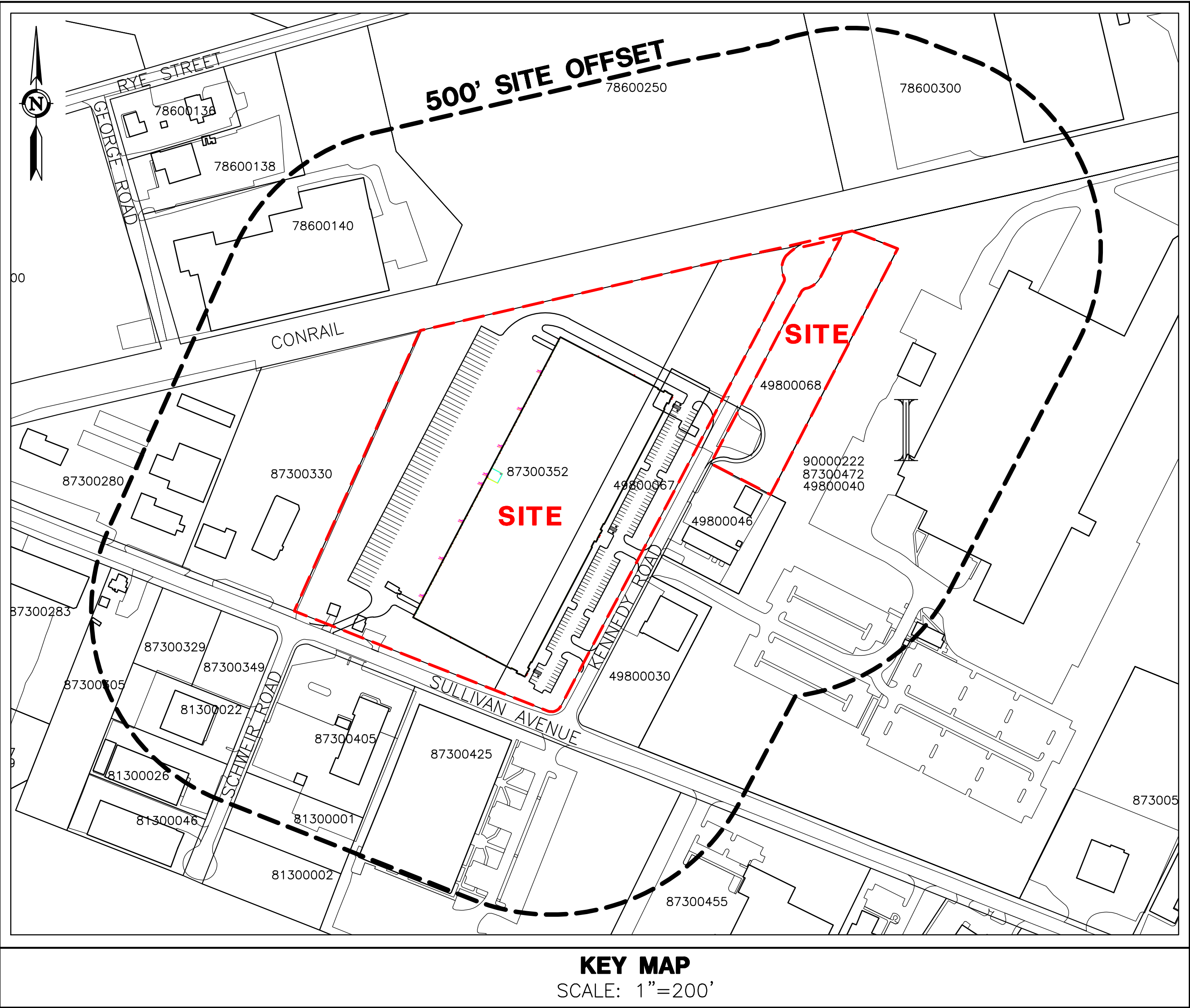
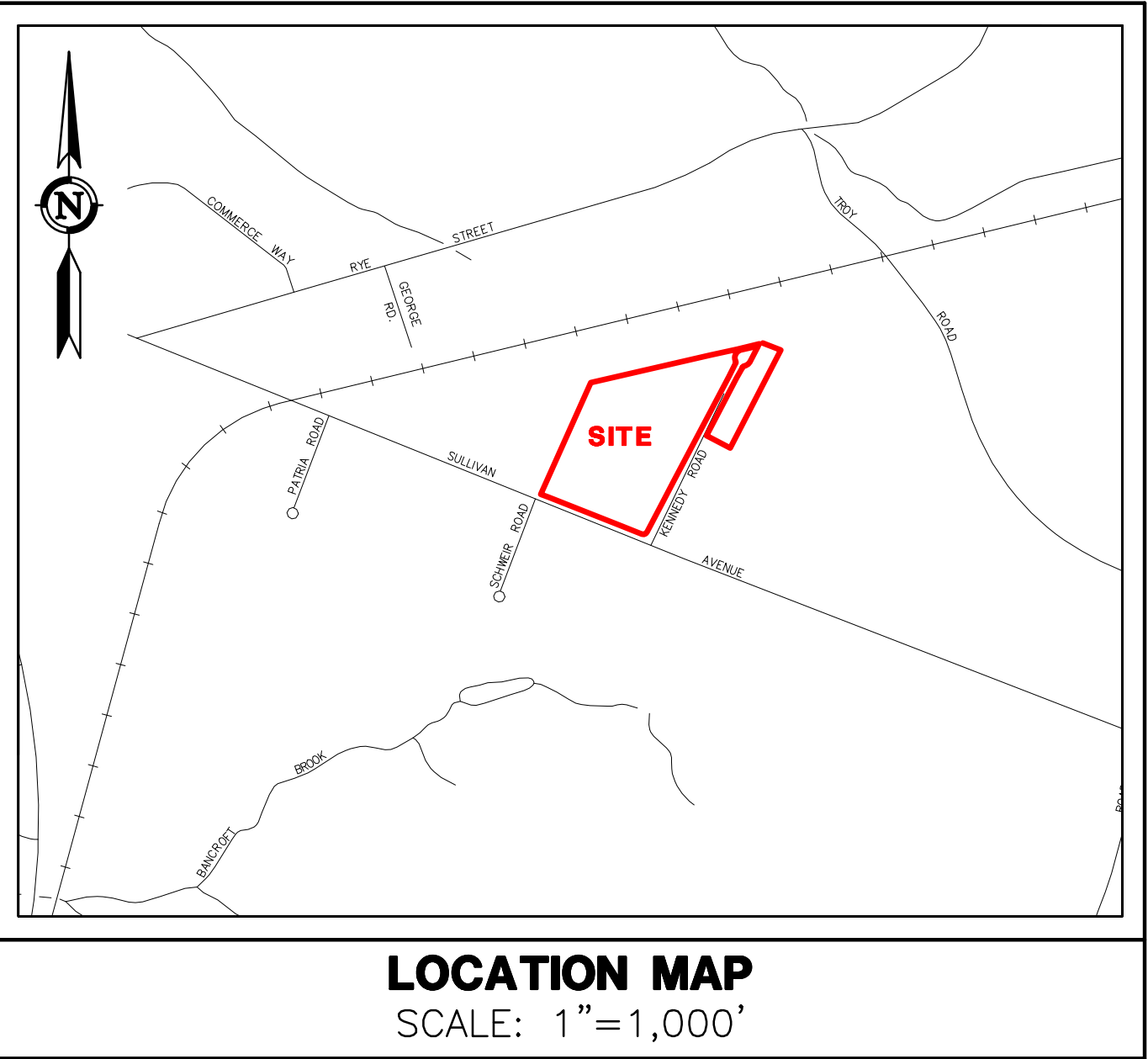


# 67 KENNEDY ROAD WAREHOUSE & DISTRIBUTION CENTER

## SITE PLAN

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD ~ SOUTH WINDSOR ~ CT  
GIS NOs. 87300352, 49800067, & 49800068

N/F 500' ABUTTERS		
STREET ADDRESS	OWNER	PARCEL ID
30 KENNEDY ROAD	WOODCOCK JOHN J JR TR	49800030
40 KENNEDY ROAD	456 SULLIVAN AVE LLC	49800040
46 KENNEDY ROAD	LAWSON'S PROPERTIES LLC	49800046
138 RYE STREET	SHEPARD POLA INC	78600138
140 RYE STREET	SHEPARD POLA INC	78600140
250 RYE STREET	ALTATWO REALTY COMPANY LLC	78600250
300 RYE STREET	ALTA REALTY COMPANY LLC	78600300
1 SCHWEIR ROAD	KUHNS FAMILY PROPERTIES LLC	81300001
22 SCHWEIR ROAD	WOLF & GUERRA LLC	81300022
26 SCHWEIR ROAD	MISCELLANEOUS STEEL & RAIL LLC	81300026
280 SULLIVAN AVENUE	280 SULLIVAN AVENUE LLC	87300280
283 SULLIVAN AVENUE	DELLA N LLC/LEGACY VENTURES LLC	87300283
305 SULLIVAN AVENUE	WOLF HELMAR	87300305
329 SULLIVAN AVENUE	WOLF & GUERRA LLC	87300329
330 SULLIVAN AVENUE	JKLN LLC	87300330
349 SULLIVAN AVENUE	WOLF & GUERRA LLC	87300349
405 SULLIVAN AVENUE	KUHNS FAMILY PROPERTIES LLC	87300405
425 SULLIVAN AVENUE	CONDOR PROPERTIES LLC	87300425
455 SULLIVAN AVENUE	PARKSITE INC	87300455
472 SULLIVAN AVENUE	CURRENT RESIDENT	87300472
222 TROY ROAD	CURRENT RESIDENT	90000222



SHEET INDEX		
C-T1	COVER SHEET	1 of 24
C-OS1	OVERALL SITE PLAN	2 of 24
C-SP1 - C-SP2	SITE PLAN	3-4 of 24
C-GD1 - C-GD2	GRADING PLAN	5-6 of 24
C-DR1 - C-DR2	DRAINAGE PLAN	7-8 of 24
C-UT1 - C-UT2	UTILITY PLAN	9-10 of 24
C-ES1 - C-ES2	EROSION & SEDIMENTATION PLAN	11-12 of 24
C-ES3	EROSION & SEDIMENTATION NOTES & DETAILS	13 of 24
C-LS1 - C-LS2	LANDSCAPE PLAN	14-15 of 24
C-LS3	LANDSCAPE NOTES & DETAILS	16 of 24
C-LT1 - C-LT2	LIGHTING PLAN	17-18 of 24
C-D1	NOTES, DETAILS, & LEGEND	19 of 24
C-D2 - C-D6	DETAILS	20-24 of 24
V-1 TO V-2	PROPERTY & TOPOGRAPHIC SURVEY	1-2 of 2
PROPOSED OFFICE/WAREHOUSE FLOOR PLAN & ELEVATIONS		

**PRELIMINARY  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE  
REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE  
TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

#### GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

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LANDSCAPE ARCHITECT  
& LAND SURVEYOR:**

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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS  
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21 Jeffrey Drive  
P.O. Box 1167  
South Windsor, CT 06074

Phone: 860-291-8755  
Fax: 860-291-8757  
www.designprofessionalsinc.com

#### TRAFFIC ENGINEER:

Langan  
555 Long Wharf Drive  
New Haven, CT 06511-6107  
203-563-5771  
www.langan.com

#### PROPERTY OWNER:

FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

21 JEFFREY DRIVE  
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860-291-8755 - F  
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THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE  
REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE  
TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

PREPARED FOR:  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

PROJECT NO:  
4670  
DATE:  
3/30/2022  
DESIGNED BY:  
DHI/BPW  
CHECKED BY:  
DHI/BPW

**67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER**  
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOs: 87300352, 49800067, & 49800068

NO.	DATE	REVISIONS
1	4/7/22	EGS PLAN UPDATES
2	4/20/22	P2C SUBMISSION

**TITLE**

SHEET  
**C-T1**  
SHEET 1 OF 24



<b>ZONING TABLE</b>		
<b>ZONE: INDUSTRIAL ZONE (I)</b>		
<b>ITEM</b>	<b>REQUIRED/ ALLOWED</b>	<b>PROPOSED</b>
LOT AREA	30,000 SF	838,308 SF (19.245 AC)
LOT FRONTAGE	100'	1,989.6'
LOT DEPTH	150'	691.7'
FRONT YARD	50' / 35' (1)	60.0'
SIDE YARD	10'	91.4'
REAR YARD	25'	N/A
BUILDING HEIGHT	40'/2 STORIES	<40'
PARKING	SEE TABLE	SEE TABLE
INTERIOR LANDSCAPING	10%	10.2%
LOT COVERAGE	50%	28.8%
IMPERVIOUS COVERAGE	65%	54.6%

NOTES:  
(1) 50' ALONG SULLIVAN AVENUE AND 35' ALONG KENNEDY ROAD

PARKING REQUIREMENTS*				
USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
OFFICE	4.5 SP/1,000 GSF	6,000 GSF	N/A	27
WAREHOUSE	1 SP/1,250 GSF + 1 PER EMPLOYEE	235,800 GSF	55**	244
TOTAL				271

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
OFFICE	4.5 SP/1,000 GSF	6,000 GSF	N/A	27
WAREHOUSE	1 SP/1,250 GSF + 1 PER EMPLOYEE	235,800 GSF	55**	244
TOTAL				271

PARKING PROVIDED	
LOCATION	QUANTITY
AUTO PARKING	142
TRAILER SPACES	59
'RESERVE PARKING'***	130
TOTAL	331

LOCATION	QUANTITY
AUTO PARKING	142
TRAILER SPACES	59
'RESERVE PARKING'***	130
TOTAL	331

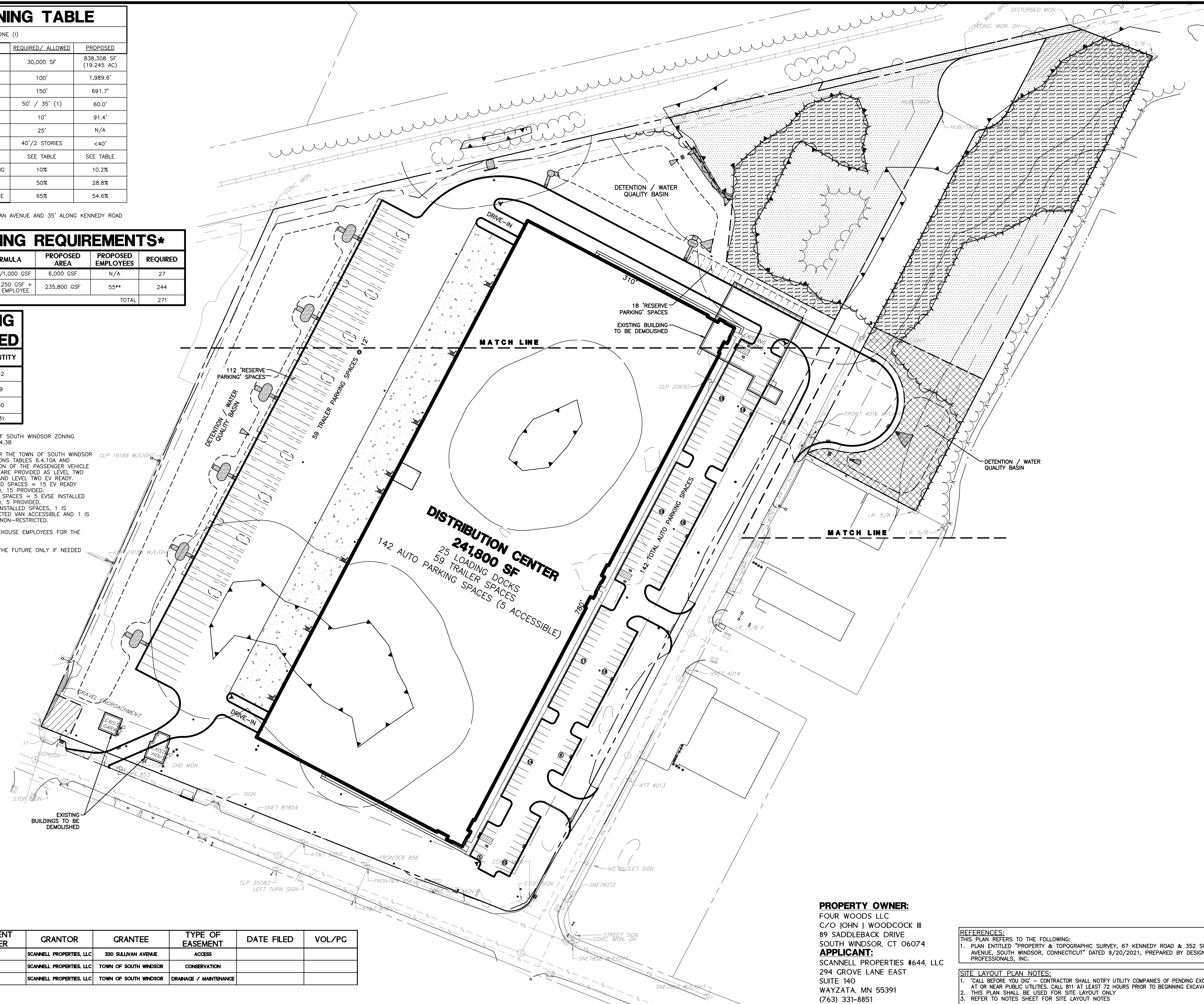
PARKING NOTES:  
\* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLE 6.4.3B

ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES ARE PROVIDED AS LEVEL TWO EVSE INSTALLED AND LEVEL TWO EV READY. 10% OF PROPOSED SPACES = 15 EV READY SPACES REQUIRED, 15 PROVIDED. 3% OF REQUIRED SPACES = 5 EVSE INSTALLED SPACES REQUIRED, 5 PROVIDED. OF THE 5 EVSE INSTALLED SPACES, 1 IS HANDICAP RESTRICTED VAN ACCESSIBLE AND 1 IS VAN ACCESSIBLE NON-RESTRICTED.

\*\* NUMBER OF WAREHOUSE EMPLOYEES FOR THE LARGEST SHIFT

\*\*\* TO BE BUILT IN THE FUTURE ONLY IF NEEDED

EASEMENT NUMBER	GRANTOR	GRANTEE	TYPE OF EASEMENT	DATE FILED	VOL/PG
1	SCANNELL PROPERTIES, LLC	330 SULLIVAN AVENUE	ACCESS		
2	SCANNELL PROPERTIES, LLC	TOWN OF SOUTH WINDSOR	CONSERVATION		
3	SCANNELL PROPERTIES, LLC	TOWN OF SOUTH WINDSOR	DRAINAGE / MAINTENANCE		



FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

THIS PLAN REFERS TO THE FOLLOWING:

1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.

1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

21 JEFFREY DRIVE  
P.O. BOX 1167  
SOUTH WINDSOR, CT 06074  
860-291-8755 - T  
860-291-8757 - F  
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**PREPARED FOR:**  
Scannell Properties #64  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55399  
763-331-8851 T

PROJECT NO:	4670
DATE:	3/30/2022
DESIGN BY:	DHJ/BPW
DRAWN BY:	DHJ/BPW
CHECKED BY:	DDW

**67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER**  
52 SULLIVAN AVENUE 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS Nos: 87300352, 49800067, & 49800068

BY					
DHJ					
DHJ					

REVISIONS
EE&S PLAN UPDATES
PZC SUBMISSION

[illegible]

DATE					
3/22					
0/22					

NO.	1	2				

**ITE**

60°

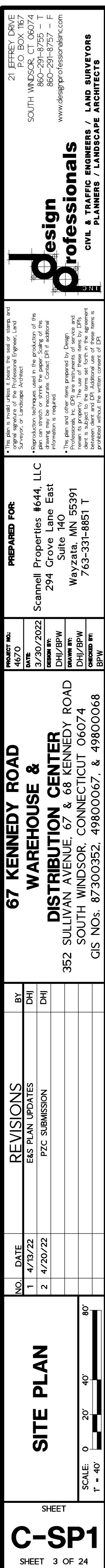
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SCALE  
1" = 6'

**C-OS1**

11

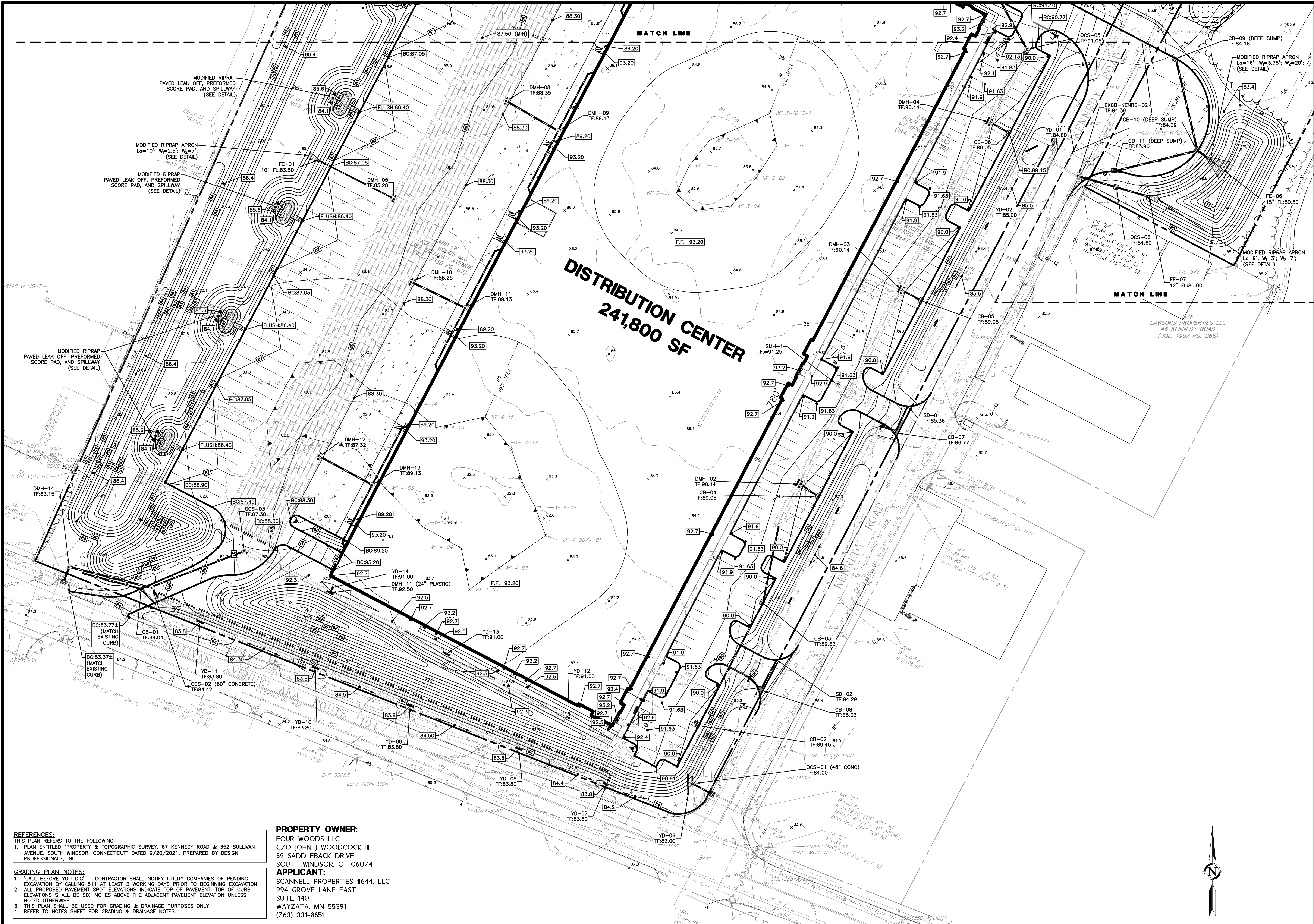












**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.

**GRADING PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. ALL PROPOSED PAVEMENT SPOT ELEVATIONS INDICATE TOP OF PAVEMENT. TOP OF CURB ELEVATIONS SHALL BE SIX INCHES ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.  
3. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY  
4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

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PREPARED FOR:  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

PROJECT NO.:  
4670

DATE:  
3/30/2022

DESIGNED BY:  
DHI/BPW

CHECKED BY:  
DHI

DATE:  
4/20/22

REVISIONS

NO.	DATE	BY
1	4/7/22	DHI
2	4/20/22	DHI

EGS PLAN UPDATES  
PZC SUBMISSION

67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS: 87300352, 49800067, & 49800068

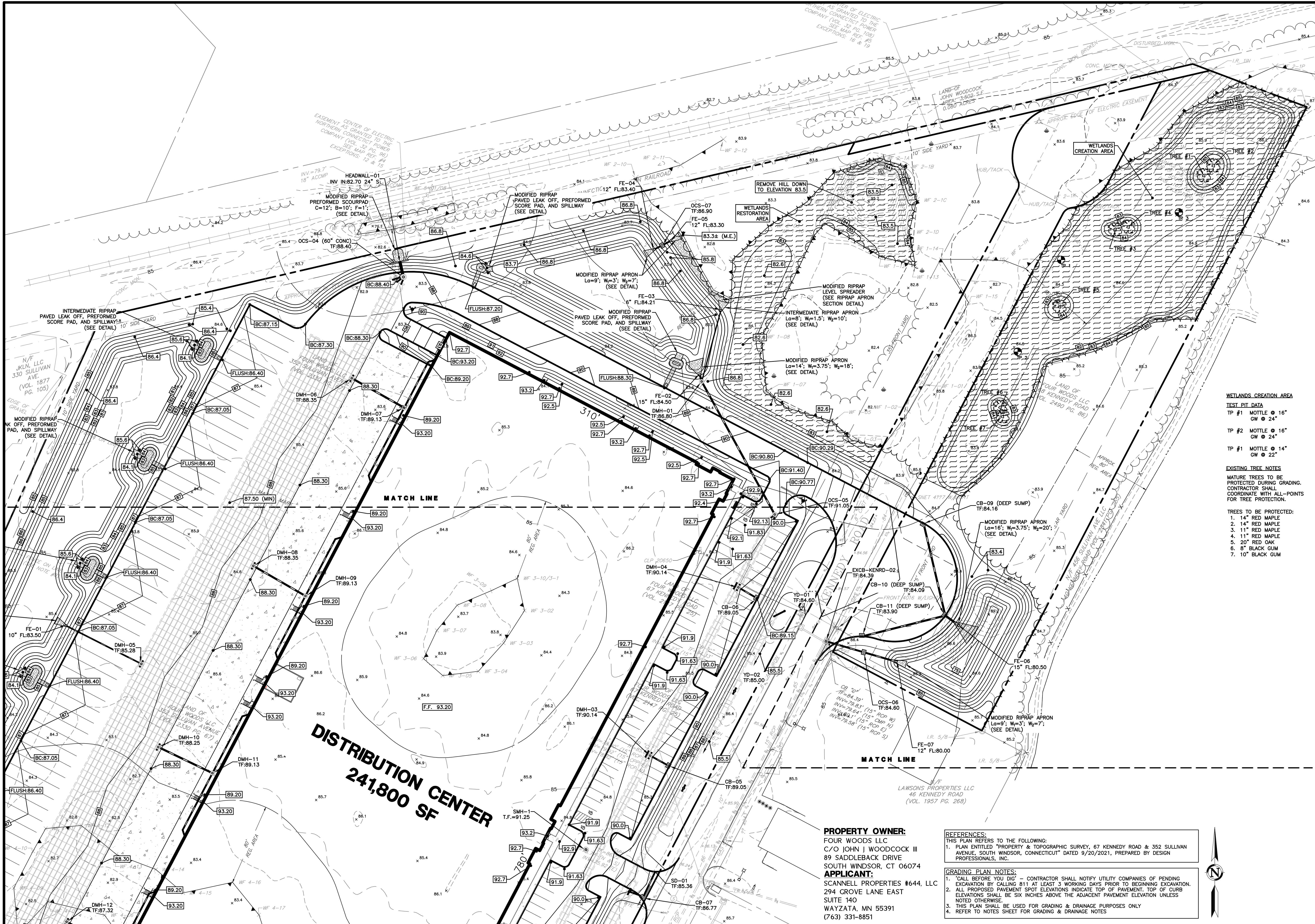
GRADING PLAN

SCALE: 0 20' 40'  
1" = 40'

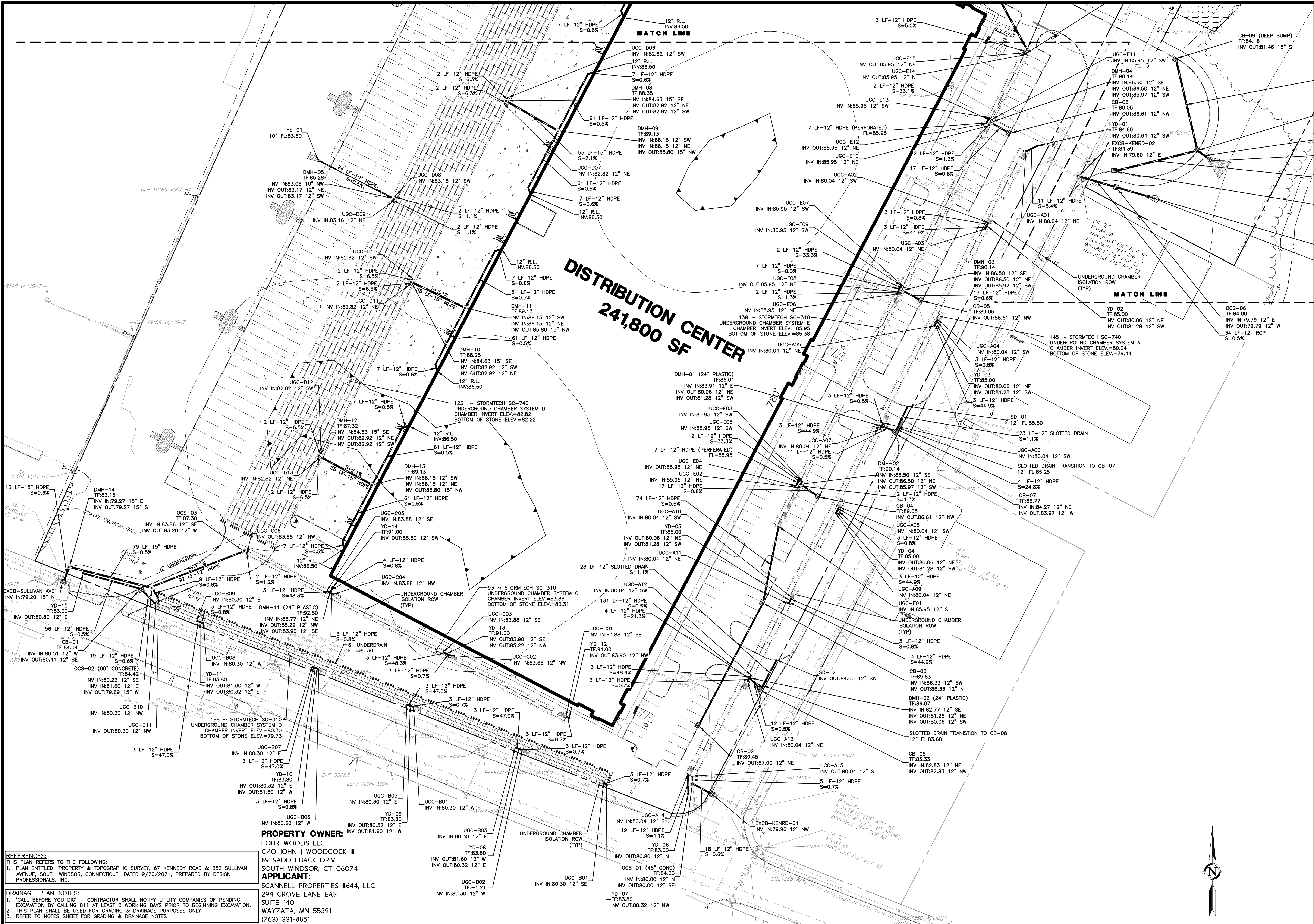
SHEET  
C-GD1

SHEET 5 OF 24









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294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

