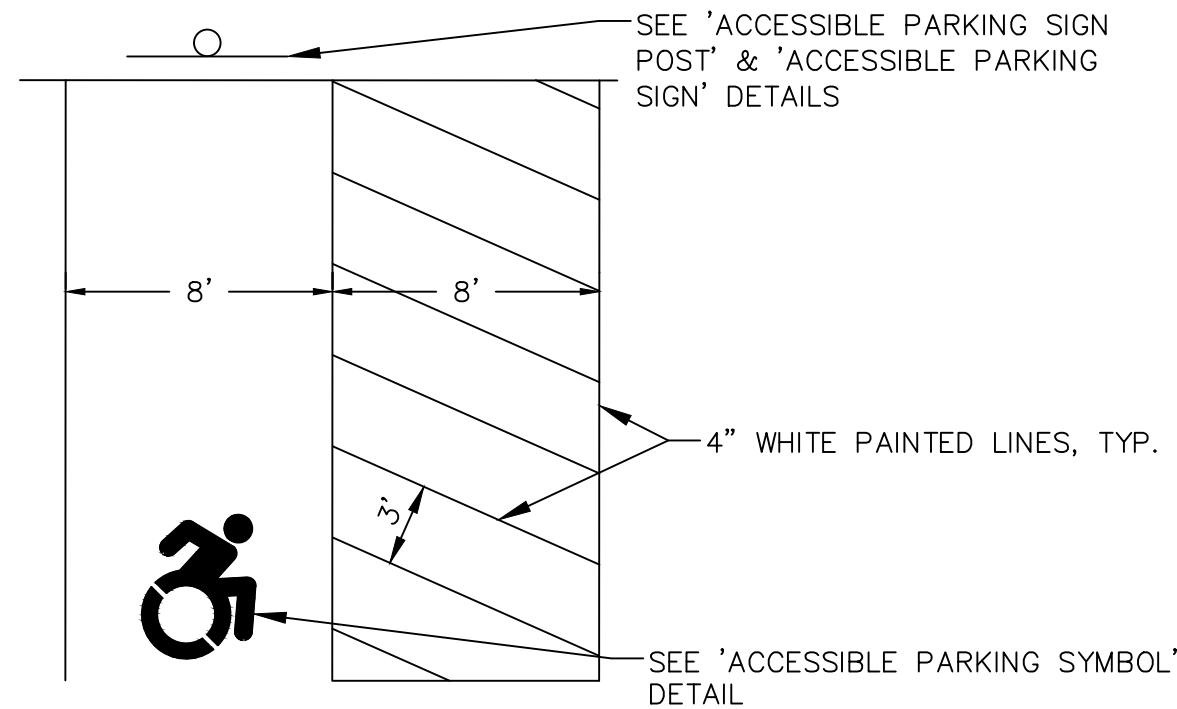
The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

PROPERTY OWNER:
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SOUTH WINDSOR, CT 06074

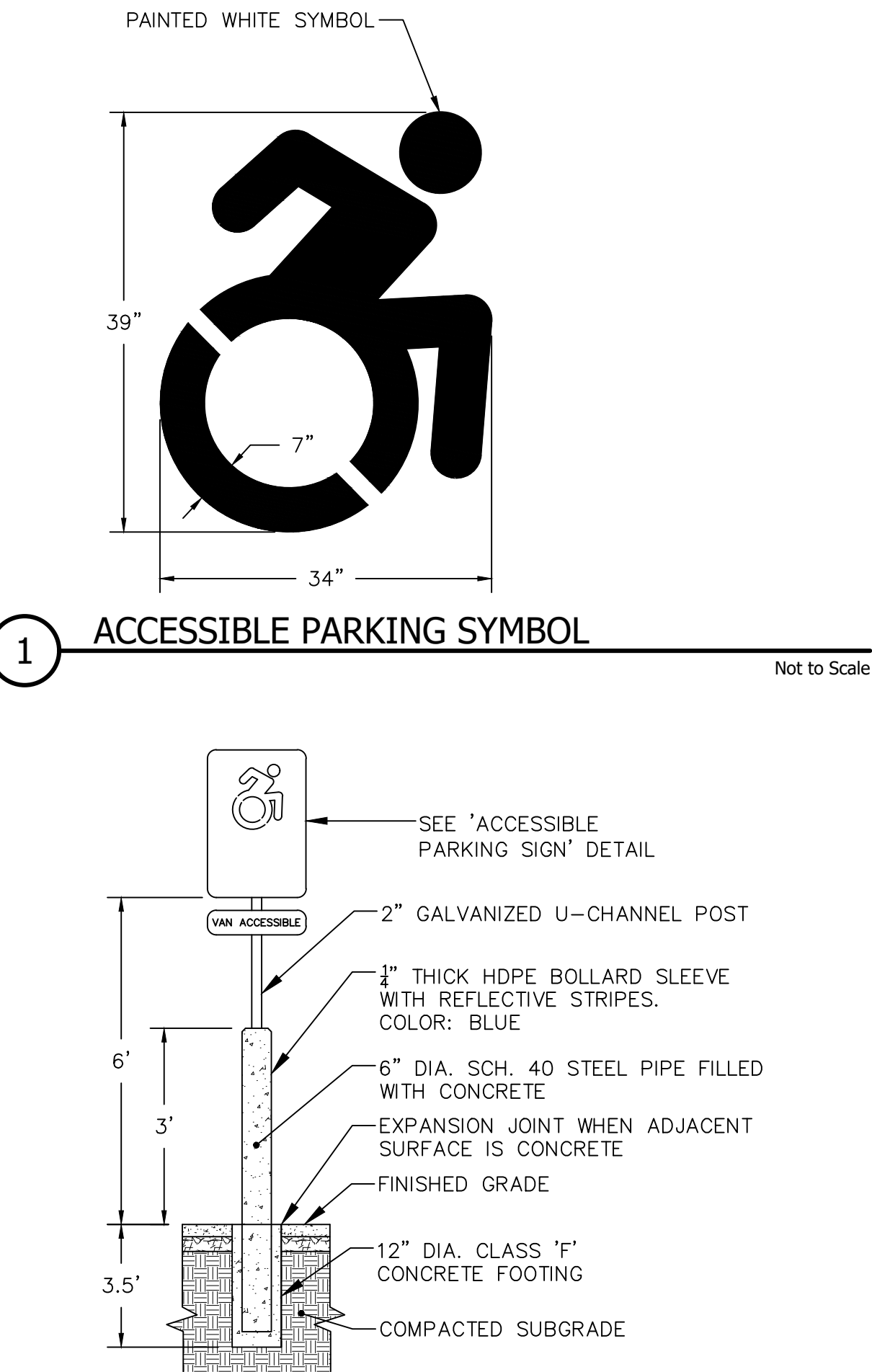
APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 500
SOUTH WINDSOR, CT 06074

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	BORING / TEST PIT LOCATION	
COMMUNICATION		
— C _u —	UNDERGROUND COMMUNICATION LINES	— C —
DOMESTIC WATER		
— W _u —	WATER MAIN	— W —
— WS _u —	WATER SERVICE	— WS —
— F _u —	FIRE SERVICE LINE	— F —
— NPW _u —	NON-POTABLE WATER LINE	— NPW —
	WATER VALVE / FIXTURES	  
	FIRE HYDRANT	
LIQUID FUEL		
— LF _u —	MAIN LIQUID FUEL LINE	— LF —
— LFS _u —	LIQUID FUEL SERVICE LINE	— LFS —
— L _u —	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
— I _u —	IRRIGATION LINES	— I —
LIGHTING		
 / 	POLE / GROUND MOUNTED LIGHT	 / 
NATURAL GAS		
— G _u —	GAS MAIN	— G —
— GS _u —	GAS SERVICE LINE	— GS —
POWER		
— E _u —	ELECTRICAL LINES, OVERHEAD	— E _O —
— E _u —	ELECTRICAL LINES, UNDERGROUND	— E _U —
	UTILITY POLE	
PROPERTY		
	PROPERTY LINE	
	EASEMENT LINE	
	IRON PIPE	
	IRON ROD	
	MONUMENT	
ROADS		
— G —	GUARD RAIL	 
EROSION CONTROL		
	SILT FENCE	— SF —
SITE FEATURES		
	4" DOUBLE SOLID YELLOW LINE	DSYL
	4" SINGLE SOLID WHITE LINE	SSWL
	BIT. CONC. LIP CURB	BCLC
	PRECAST CONCRETE CURB	PCC
SANITARY SEWER		
— S _u —	SANITARY SEWER MAIN	— S —
— SS _u —	SANITARY SEWER SERVICE LINE	— SS —
	SANITARY SEWER MANHOLE	
STORM SEWER		
	STORM DRAIN PIPE	
— RL _u —	ROOF LEADER	— RL —
— UD _u —	UNDERDRAIN	— UD —
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
— 95 —	CONTOUR	 95
× 61.95	SPOT ELEVATION	 95
OTHER		
	RAMP	R
	LANDSCAPE AREA	LSA



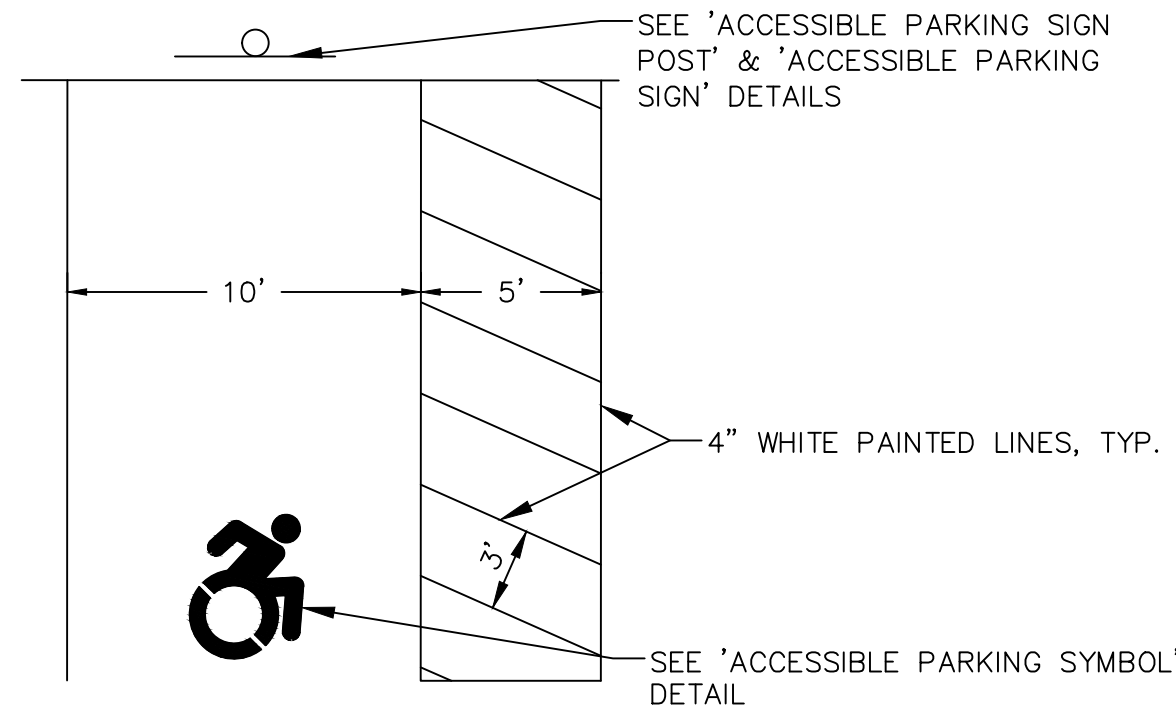
- NOTES:
1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

Not to Scale



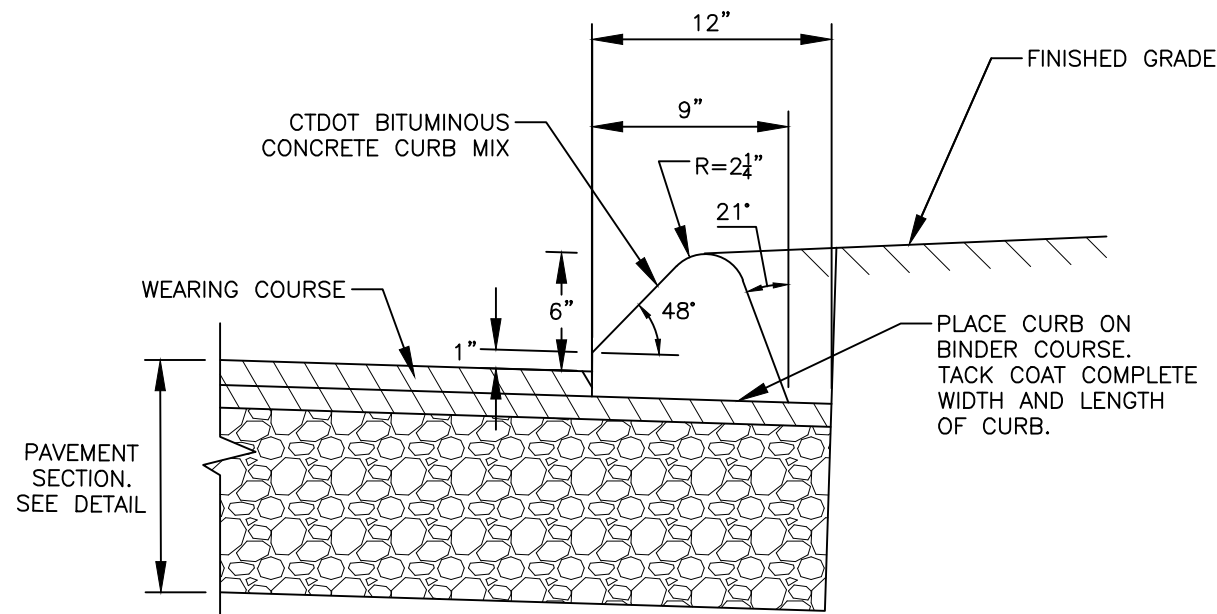
Not to Scale

-
- WHITE TEXT AND SYMBOL
- BLUE BACKGROUND
- INSTALL FOR VAN ACCESSIBLE SPACES ONLY
- VIOLATORS WILL BE FINED MIN \$150
- VAN ACCESSIBLE
- e