**PROJECT NO.:**  
4670

**DATE:**  
3/30/2022

**DESIGNED BY:**  
DHJ/BPW

**DRAWN BY:**  
C. DR1

**CHECKED BY:**  
C. DR1

**67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER**

**352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074**

**GIS NOS: 87300352, 49800067, & 49800068**

**REVISIONS**

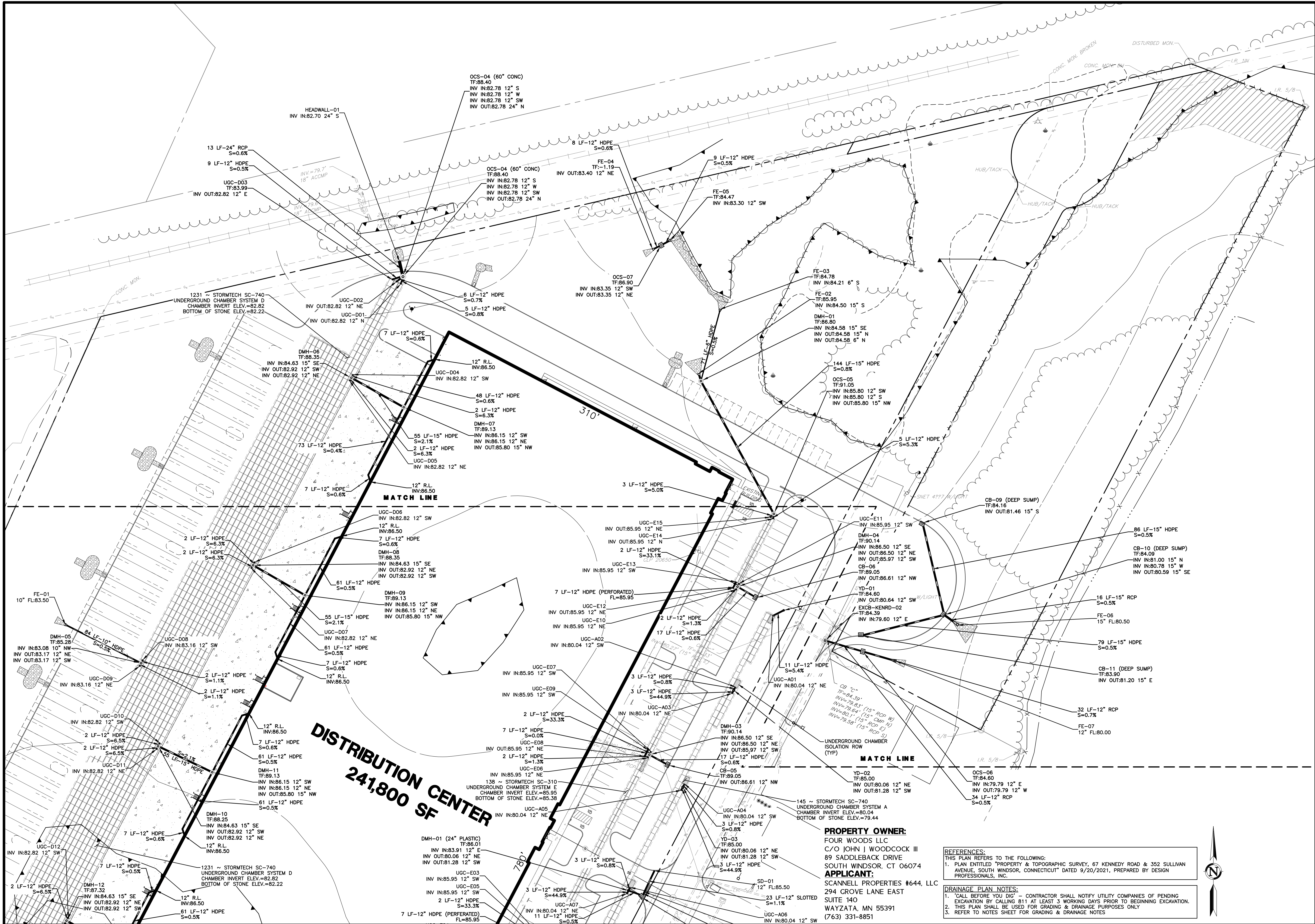
NO.	DATE	BY	REVISIONS
1	4/7/22	DHJ	EAS PLAN UPDATES
2	4/20/22	DHJ	PIC SUBMISSION

**DRAINAGE PLAN**

**C-DR1**

**SHEET 7 OF 24**





**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT 06074", DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.

**DRAINAGE PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY.  
3. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

**REVISIONS**

NO.	DATE	BY	REVISIONS
1	4/7/22	DHJ	EAS PLAN UPDATES
2	4/20/22	DHJ	PIC SUBMISSION

**DRAINAGE PLAN**

SHEET 8 OF 24

**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

**DESIGN PROFESSIONALS, INC.**  
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P.O. BOX 167  
SOUTH WINDSOR, CT 06074  
860-291-8727 - F  
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**PREPARED FOR:**  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

**PROJECT NO.:**  
4670

**DATE:**  
3/30/2022

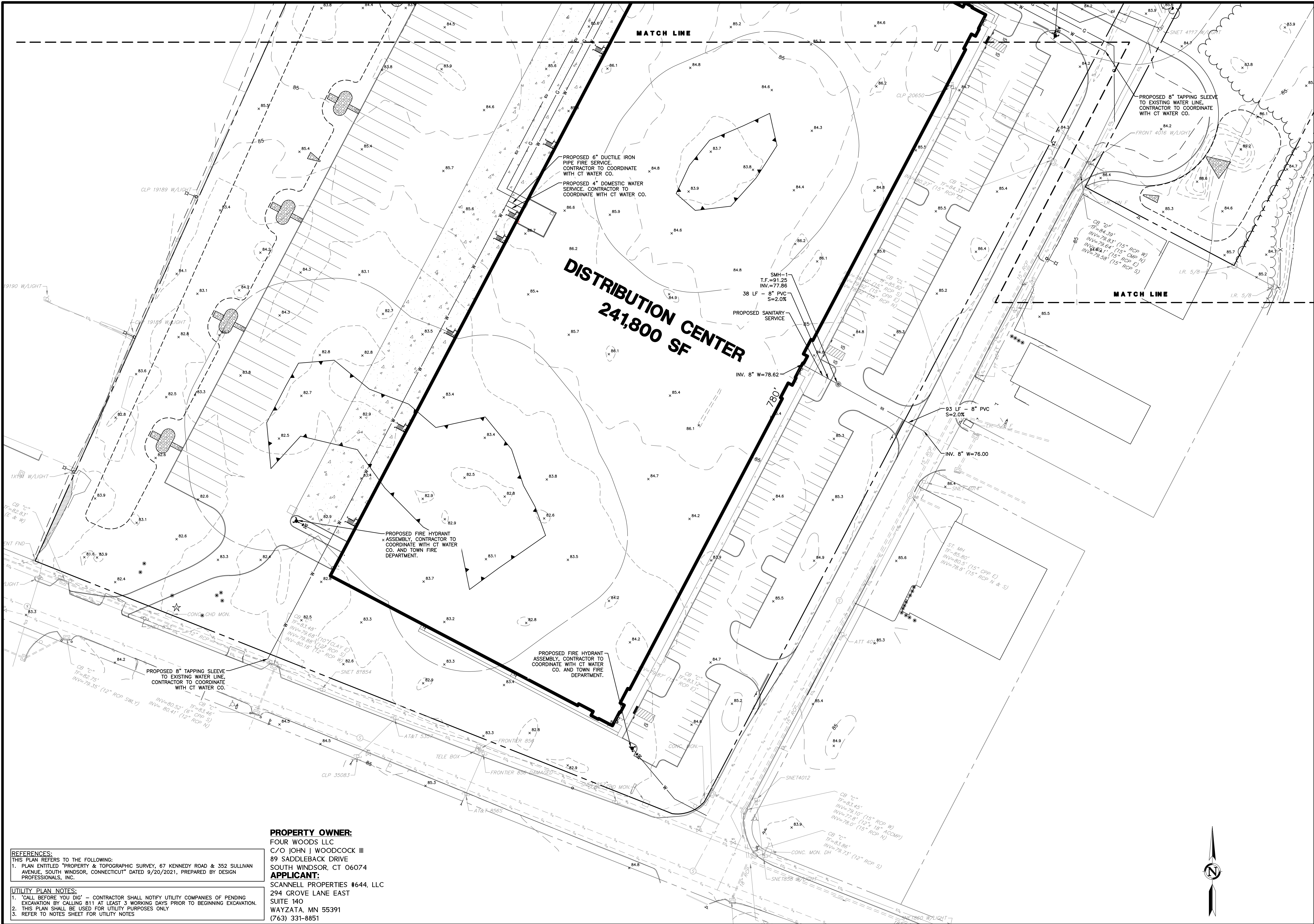
**DESIGNER:**  
DHJ/BPW

**CHECKED BY:**  
BPW

**67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER**

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NO: 87300352, 49800667, & 49800068





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THIS PLAN REFERS TO THE FOLLOWING:  
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**UTILITY PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY  
3. REFER TO NOTES SHEET FOR UTILITY NOTES

**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

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**PREPARED FOR:**  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

**PROJECT NO.:**  
4670

**DATE:**  
3/30/2022

**DESIGN BY:**  
DHL/BPW

**CHECKED BY:**  
DHL/BPW

**CONVERTED BY:**  
DHL/BPW

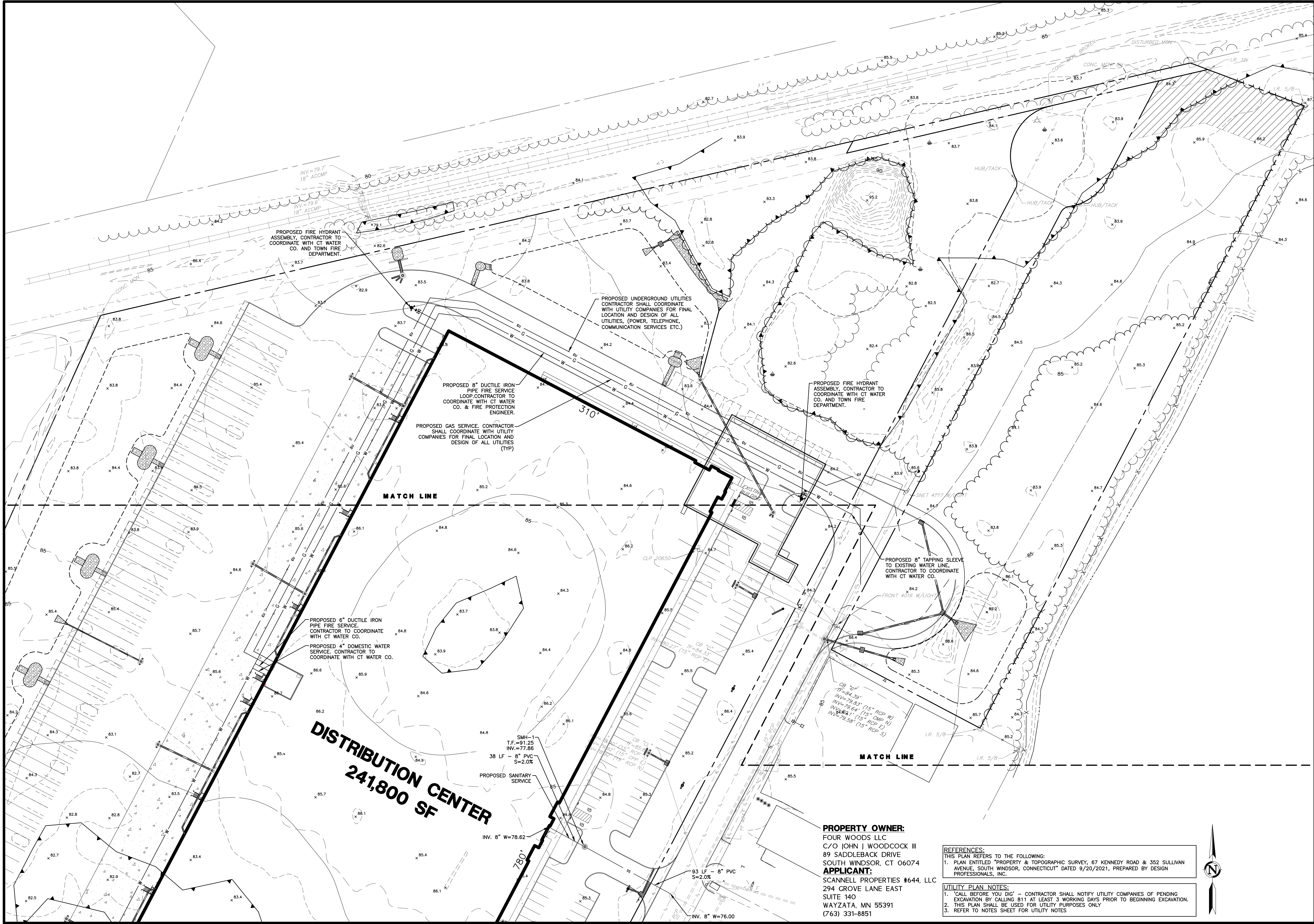
**67 KENNEDY ROAD & WAREHOUSE & DISTRIBUTION CENTER**  
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS: 87300352, 49800067, & 49800068

NO.	DATE	REVISIONS	BY
1	4/7/22	EAS PLAN UPDATES	DHL
2	4/20/22	PZC SUBMISSION	DHL

**UTILITY PLAN**  
SCALE: 0' 20' 40' 80'  
T = 40'

**C-UT1**  
SHEET 5 OF 24





**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
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(763) 331-8851

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THIS PLAN REFERS TO THE FOLLOWING:  
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**UTILITY PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY  
3. REFER TO NOTES SHEET FOR UTILITY NOTES

UTILITY PLAN

SHEET 10 OF 24

REVISIONS

NO.	DATE	BY	REVISIONS
1	4/7/22	DHJ	EAS PLAN UPDATES
2	4/20/22	DHJ	P2C SUBMISSION

67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS: 87300352, 49800067, & 49800068

PREPARED FOR

Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

PROJECT NO.

4670

DATE

3/30/2022

DESIGNED BY

DHJ/BPW

CHECKED BY

BPW

DESIGNED BY

DHJ/BPW

CHECKED BY

BPW

SCALE:

0 20' 40' 80'

T = 40'

UTILITY PLAN

SHEET 10 OF 24

PROPERTY OWNER:

FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

REFERENCES:

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2. THIS PLAN SHALL BE USED FOR UTILITY PURPOSES ONLY  
3. REFER TO NOTES SHEET FOR UTILITY NOTES

DESIGN PROFESSIONALS

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS  
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21 JEFFREY DRIVE  
P.O. BOX 167  
SOUTH WINDSOR, CT 06074  
860-291-8727 - F  
860-291-8727 - M  
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1. VOLUME OF TST SHALL BE A MINIMUM OF 134 CUBIC YARDS PER ACRE DRAINING TO IT. HALF OF THE REQUIRED VOLUME SHALL BE FOR WET STORAGE WHILE THE OTHER HALF SHALL BE FOR DRY STORAGE. REFER TO GENERAL SIZING CALCULATIONS FOR TST BELOW.

N.T.S.



CONSTRUCTION SEQUENCE:

1. INSTALL CONSTRUCTION ACCESS AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ABUTTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
3. CONSTRUCT TEMPORARY SEDIMENT BASINS AND/OR TRAPS AS SHOWN ON THE PLANS.
4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
6. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
7. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
9. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
10. AFTER STABILIZATION OF UPGRADED CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASINS AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

## STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, DETENTION BASIN, AND UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

CATCHBASINS: SHALL BE INSPECTED ANNUALLY AND SUMPS CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR, ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

OUTLET STRUCTURE: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL REACHES TWELVE INCHES. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OF RAIN OR MORE) THE OUTLET STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR OBSTRUCTING ITEMS.

UNDERGROUND DETENTION SYSTEM: SHALL BE INSPECTED BI-ANNUALLY. REFER TO MANUFACTURING MAINTENANCE REQUIREMENTS.

WATER QUALITY BASIN: SHALL BE INSPECTED TWICE PER YEAR, ALL WOODY, NON LANDSCAPE GROWTH SHALL BE REMOVED. ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABILIZED SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF THE BASIN OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIATED IMMEDIATELY. THE BASIN SHALL BE MONITORED TO ASSURE PROPER DEWATERING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DEWATER/EMPTY WITH 72 HOURS AFTER A STORM EVENT. IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIOD, THE BOTTOM OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPLACE WITH 4" OF LOAM AND SEED.

EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM  
(WEEKLY CONSTRUCTION REPORTS):

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

## EROSION & SEDIMENTATION CONTROL NARRATIVE

1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEP CLEAN AT ALL TIMES.
5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH THE RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.



N.T.S.

6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:

MULCH: STRAW RATE: 90# / 1000 S.F.

TEMPORARY SEEDING: PERENNIAL RYEGRASS      RATE: 1.0# / 1000 S.F.

- CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE RECEIVING STREAM.
12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTFITTED WITH AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. PICKUPS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LULU OR SPILLS MUST BE REMOVED IMMEDIATELY. AFTER INSPECTION, ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE – SPRING 2023  
ESTIMATED COMPLETION DATE – SPRING 2024

### CONSTRUCTION DUST CONTROL NOTES

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, PONDS AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLANT ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOILS PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF APPLICATION TO RUNOFF TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM ALORIDE, COALEX, POLYACRYLIC AMIDES, POLYMERIZED OR HYDROLYZED LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONPHLATIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURERS' RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.

PROJECT CONTACT INFO:

SCANNELL PROPERTIES #664, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391

**PROPERTY OWNER:**

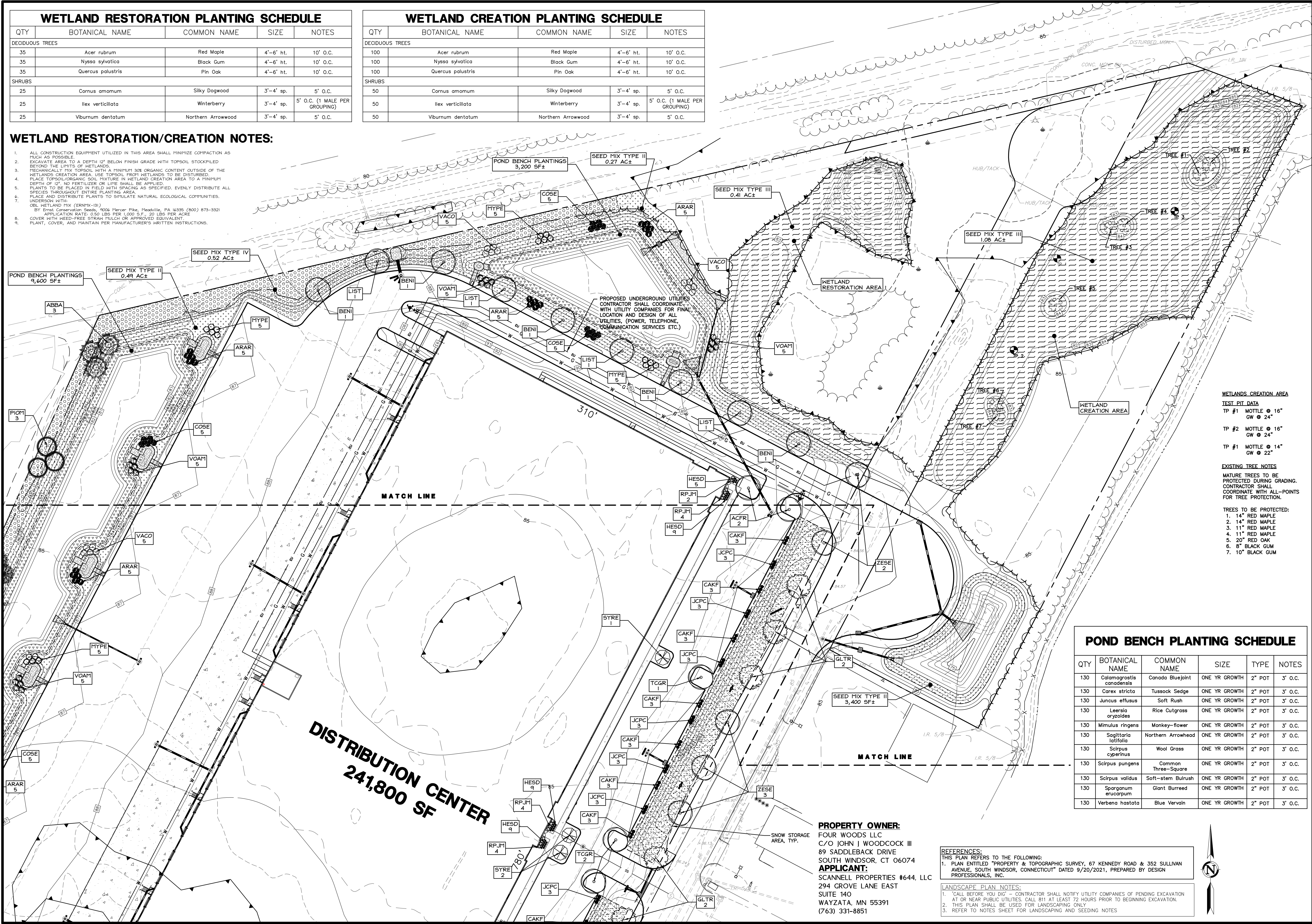
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074

**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851







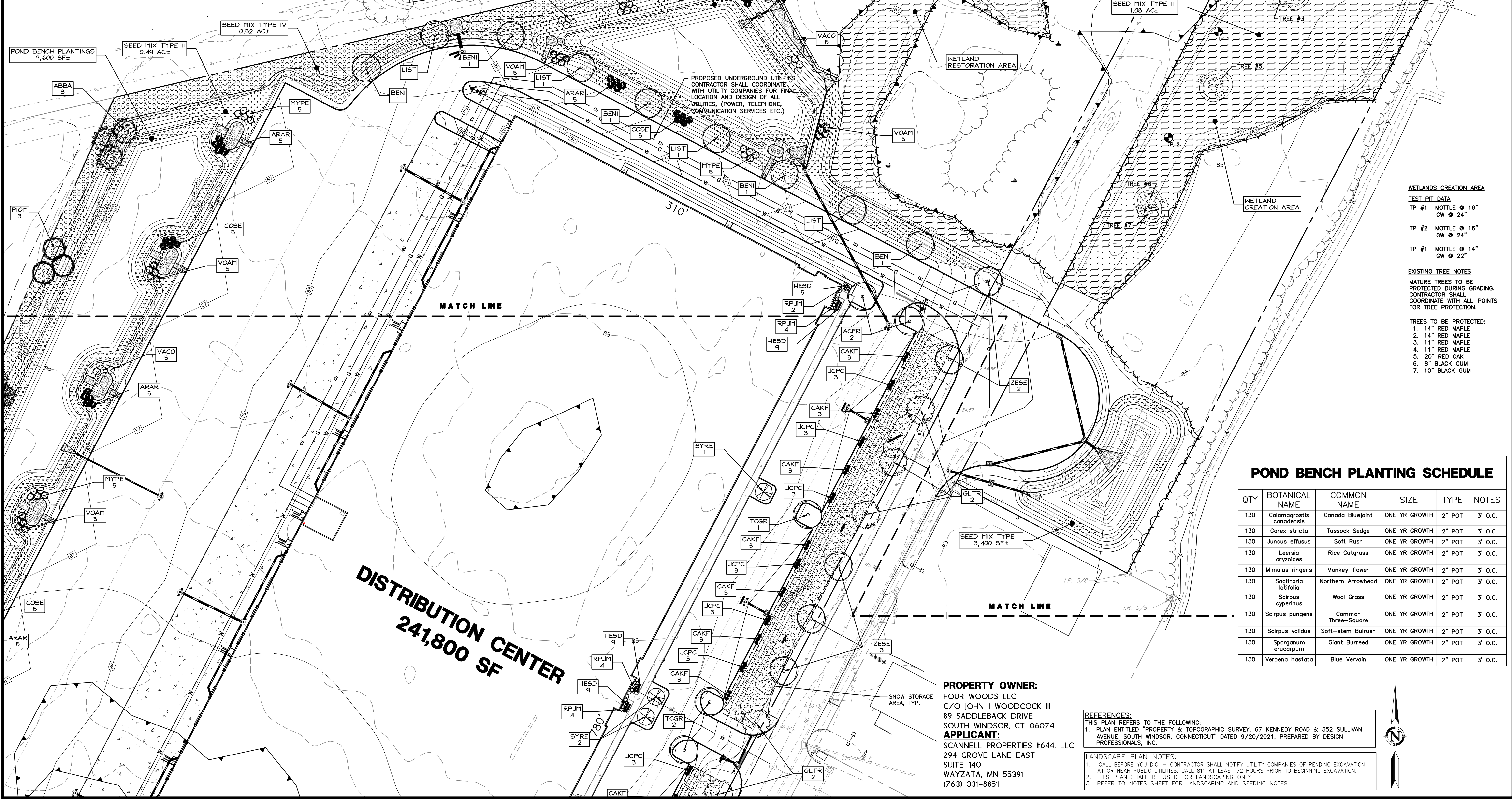


WETLAND RESTORATION PLANTING SCHEDULE				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES				
35	Acer rubrum	Red Maple	4'-6' ht.	10' O.C.
35	Nyssa sylvatica	Black Gum	4'-6' ht.	10' O.C.
35	Quercus palustris	Pin Oak	4'-6' ht.	10' O.C.
SHRUBS				
25	Cornus amomum	Silky Dogwood	3'-4' sp.	5' O.C.
25	Ilex verticillata	Winterberry	3'-4' sp.	5' O.C. (1 MALE PER GROUPING)
25	Viburnum dentatum	Northern Arrowwood	3'-4' sp.	5' O.C.

WETLAND CREATION PLANTING SCHEDULE				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES				
100	Acer rubrum	Red Maple	4'-6' ht.	10' O.C.
100	Nyssa sylvatica	Black Gum	4'-6' ht.	10' O.C.
100	Quercus palustris	Pin Oak	4'-6' ht.	10' O.C.
SHRUBS				
50	Cornus amomum	Silky Dogwood	3'-4' sp.	5' O.C.
50	Ilex verticillata	Winterberry	3'-4' sp.	5' O.C. (1 MALE PER GROUPING)
50	Viburnum dentatum	Northern Arrowwood	3'-4' sp.	5' O.C.

WETLAND RESTORATION/CREATION NOTES:

- ALL CONSTRUCTION EQUIPMENT UTILIZED IN THIS AREA SHALL MINIMIZE COMPACTION AS MUCH AS POSSIBLE.
- EXCAVATE AREA TO A DEPTH 12" BELOW FINISH GRADE WITH TOPSOIL STOCKPILED BEYOND THE LIMITS OF WETLANDS.
- Mechanically mix topsoil with a minimum 30% organic content outside of the wetlands creation area. Use topsoil from wetlands to be disturbed.
- PLACE TOPSOIL/ORGANIC SOIL MIXTURE IN WETLAND CREATION AREA TO A MINIMUM DEPTH OF 12". NO FERTILIZER OR LIME SHALL BE APPLIED.
- PLANTS TO BE PLACED IN FIELD WITH SPACING AS SPECIFIED. EVENLY DISTRIBUTE ALL SPECIES THROUGHOUT ENTIRE PLANTING AREA.
- PLACE AND DISTRIBUTE PLANTS TO SIMULATE NATURAL ECOLOGICAL COMMUNITIES.
- UNDERGO WITH:
- CEIL WETLAND MIX (ERNIX-181)
- BY Ernst Conservation Seeds, 9006 Hancer Pike, Meadville, PA 16335 (800) 873-3521
- APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- COVER WITH WEED-FREE STRAW MULCH OR APPROVED EQUIVALENT.
- PLANT, COVER, AND MAINTAIN PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



POND BENCH PLANTING SCHEDULE					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
130	Calamagrostis canadensis	Canada Bluejoint	ONE YR GROWTH	2" POT	3' O.C.
130	Carex stricta	Tussock Sedge	ONE YR GROWTH	2" POT	3' O.C.
130	Juncus effusus	Soft Rush	ONE YR GROWTH	2" POT	3' O.C.
130	Leersia oryzoides	Rice Cutgrass	ONE YR GROWTH	2" POT	3' O.C.
130	Mimulus ringens	Monkey-flower	ONE YR GROWTH	2" POT	3' O.C.
130	Sagittaria latifolia	Northern Arrowhead	ONE YR GROWTH	2" POT	3' O.C.
130	Scirpus cyperinus	Wool Grass	ONE YR GROWTH	2" POT	3' O.C.
130	Scirpus pungens	Common Three-Square	ONE YR GROWTH	2" POT	3' O.C.
130	Scirpus validus	Soft-stem Bulrush	ONE YR GROWTH	2" POT	3' O.C.
130	Sparganium angustifolium	Giant Burreed	ONE YR GROWTH	2" POT	3' O.C.
130	Verbena hastata	Blue Vervain	ONE YR GROWTH	2" POT	3' O.C.

**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

- REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
- LANDSCAPE PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.  
3. REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

- WETLANDS CREATION AREA**  
TEST PIT DATA  
TP #1 MOTTLE @ 16" GW @ 24"  
TP #2 MOTTLE @ 16" GW @ 24"  
TP #1 MOTTLE @ 14" GW @ 22"
- EXISTING TREE NOTES**  
MATURE TREES TO BE PROTECTED DURING GRADING.  
CONTRACTOR SHALL COORDINATE WITH ALL-POINTS FOR TREE PROTECTION.
- TREES TO BE PROTECTED:**  
1. 14" RED MAPLE  
2. 14" RED MAPLE  
3. 11" RED MAPLE  
4. 11" RED MAPLE  
5. 20" RED OAK  
6. 8" BLACK GUM  
7. 10" BLACK GUM

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PLANNERS / LANDSCAPE ARCHITECTS

21 EBBETT DRIVE  
P.O. BOX 167  
SOUTH WINDSOR, CT 06074  
860-298-9797 - F  
www.designprofessionals.com

PREPARED FOR:  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

PROJECT NO.:  
4670

DATE:  
3/30/2022

DESIGNED BY:  
DHL/BPW

CHECKED BY:  
DHL/BPW

67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER  
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS: 87300352, 49800067, & 49800068

REVISIONS

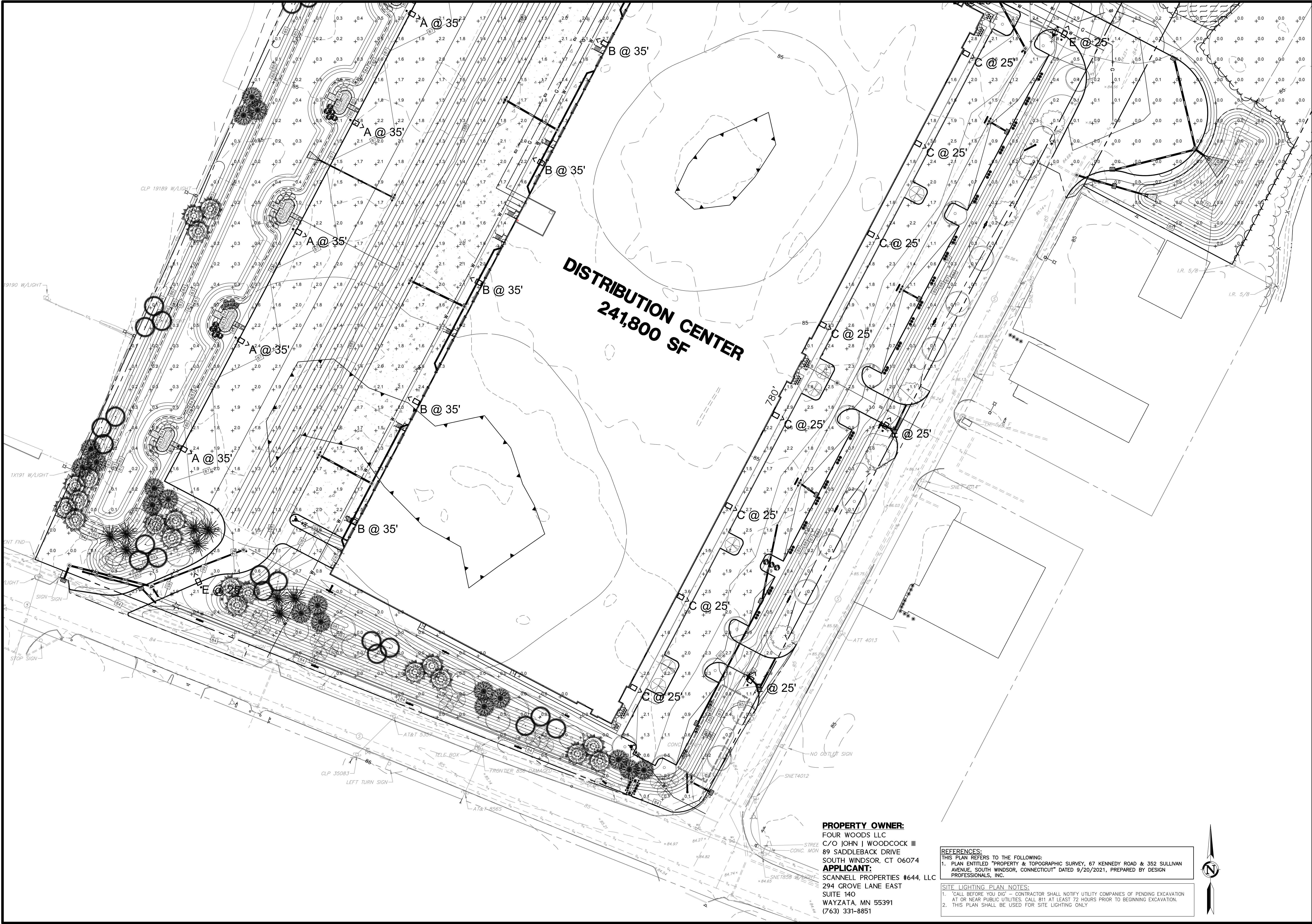
NO.	DATE	BY	REVISIONS
1	4/20/22	DHL	EAS PLAN UPDATES
2	4/20/22	DHL	PZC SUBMISSION

LANDSCAPE PLAN  
SHEET 15 OF 24









**PROPERTY OWNER:**  
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C/O JOHN J WOODCOCK III  
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**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
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**SITE LIGHTING PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY.

SITE LIGHTING PLAN		REVISIONS		BY	
NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
1	4/18/22	EAS PLAN UPDATES	DHJ		
2	4/20/22	P2C SUBMISSION	DHJ		

PROJECT NO.  
4670

DATE  
3/30/2022

DESIGNED BY  
DHJ/BPW

DRAWN BY  
CONCRETE BY  
BPM

67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER

352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS: 87300352, 49800067, & 49800068

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DESIGN PROFESSIONALS  
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PLANNERS / LANDSCAPE ARCHITECTS

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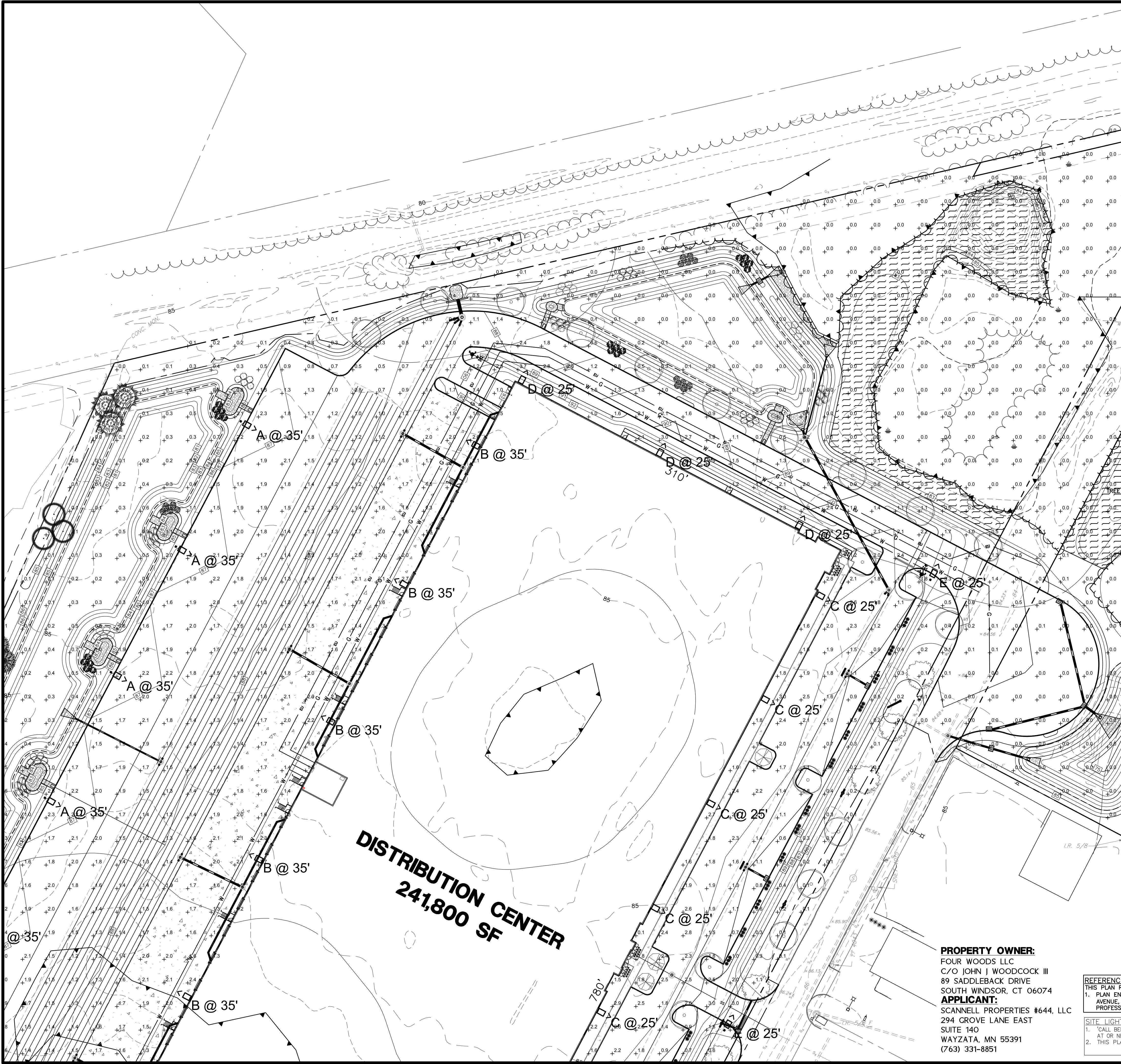
DESIGN PROFESSIONALS, INC.  
21 JEFFREY DRIVE  
P.O. BOX 167  
SOUTH WINDSOR, CT 06074  
860-291-8727 - F  
860-291-8727 - T  
www.designprofessionalsinc.com

SCALE: 0' 20' 40' 80'

T = 40'

SHEET 17 OF 24





**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851


**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.

**SITE LIGHTING PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY.

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	LLF	Wattage	Notes
	A	6	Lithonia Lighting	DSX2 LED P3 40K TFM	DSX2 LED P3 40K TFM MVOLT	0.91	217	Pole Mount
	B	6	Lithonia Lighting	DSX2 LED P3 40K TFM	DSX2 LED P3 40K TFM MVOLT	0.91	217	Wall Mount
	C	8	Lithonia Lighting	DSX2 LED P1 40K TFM	DSX2 LED P1 40K TFM MVOLT	0.91	140	Wall Mount
	D	3	Lithonia Lighting	DSX2 LED P1 40K T3M	DSX2 LED P1 40K T3M MVOLT	0.91	140	Wall Mount
	E	4	Lithonia Lighting	DSX2 LED P1 40K T3M	DSX2 LED P1 40K T3M MVOLT	0.91	140	Pole Mount

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Calc Zone #1	+	0.7	3.9	0.0	N/A

- SITE LIGHTING NOTES:**
- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
  - CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
  - MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
  - LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
  - ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
  - LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
  - INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



**D-Series Size 2 LED Area Luminaire**

**Specifications**

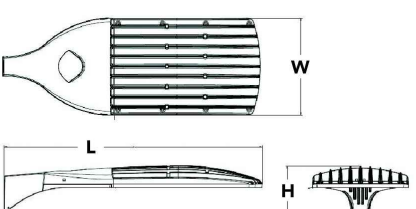
EPA: 1.1 (1.1)

Length: 40" (101.6 cm)

Width: 19" (48.3 cm)

Height: 7.1/4" (18.0 cm)

Weight (max): 36 lbs (16.3 kg)



**Capable Luminaire**

This luminaire is an A+ Capable Luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTI+ controls marked by a **shaded background**.
- DTI, DL, equipped luminaires meet the A+ specification for luminaire to photocell interoperability.
- This luminaire is part of an A+ Certified solution for ROAM or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit [www.acuitybrands.com/aaplus](http://www.acuitybrands.com/aaplus).

1. See ordering tree for details.  
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to ROAM Link on DTI DL.](#)

**Ordering Information**

DSX2 LED	DSX2 LED	DSX2 LED	DSX2 LED	DSX2 LED	DSX2 LED
DSX2 LED	DSX2 LED	DSX2 LED	DSX2 LED	DSX2 LED	DSX2 LED





































1. At least two (2) business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, and for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, field oral testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to ensure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
19. The contractor shall protect and maintain the operation and service of all existing utilities and systems with the appropriate utility companies during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
21. Contractor must prepare record drawings depicting the location of existing utilities that are copied, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-construction condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
29. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
30. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
31. The tops of existing manholes, inlet structures, and sanitary cleannout tops must be adjusted as necessary, to match proposed grades.
32. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
33. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
- Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
- Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
34. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
35. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
36. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
37. Contractor's price for water service must include all fees, costs and appearances required by the utility to provide full and complete working service.

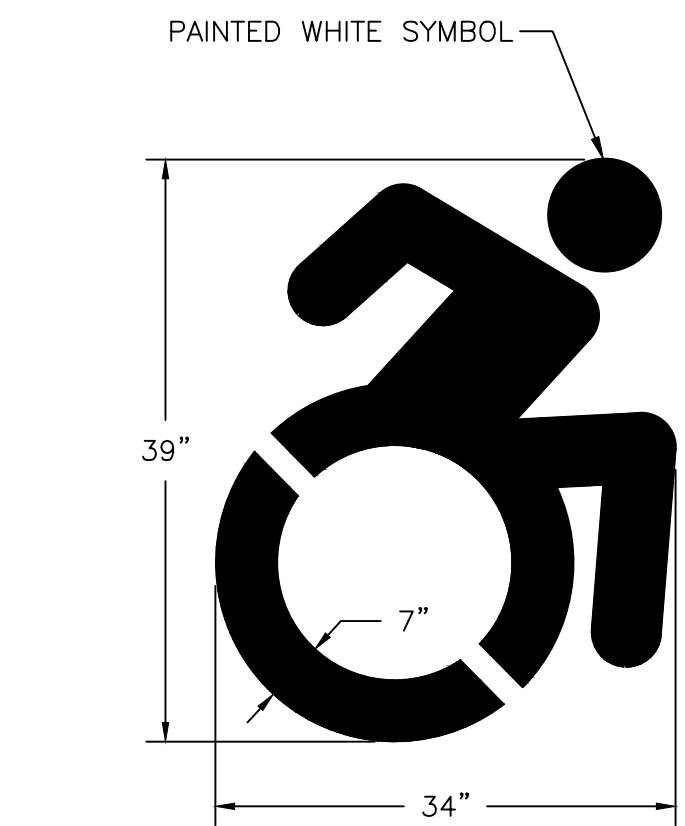
38. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
39. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
40. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
41. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the grade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal regulations, regulations and ordinances.
42. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
43. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
44. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
45. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
46. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
47. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
48. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:

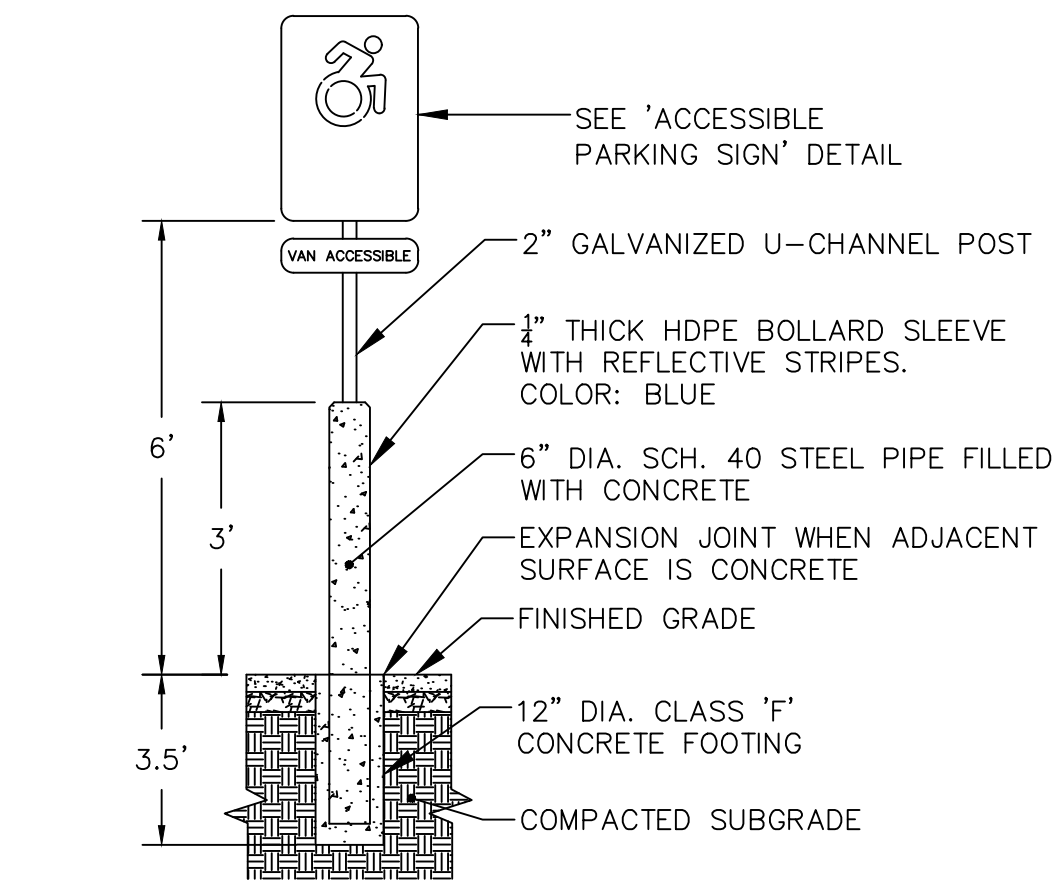
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
BORINGS		
	BORING / TEST PIT LOCATION	
COMMUNICATION		
— — — — C <sub>x</sub> — — — — C <sub>x</sub> — —	UNDERGROUND COMMUNICATION LINES	— — — — C — — — —
DOMESTIC WATER		
— — — — W <sub>x</sub> — — — — W <sub>x</sub> — —	WATER MAIN	— — — — W — — — —
— — — — WS <sub>x</sub> — — — —	WATER SERVICE	— — — — WS — — — —
— — — — F <sub>x</sub> — — — — F <sub>x</sub> — —	FIRE SERVICE LINE	— — — — f — — — —
— — — — NPW <sub>x</sub> — — — —	NON-POTABLE WATER LINE	— — — — NPW — — — —
 	WATER VALVE / FIXTURES	 
	FIRE HYDRANT	
LIQUID FUEL		
— — — — LF <sub>x</sub> — — — —	MAIN LIQUID FUEL LINE	— — — — LF — — — —
— — — — LFS <sub>x</sub> — — — —	LIQUID FUEL SERVICE LINE	— — — — LFS — — — —
— — — — LF <sub>0</sub> — — — —	LIQUID FUEL LINE, ABANDONED	
IRRIGATION		
— — — — I <sub>x</sub> — — — — I <sub>x</sub> — —	IRRIGATION LINES	— — — — I — — — —
LIGHTING		
 / 	POLE / GROUND MOUNTED LIGHT	 / 
NATURAL GAS		
— — — — G <sub>x</sub> — — — — G <sub>x</sub> — —	GAS MAIN	— — — — G — — — —
— — — — GS <sub>x</sub> — — — —	GAS SERVICE LINE	— — — — GS — — — —
POWER		
— — — — EO <sub>x</sub> — — — —	ELECTRICAL LINES, OVERHEAD	— — — — EO — — — —
— — — — EU <sub>x</sub> — — — —	ELECTRICAL LINES, UNDERGROUND	— — — — EU — — — —
	UTILITY POLE	
PROPERTY		
— — — — — — — — — —	PROPERTY LINE	— — — — — — — — — —
— — — — — — — — — —	EASEMENT LINE	— — — — — — — — — —
	IRON PIPE	
	IRON ROD	
	MONUMENT	
ROADS		
— — — — R — — — — R — — — —	GUARD RAIL	 
EROSION CONTROL		
— — — — — — — — — —	SILT FENCE	— — — — SF — — — —
SITE FEATURES		
— — — — — — — — — —	4" DOUBLE SOLID YELLOW LINE	— — — — DSYL — — — —
— — — — — — — — — —	4" SINGLE SOLID WHITE LINE	— — — — SSWL — — — —
— — — — — — — — — —	BIT. CONC. LIP CURB	— — — — BCLC — — — —
— — — — — — — — — —	PRECAST CONCRETE CURB	— — — — PCC — — — —
SANITARY SEWER		
— — — — S <sub>x</sub> — — — — S <sub>x</sub> — —	SANITARY SEWER MAIN	
— — — — SS <sub>x</sub> — — — — SS <sub>x</sub> — —	SANITARY SEWER SERVICE LINE	— — — — SS — — — —
	SANITARY SEWER MANHOLE	
STORM SEWER		
— — — — — — — — — —	STORM DRAIN PIPE	
— — — — RL <sub>x</sub> — — — — RL <sub>x</sub> — —	ROOF LEADER	— — — — RL — — — —
— — — — UD — — — — UD — —	UNDERDRAIN	— — — — UD — — — — UD — —
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
TOPOGRAPHY		
— — — — 95 — — — —	CONTOUR	— — — — 95 — — — —
— — — — X61.95 — — — —	SPOT ELEVATION	
OTHER		
— — — — — — — — — —	RAMP	— — — — R — — — —
— — — — — — — — — —	LANDSCAPE AREA	— — — — LSA — — — —

**PROPERTY OWNER:**  
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89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
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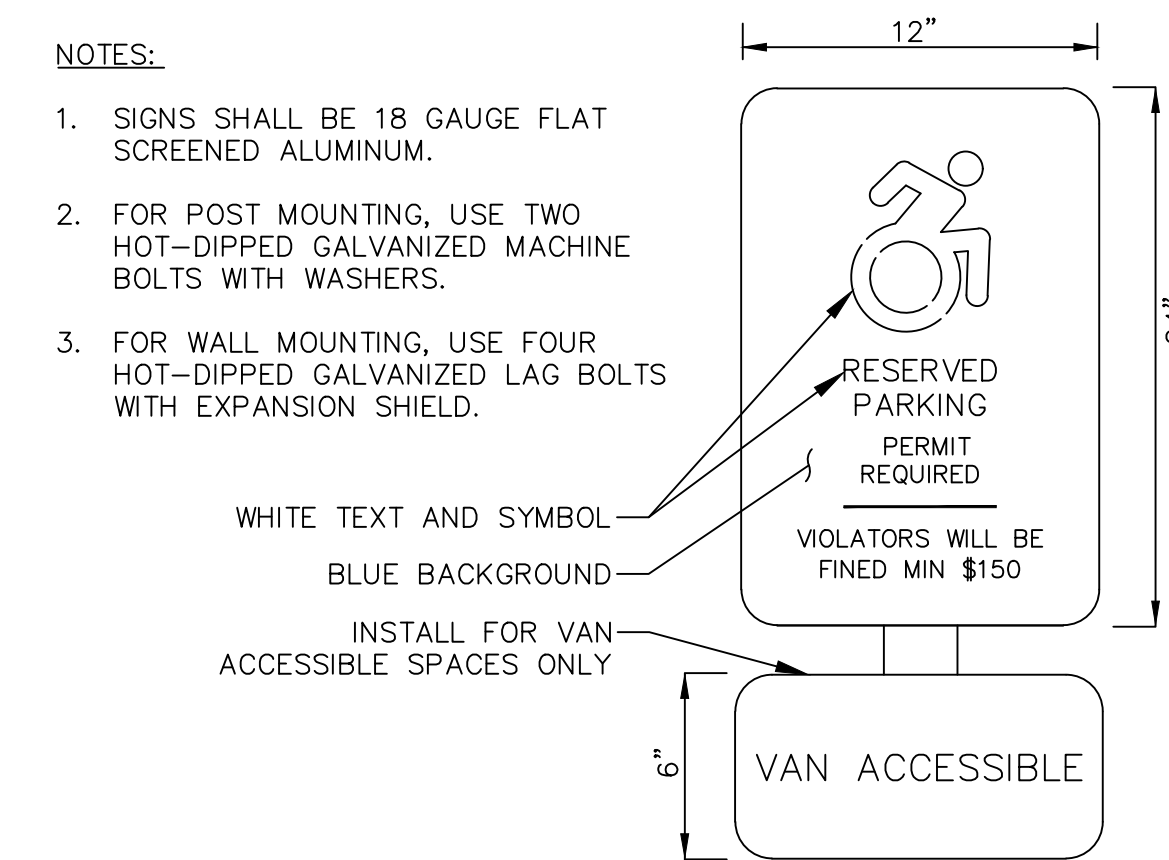


Not to Scale

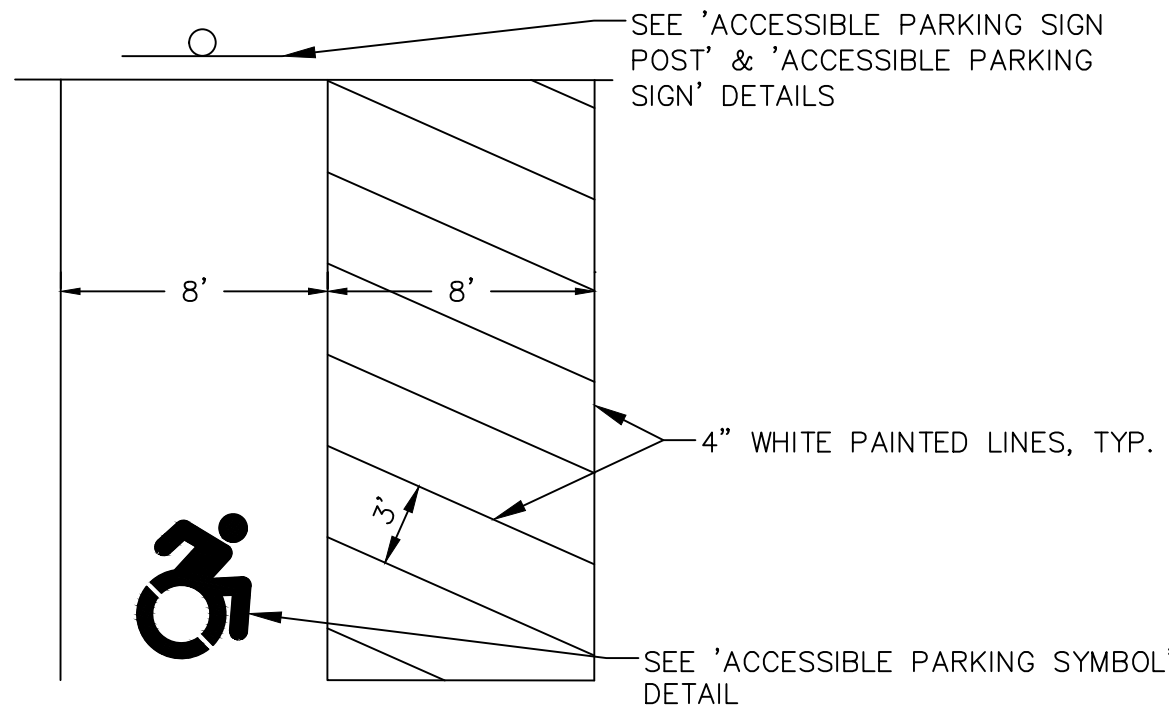


Not to Scale

1. SIGNS SHALL BE 18 GAUGE FLAT SCREENED ALUMINUM.
2. FOR POST MOUNTING, USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS.
3. FOR WALL MOUNTING, USE FOUR HOT-DIPPED GALVANIZED LAG BOLTS WITH EXPANSION SHIELD.



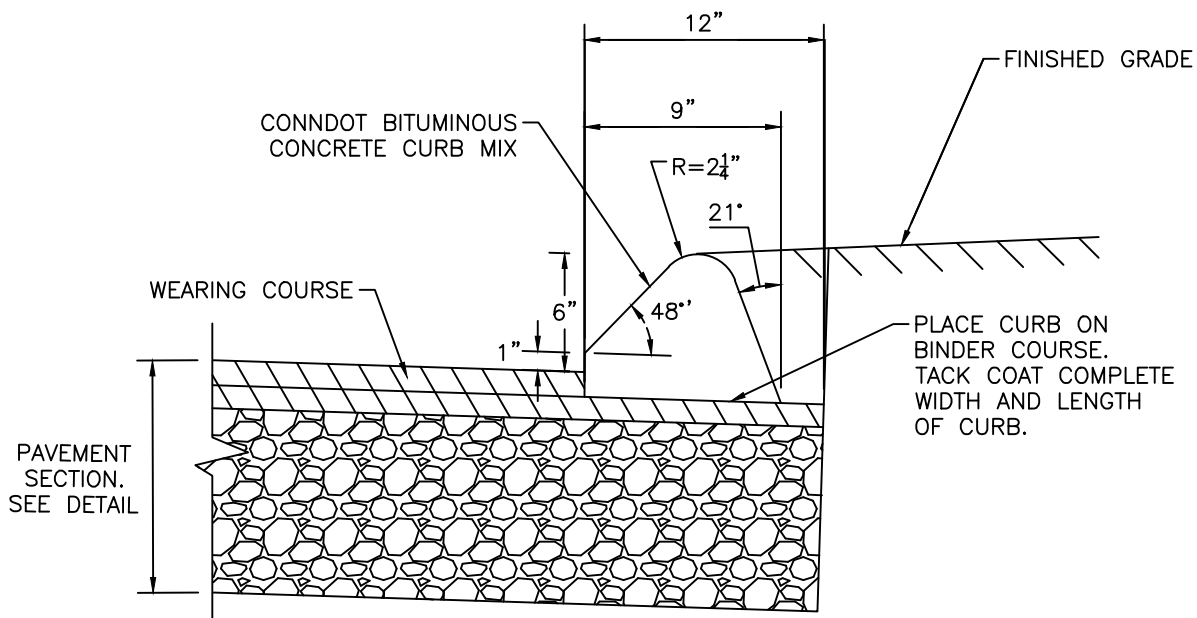
Not to Scale



1. ACCESSIBLE PARKING SPACES AND ADA PASSENGER LOADING AREAS SHALL BE GRADED WITH A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS.

Not to Scale

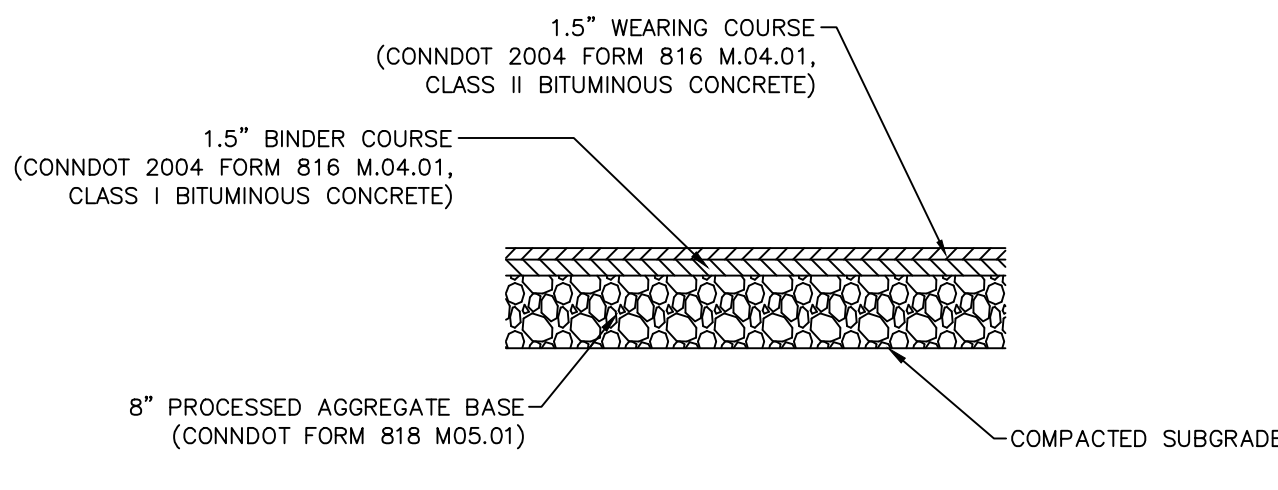




NOTE:  
BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CONNDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

## 1 BITUMINOUS CONCRETE LIP CURB

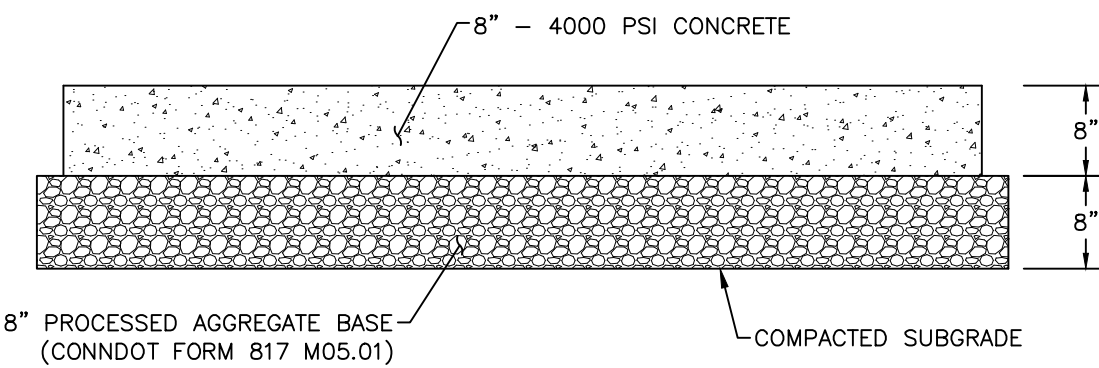
Not to Scale



NOTES:  
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

## 4 BITUMINOUS CONCRETE STANDARD DUTY PAVEMENT

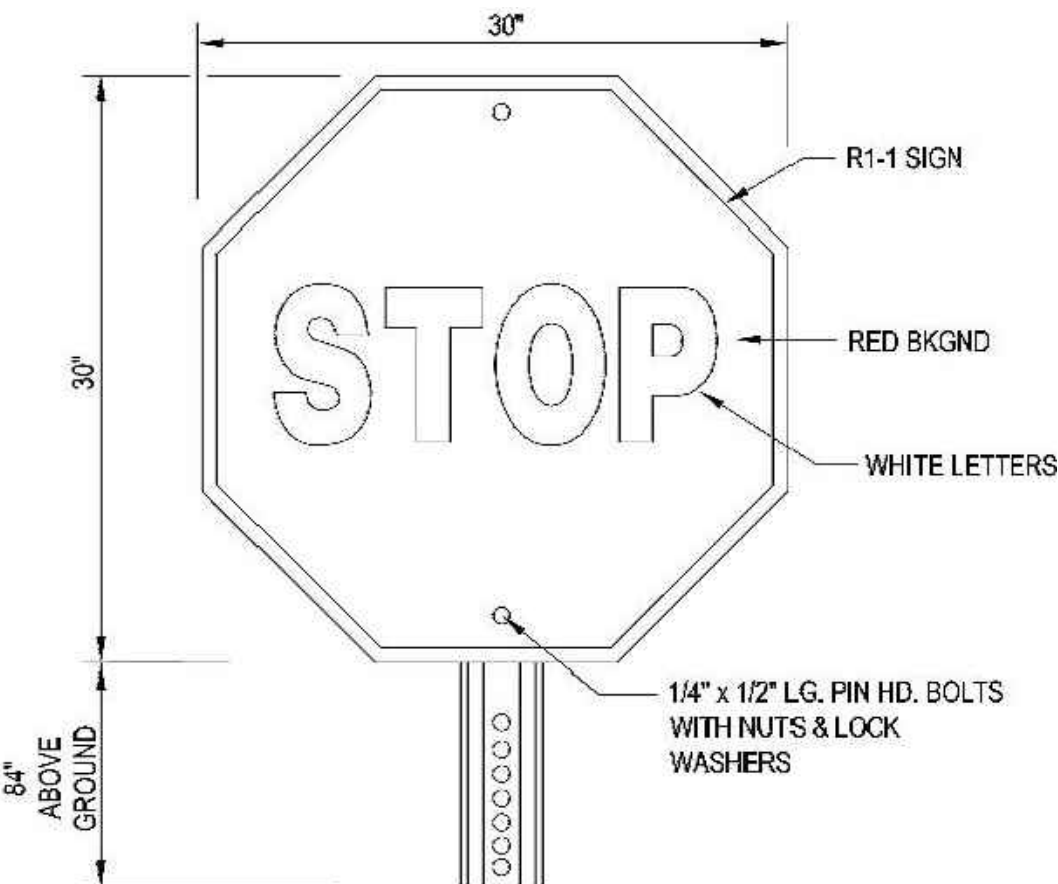
Not to Scale



NOTES:  
1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.  
2. CONCRETE SHALL BE MIXED PER SPECIFICATION OUTLINED IN CONNDOT FOR 817 M.03.