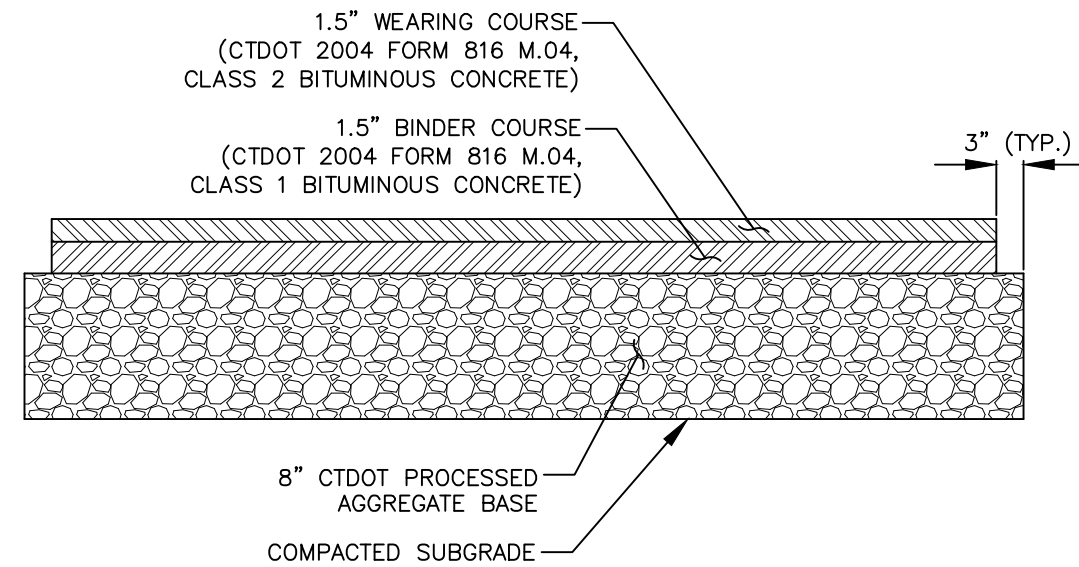


- NOTES:
1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

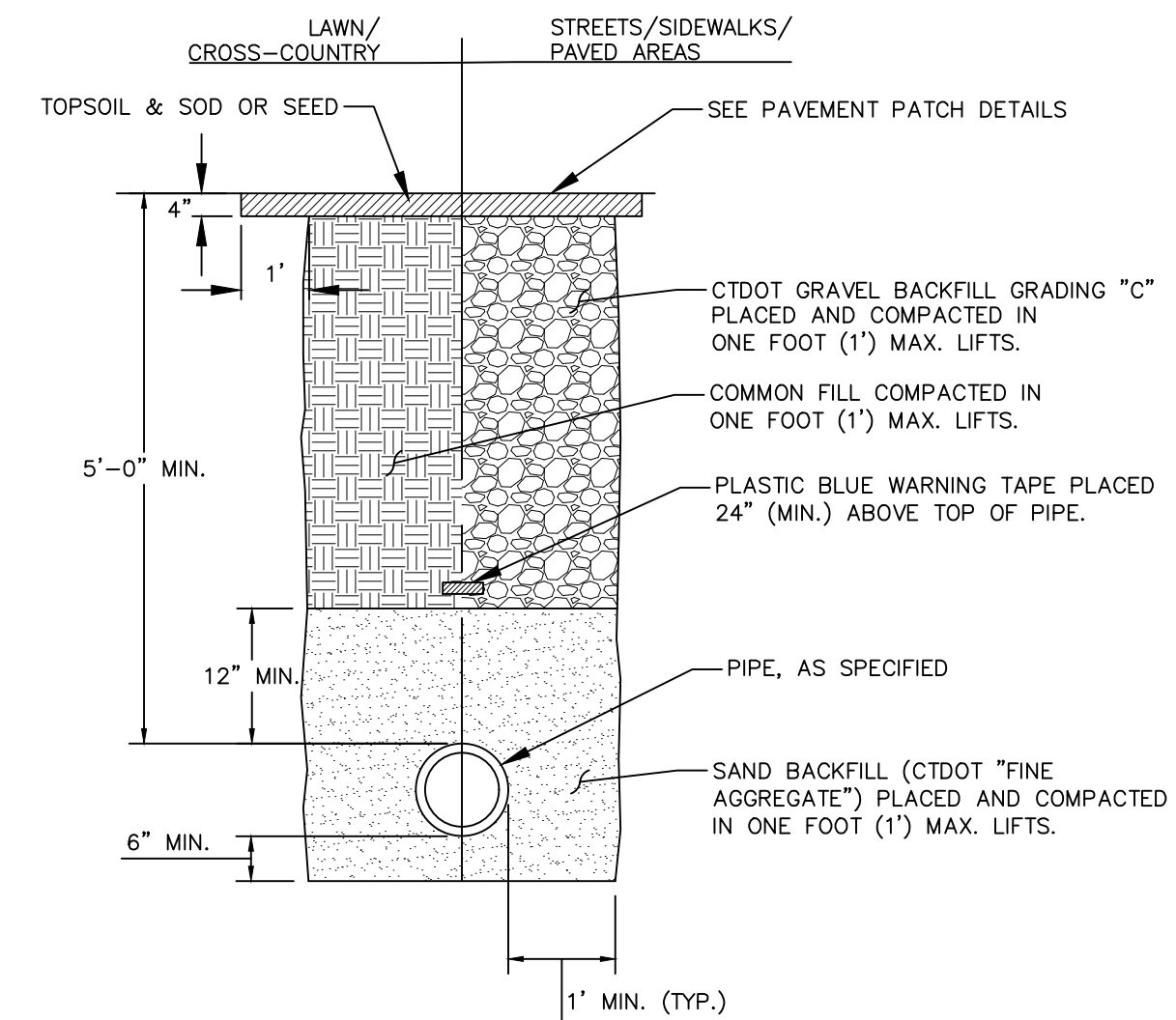
Not to Scale



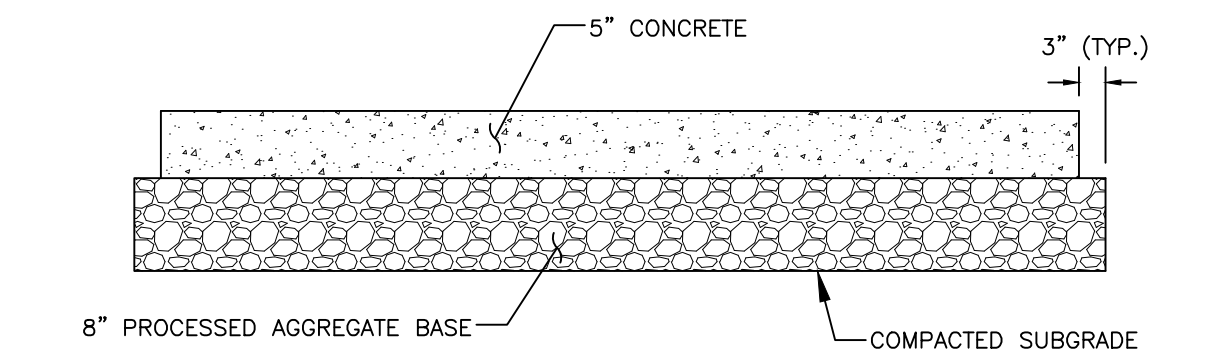
1 BITUMINOUS CONCRETE LIP CURB Not to Scale



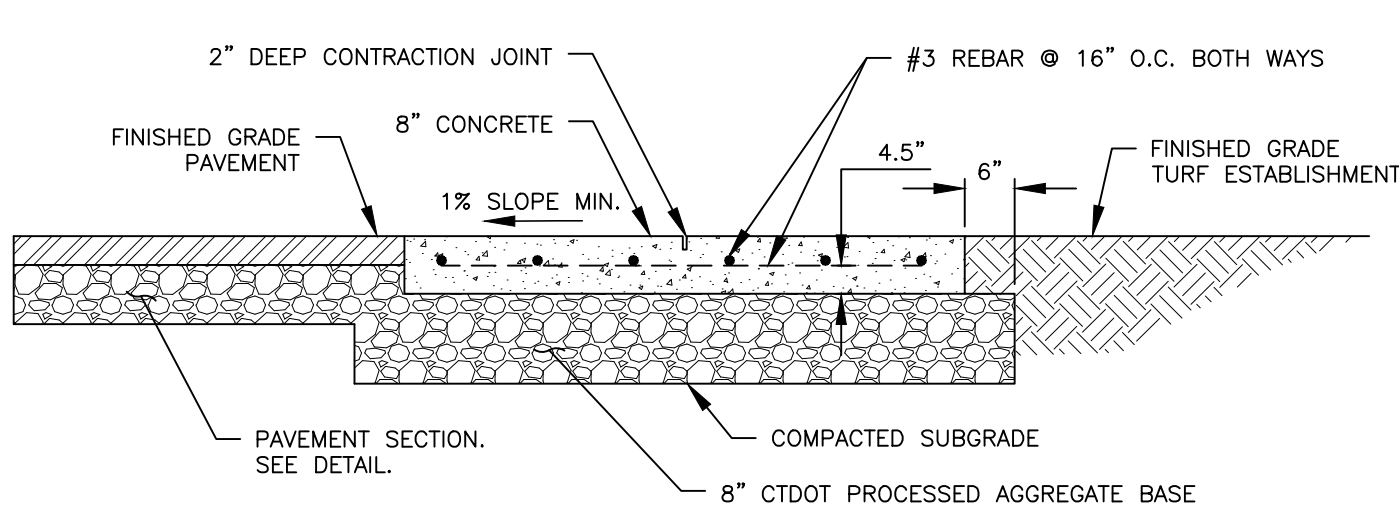
2 BITUMINOUS CONCRETE PAVEMENT SECTION - STANDARD DUTY Not to Scale



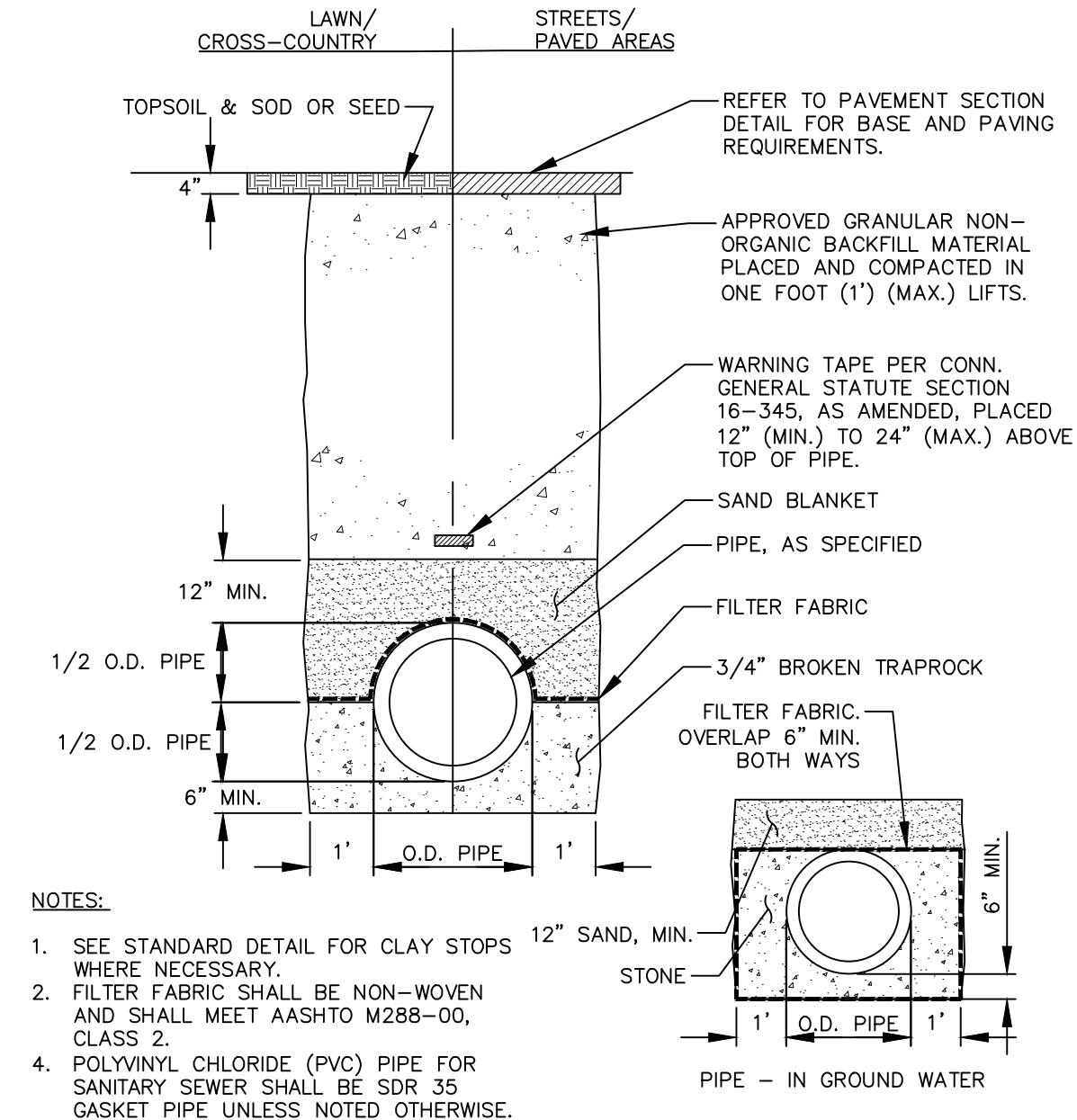
3 WATER SERVICE TRENCH SECTION Not to Scale



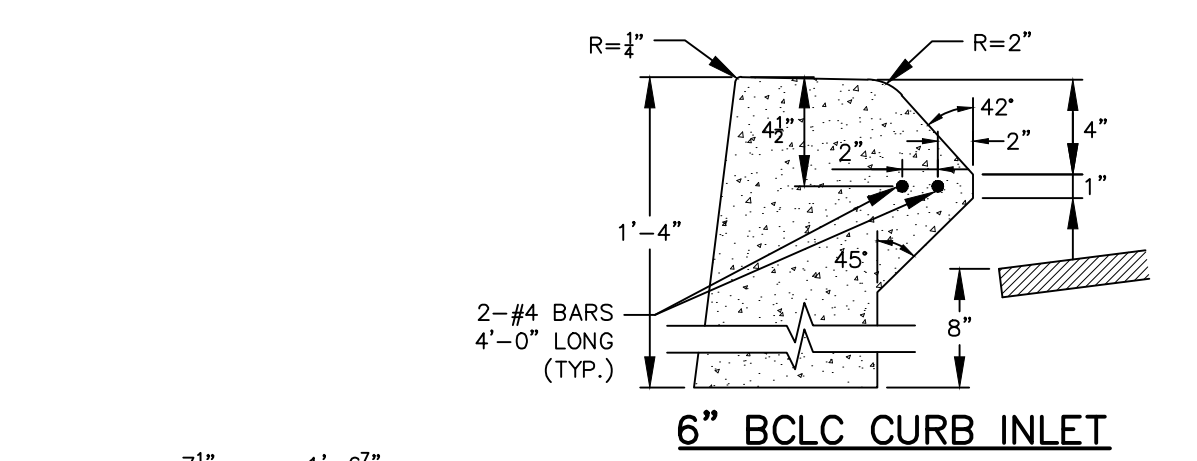
4 CONCRETE SIDEWALK SECTION - STANDARD DUTY Not to Scale



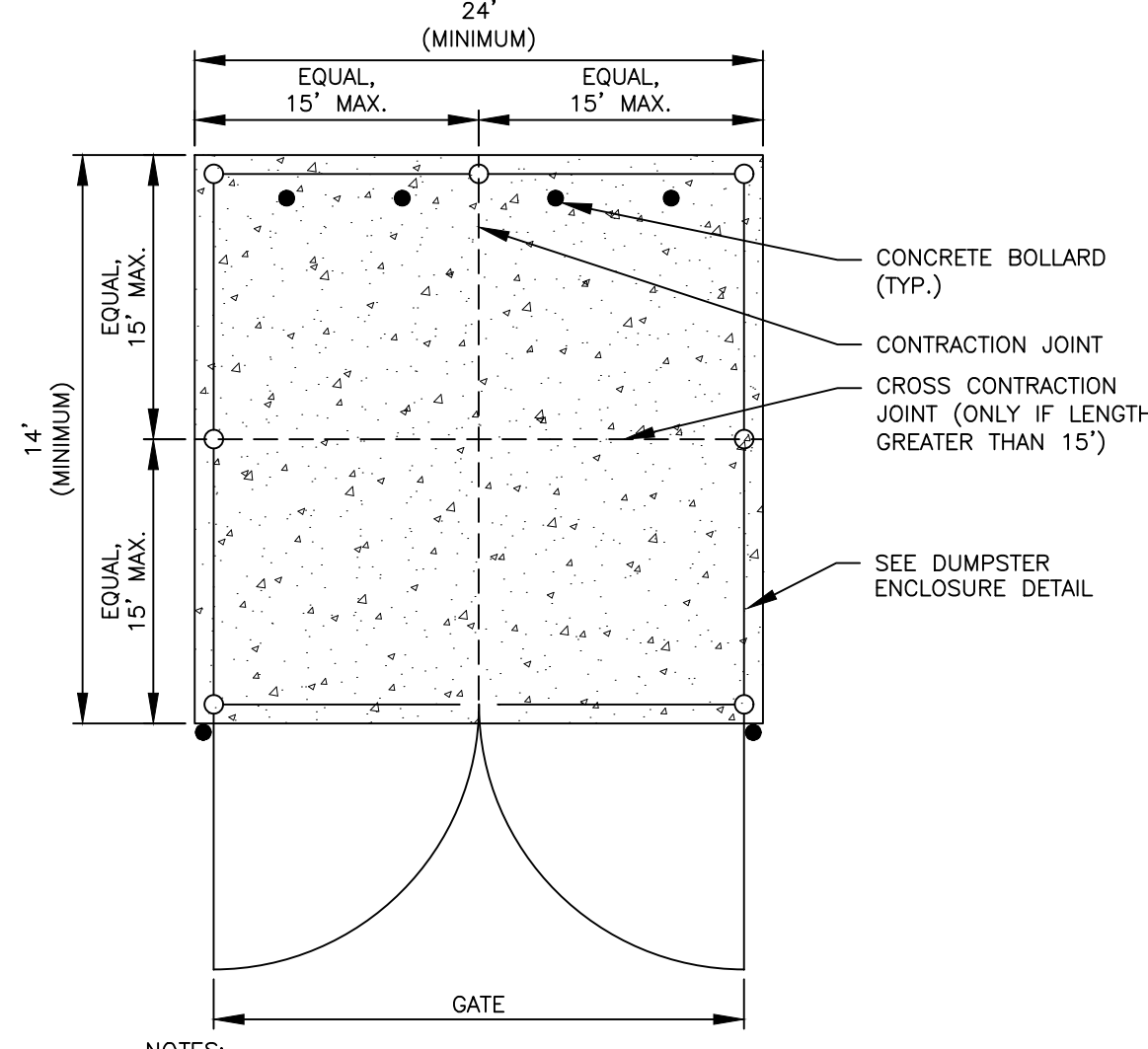
5 DUMPSTER PAD SECTION Not to Scale



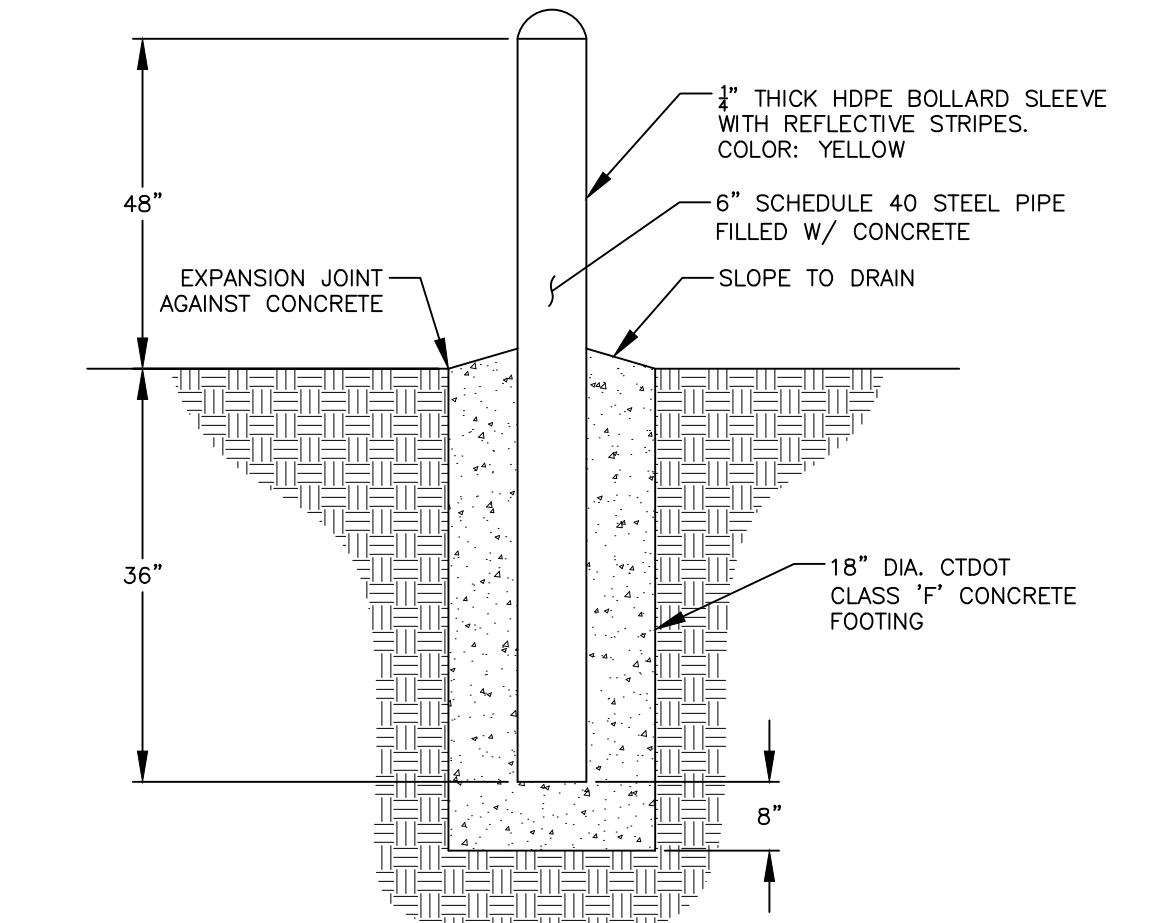
6 SANITARY SEWER TRENCH SECTION Not to Scale



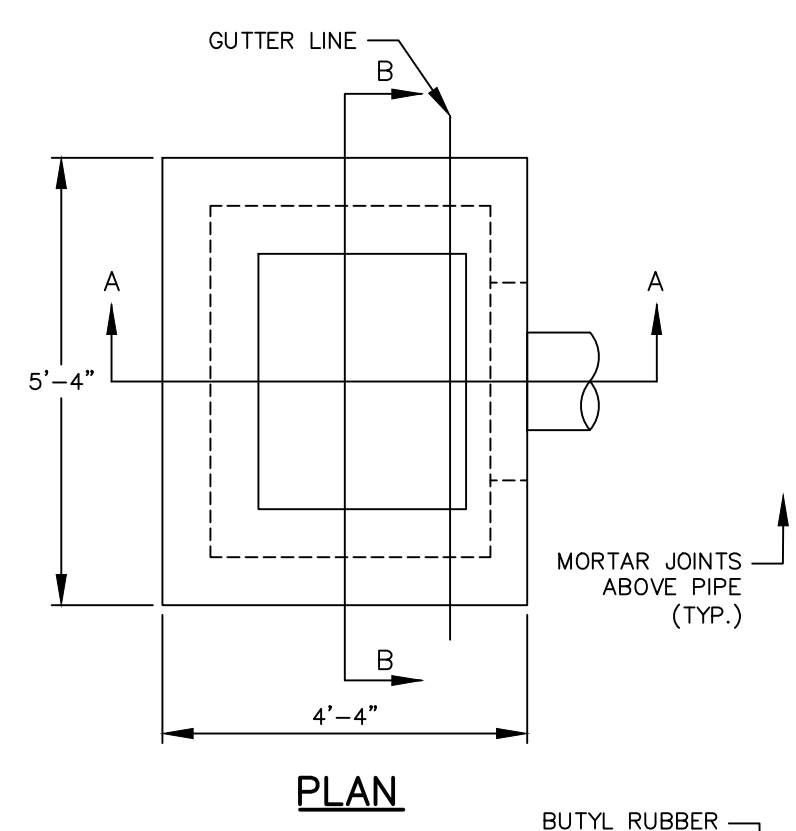
7 STANDARD CATCH BASIN TOPS Not to Scale



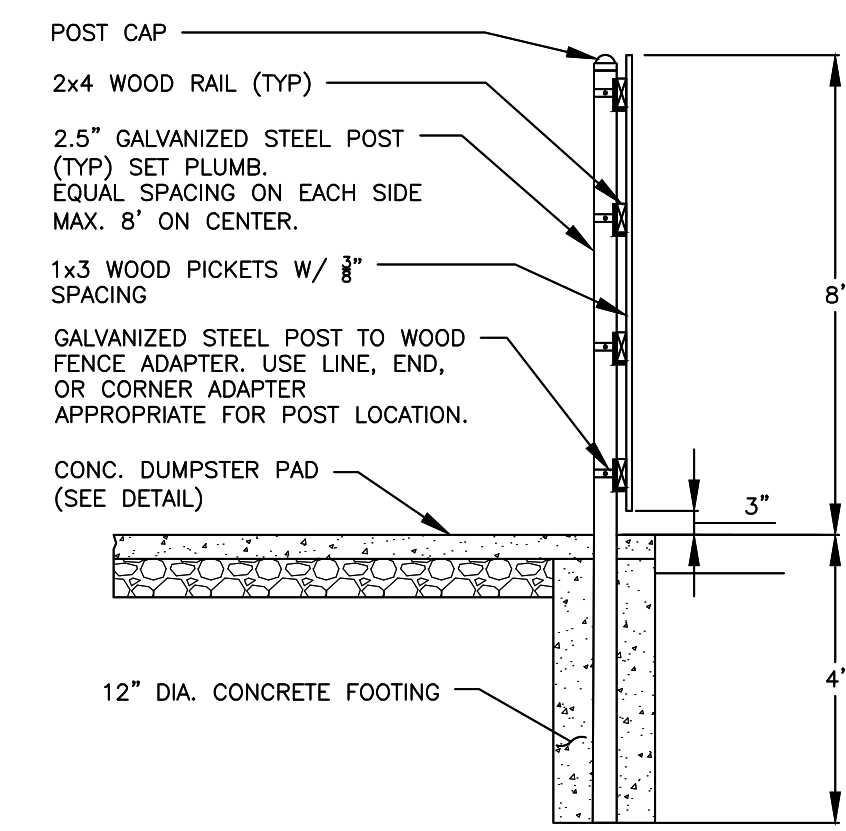
8 DUMPSTER PAD PLAN Not to Scale



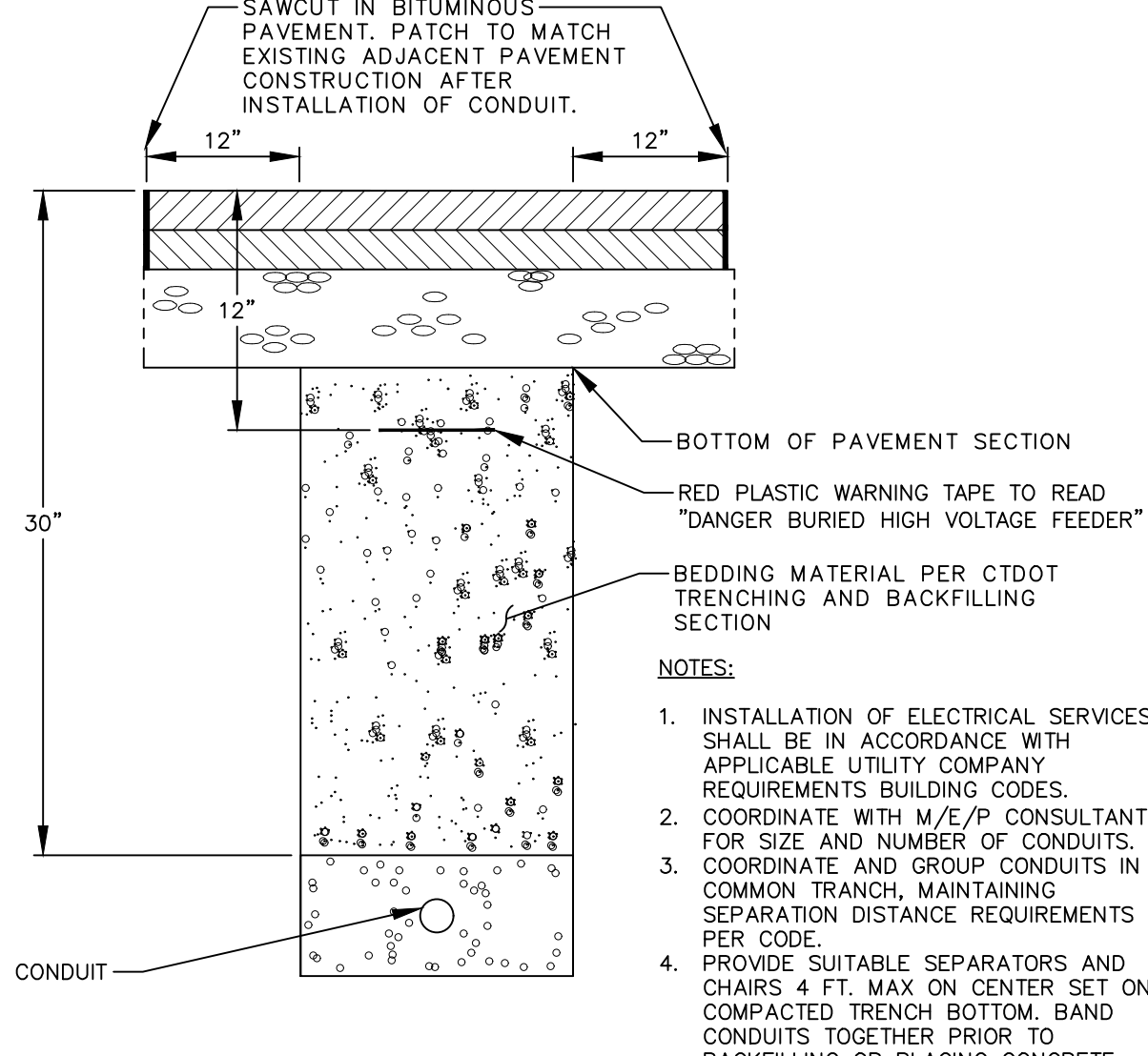
9 CONCRETE BOLLARD Not to Scale



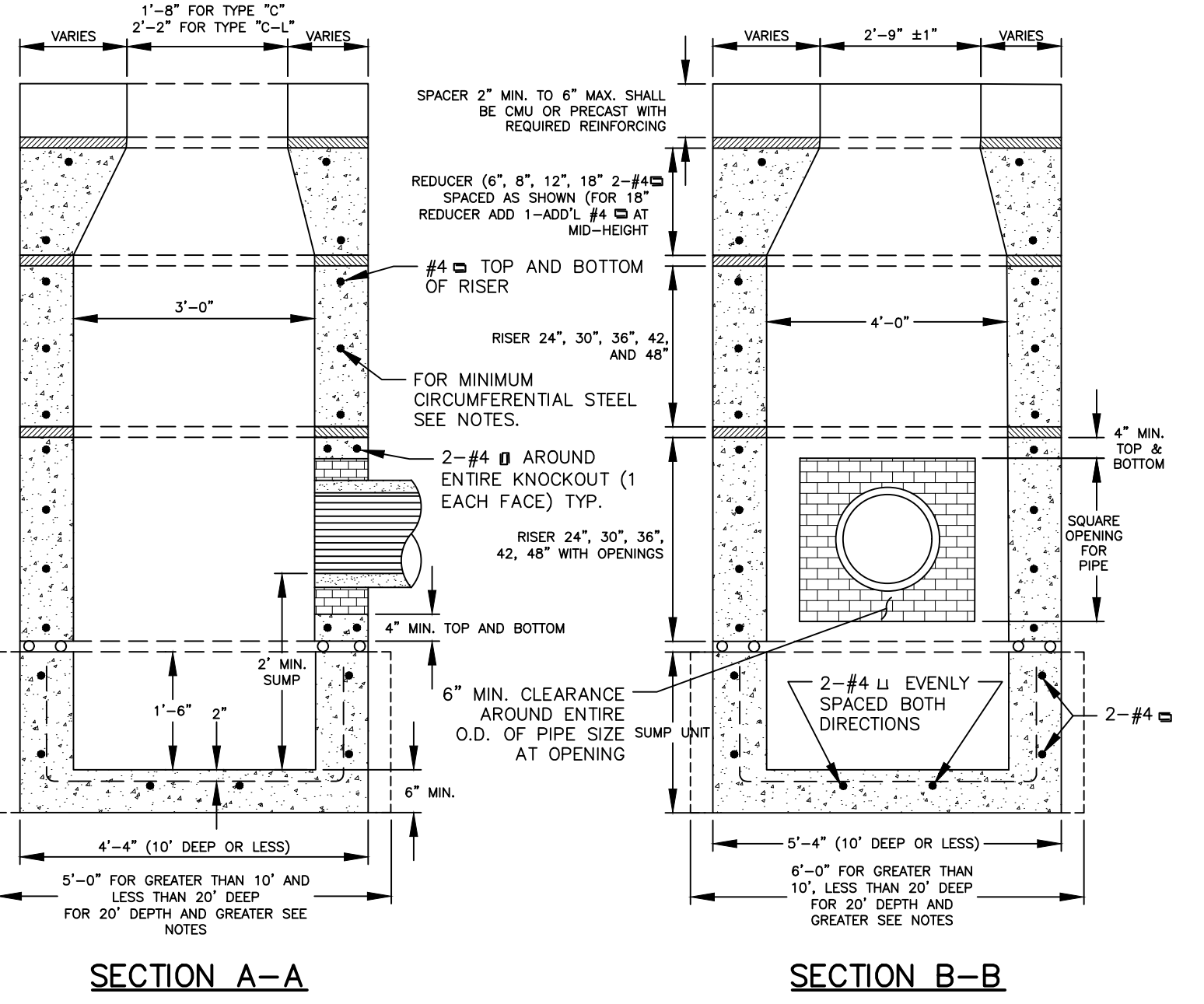
10 PRECAST CONCRETE TYPE "C" AND "C-L" CATCH BASIN Not to Scale



11 DUMPSTER ENCLOSURE SECTION Not to Scale



12 ELECTRIC / TELECOMMUNICATIONS TRENCH Not to Scale



PROPERTY OWNER:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

APPLICANT:
TRIO INVESTMENT PROPERTIES LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT 06074

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PROJECT NO.	06074	DATE	4/10/23
PREPARED FOR	TRIO INVESTMENT PROPERTIES LLC	DESIGNED BY	BKM/CMM
	85 FELT ROAD, UNIT 504	CHECKED BY	BKM/CMM
	SOUTH WINDSOR, CT	DATE	6/21/23