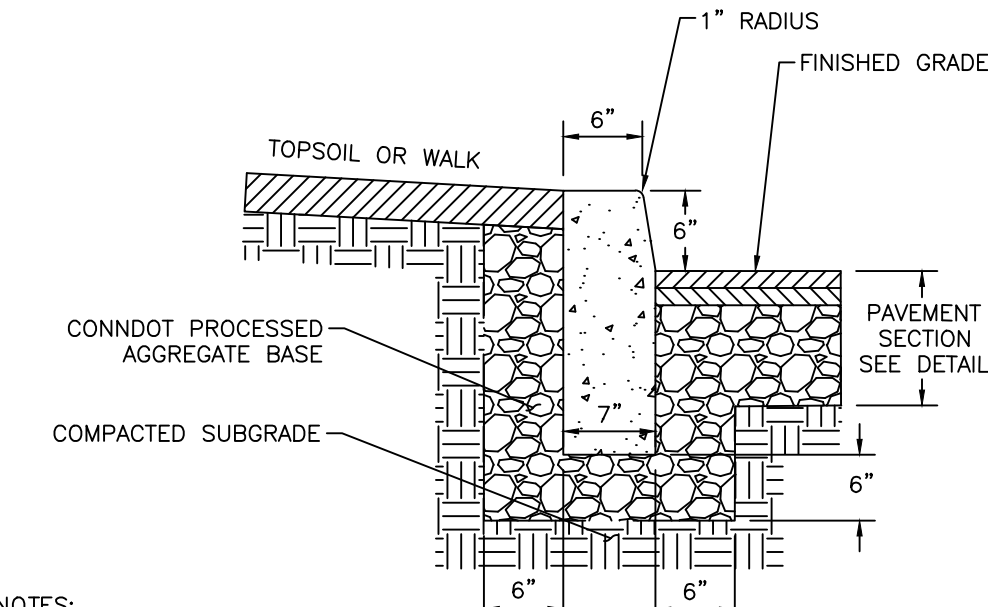
## 8 CONCRETE DOCK APRON

Not to Scale



## 12 STOP SIGN

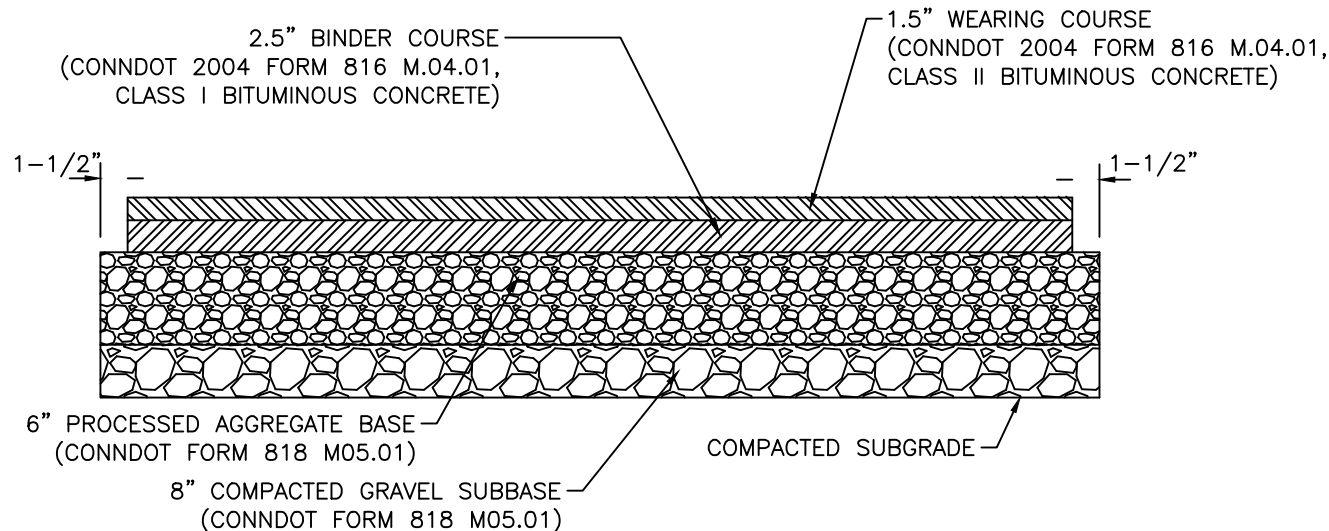
Not to Scale



NOTES:  
1. ALL CONCRETE SHALL BE CONNDOT CLASS 'F' OR EQUIVALENT.  
2. THE END OF CURB SECTIONS SHALL BE CHAMFERED  $\frac{1}{4}$ ".  
3. CURB, CURB CORNERS OR EDGING SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.  
4. CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.  
5. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF 20 FEET ON CENTER USING PREFORMED EXPANSIONS JOINT FILLER HAVING A THICKNESS OF  $\frac{3}{8}$ ".  
6. WHEN ABUTTING CONCRETE WALKS, INSTALL PREFORMED EXPANSIONS JOINT FILLER HAVING A THICKNESS OF  $\frac{3}{8}$ " ALONG LENGTH OF WALK.  
7. CONCRETE CURBING SHALL BE INSTALLED PER CONNDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

## 2 PRECAST CONCRETE CURB

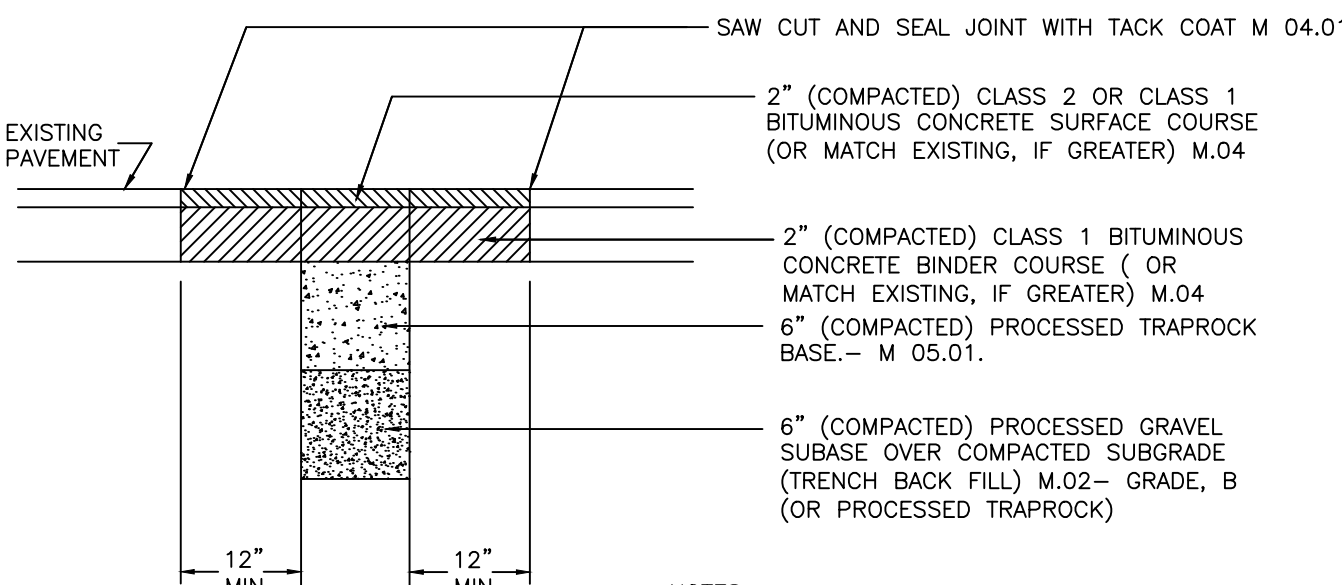
Not to Scale



NOTES:  
1. HEAVY DUTY PAVEMENT AREA NOTED ON SITE PLAN. ALL OTHER PAVEMENT AREAS TO BE STANDARD DUTY.  
2. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

## 5 BITUMINOUS CONCRETE HEAVY DUTY PAVEMENT

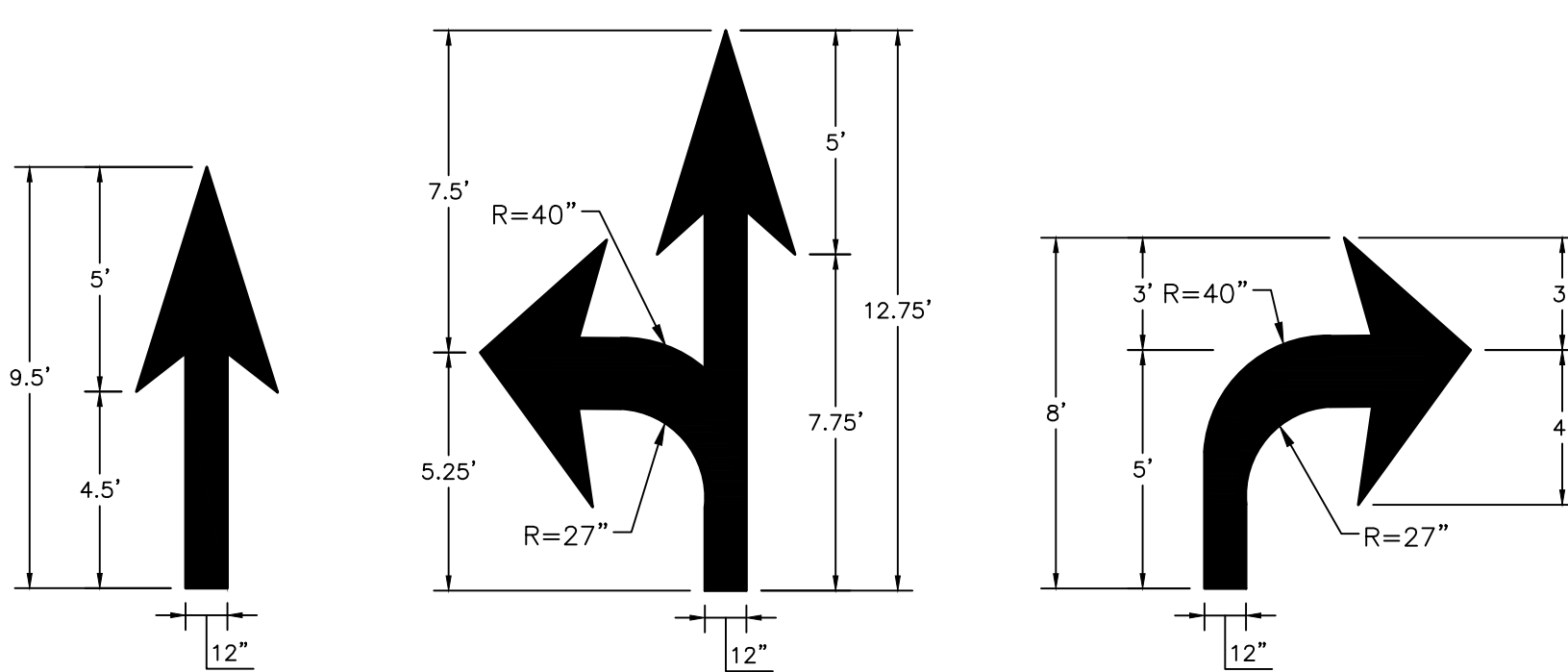
Not to Scale



NOTES:  
1. ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH, OR PERPENDICULAR TO, THE CENTERLINE OF THE PIPE.  
2. ALL MATERIALS ARE TO MEET FORM 817, AS AMENDED.

## 9 PERMANENT PAVEMENT PATCHING (KENNEDY ROAD)

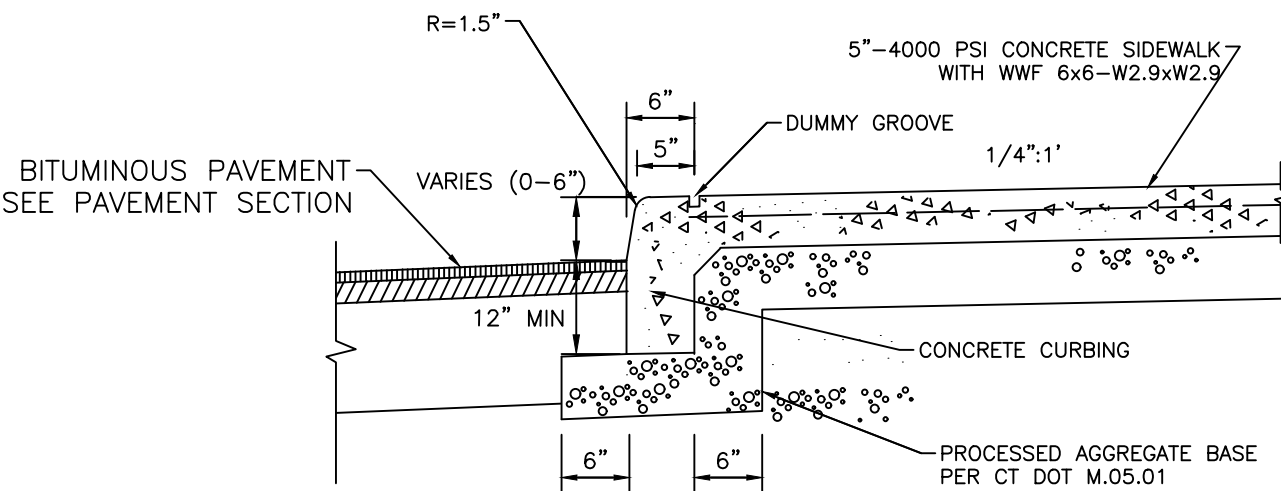
Not to Scale



NOTE:  
1. PAVEMENT TRAFFIC ARROW DIMENSIONS TAKEN FROM CTDOT STANDARD SHEET "TR-1210\_04: PAVEMENT MARKING LINES AND SYMBOLS".

## 13 TRAFFIC ARROWS

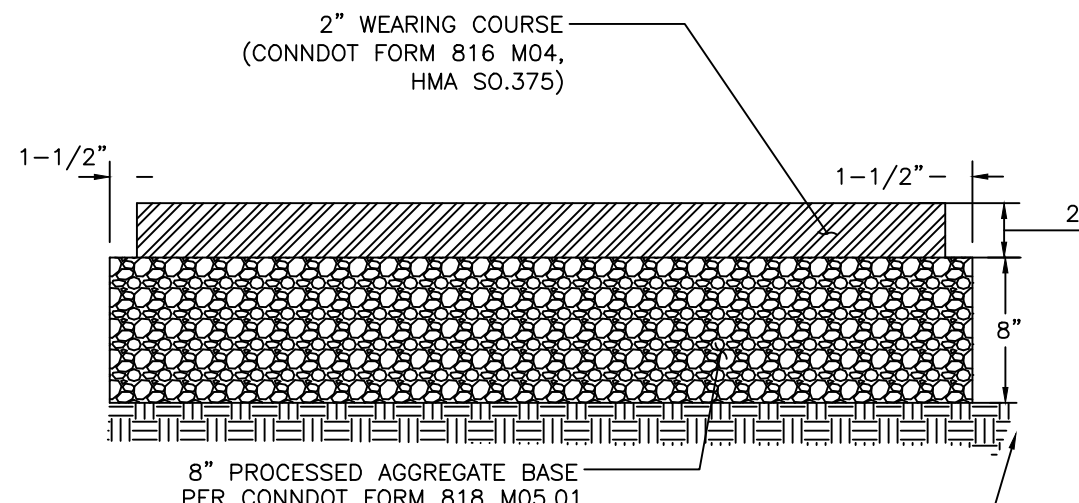
Not to Scale



NOTES:  
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.  
2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.  
3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.  
4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH.

## 3 MONOLITHIC CONCRETE WALK AND CURB

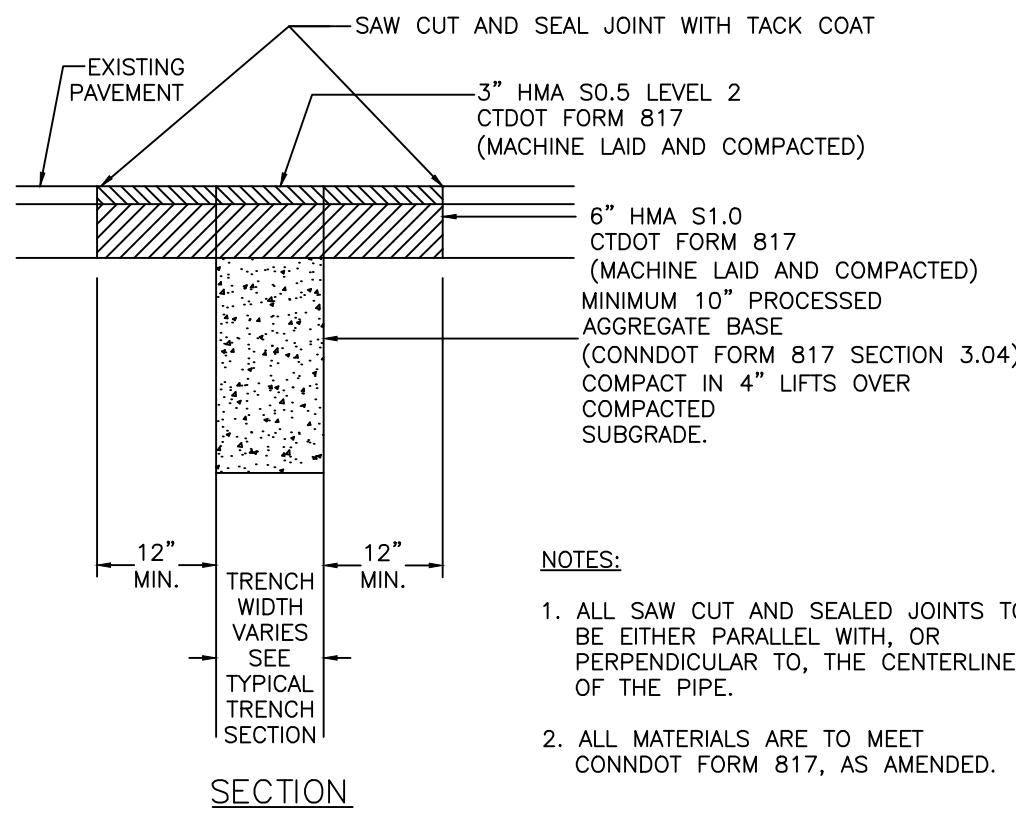
Not to Scale



NOTES:  
1. SEE SHEET SITE PLANS FOR LAYOUT AND DIMENSIONS.  
2. FOR WET SUBGRADE CONDITIONS THERE MAY BE A REQUIREMENT TO PLACE AN INITIAL 10+\"/>

## 6 BITUMINOUS CONCRETE SIDEWALK

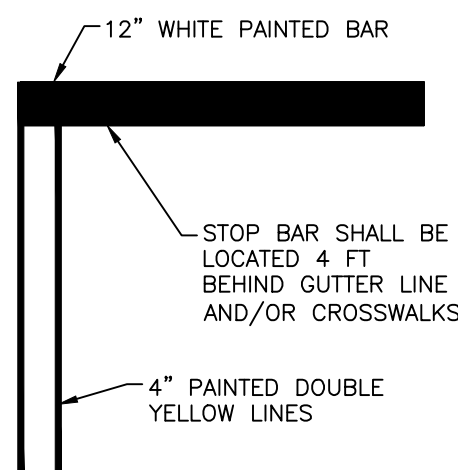
Not to Scale



NOTES:  
1. ALL SAW CUT AND SEALED JOINTS TO BE EITHER PARALLEL WITH, OR PERPENDICULAR TO, THE CENTERLINE OF THE PIPE.  
2. ALL MATERIALS ARE TO MEET CONNDOT FORM 817, AS AMENDED.

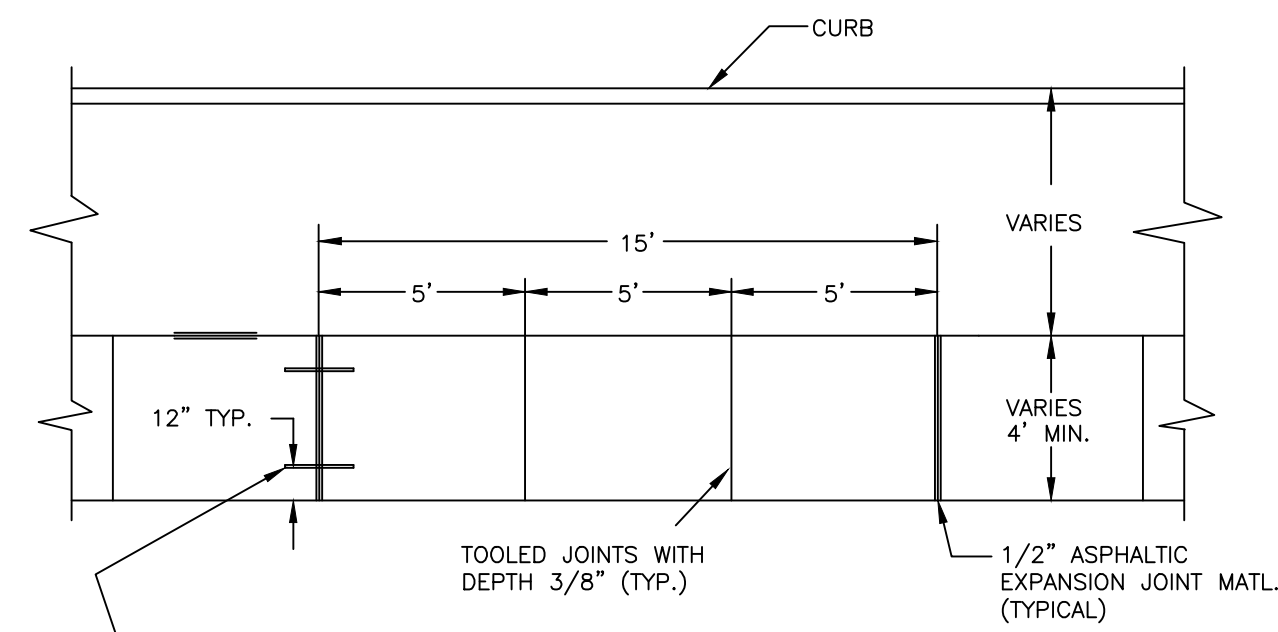
## 10 ROUTE 30 PERMANENT PAVEMENT PATCHING (SULLIVAN AVE)

Not to Scale

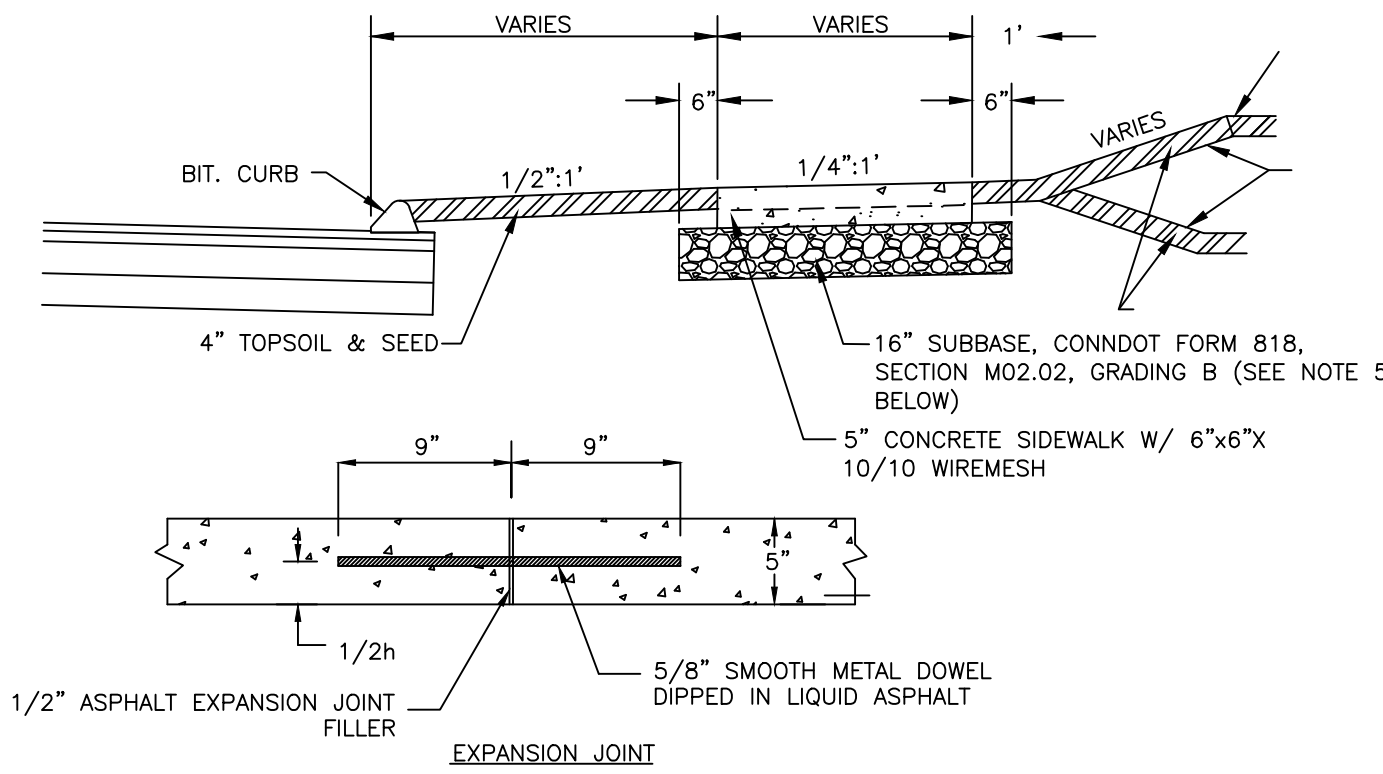


## 14 STOP BAR

Not to Scale



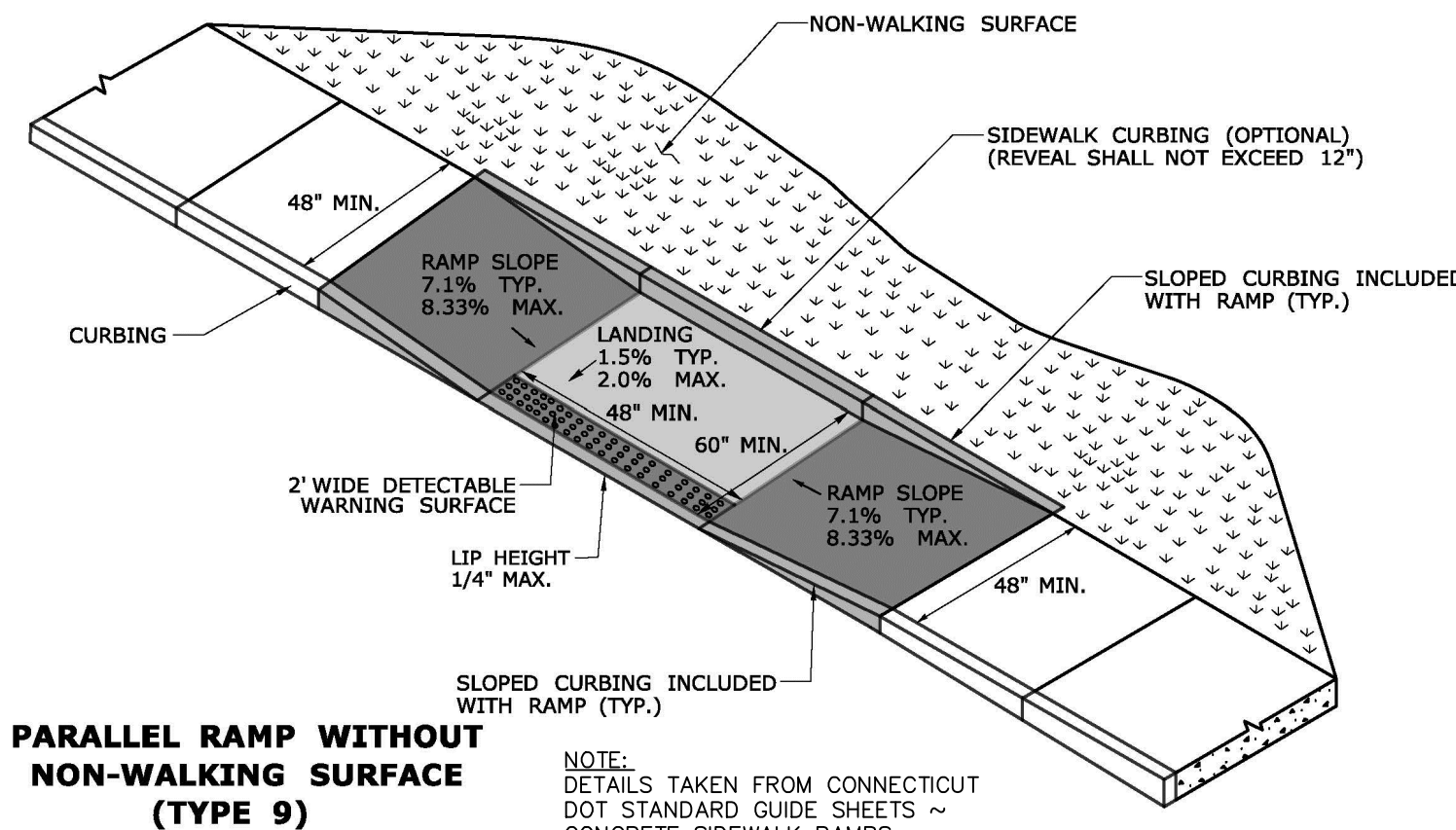
NOTE: DOWELS SHALL BE PLACED AT CONSTRUCTION JOINTS AND WHERE NEW CONCRETE MEETS EXISTING CONCRETE (SEE DETAIL).



NOTES:  
1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS 'F'. MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 818.  
2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.  
3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.  
4. PROVIDE BROOMED FINISH PERPENDICULAR TO TRAVEL PATH.  
5. SUBBASE DEPTH SHALL BE 24\"/>

## 7 CONCRETE SIDEWALK

Not to Scale

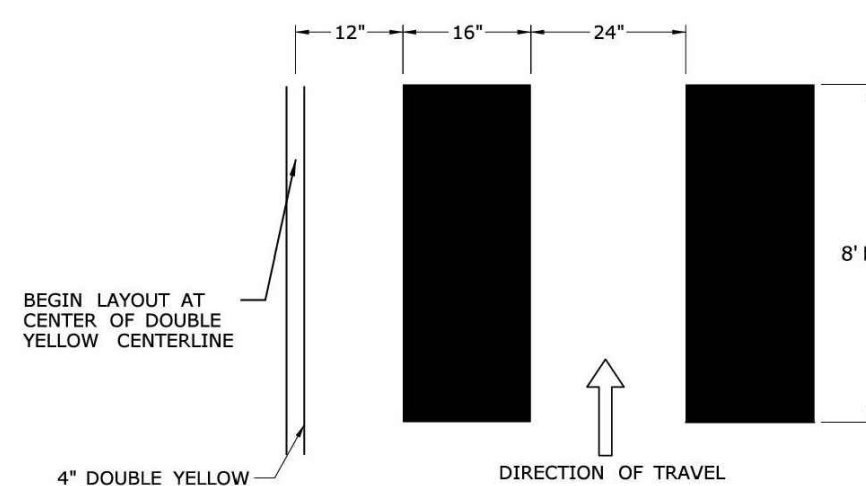


PARALLEL RAMP WITHOUT NON-WALKING SURFACE (TYPE 9)

NOTE:  
DETAILS TAKEN FROM CONNECTICUT DOT STANDARD GUIDE SHEETS ~ CONCRETE SIDEWALK RAMPS ~ ISSUED NOVEMBER 22, 2021

## 11 CONCRETE SIDEWALK RAMP

Not to Scale



NOTE:  
1. CROSSWALK LINES SHALL BE PARALLEL TO VEHICULAR DIRECTION OF TRAVEL.  
2. CROSSWALK DETAIL TAKEN FROM CTDOT STANDARD SHEET "TR-1210\_04: PAVEMENT MARKING LINES AND SYMBOLS".

## 15 CROSSWALK

Not to Scale

**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

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PREPARED FOR:  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

PROJECT NO.	4670
DATE	3/30/2022
DESIGNED BY	DHJ/BPW
CHECKED BY	CONRAD BT
DATE	3/30/2022

BY	DHJ
DHJ	
PZC SUBMISSION	

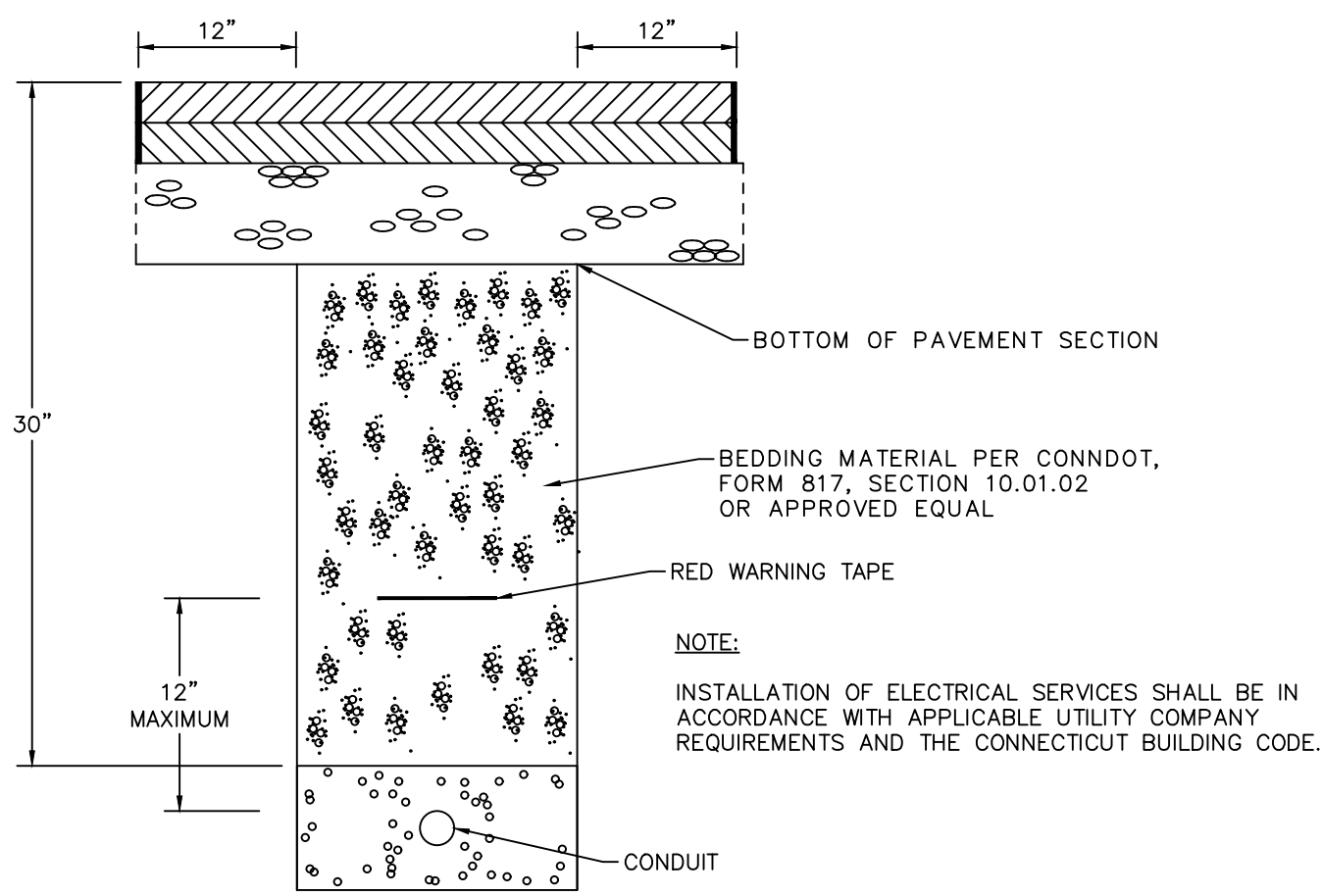
NO.	DATE	REVISIONS
1	4/7/22	EAS PLAN UPDATES
2	4/20/22	PZC SUBMISSION

DETAILS

SHEET  
**C-D2**  
SHEET 20 OF 24

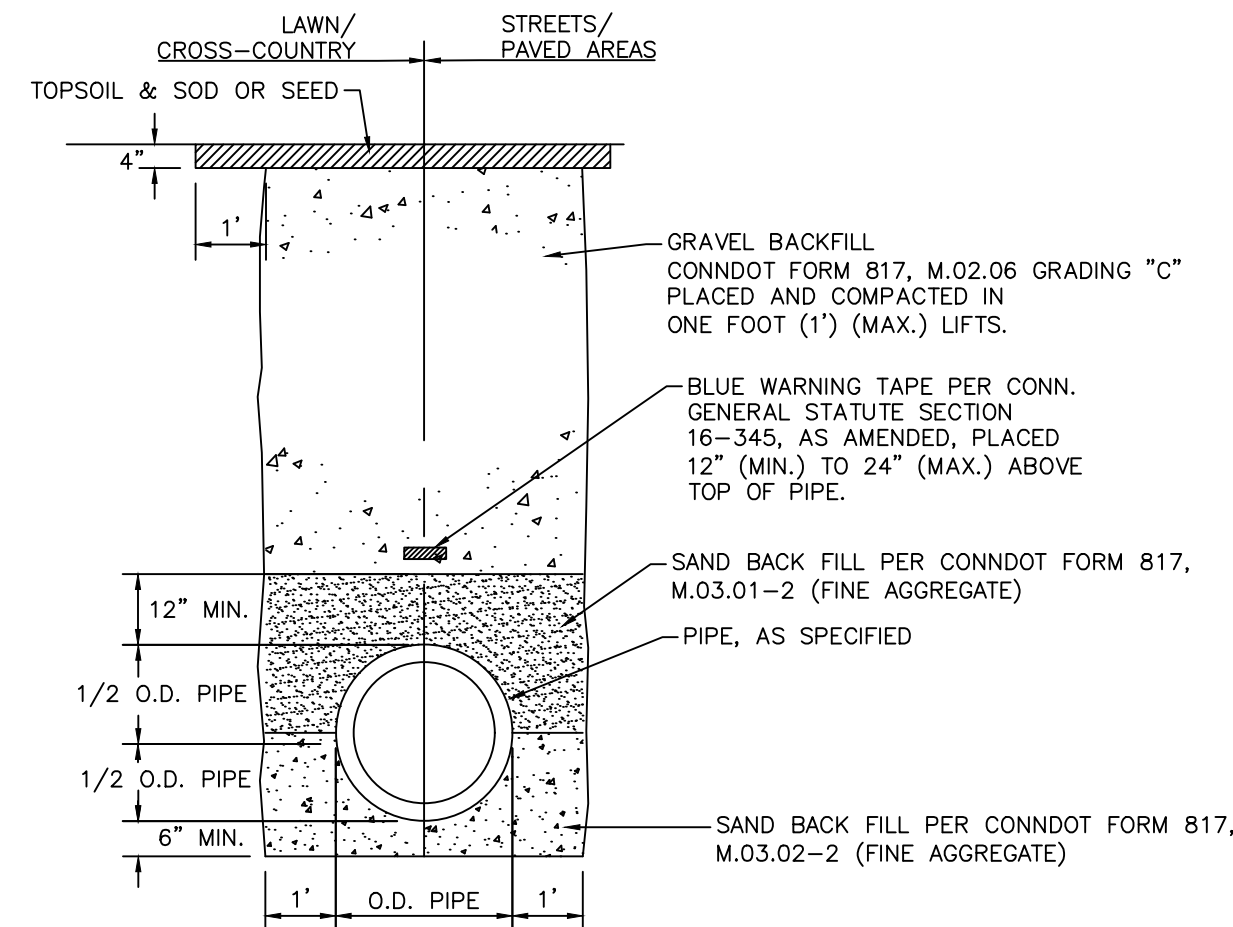
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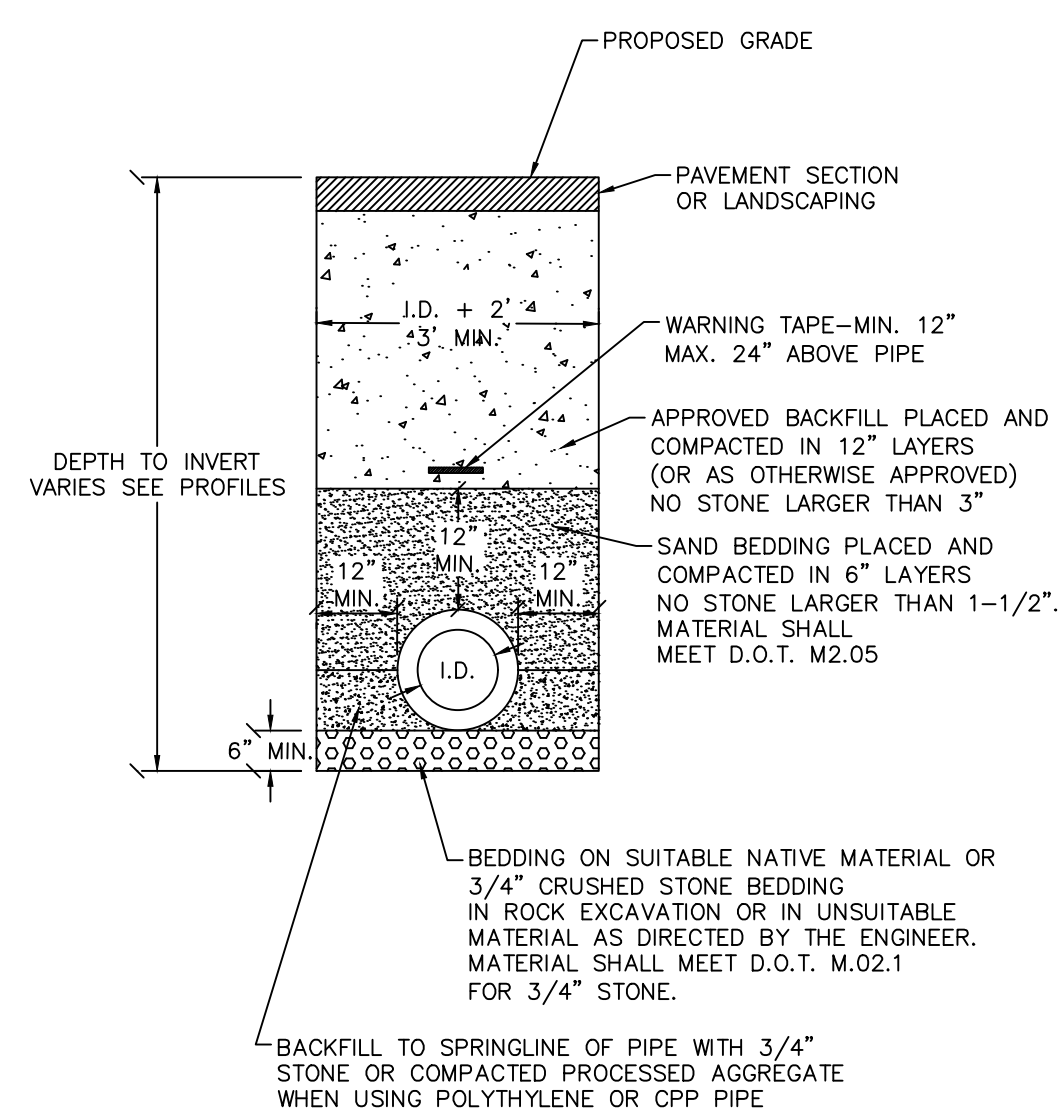
1 ELECTRIC TRENCH SECTION