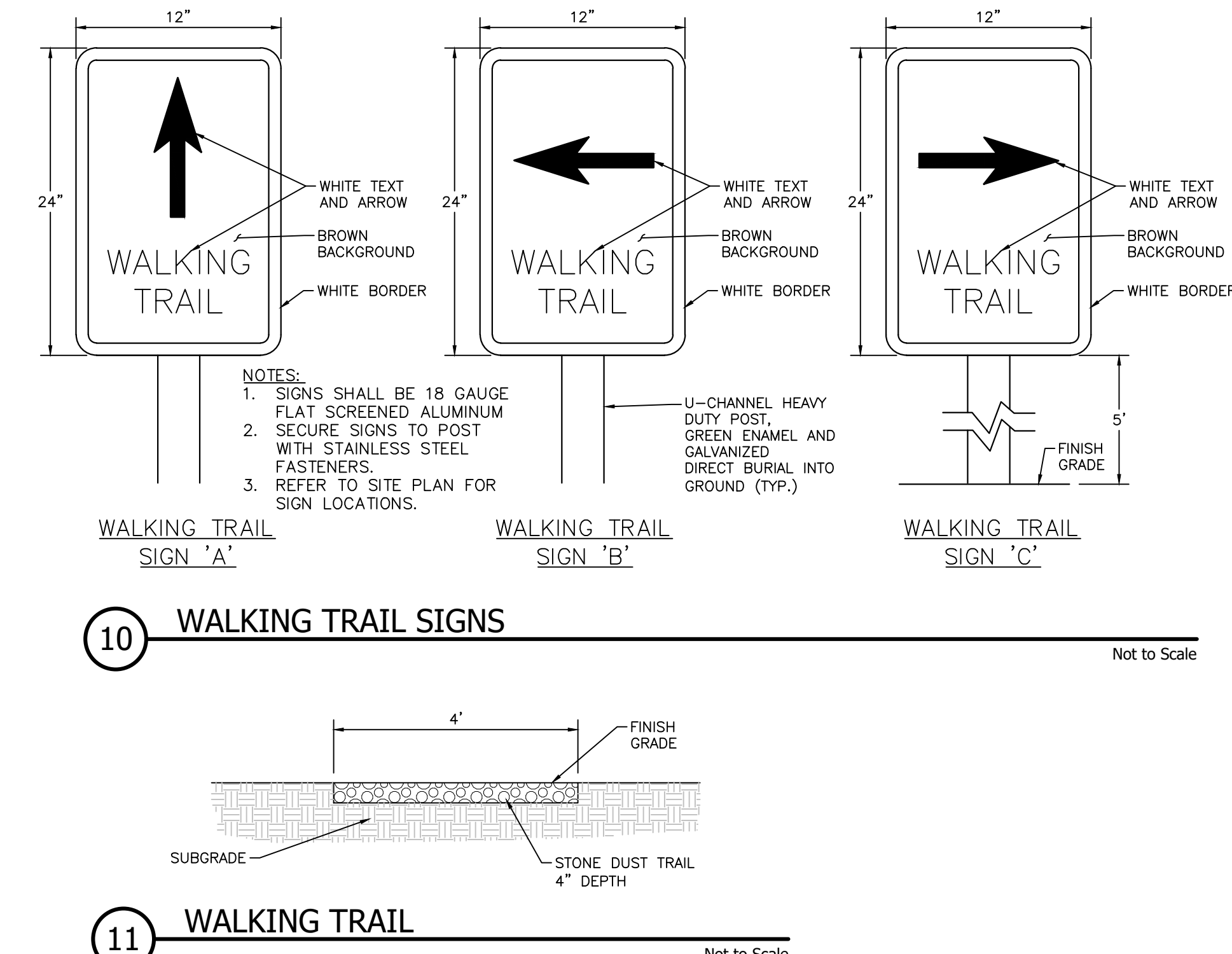
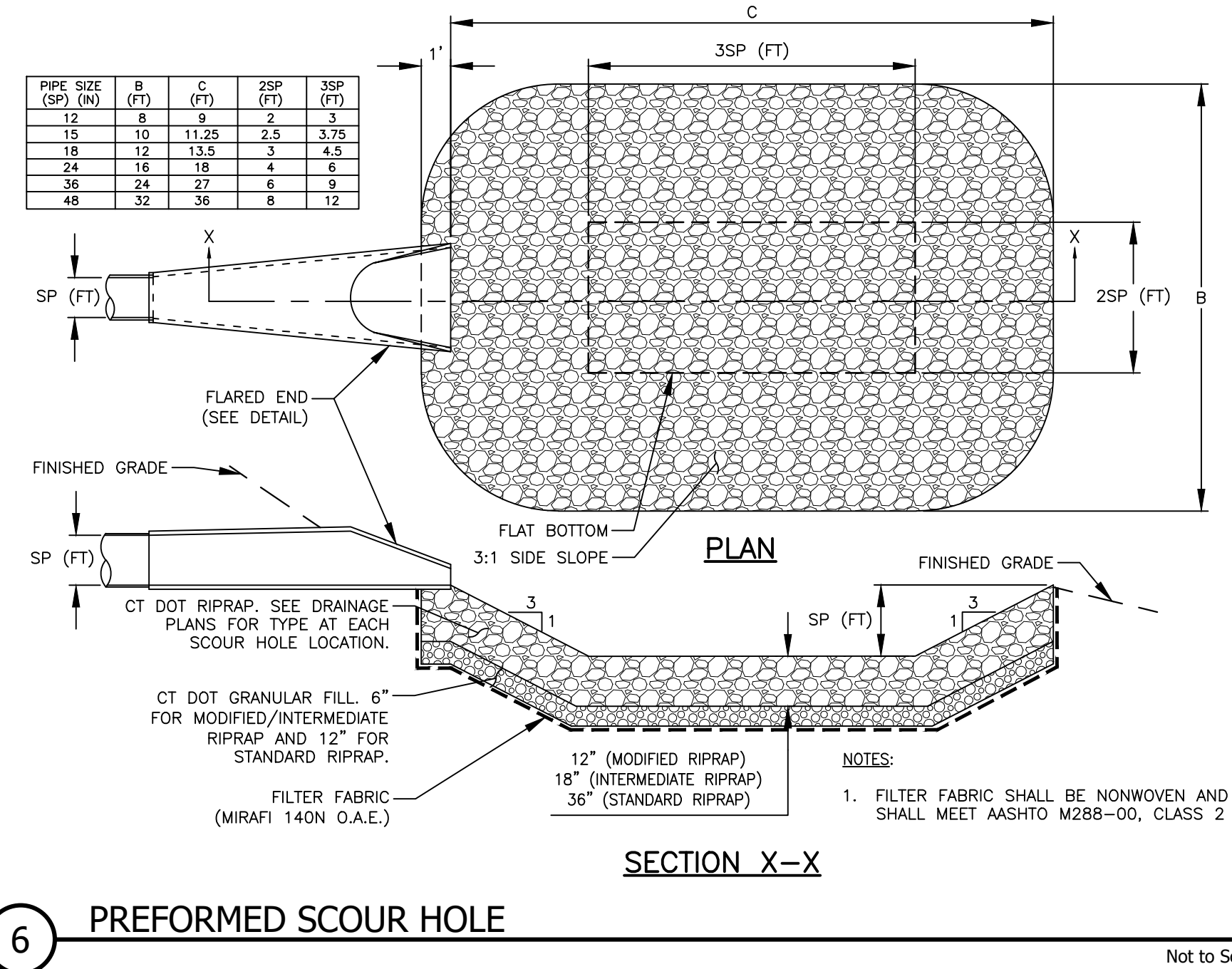
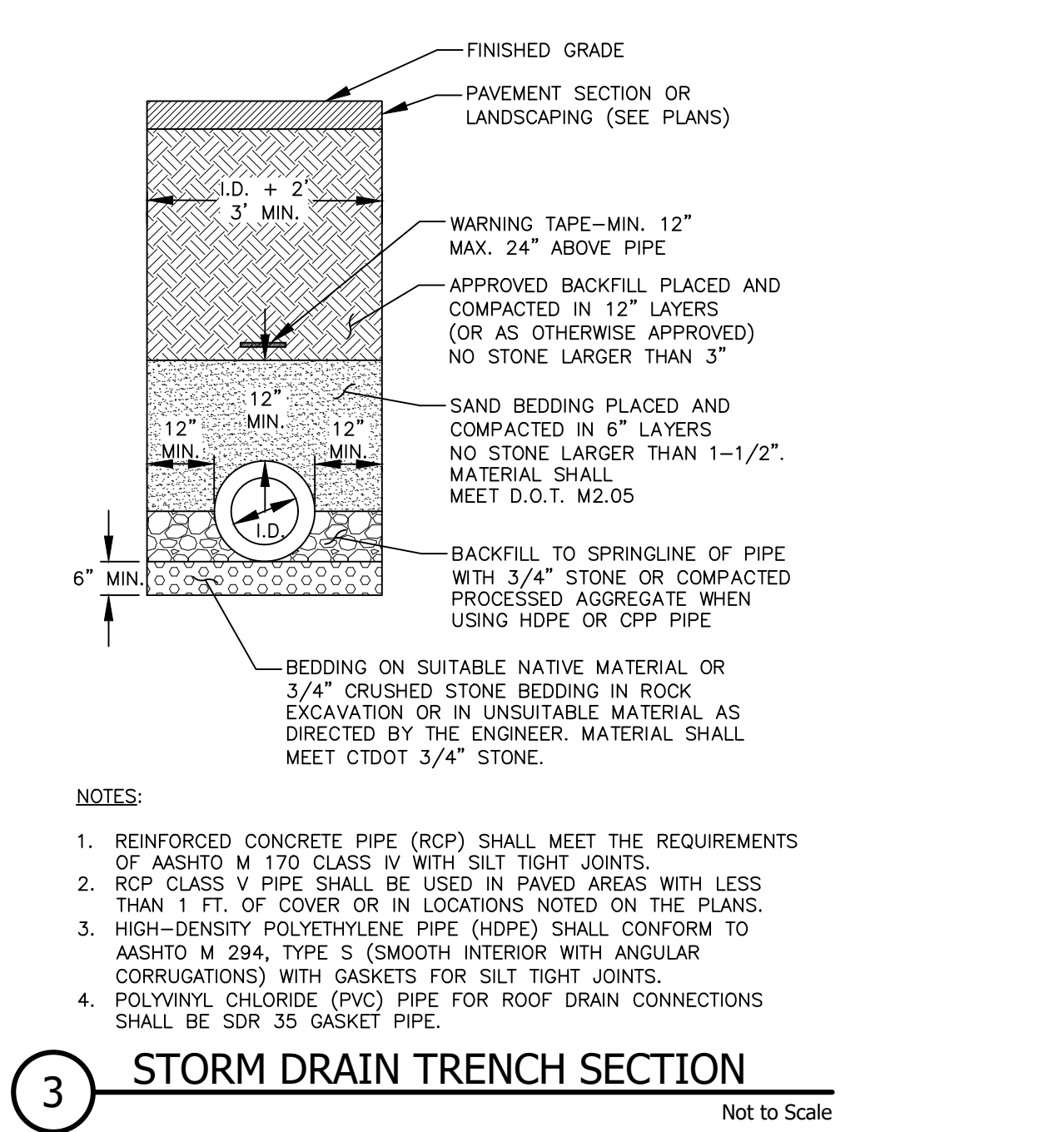
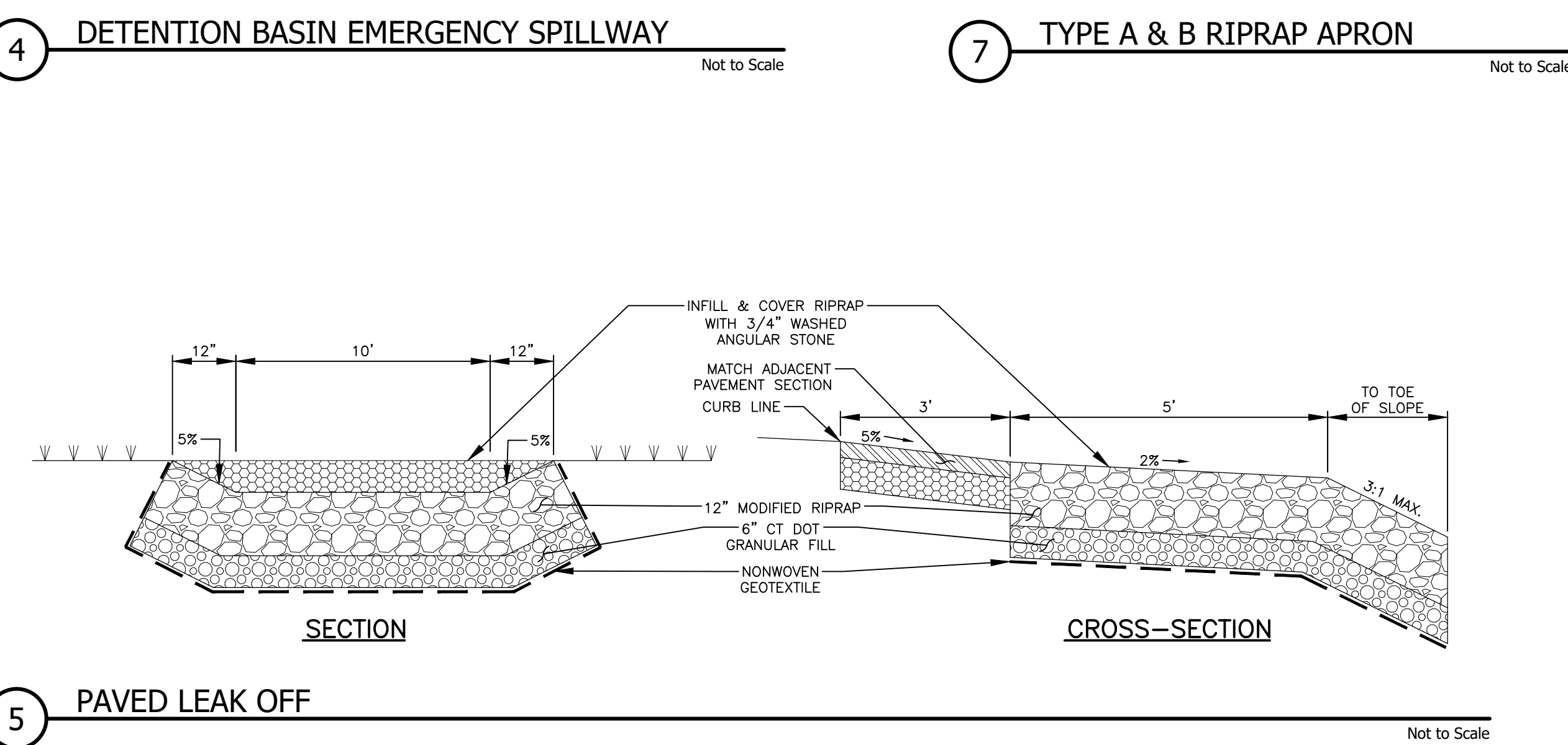
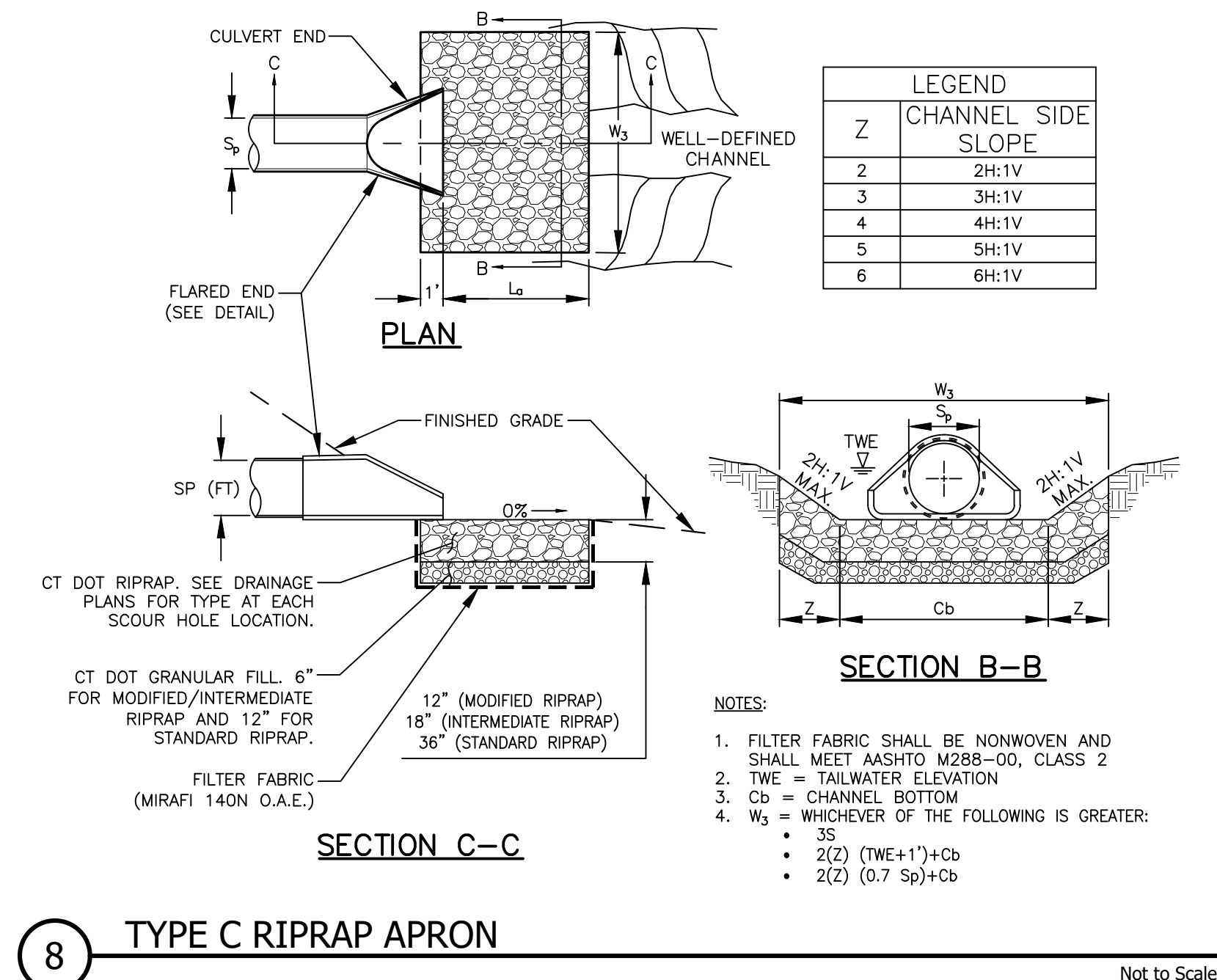
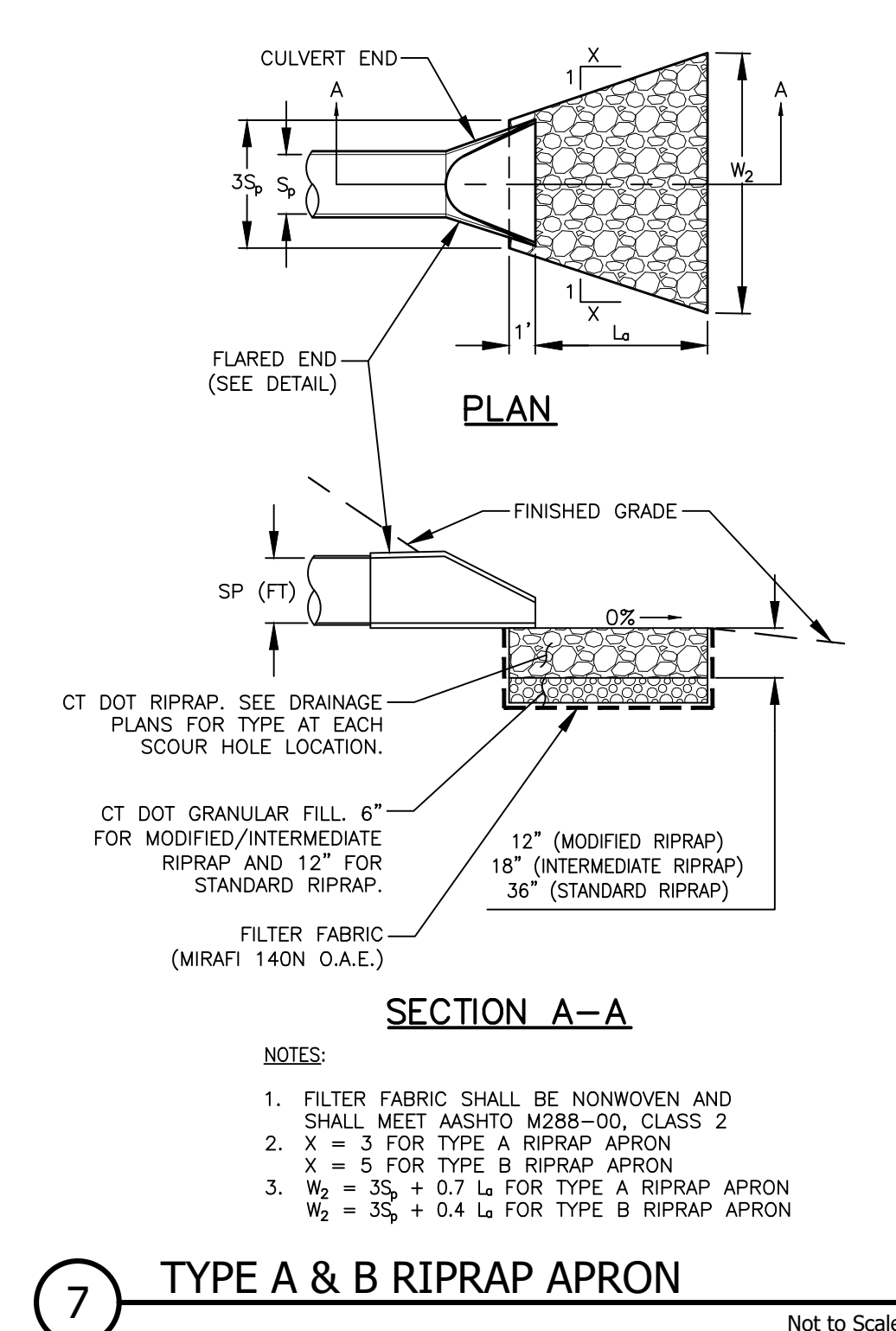
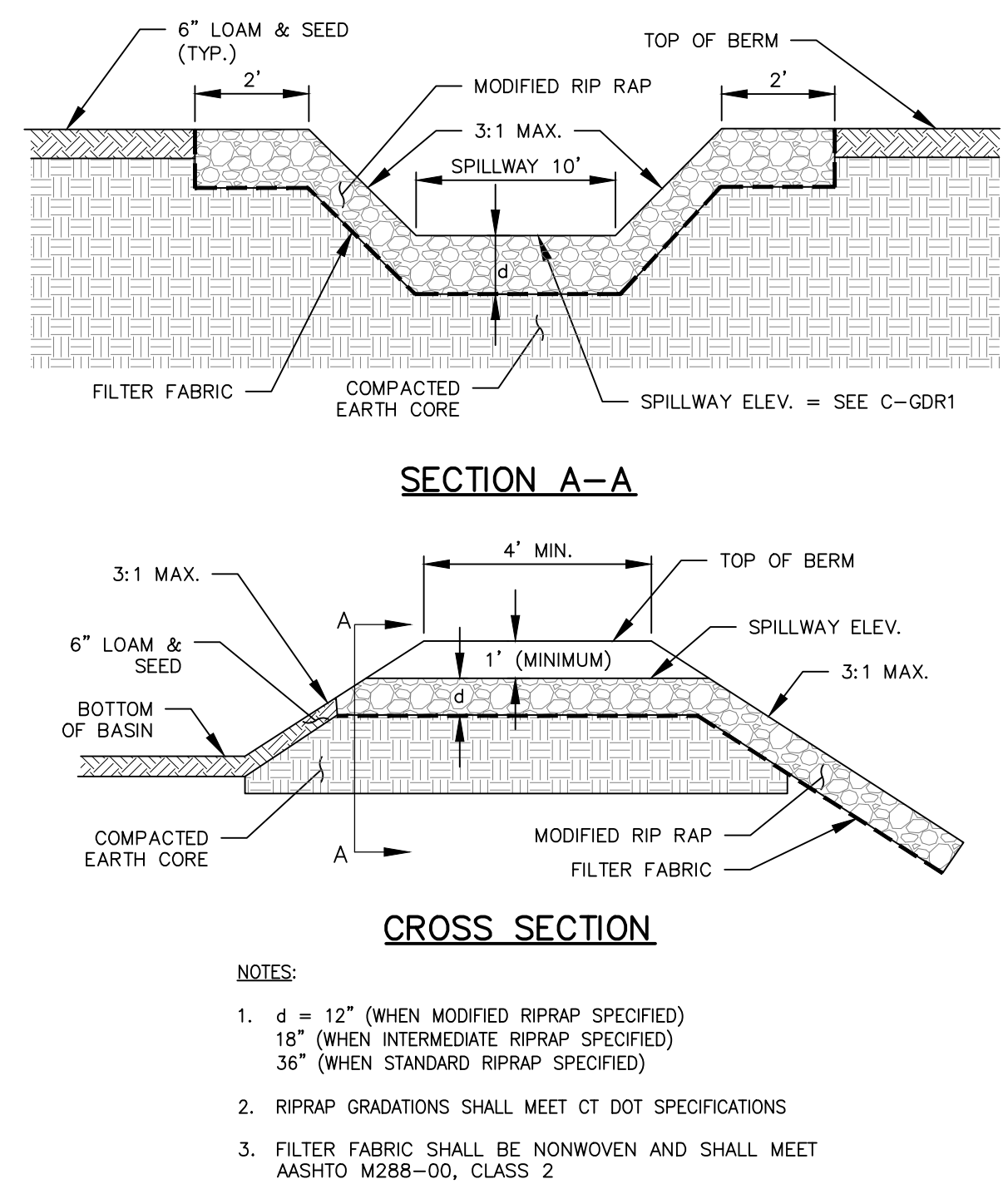
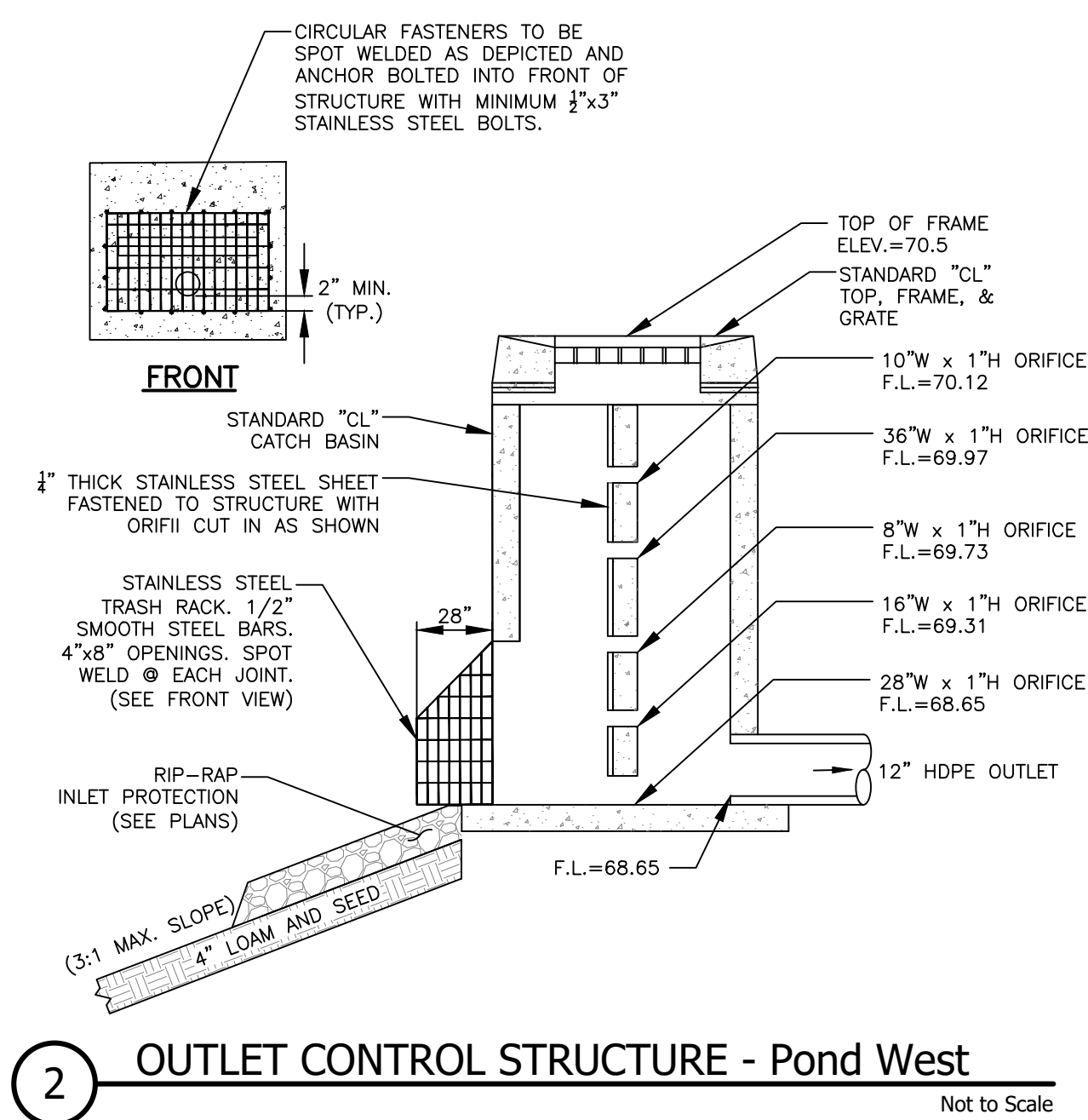
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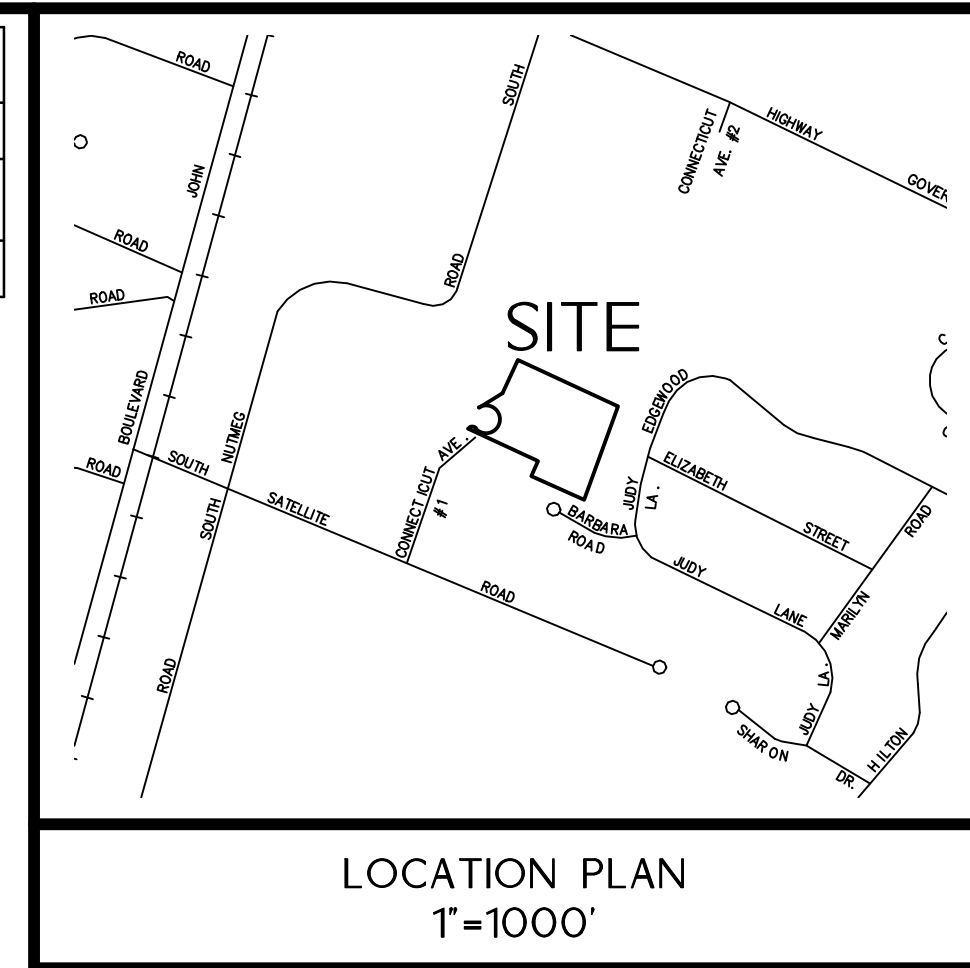
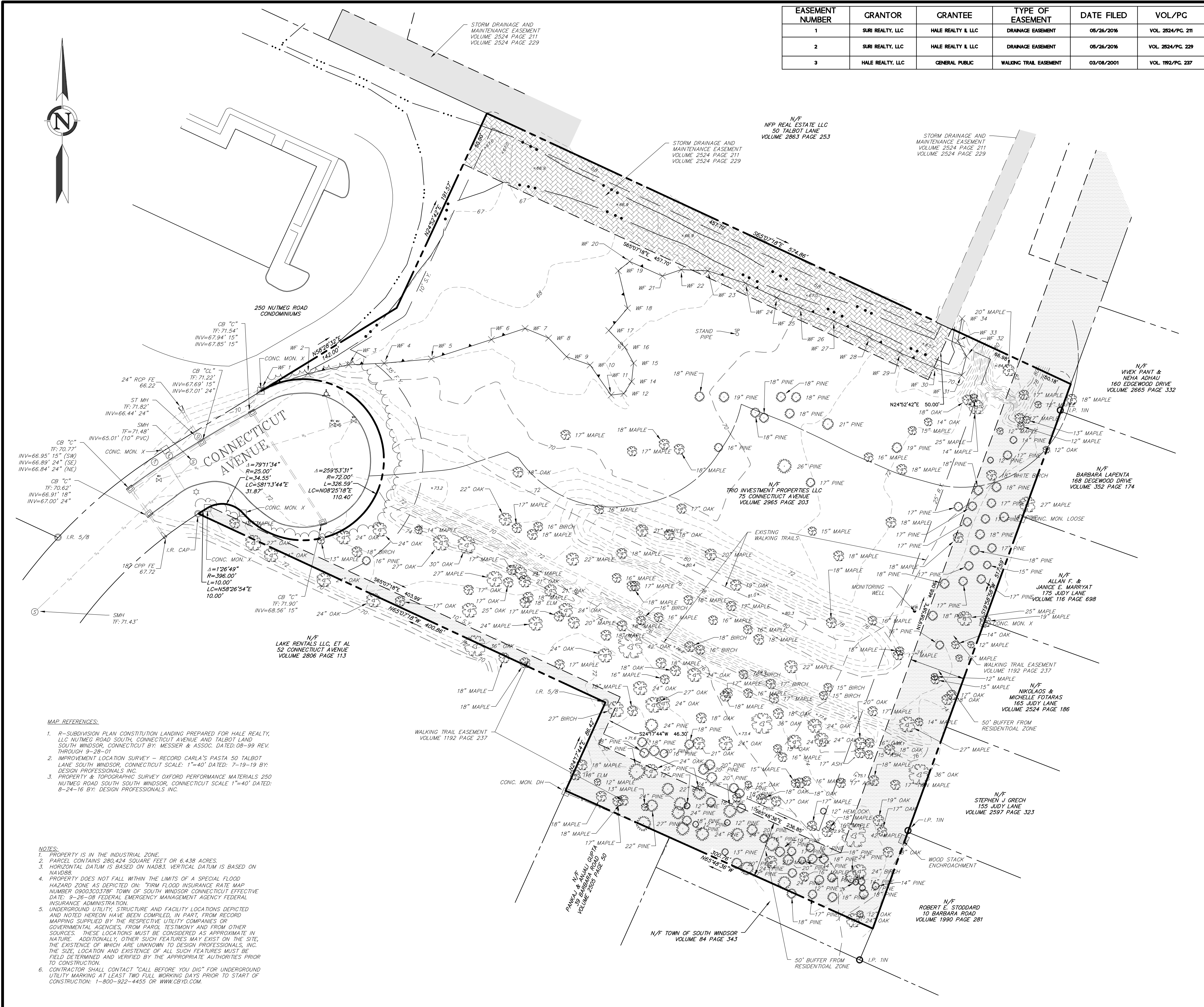
75 CONNECTICUT AVENUE
SOUTH WINDSOR, CONNECTICUT 06074