Not to Scale



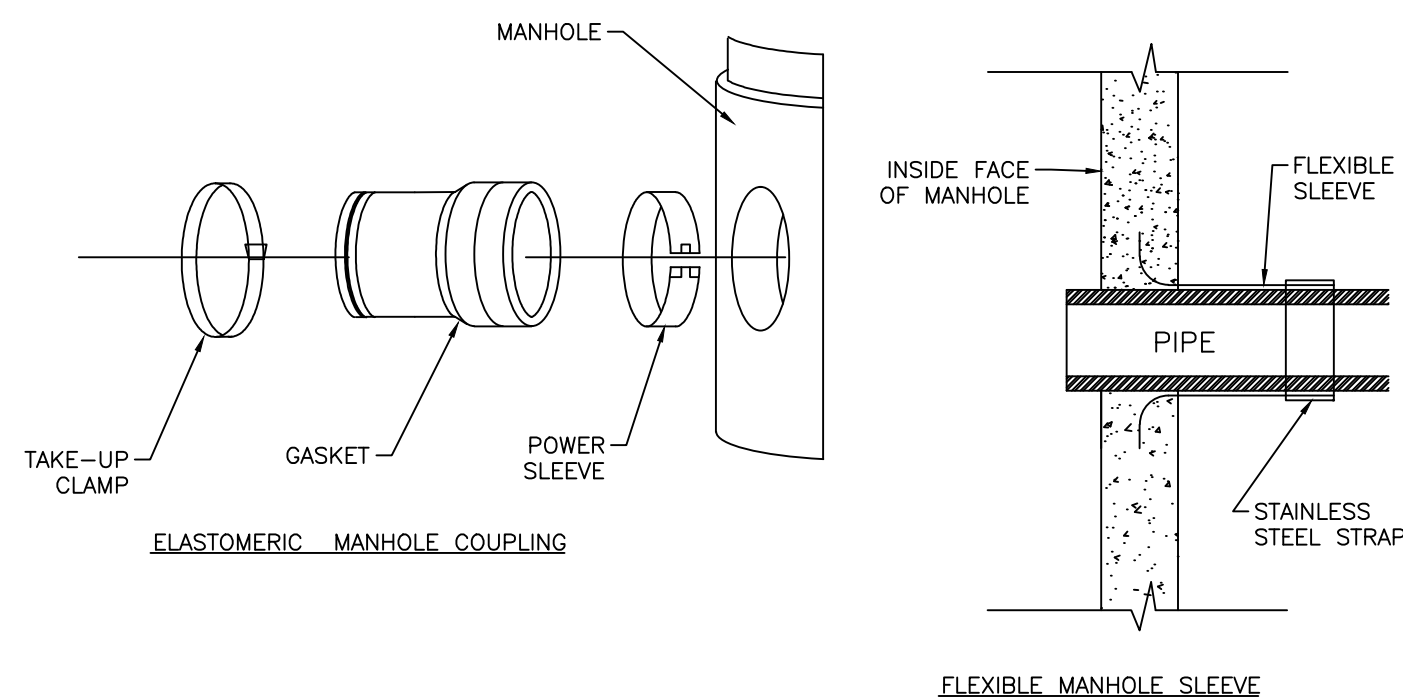
2 WATER TRENCH SECTION

Not to Scale



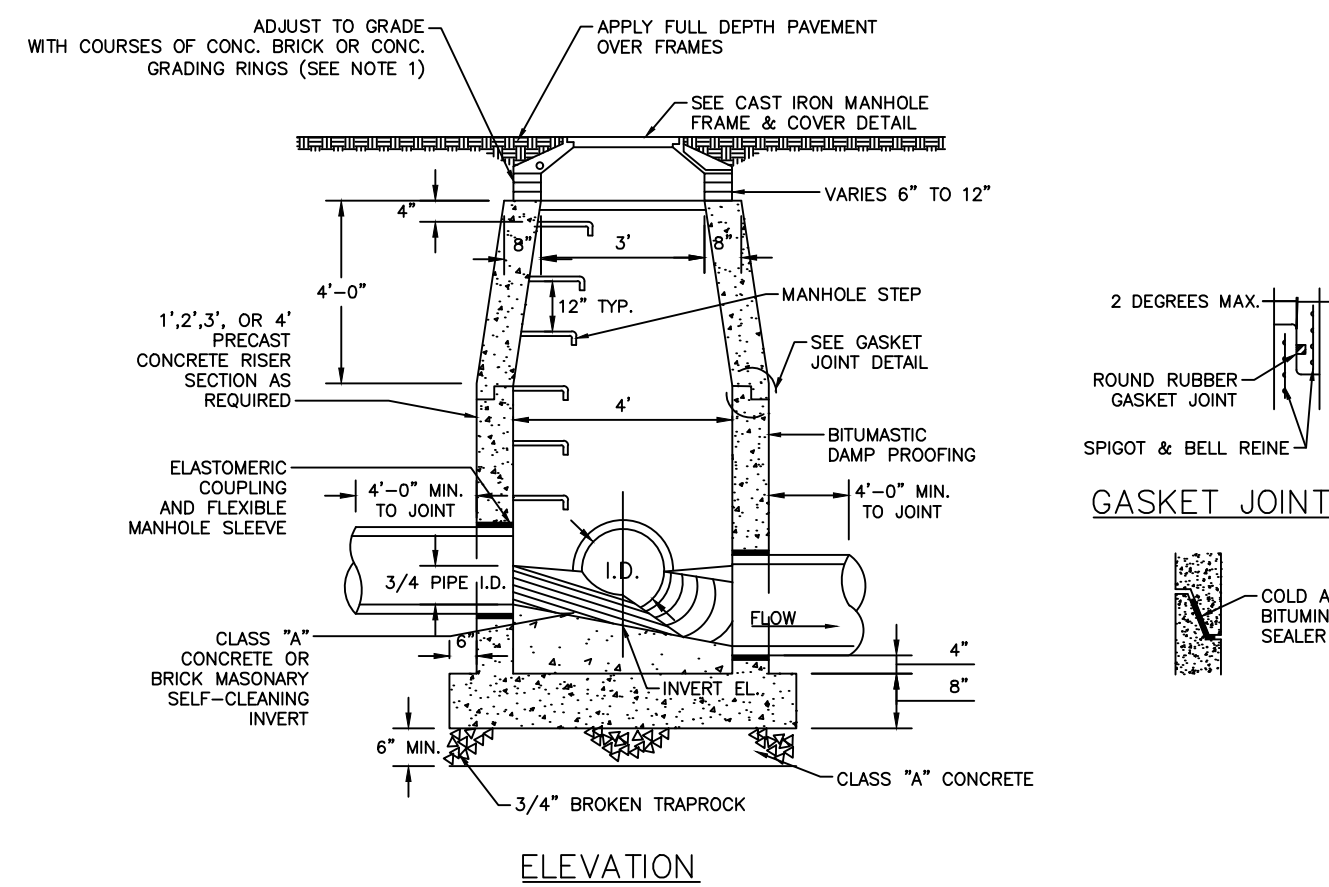
3 STORM SEWER TRENCH SECTION

Not to Scale



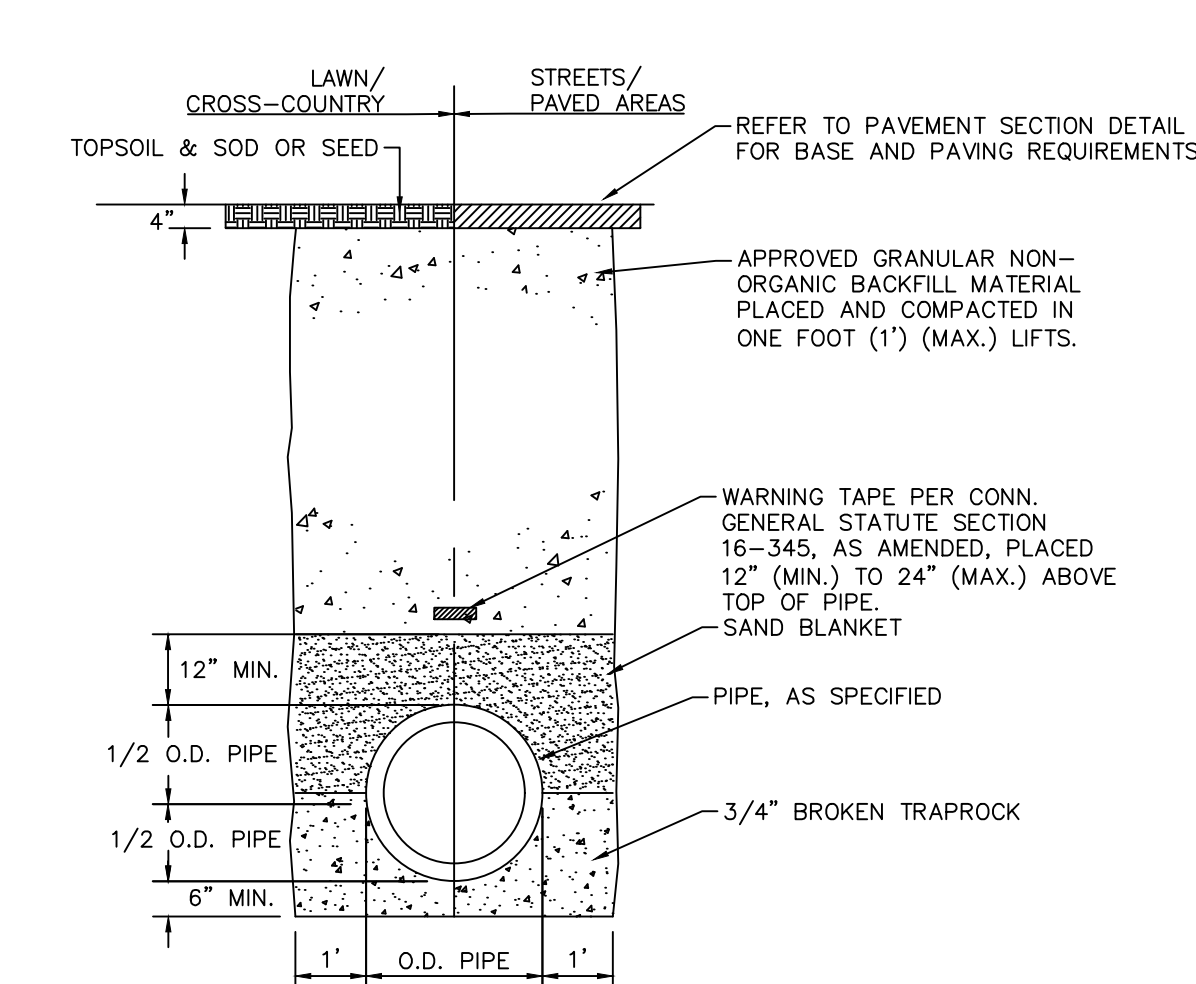
4 SANITARY LATERAL CONNECTION TO MANHOLE

Not to Scale



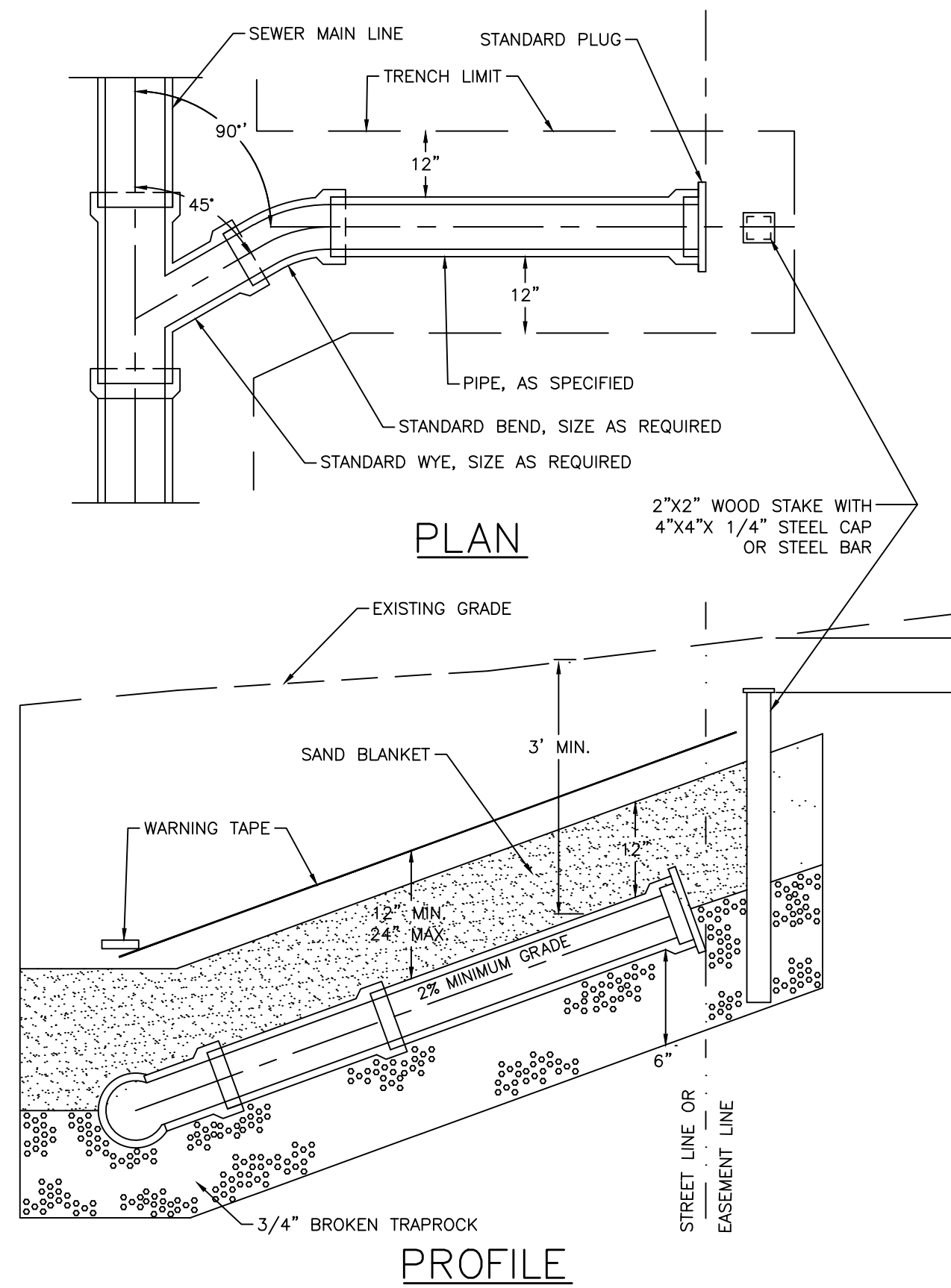
5 SANITARY MANHOLE

Not to Scale



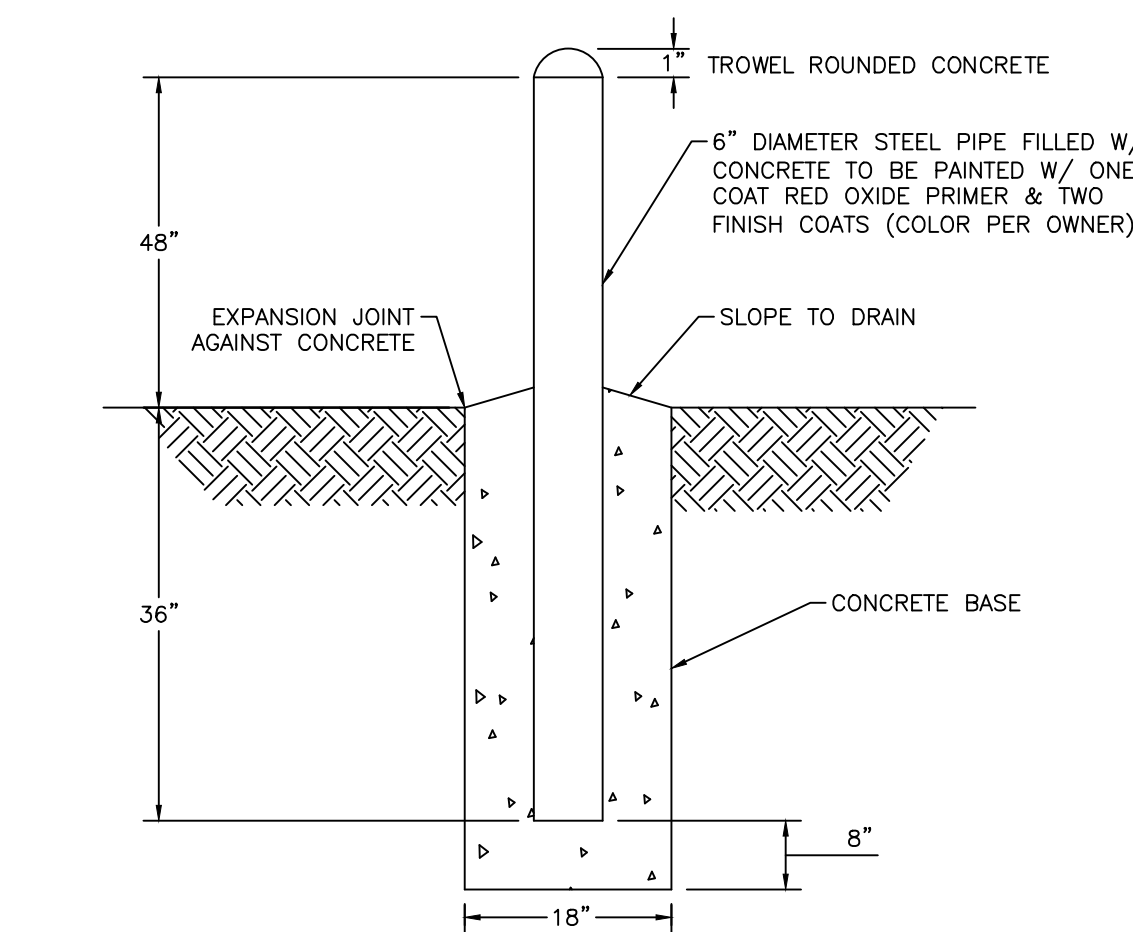
6 SANITARY SEWER TRENCH SECTION

Not to Scale



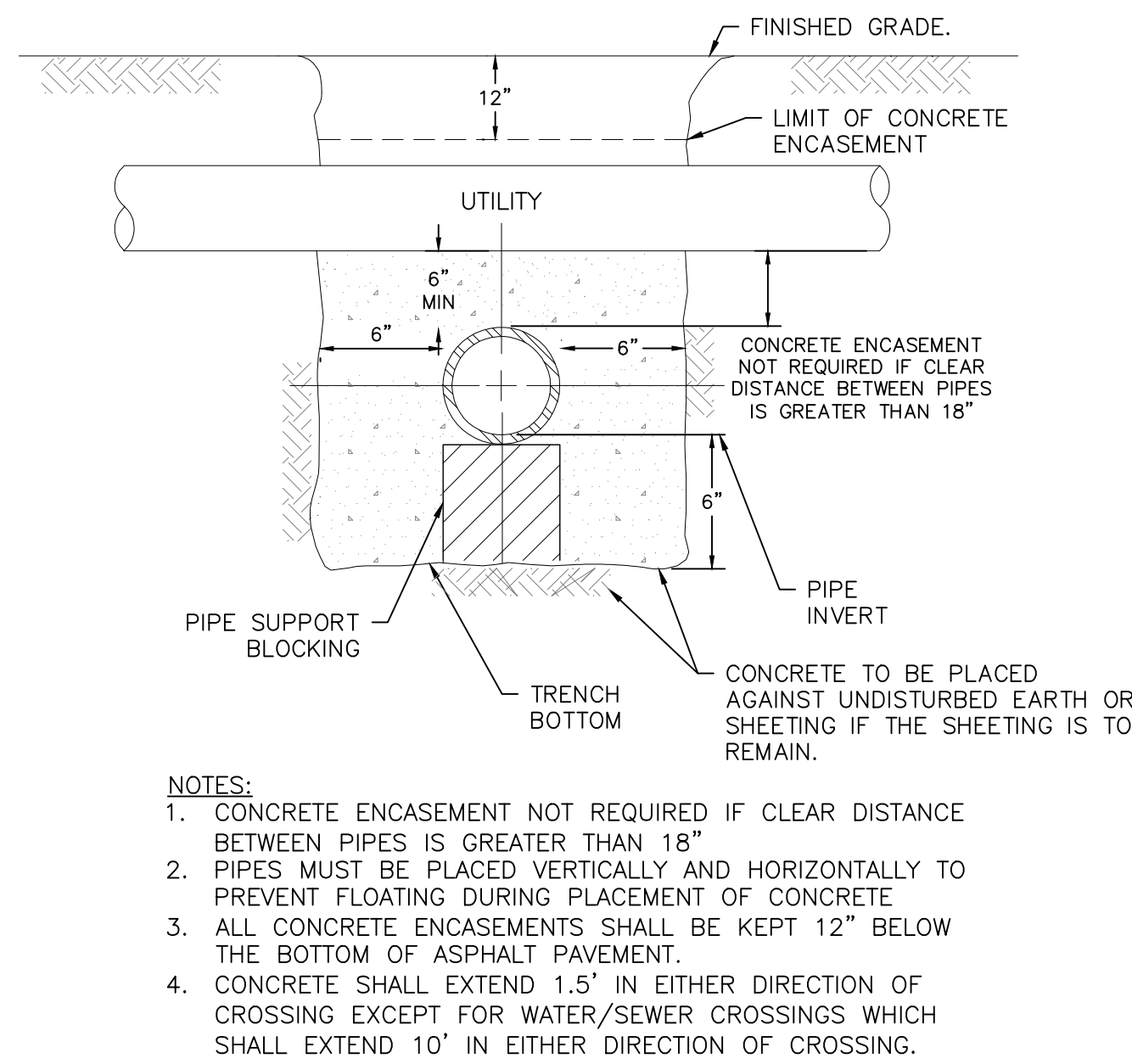
7 BUILDING SEWER

Not to Scale



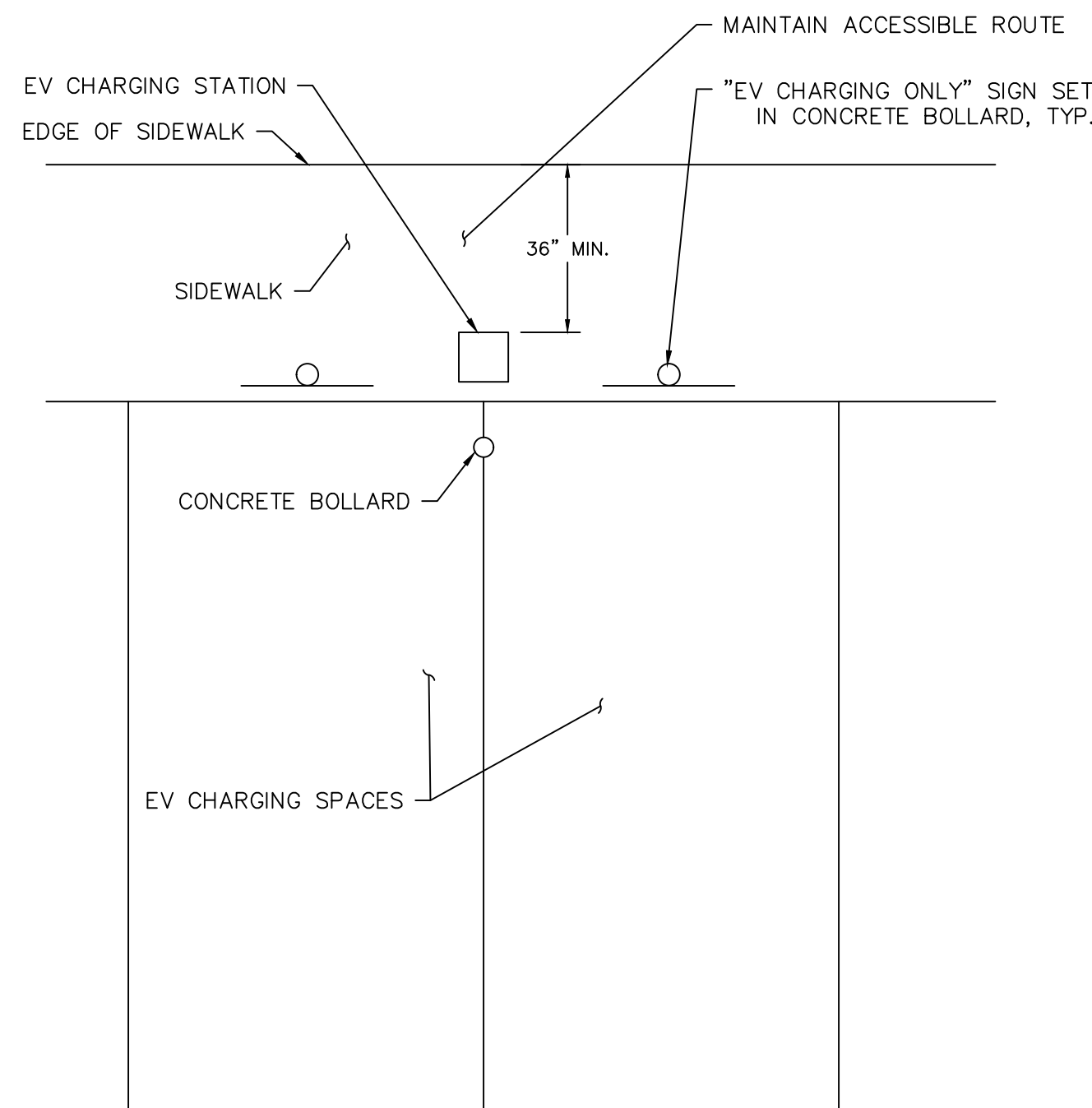
8 CONCRETE BOLLARD

Not to Scale



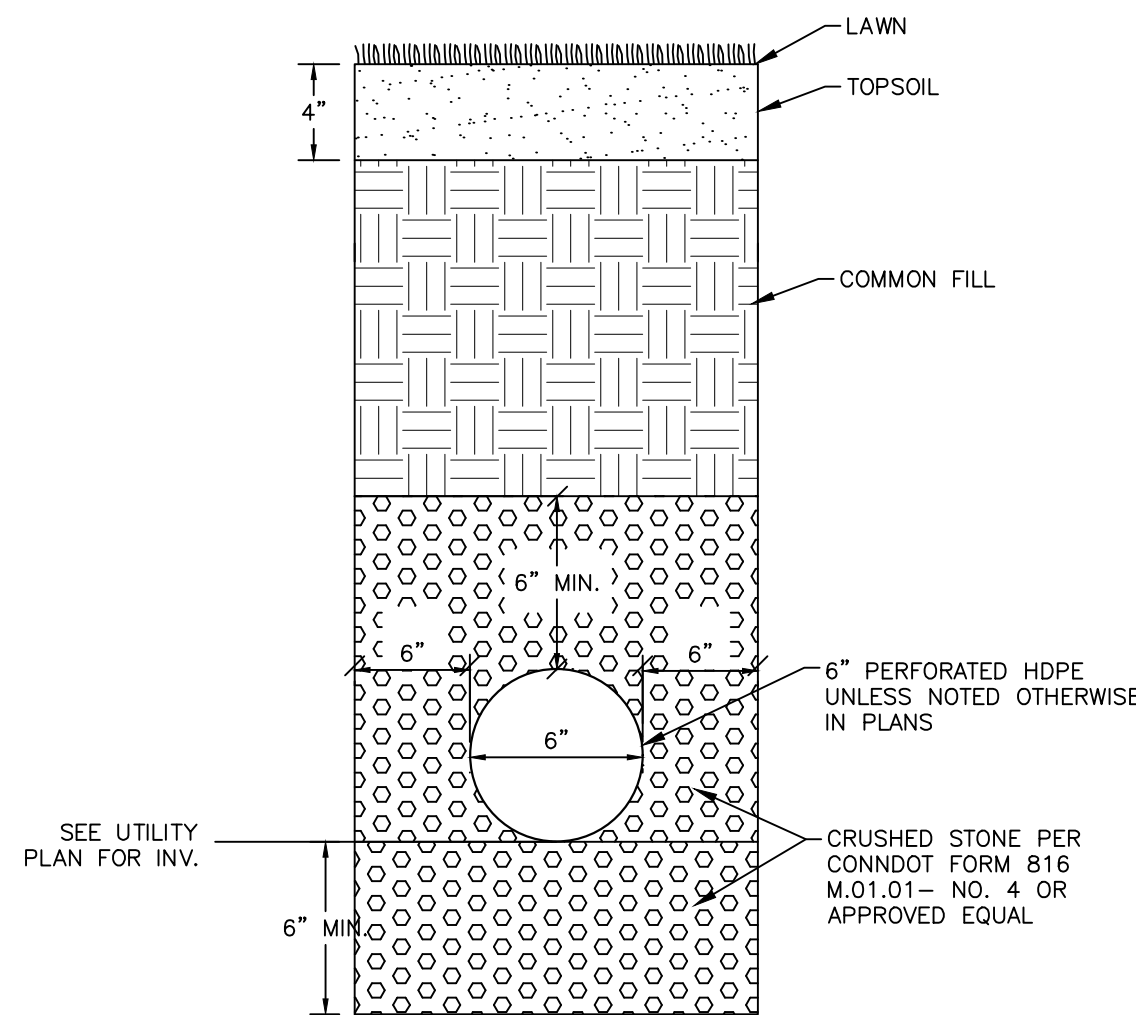
9 STORM & SEWER CROSSING CONCRETE ENCASEMENT

Not to Scale



10 EV CHARGING STATION LAYOUT

Not to Scale



11 UNDERDRAIN

Not to Scale

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PREPARED FOR:  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

PROJECT NO:  
4670  
DATE:  
3/30/2022  
DESIGNED BY:  
DHI/BPW  
CHECKED BY:  
DHI/BPW

67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER  
352 SULLIVAN AVENUE, 67  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS: 87300352, 49800067, & 49800068

BY:  
DHI  
DATE:  
4/7/22  
REVISIONS:  
EAS PLAN UPDATES  
P2C SUBMISSION

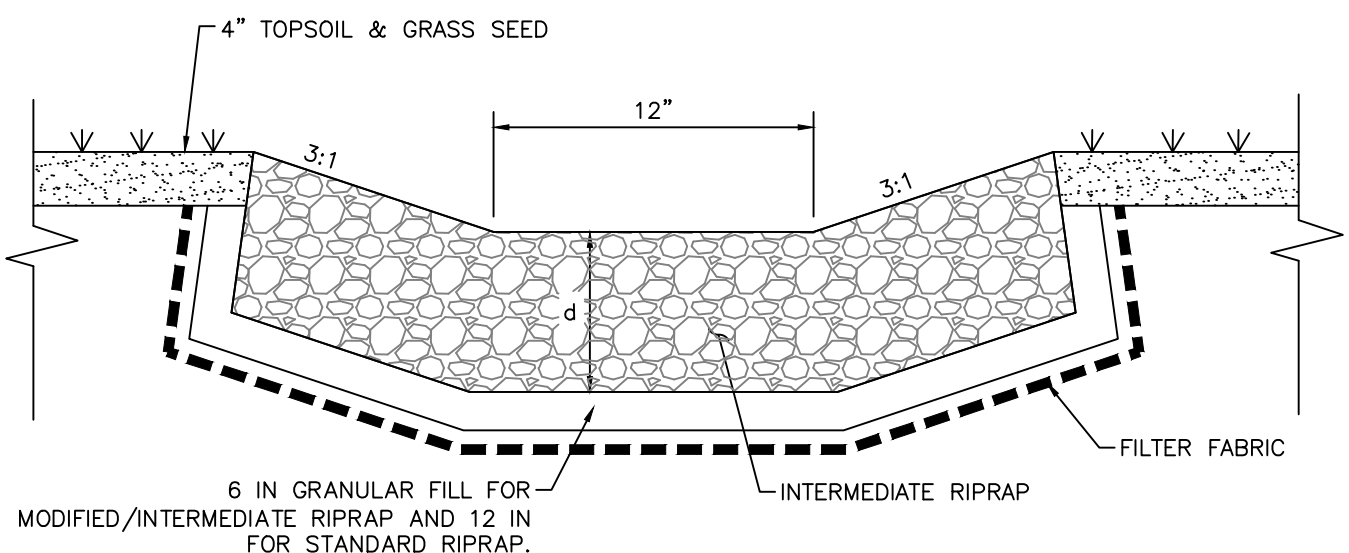
NO. DATE  
1 4/7/22  
2 4/20/22

PROPERTY OWNER:  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
APPLICANT:  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

DETAILS

SHEET  
C-D3  
SHEET 21 OF 24

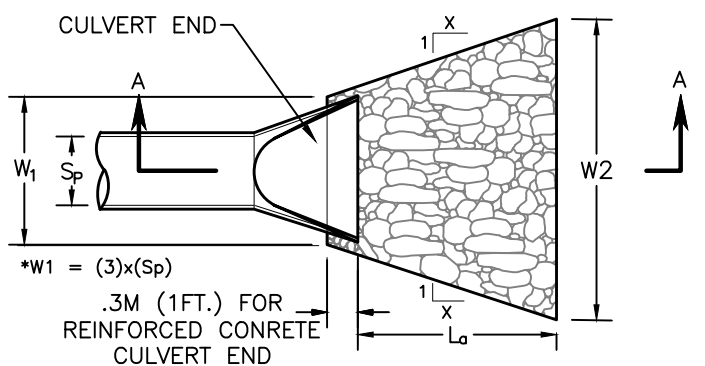




1 RIPRAP APRON SECTION VIEW

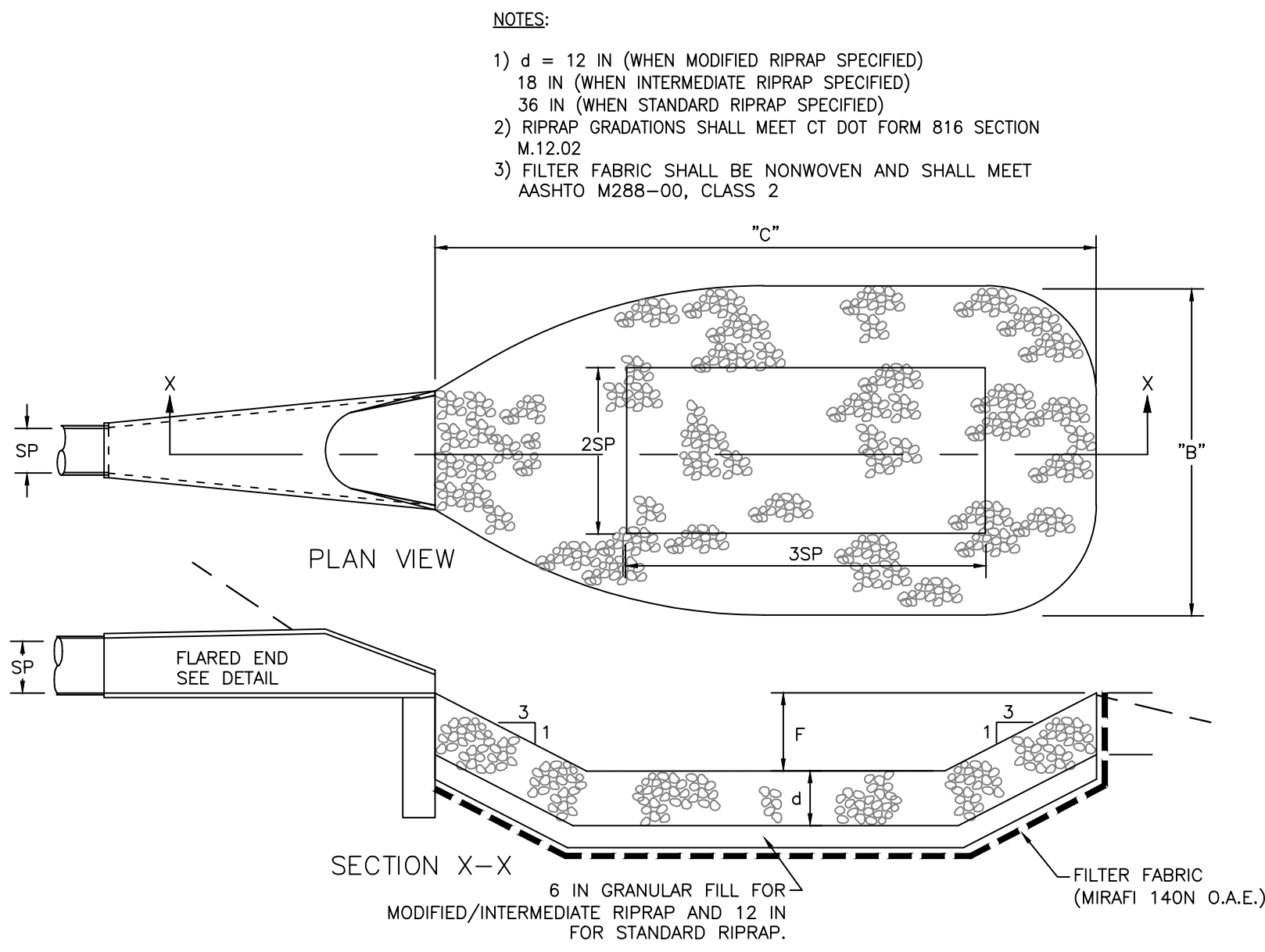
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DETAIL SHOWN PER 2002 CONDOT DRAINAGE MANUAL CHAPTER 11 STORM DRAINAGE SYSTEMS SECTION 13 OUTLET PROTECTION FIGURE 11-13 TYPE A AND B RIP RAP APRON



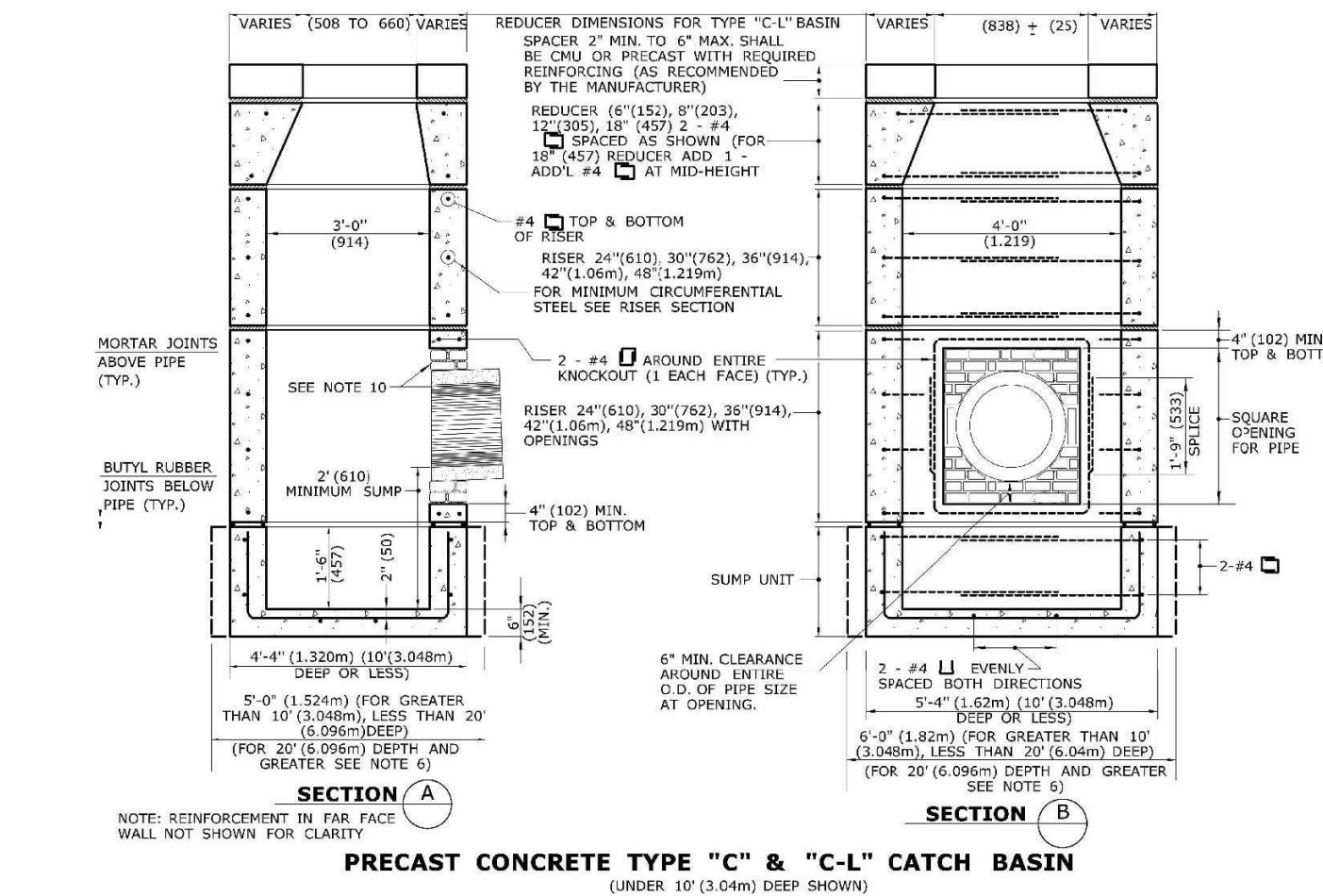
2 RIPRAP APRON PLAN VIEW

Not to Scale



3 RIPRAP PREFORMED SCOUR HOLE

Not to Scale



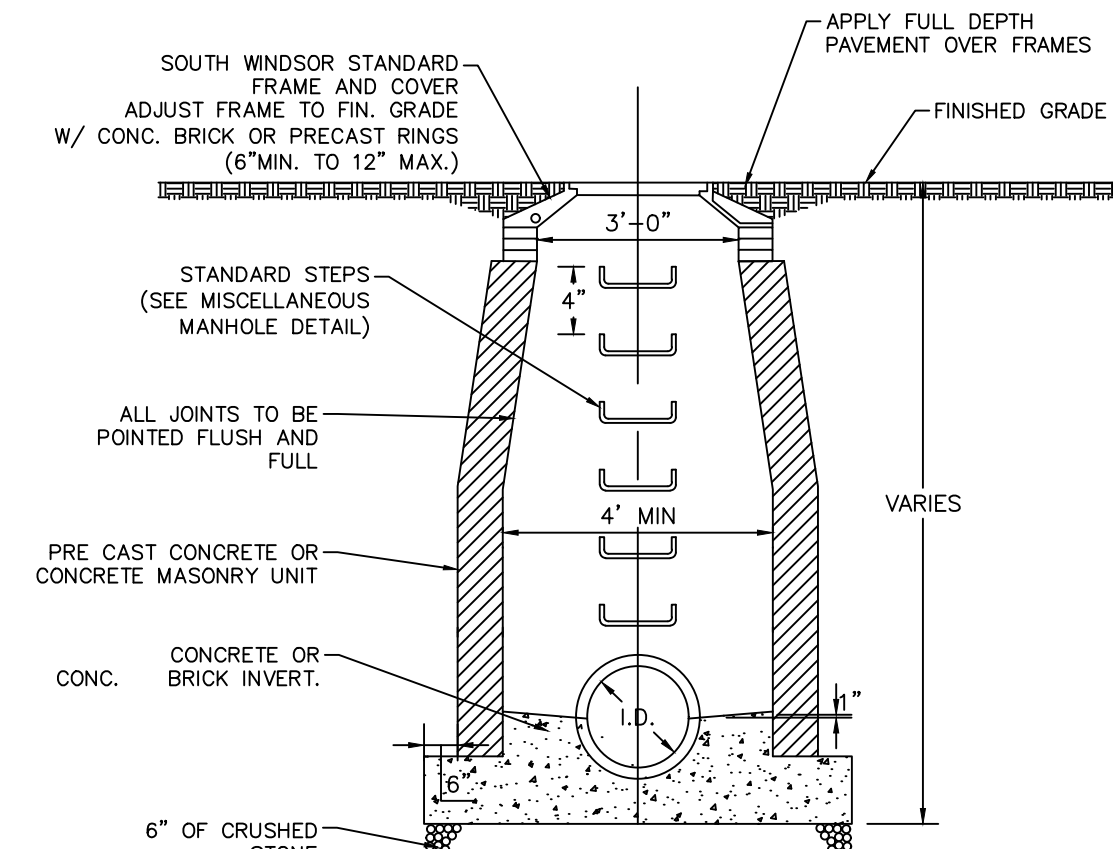
4 PRECAST CONCRETE TYPE 'C' & 'C-L' CATCH BASIN

(UNDER 10 (3.048) DEEP SHOWN)

REFER TO CONDOT STANDARD SHEET HW-0507-04 FOR ADDITIONAL NOTES, SECTIONS AND INSTALLATION REQUIREMENTS  
REFER TO CONDOT STANDARD SHEET HW-507-08 FOR FRAME AND GRATE REQUIREMENTS

6 TYPE C & CL CATCH BASIN

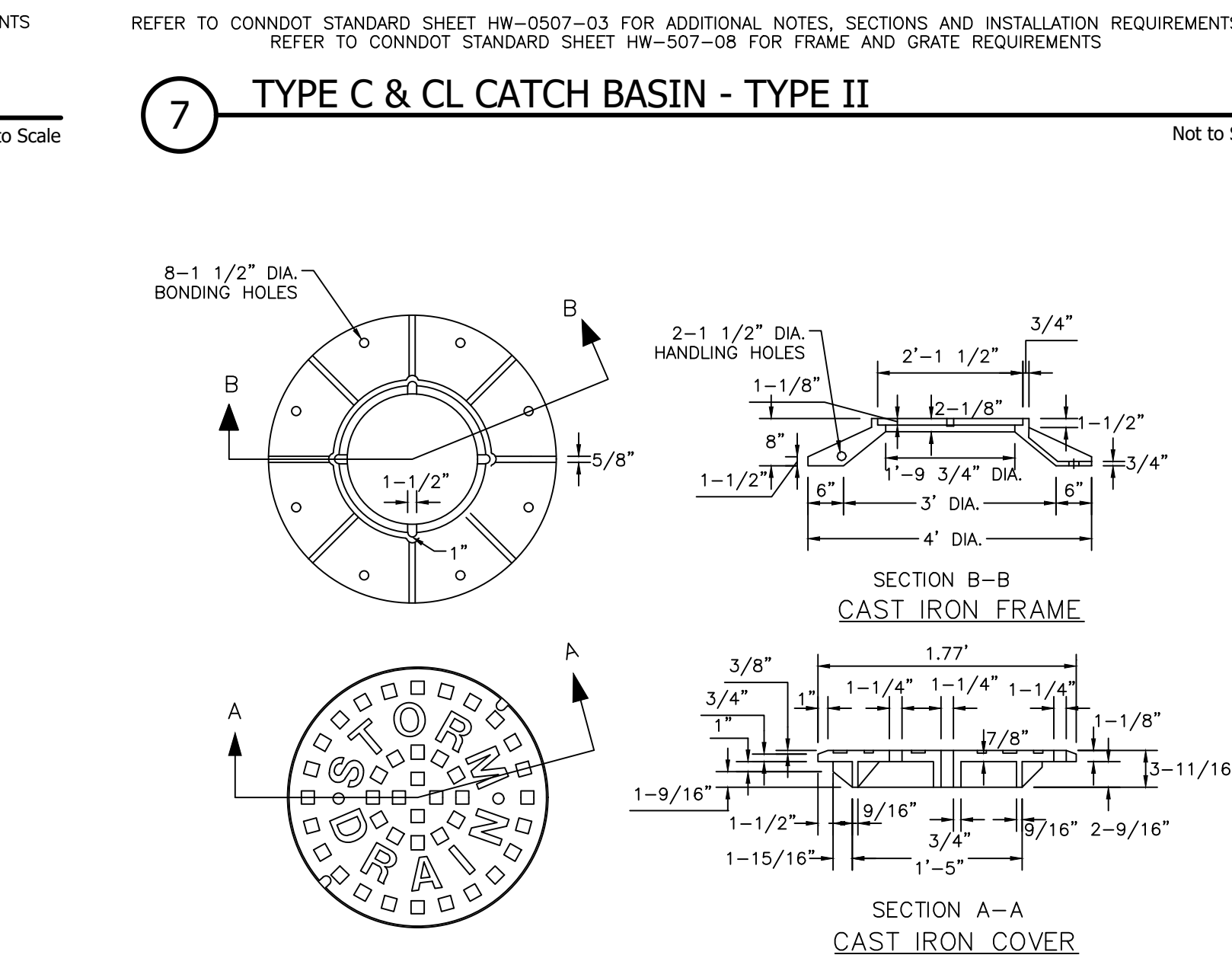
Not to Scale



- NOTES:
1. REFER TO SHEET C-DR3 FOR NYLOPLAST (PLASTIC) MANHOLE DETAIL.
  2. WALL THICKNESS SHALL BE SUFFICIENT TO MEET HS 20 LOADING.
  3. WALL THICKNESS FOR STRUCTURES OVER 10' HIGH IS 12" FOR CONCRETE BLOCK UNITS, INSIDE DIMENSIONS REMAIN THE SAME. 3. ALL PIPES SHALL BE CUT FLUSH WITH INSIDE WALLS.

10 STORM DRAIN MANHOLE

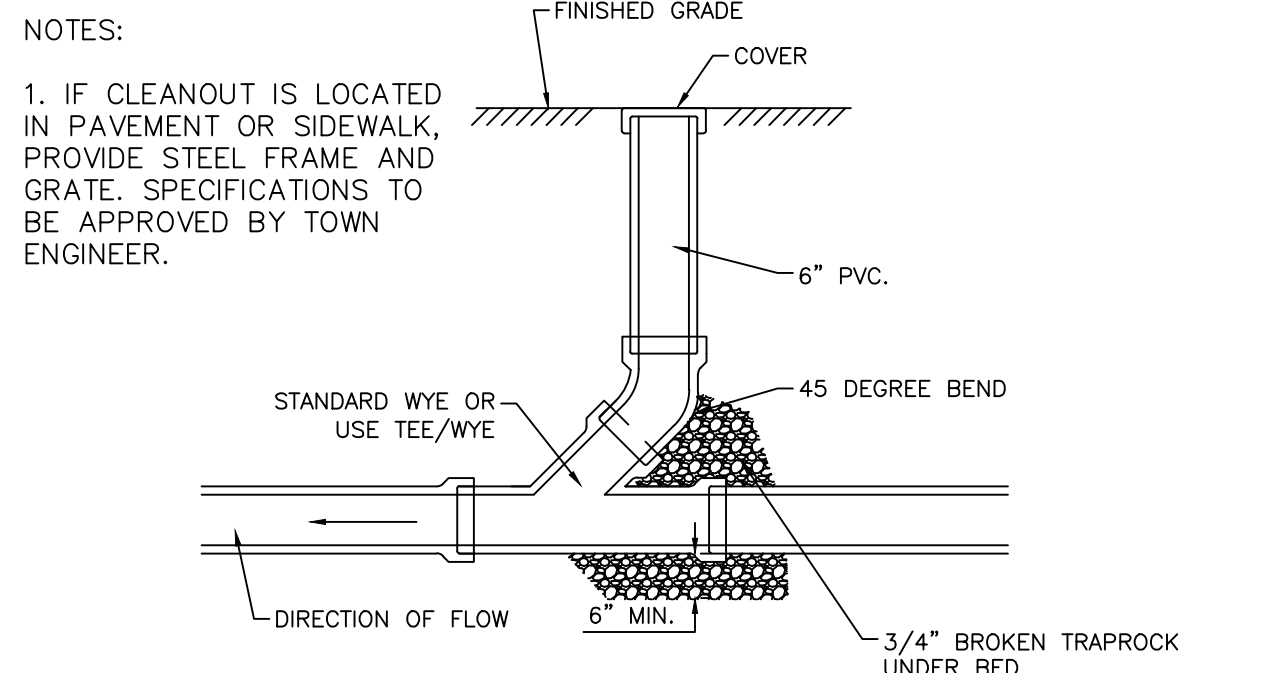
Not to Scale



- NOTES:
1. THE LOWER SURFACE OF THE COVER AND THE CORRESPONDING UPPER SURFACE OF THE FRAME SHALL BE MACHINE FINISHED TO PROVIDE A SMOOTH FLAT CONTACT OR FIT, WITHOUT ANY TENDENCY FOR THE COVER TO ROCK OR RATTL.
  2. SANITARY SEWER MANHOLES SHALL BE EQUIPPED WITH VENT HOLE IN CENTER.