NO.	DATE	REVISIONS	BY
1	4/10/23	ADD WALKWAY AND EXISTING TREES	CMM
2	6/2/23	TOWN STAFF COMMENTS	CMM
3	6/21/23	TOWN STAFF COMMENTS	CMM

DETAILS

SHEET
C-D2
SHEET 13 OF 14





LEGEND	
EXISTING	DESCRIPTION
COMMUNICATION	
— C ₄ —	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
— C ₄ —	APPROX. UNDERGROUND COMMUNICATION LINES
DOMESTIC WATER	
— W ₄ —	APPROX. WATER MAIN
— W ₄ —	APPROX. WATER SERVICE
— W ₄ —	WATER VALVE
— W ₄ —	FIRE HYDRANT
NATURAL GAS	
— G ₄ —	GAS VALVE
— G ₄ —	APPROX. GAS MAIN
— G ₄ —	APPROX. GAS SERVICE LINE
POWER	
— E ₄ —	ELECTRICAL LINES, OVERHEAD
— E ₄ —	APPROX. ELECTRICAL LINES, UNDERGROUND
— E ₄ —	UTILITY POLE
— E ₄ —	UTILITY POLE WITH LIGHT
— E ₄ —	UTILITY POLE WITH TRANSFORMER
PROPERTY	
— P ₄ —	PROPERTY LINE
— P ₄ —	EASEMENT LINE
— P ₄ —	IRON PIPE
— P ₄ —	IRON ROD
— P ₄ —	MONUMENT
SITE FEATURES	
— S ₄ —	EDGE OF WATER
— S ₄ —	BARBED WIRE FENCE
— S ₄ —	CHAIN LINK FENCE
— S ₄ —	STOCKADE FENCE
— S ₄ —	STONE WALL
— S ₄ —	TREE
— S ₄ —	TREE LINE
SANITARY SEWER	
— S ₄ —	APPROX. SANITARY SEWER MAIN
— S ₄ —	APPROX. SANITARY SEWER SERVICE LINE
— S ₄ —	SANITARY SEWER MANHOLE
— S ₄ —	SEWER CLEAN OUT
STORM SEWER	
— S ₄ —	APPROX. STORM DRAIN PIPE
— S ₄ —	STORM DRAIN MANHOLE
— S ₄ —	CATCH BASIN
TOPOGRAPHY	
— T ₄ —	CONTOUR
— T ₄ —	SPOT ELEVATION
WETLANDS	
— W ₄ —	WETLANDS LINE

SURVEY NOTES:

THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF THE CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON REFERENCED MAPS.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S.