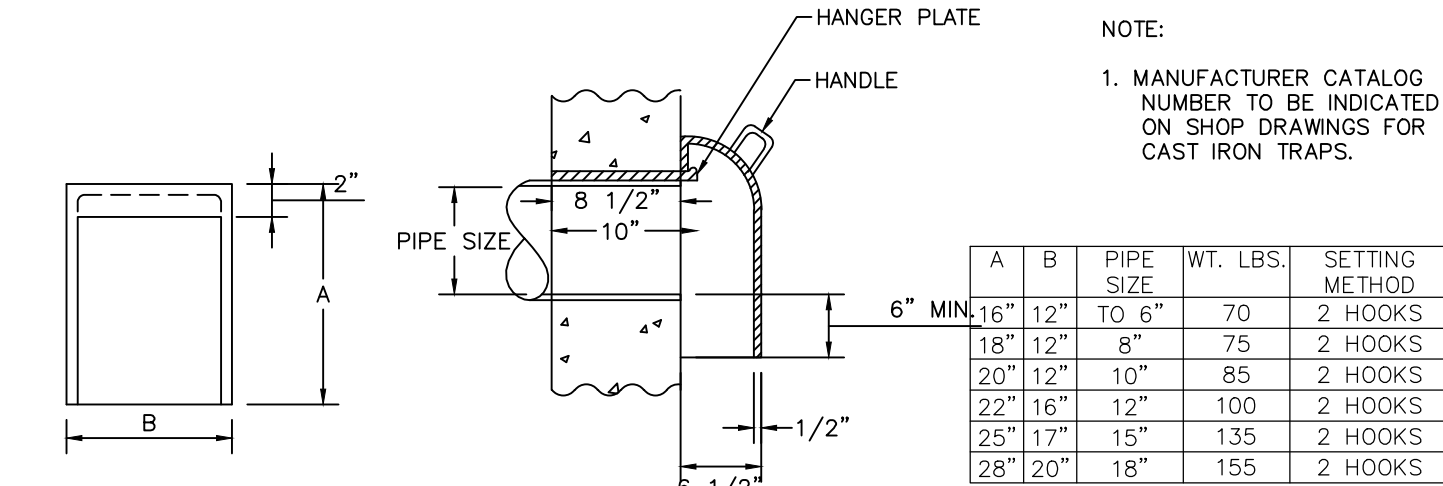
11 MANHOLE FRAME AND COVER

Not to Scale



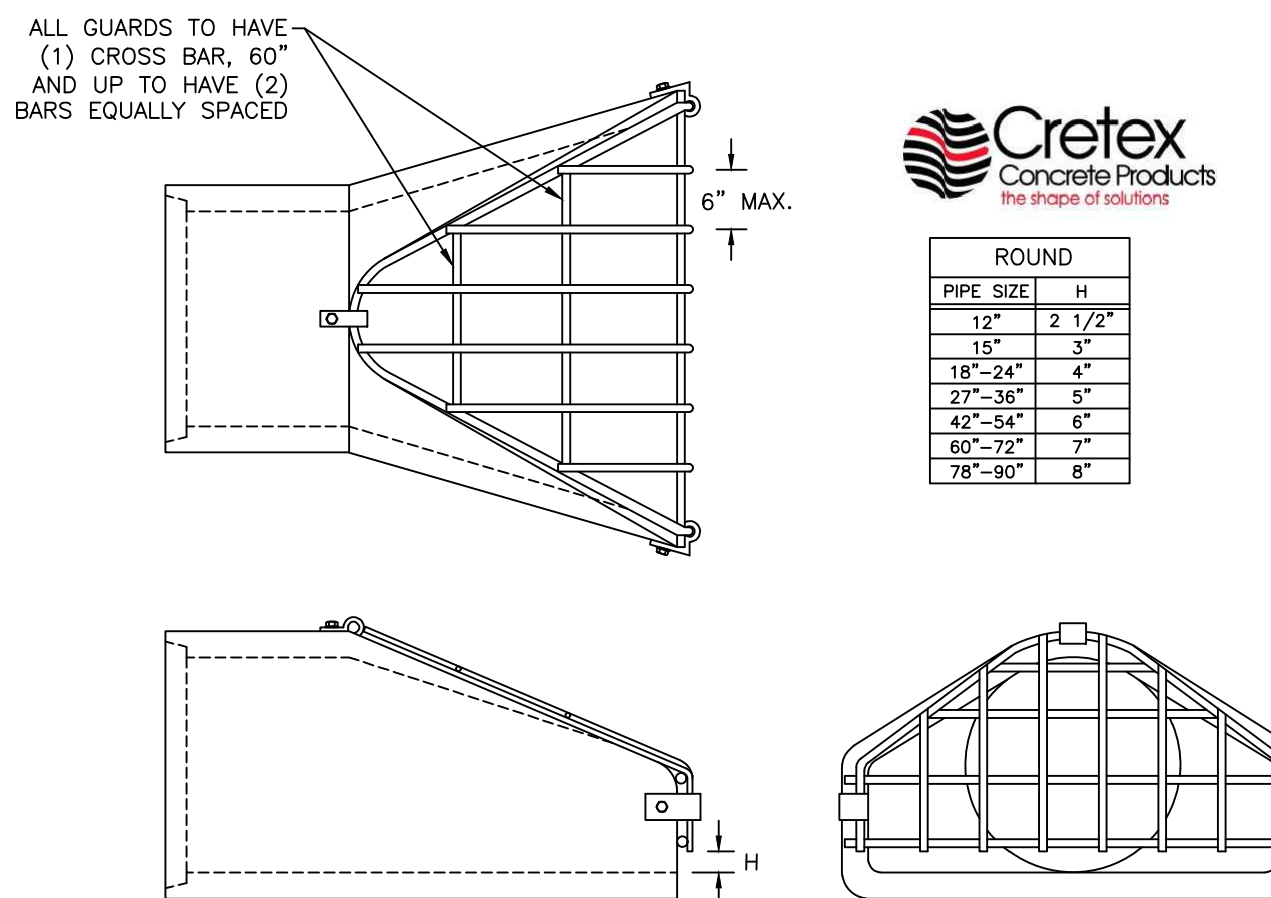
4 CLEAN OUT

Not to Scale



5 CATCH BASIN TRAP HOOD

Not to Scale

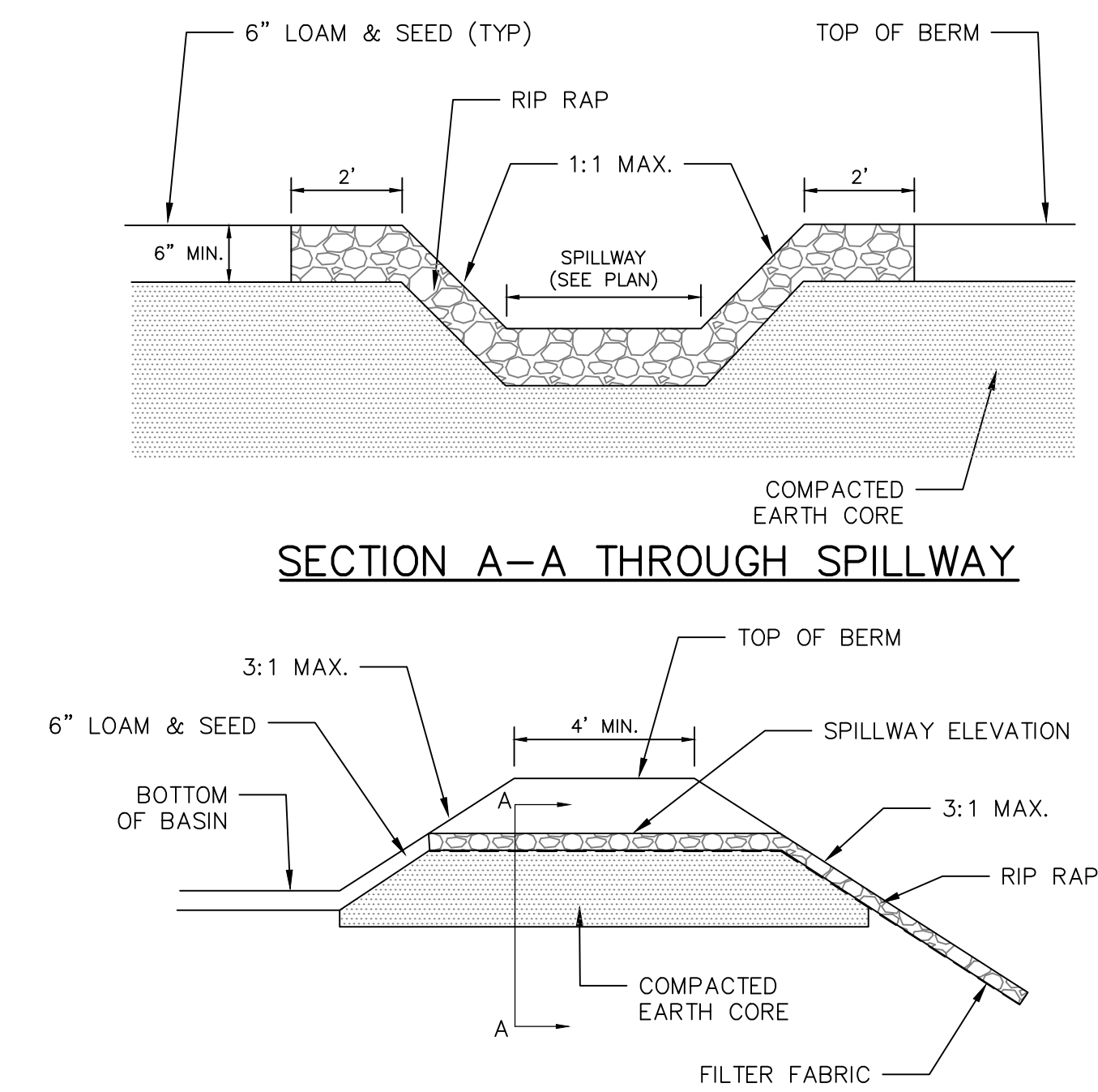


8 FLARED END TRASH GUARD

Not to Scale

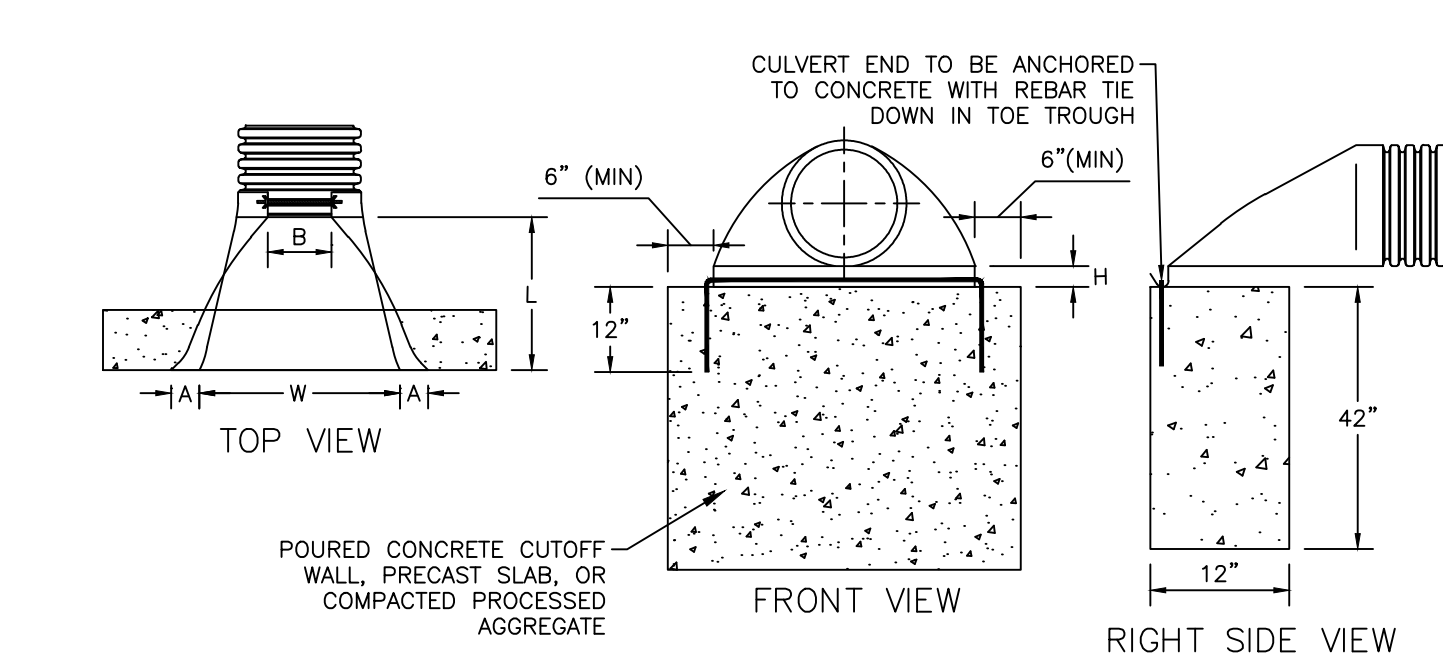
9 REINFORCED CONCRETE PIPE FLARED END

Not to Scale



12 EMERGENCY SPILLWAY

Not to Scale



13 HDPE FLARED END WITH CONCRETE ANCHORING

Not to Scale

**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
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**PREPARED FOR:**  
Scannell Properties #644, LLC  
294 Grove Lane East  
Suite 140  
Wayzata, MN 55391  
763-331-8851 T

**PROJECT NO.:**  
4670

**DATE:**  
2/20/2022

**DESIGN BY:**  
DHL/BPW

**CHECKED BY:**  
DHL/BPW

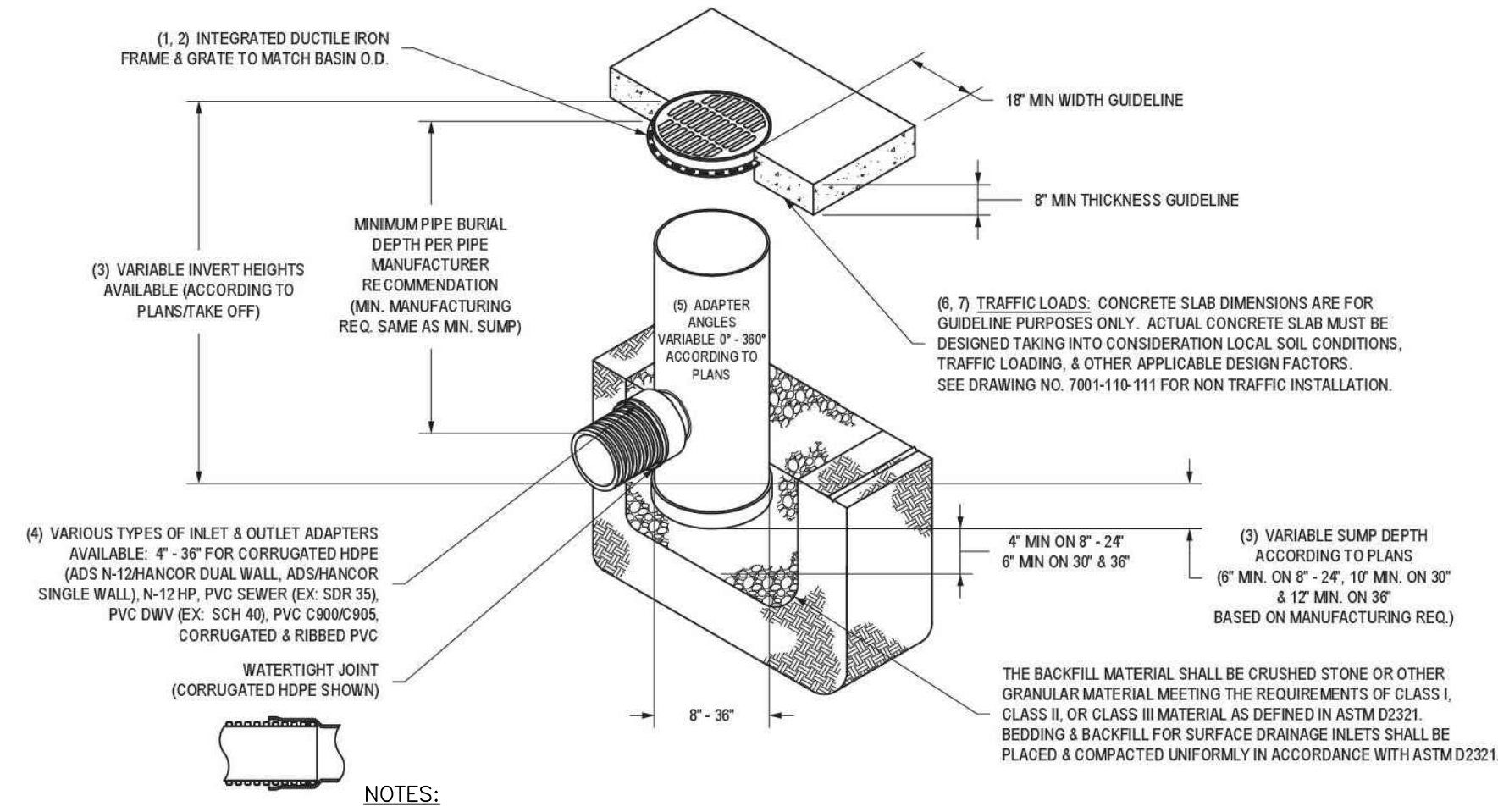
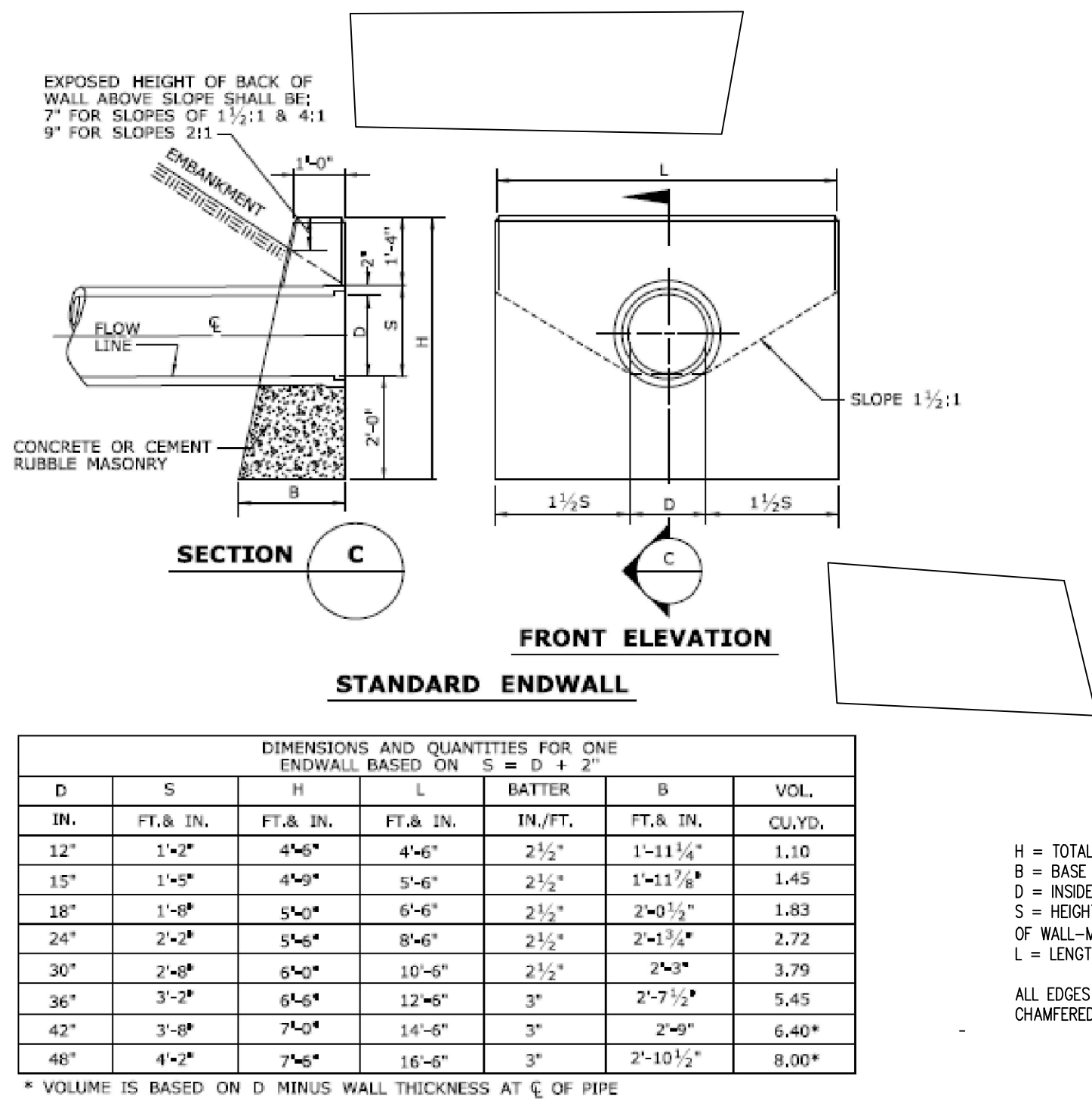
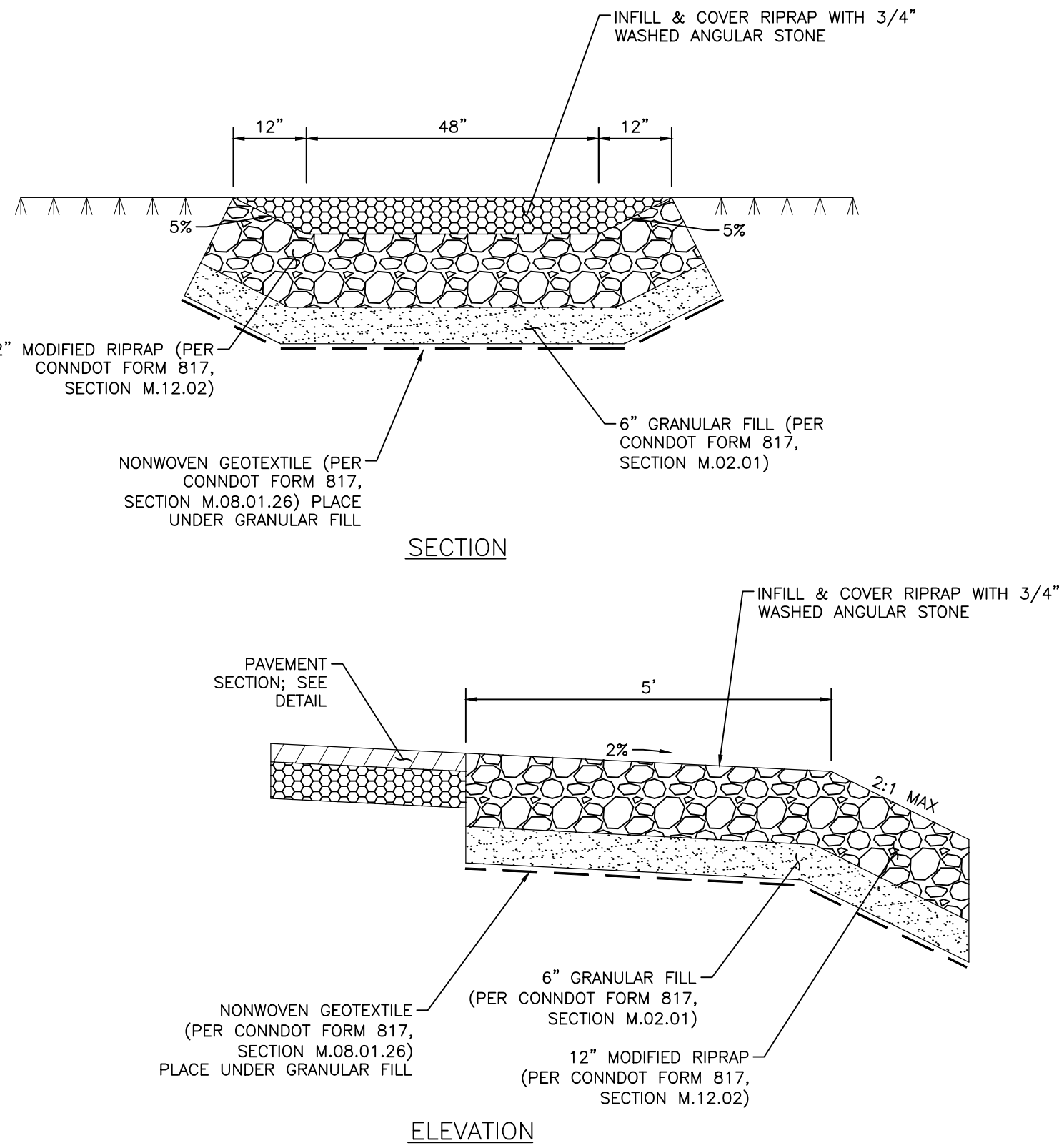
**67 KENNEDY ROAD  
WAREHOUSE &  
DISTRIBUTION CENTER  
352 SULLIVAN AVENUE, 67 & 68 KENNEDY ROAD  
SOUTH WINDSOR, CONNECTICUT 06074  
GIS NOS. 87300352, 49800067, & 49800068**