12327
LIC. NO.

EASEMENT NUMBER	GRANTOR	GRANTEE	TYPE OF EASEMENT	DATE FILED	VOL/PG
1	SURI REALTY, LLC	HALE REALTY II, LLC	DRAINAGE EASEMENT	05/26/2016	VOL. 2524/PG. 211
2	SURI REALTY, LLC	HALE REALTY II, LLC	DRAINAGE EASEMENT	05/26/2016	VOL. 2524/PG. 229
3	HALE REALTY, LLC	GENERAL PUBLIC	WALKING TRAIL EASEMENT	03/08/2001	VOL. 1192/PG. 237

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PREPARED FOR:

TRIO INVESTMENT PROPERTIES, LLC
85 FELT ROAD, UNIT 504
SOUTH WINDSOR, CT

PROJECT NO:

4610

DATE:

4-12-21

DESIGN BY:

BRUCE

CHECKED BY:

LEG

BY:

MHA

SK

REVISIONS

NO.	DATE	UPDATE TITLE
1	2/17/23	TO SHOW LOCATION OF SIGNIFICANT TREES
2	03-17-23	

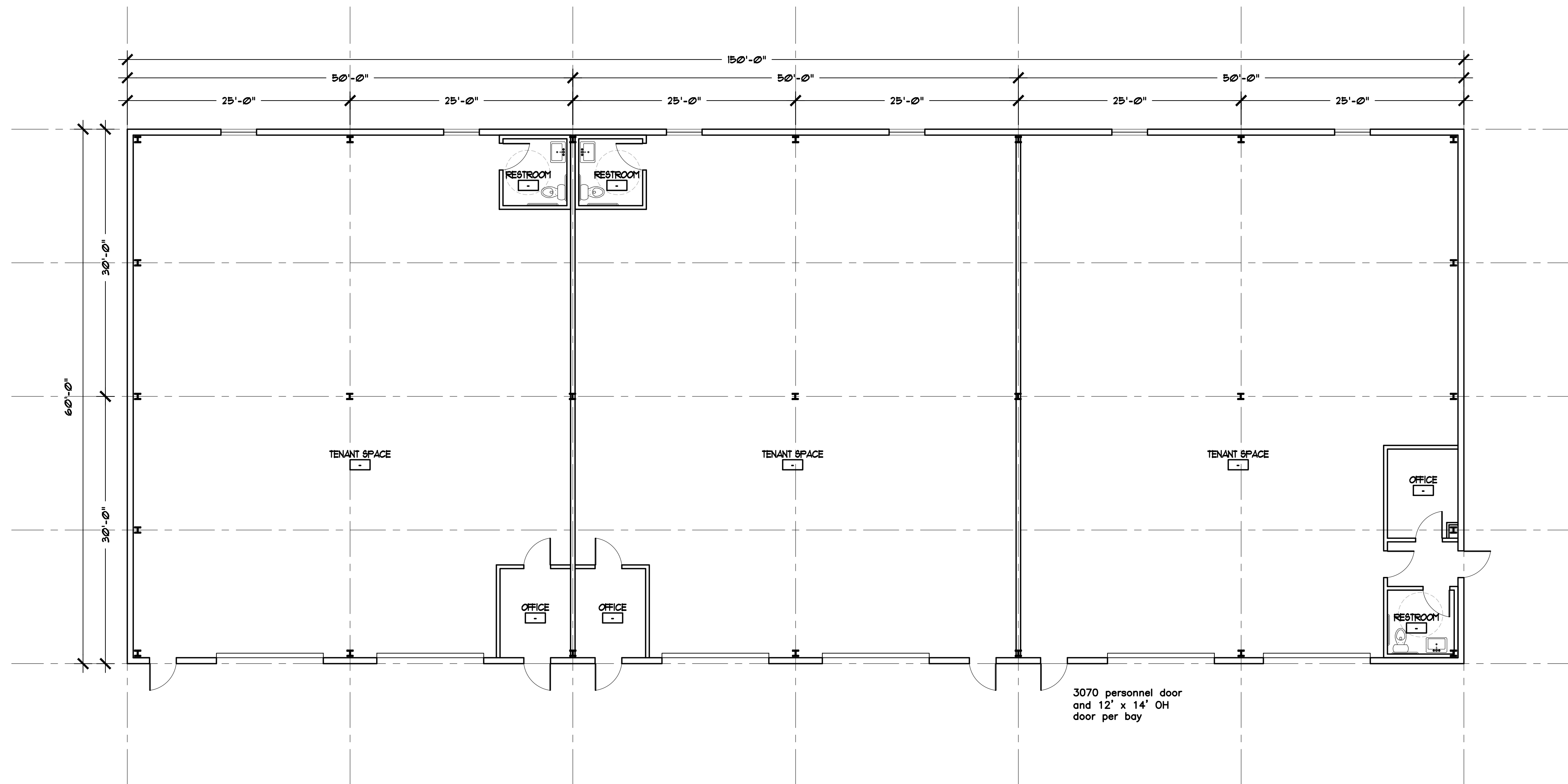
PROPERTY & TOPOGRAPHIC SURVEY

SCALE: 0' 20' 40' 80'

1" = 40'

SHEET

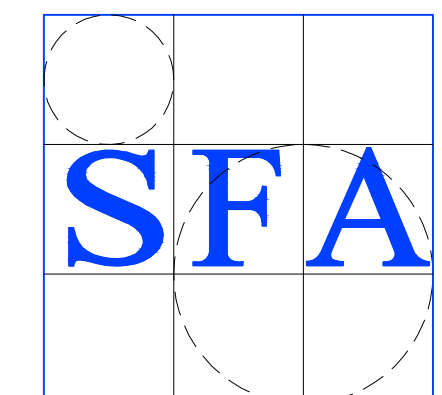
V-1



WEST
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

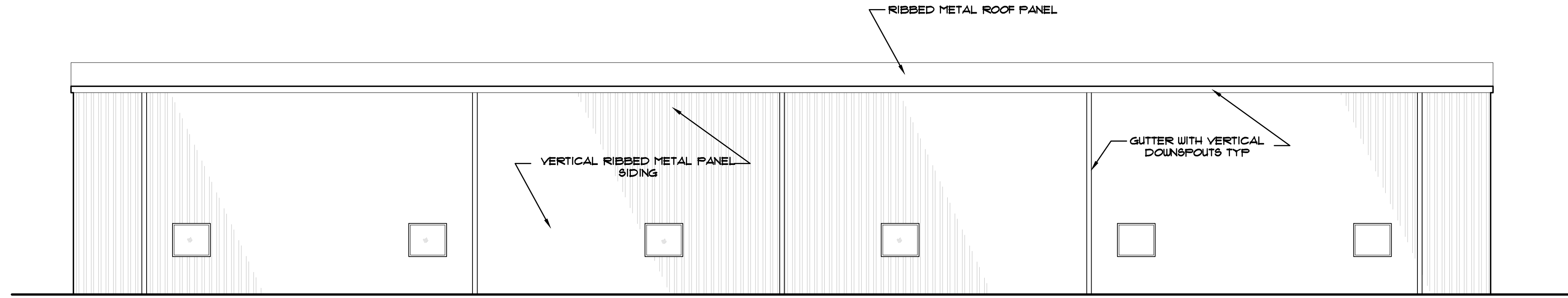
BUILDING 1 (WEST) PROPOSED FLOOR PLAN

MAY 4, 2023
SCALE: 1/8"=1'-0"

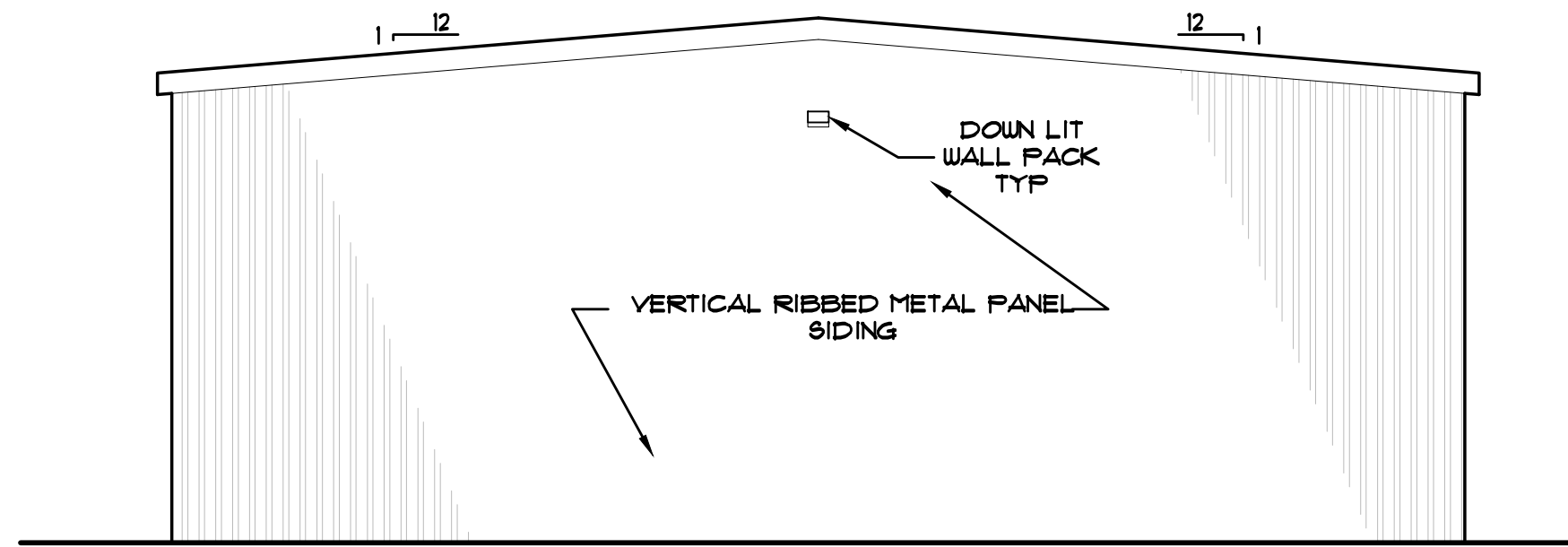


**STEPHEN FLESHMAN
ARCHITECT**

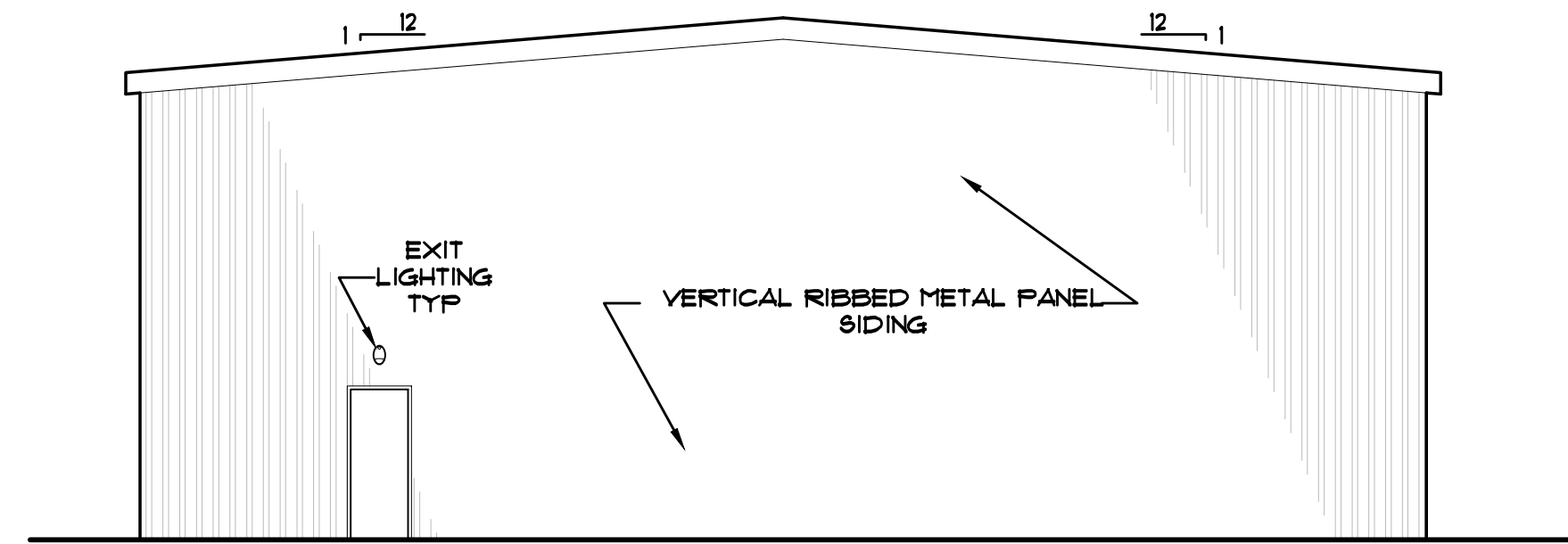
99 Apple Road
Brimfield, MA 01010
P: 508.347.7188
F: 508.347.8939
E: Fleshman@SF-Arch.com



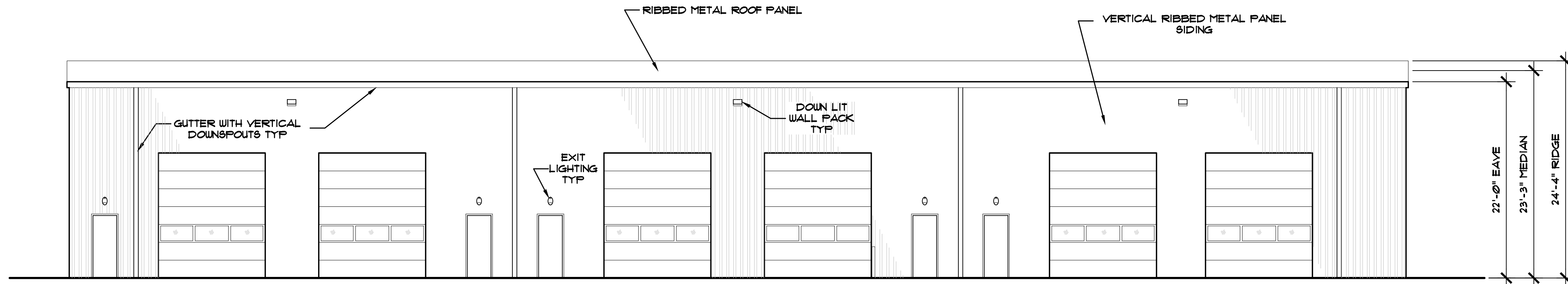
WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

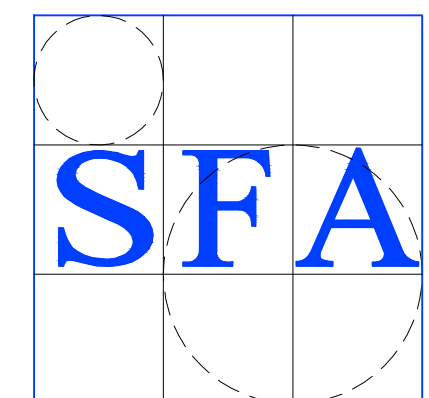


EAST ELEVATION
SCALE: 1/8" = 1'-0"

DOORS -
PERSONNEL DOORS - 3'-0" X
4'-0" INSULATED PAINTED
HOLLOW METAL
OVERHEAD DOORS -
12'-0" X 14'-0"
INSULATED METAL

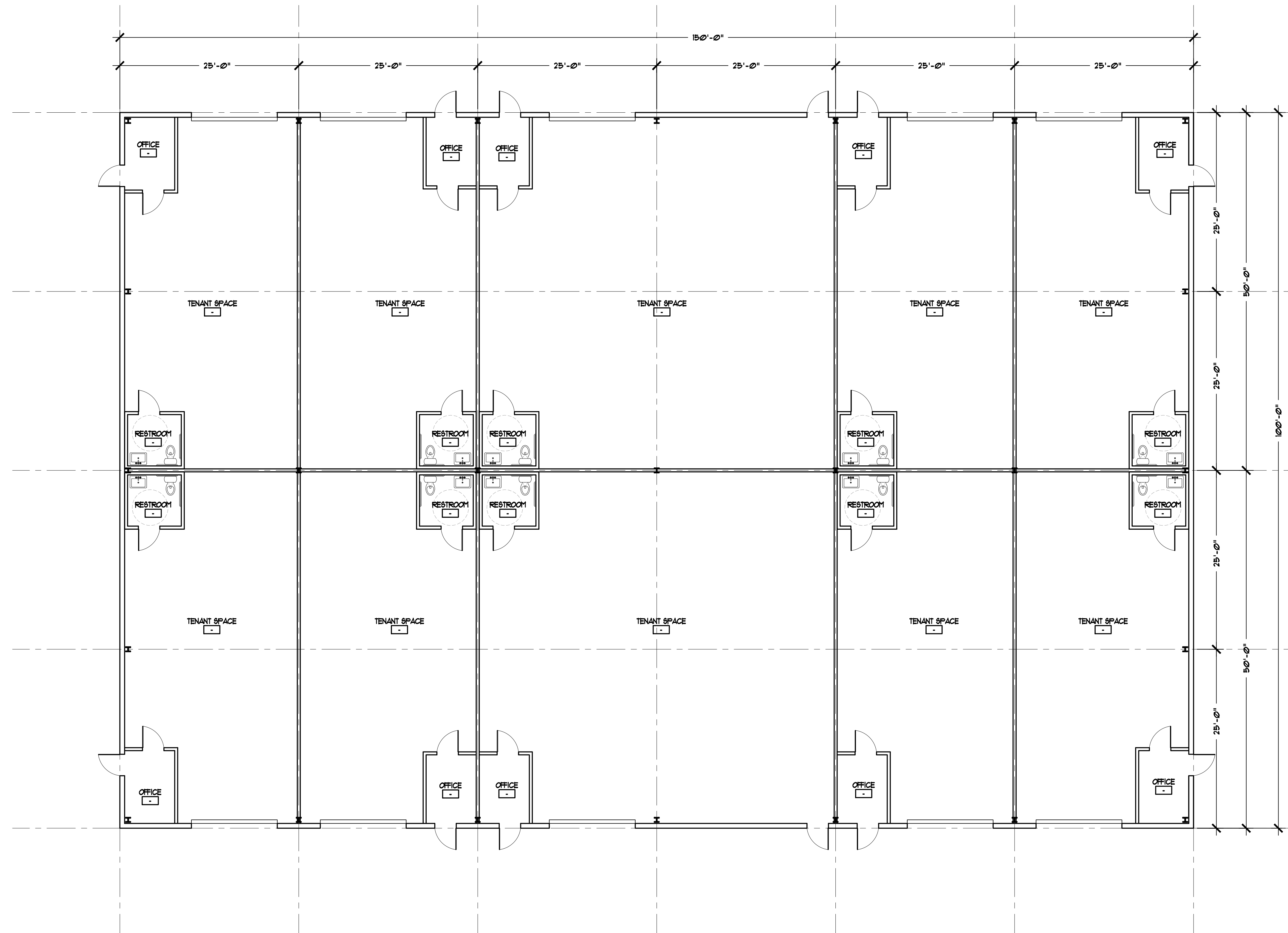
BUILDING 1 (WEST) PROPOSED ELEVATIONS

MAY 4, 2023
SCALE: 1/8"=1'-0"



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ARCHITECT**

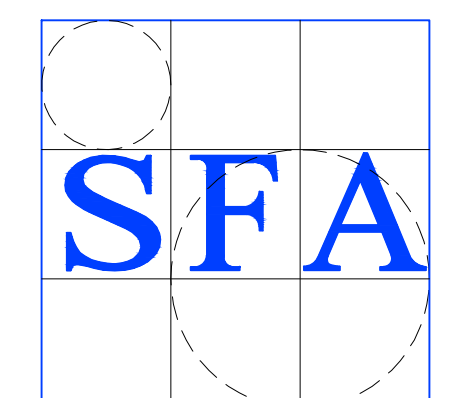
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CENTER
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

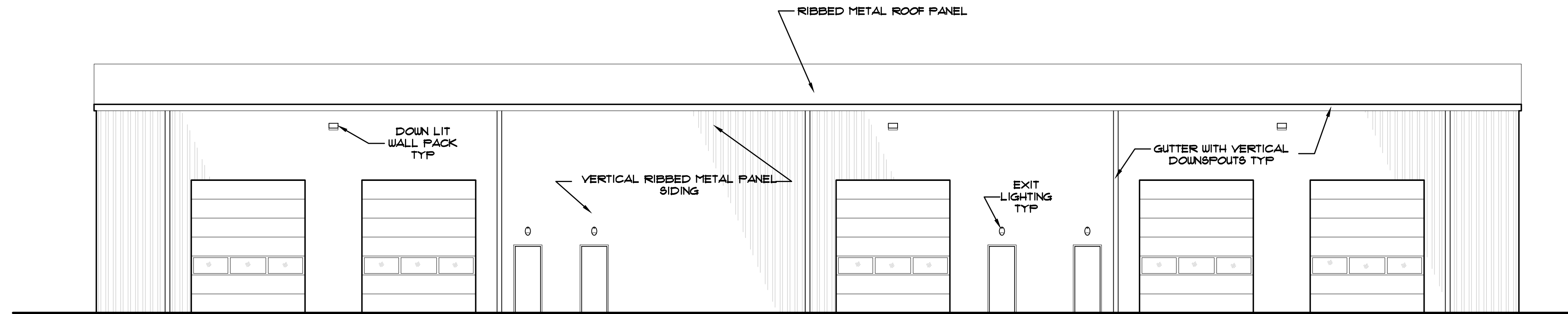
BUILDING 2 (CENTER) PROPOSED FLOOR PLAN

MAY 4, 2023
SCALE: 1/8"=1'-0"

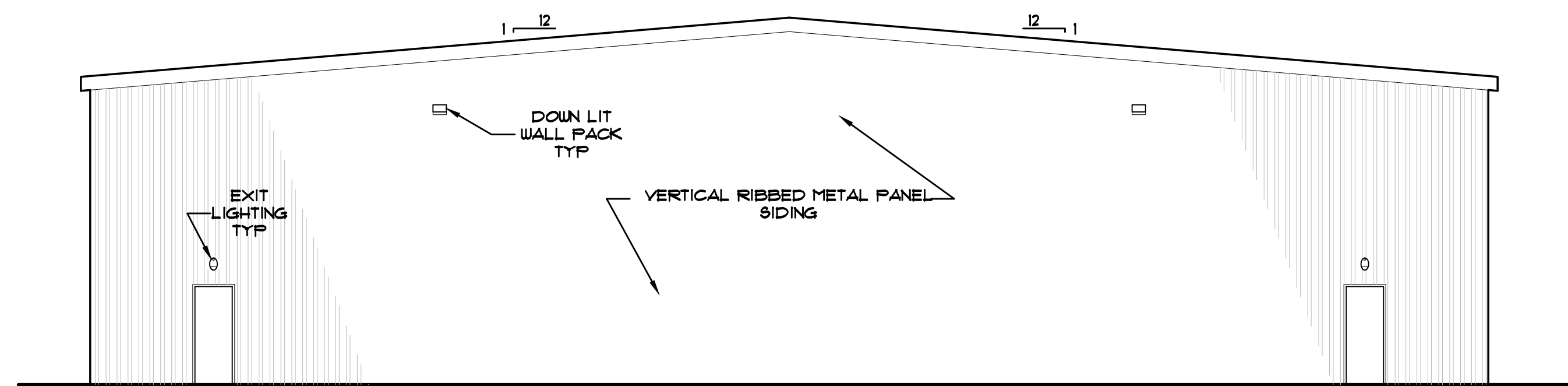


**STEPHEN FLESHMAN
ARCHITECT**

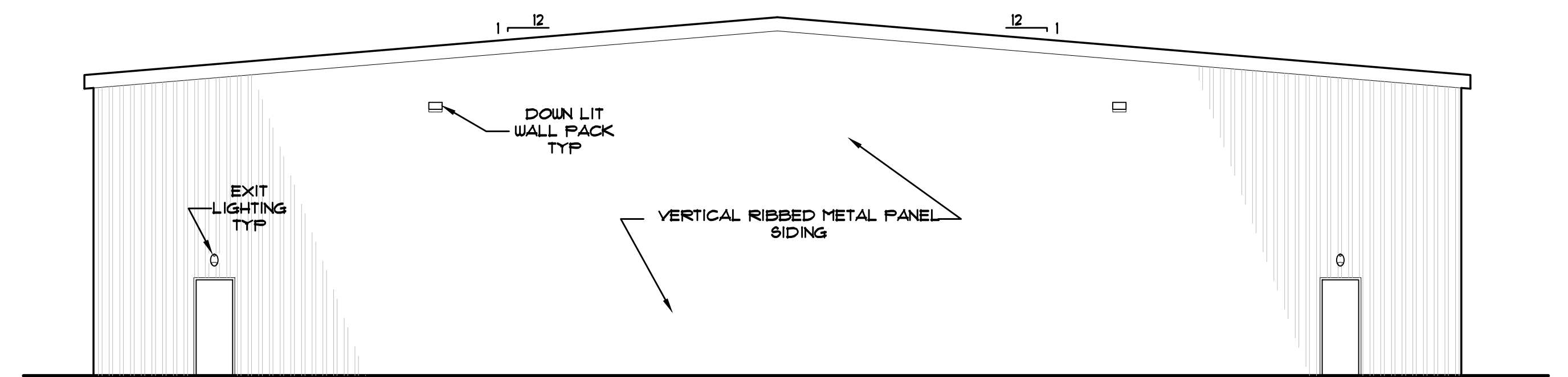
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E: Fleshman@SF-Arch.com



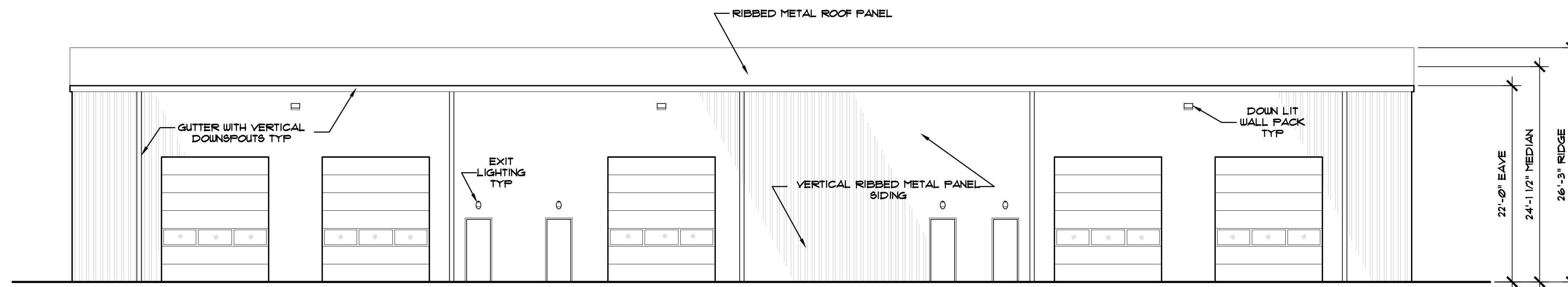
WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

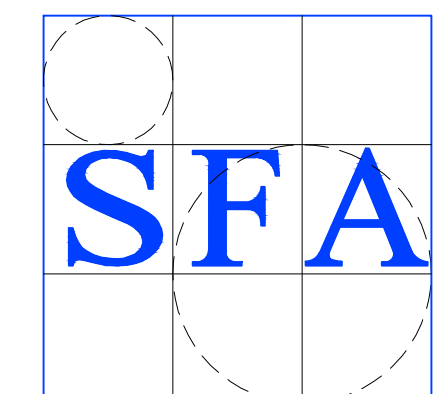


EAST ELEVATION
SCALE: 1/8" = 1'-0"

DOORS -
PERSONNEL DOORS - 3'-0" X
4'-0" INSULATED PAINTED
HOLLOW METAL
OVERHEAD DOORS -
12'-0" X 14'-0"
INSULATED METAL

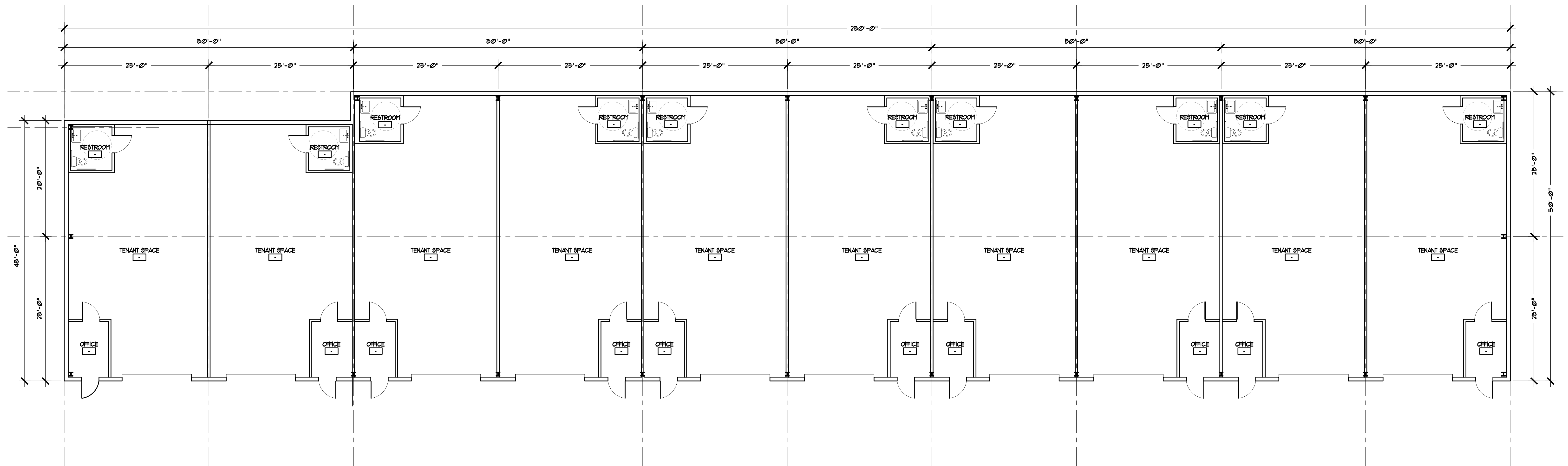
BUILDING 2 (CENTER) PROPOSED ELEVATIONS

MAY 4, 2023
SCALE: 1/8"=1'-0"



**STEPHEN FLESHMAN
ARCHITECT**

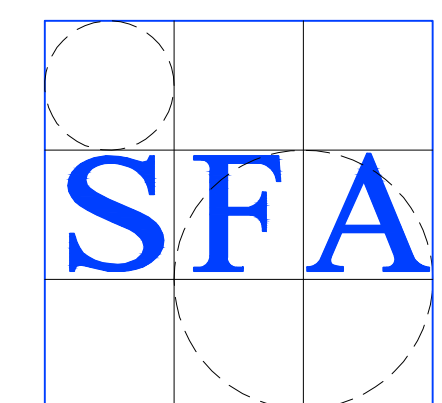
99 Apple Road
Brimfield, MA 01010
P: 508.347.7188
F: 508.347.8939
E: Freshman@SF-Arch.com



EAST
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

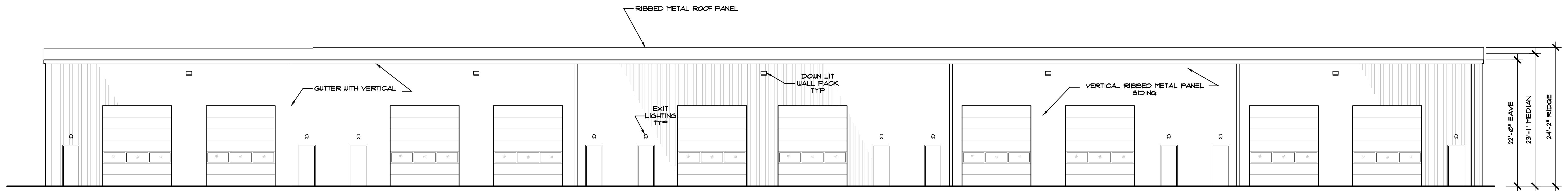
MAY 4, 2023
SCALE: 1/8"=1'-0"

BUILDING 3 (EAST) PROPOSED FLOOR PLAN

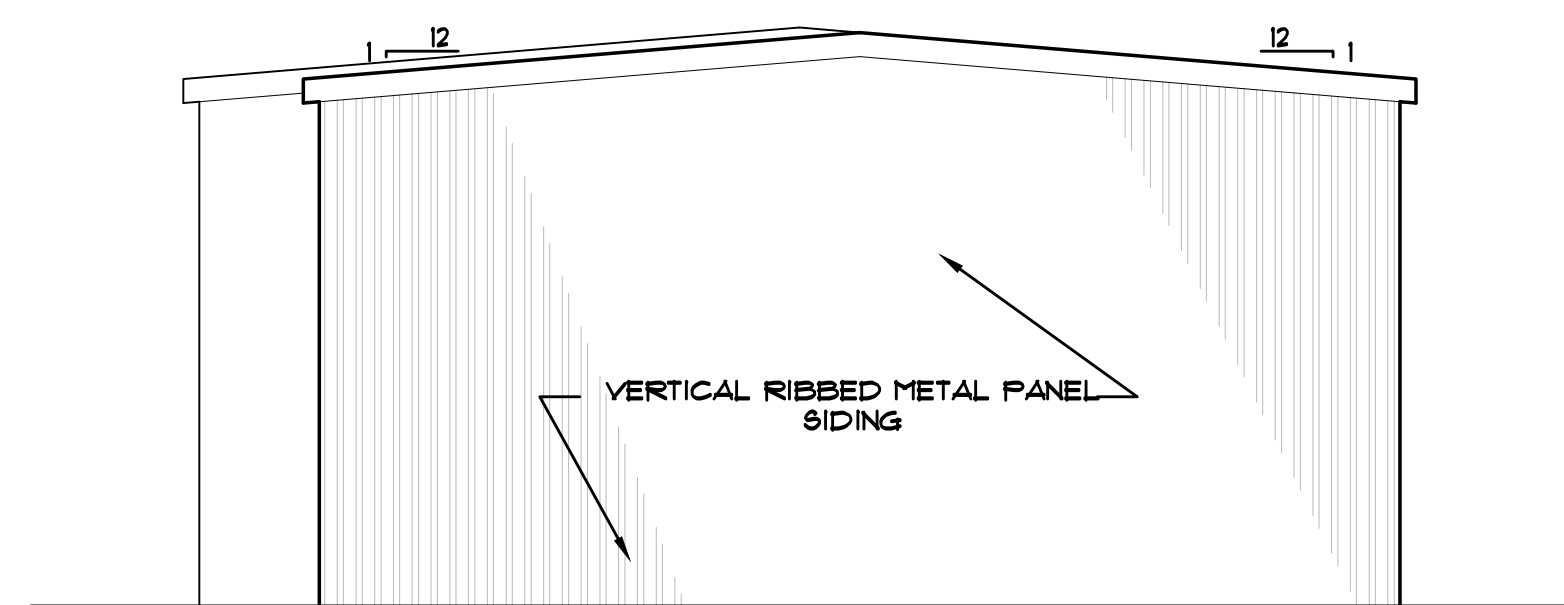


STEPHEN FLESHMAN
ARCHITECT

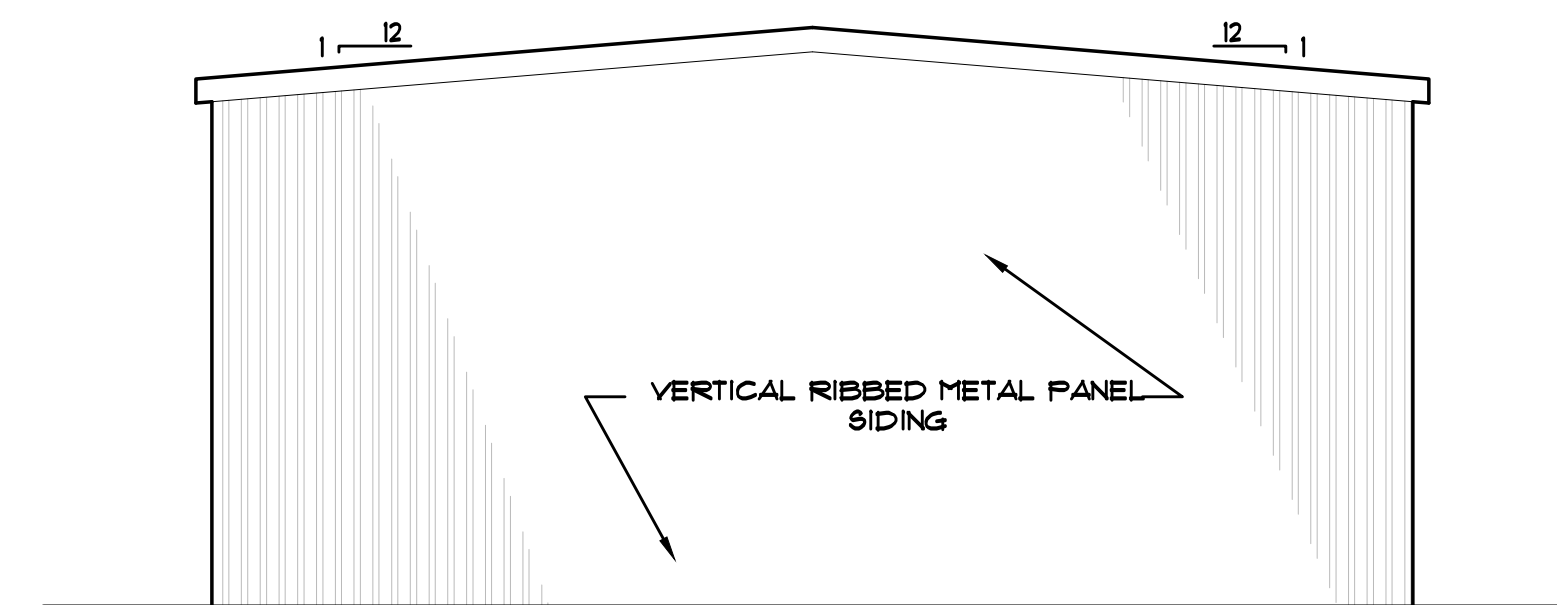
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E: Fleshman@SF-Arch.com



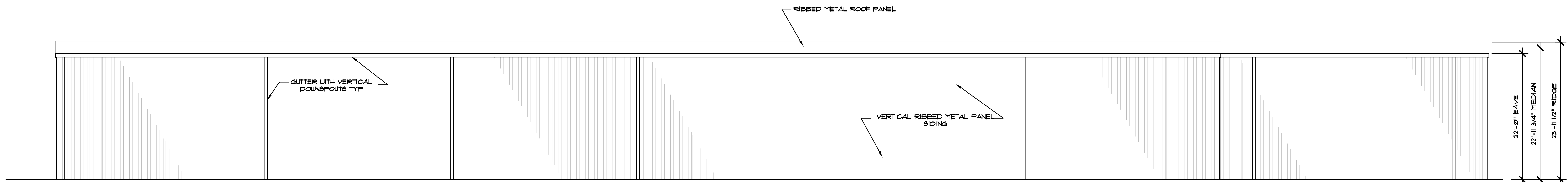
WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

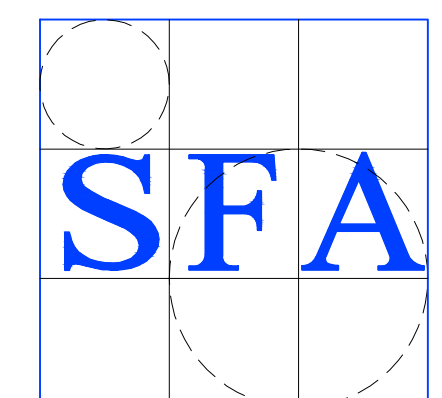


EAST ELEVATION
SCALE: 1/8" = 1'-0"

DOORS -
PERSONNEL DOORS - 3'-0" X
4'-0" INSULATED PAINTED
HOLLOW METAL
OVERHEAD DOORS -
12'-0" X 14'-0" INSULATED METAL

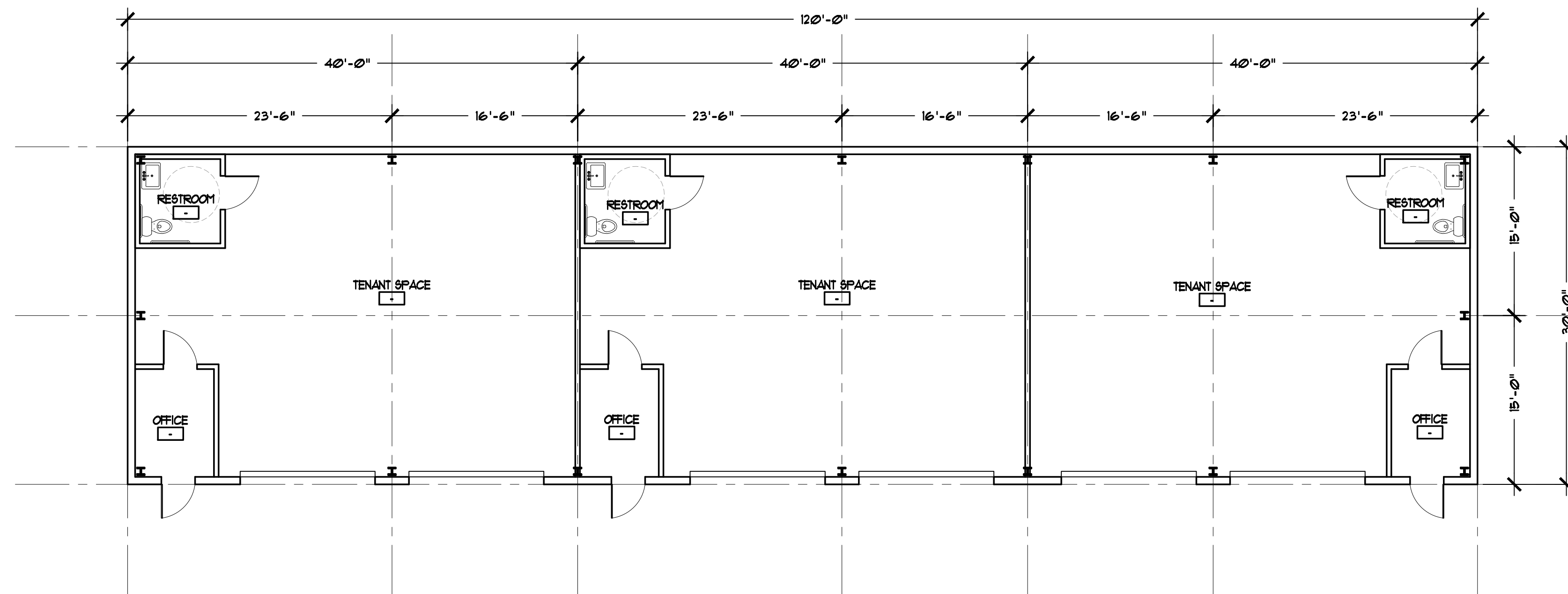
MAY 4, 2023
SCALE: 1/8"=1'-0"

BUILDING 3 (EAST) PROPOSED ELEVATIONS



STEPHEN FRESHMAN
ARCHITECT

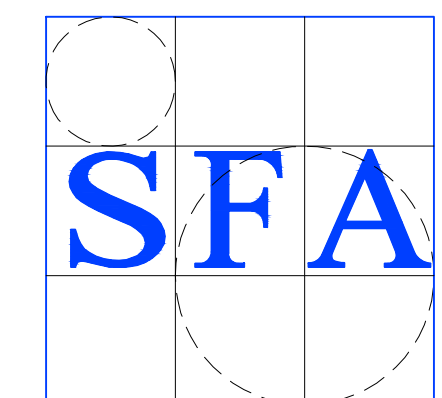
99 Apple Road
Brimfield, MA 01010
P: 508.347.7188
F: 508.347.8939
E: Freshman@SF-Arch.com



SOUTH
 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

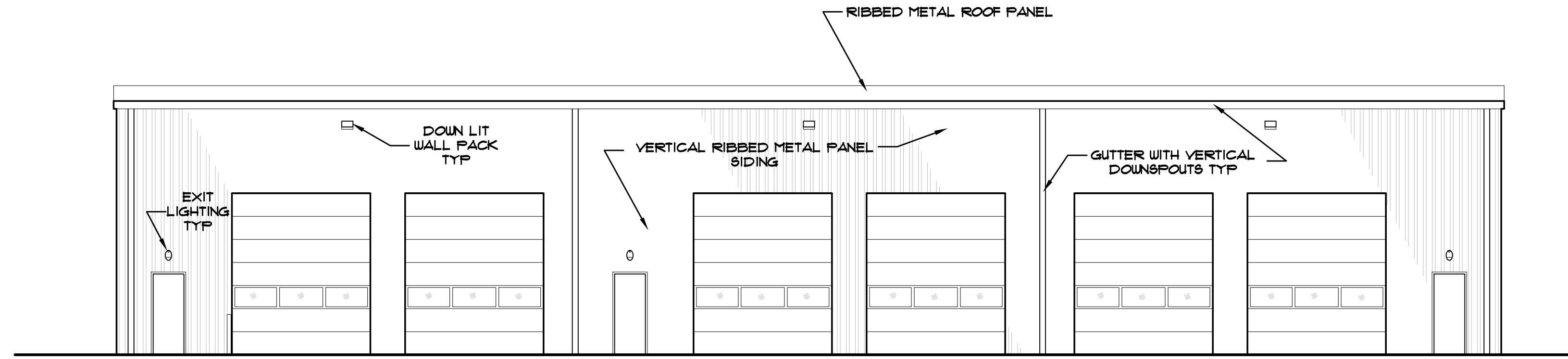
MAY 4, 2023
 SCALE: 1/8"=1'-0"

BUILDING 4 (SOUTH) PROPOSED FLOOR PLAN

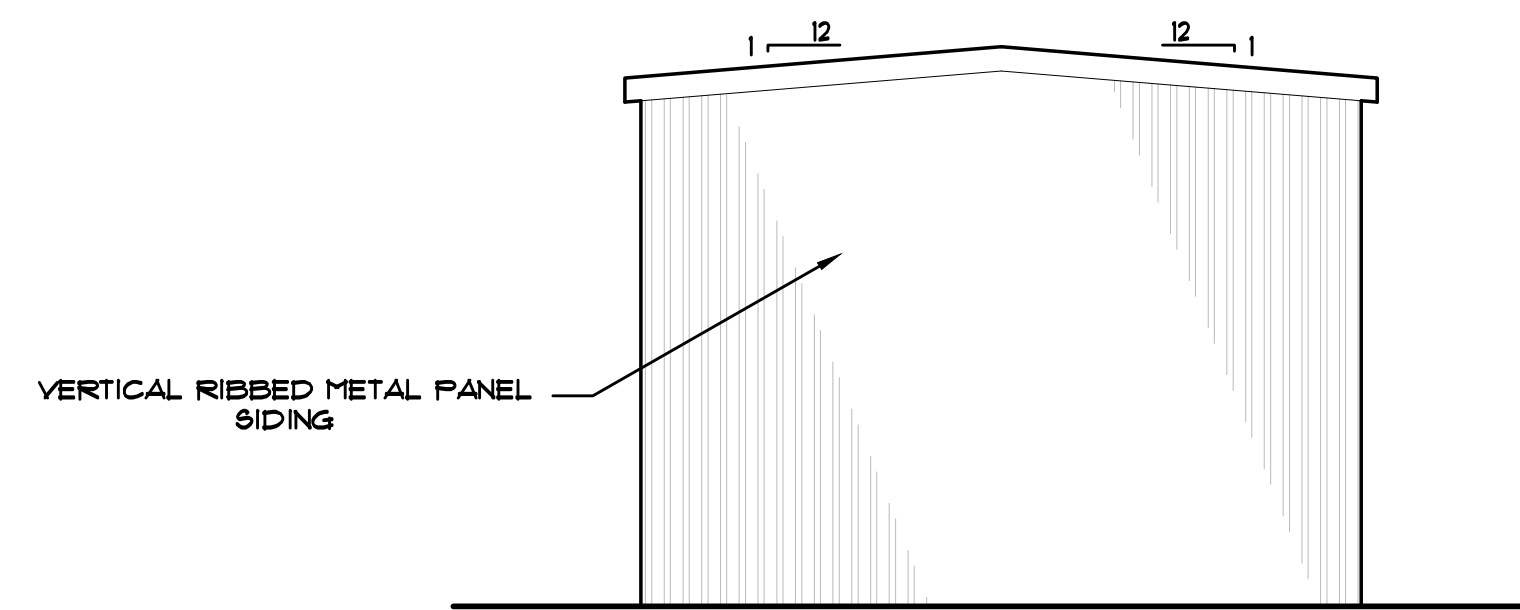


STEPHEN FLESHMAN
 ARCHITECT

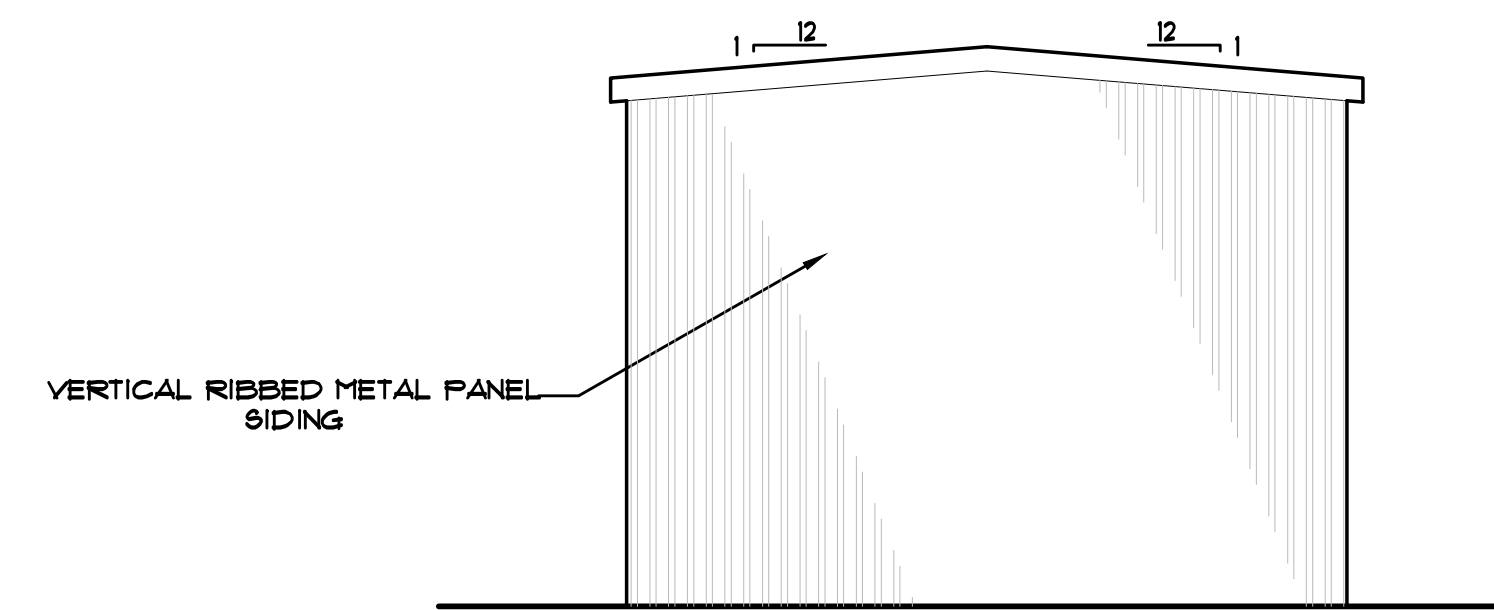
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 P: 508.347.7188
 F: 508.347.8939
 E: Freshman@SF-Arch.com



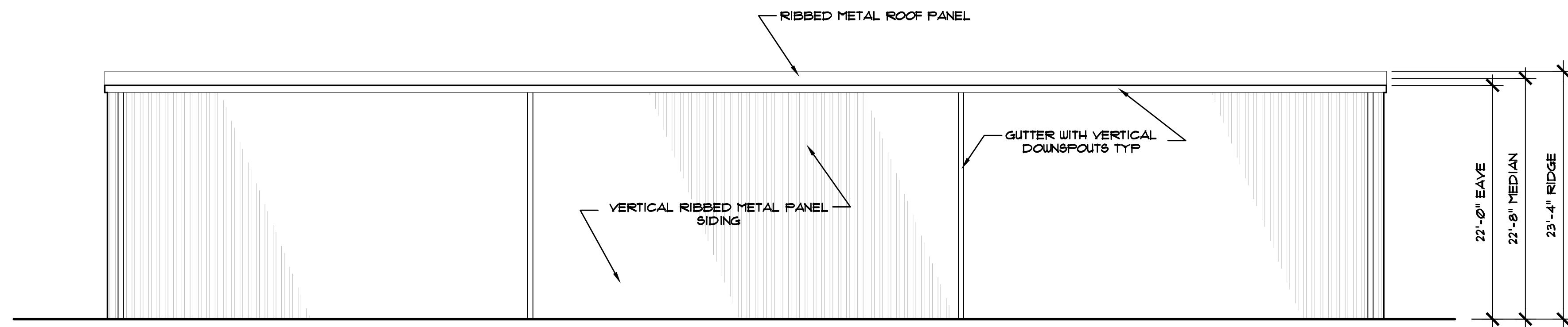
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

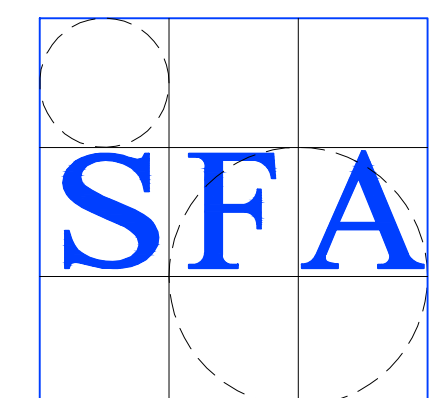


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

DOORS -
PERSONNEL DOORS - 3'-0" X
4'-0" INSULATED PAINTED
HOLLOW METAL
OVERHEAD DOORS -
12'-0" X 14'-0"
INSULATED METAL

BUILDING 4 (SOUTH) PROPOSED ELEVATIONS

MAY 4, 2023
SCALE: 1/8"=1'-0"



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