NO.	DATE	REVISIONS
1	4/7/22	EAS PLAN UPDATES
2	4/20/22	PZC SUBMISSION

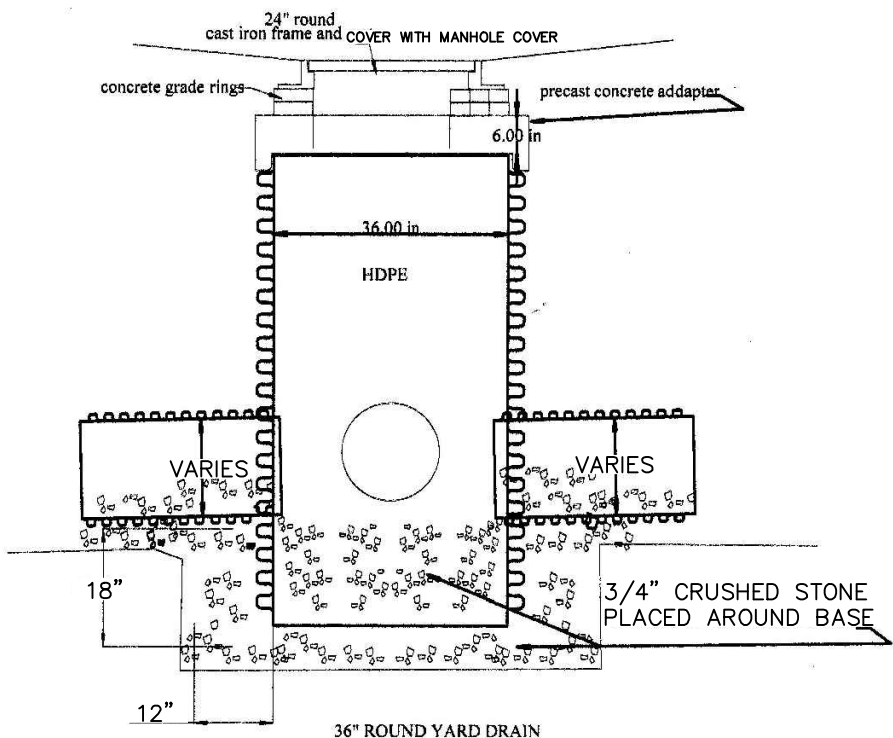
**DETAILS**

SHEET  
**C-D4**  
SHEET 22 OF 24

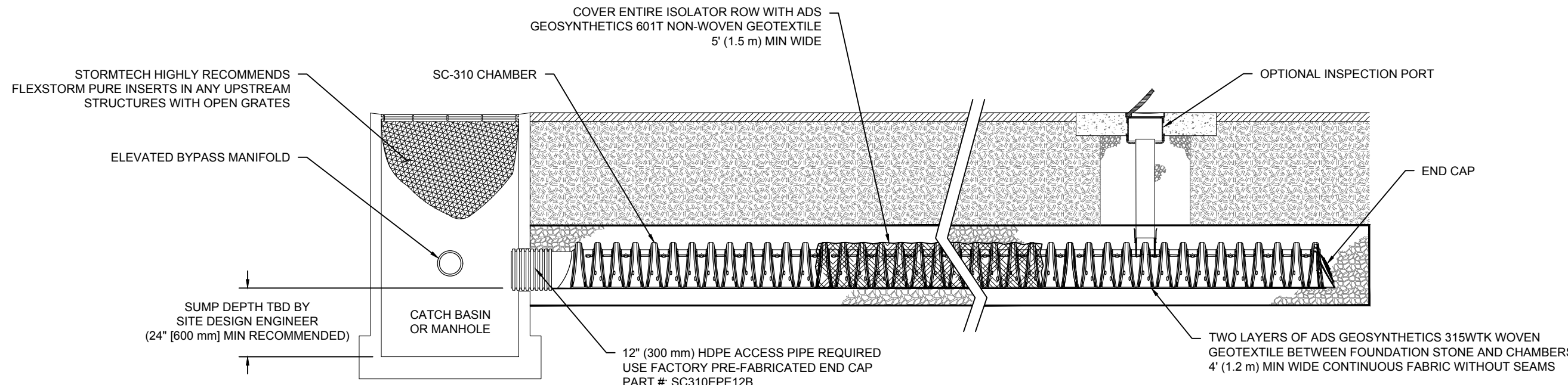




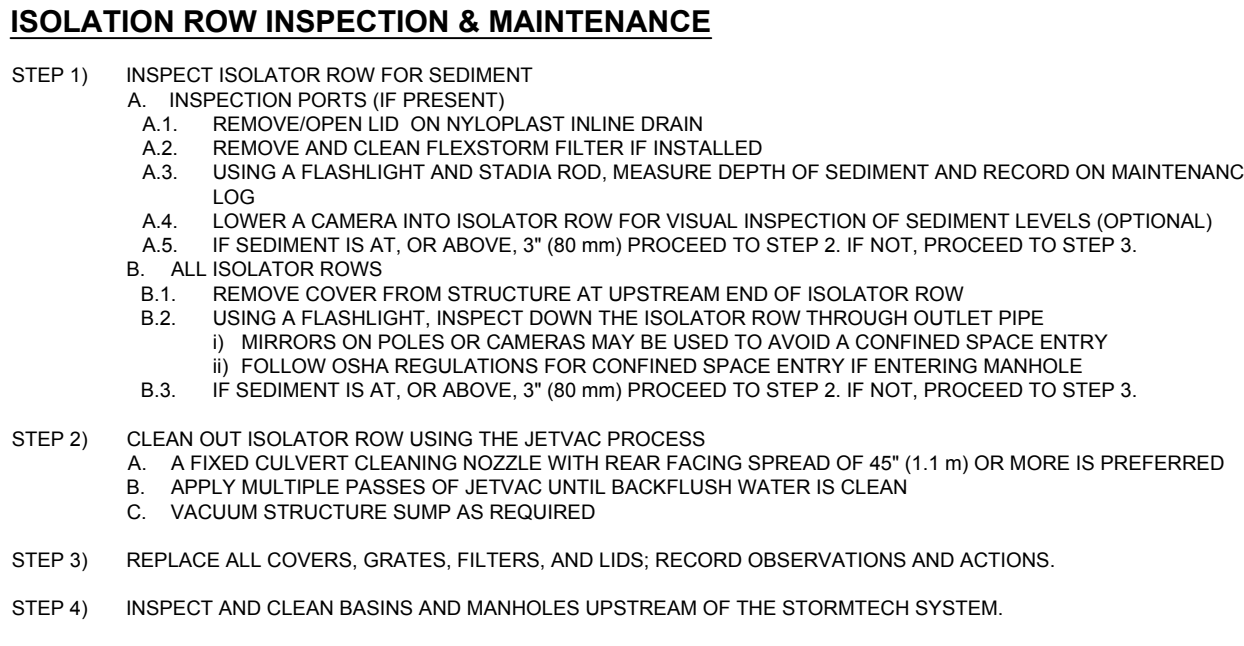
1 PAVED LEAKOFF



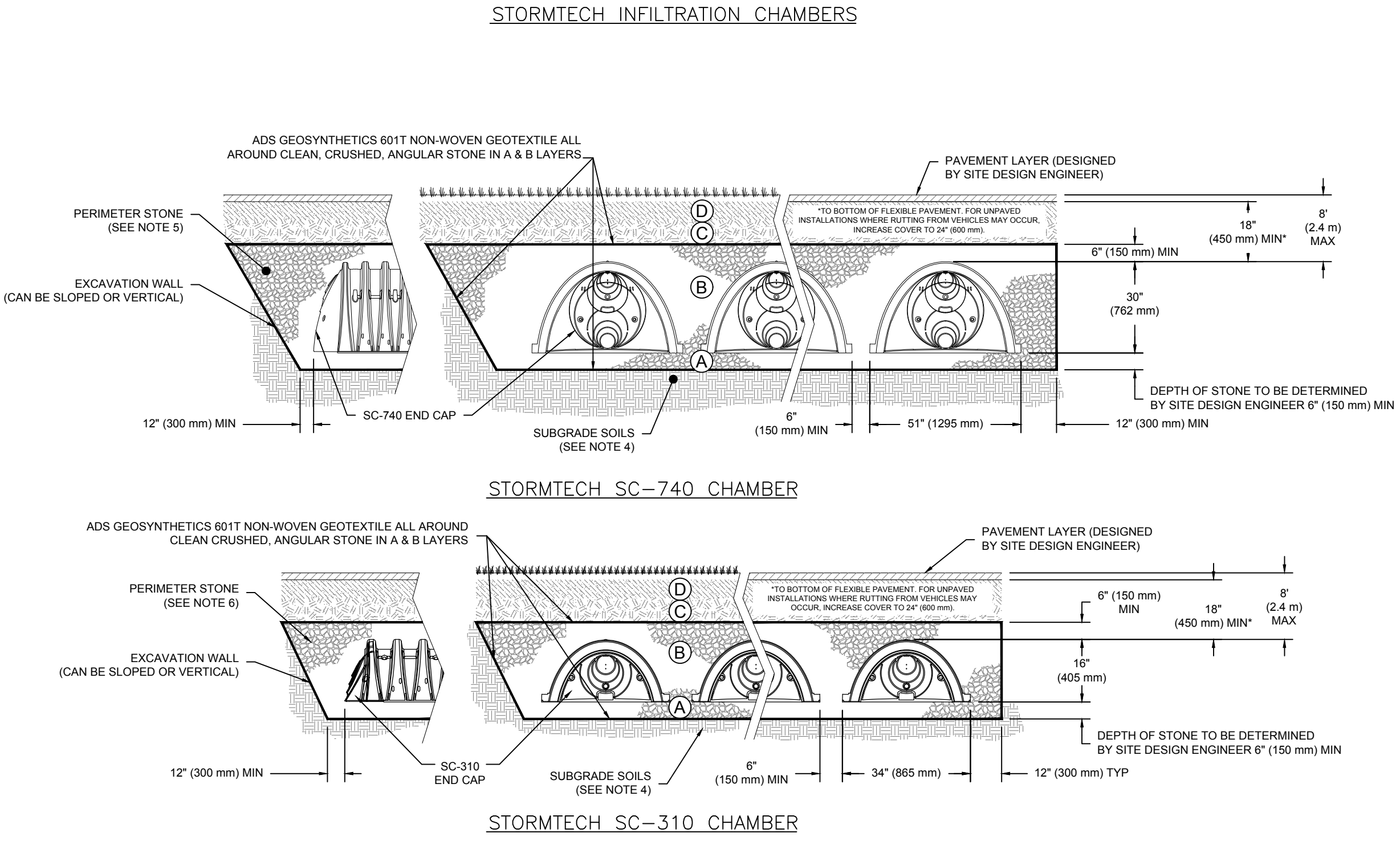
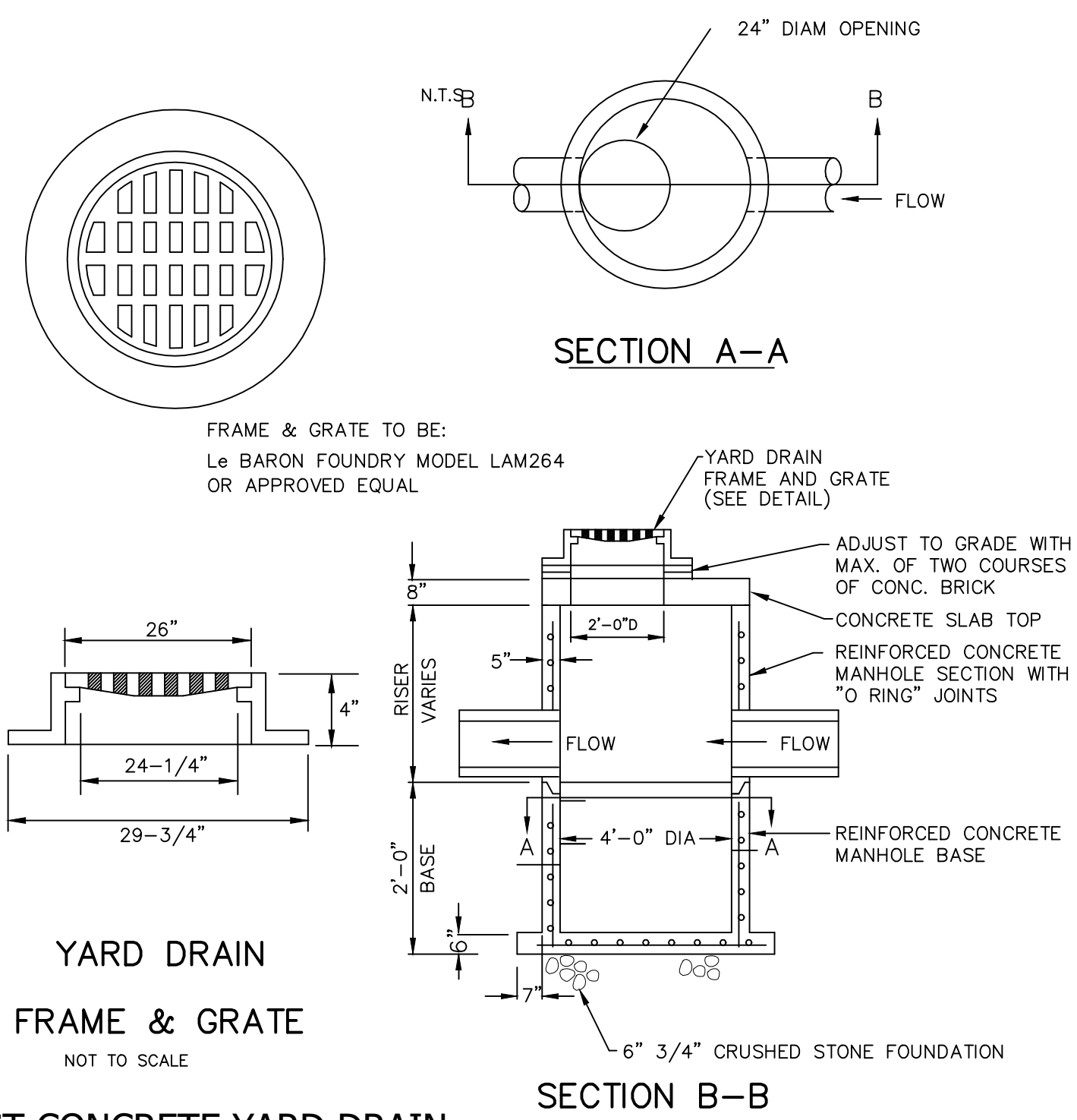
2 STANDARD CONCRETE ENDWALL



3 PLASTIC YARD DRAIN AND DRAIN MANHOLE (12"-30" DIA.)



4 HDPE YARD DRAIN

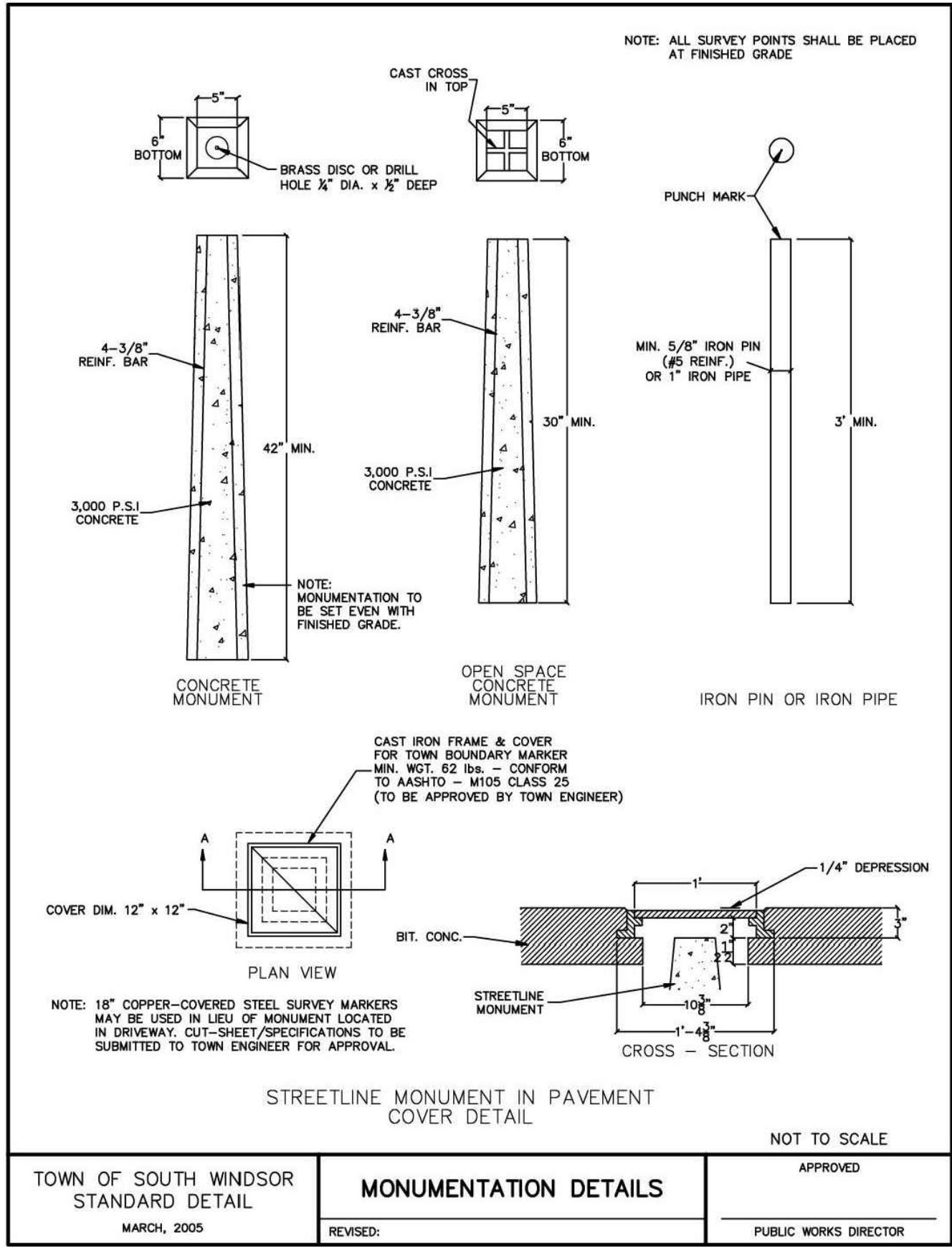


5 PRECAST CONCRETE YARD DRAIN

6 UNDERGROUND STORMWATER CHAMBERS

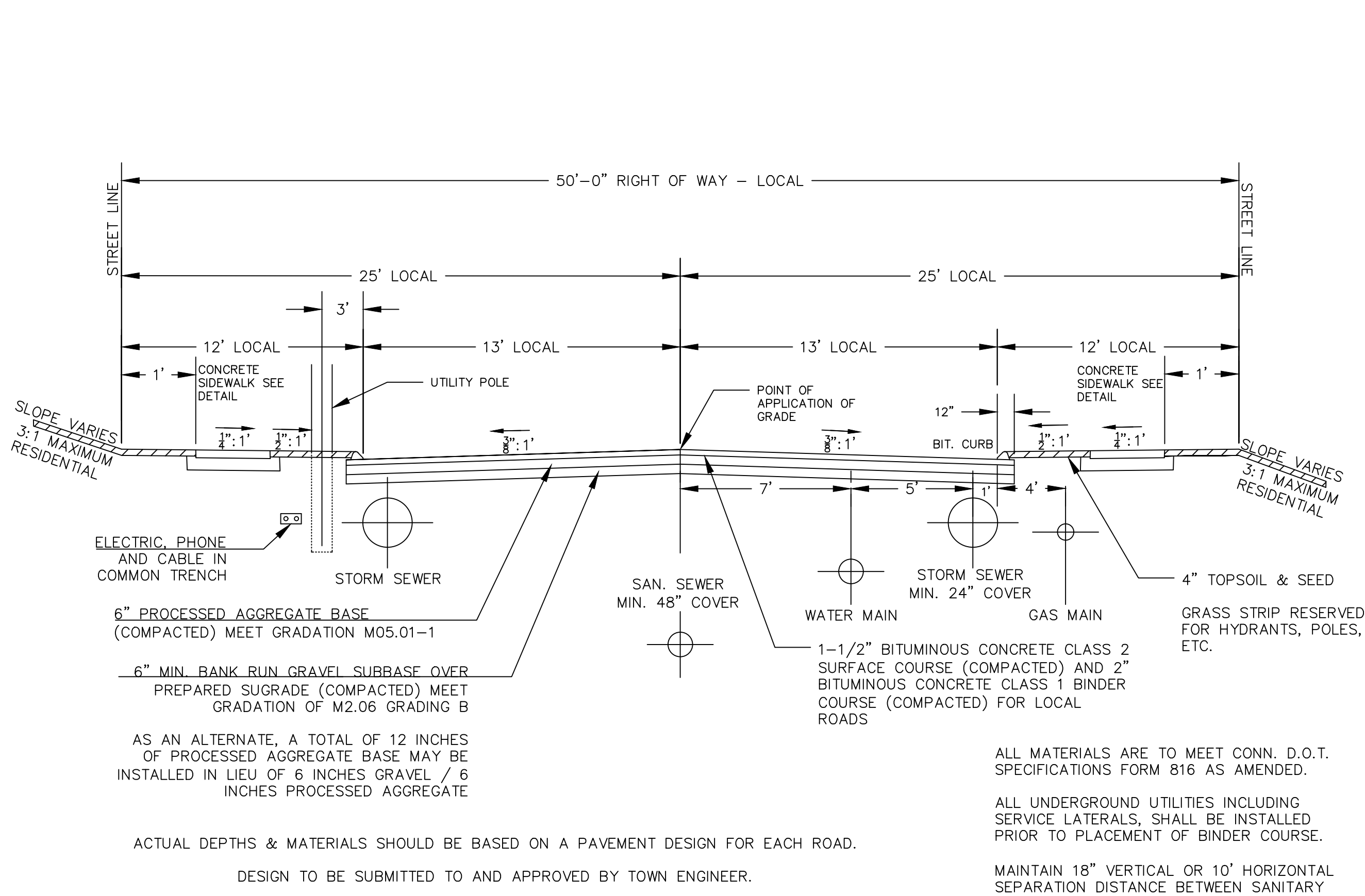
PROPERTY OWNER:  
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89 SADDLEBACK DRIVE  
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APPLICANT:  
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WAYZATA, MN 55391  
(763) 331-8851





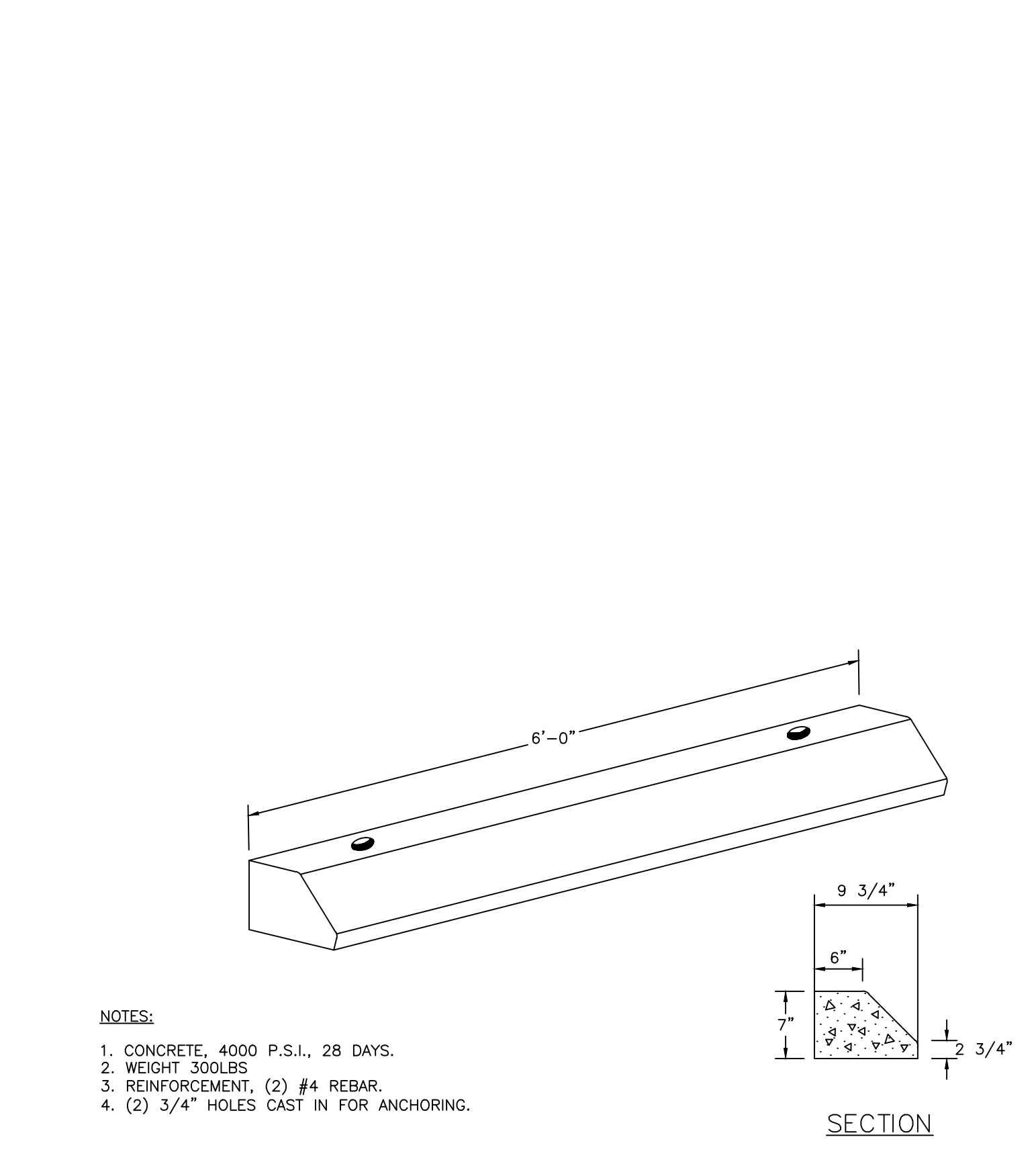
1 TOWN OF SOUTH WINDSOR MONUMENTATION DETAILS

Not to Scale



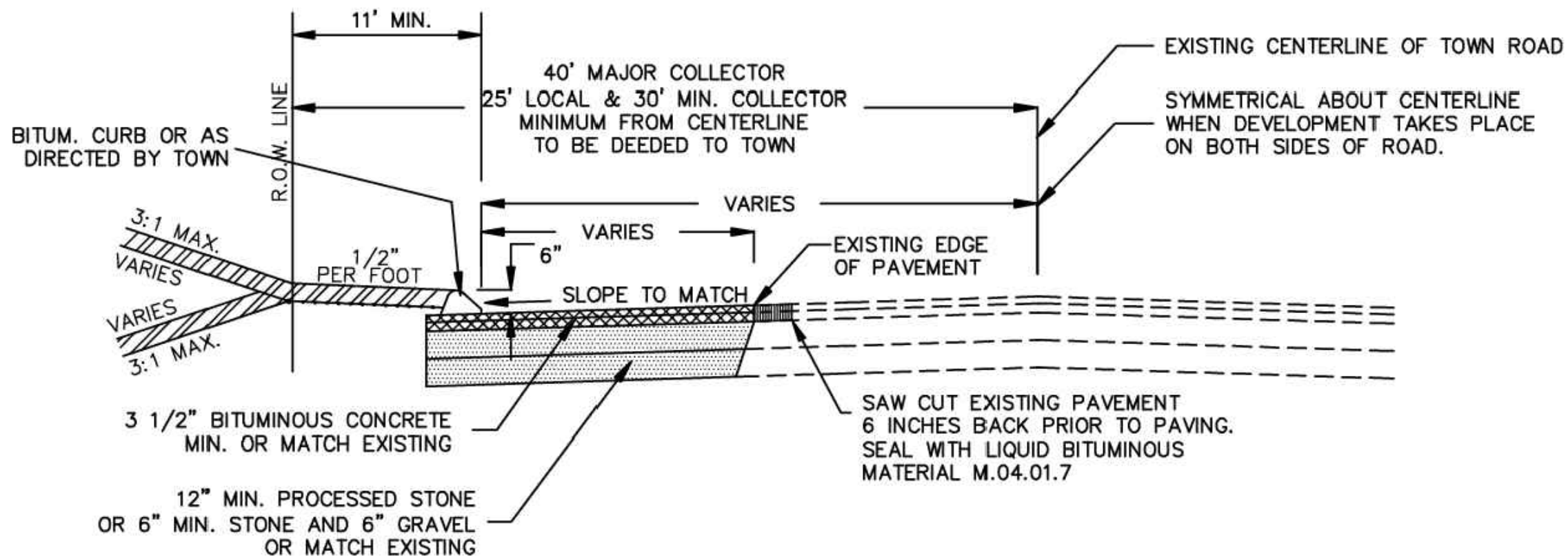
2 TYPICAL ROADWAY SECTION - LOCAL ROADS

Not to Scale



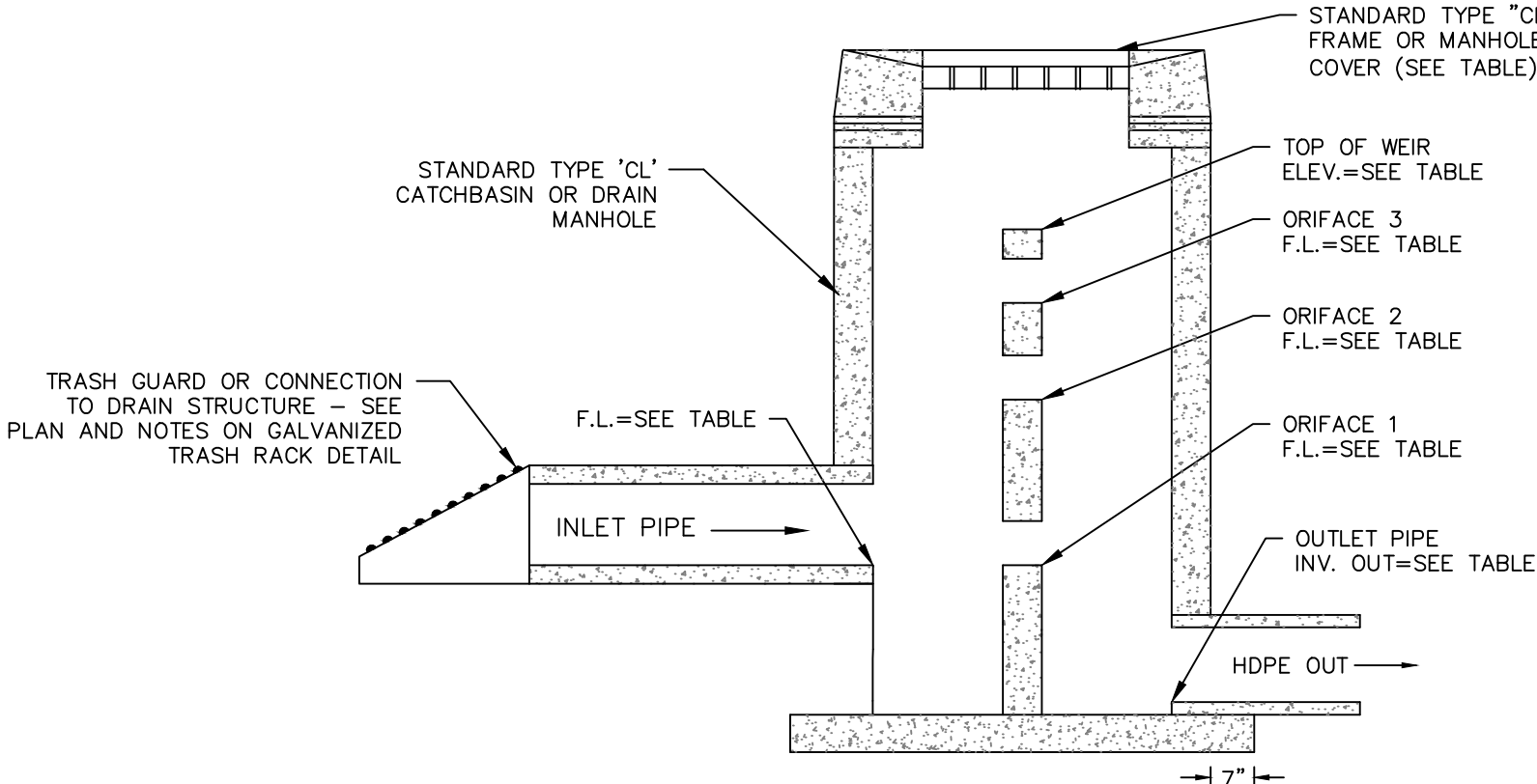
3 PRECAST CONCRETE WHEELSTOP

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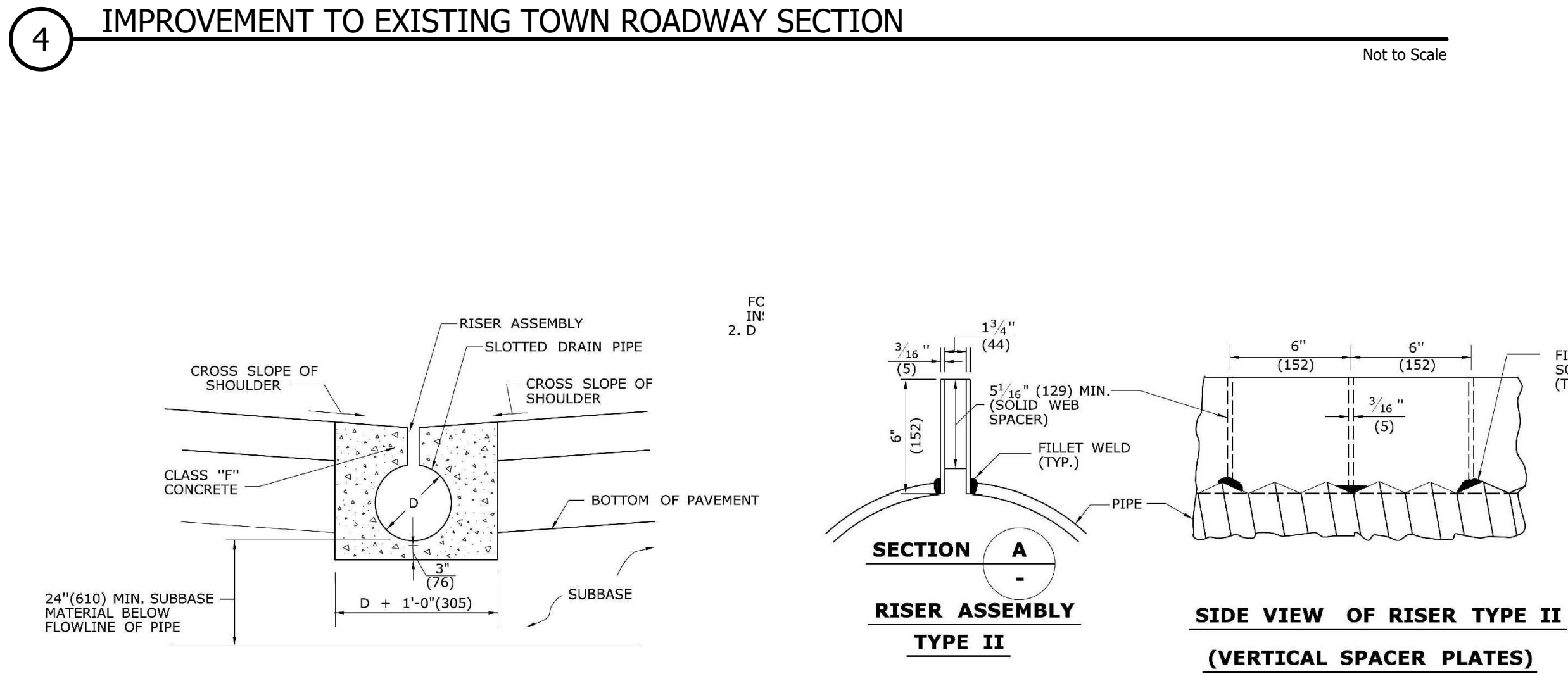
4 IMPROVEMENT TO EXISTING TOWN ROADWAY SECTION

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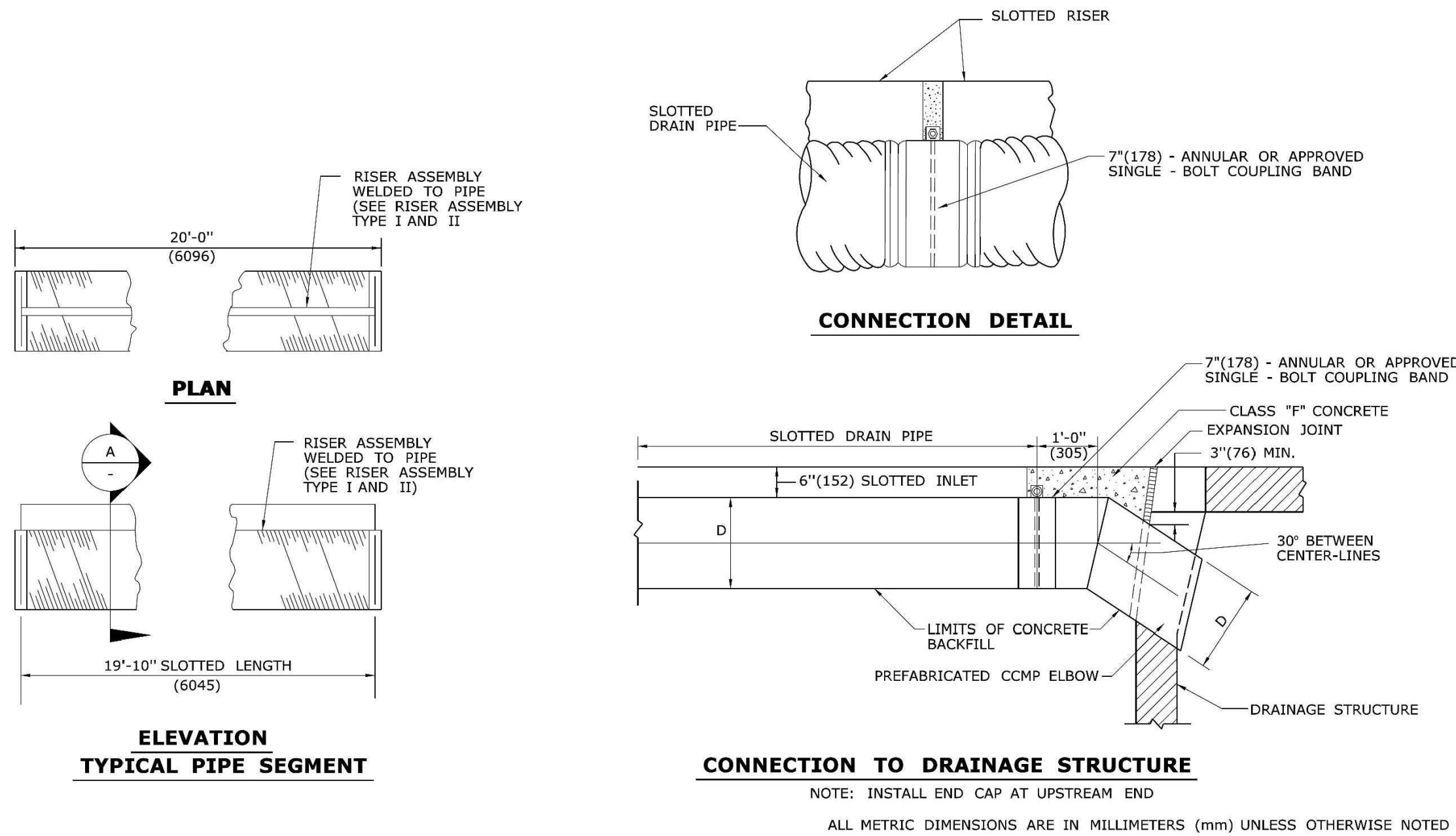


5 OUTLET CONTROL STRUCTURE

Not to Scale



6 SLOTTED DRAIN PIPE



**PROPERTY OWNER:**  
FOUR WOODS LLC  
C/O JOHN J WOODCOCK III  
89 SADDLEBACK DRIVE  
SOUTH WINDSOR, CT 06074  
**APPLICANT:**  
SCANNELL PROPERTIES #644, LLC  
294 GROVE LANE EAST  
SUITE 140  
WAYZATA, MN 55391  
(763) 331-8851

DETAILS

SHEET  
C-D6  
SHEET 24 OF 24





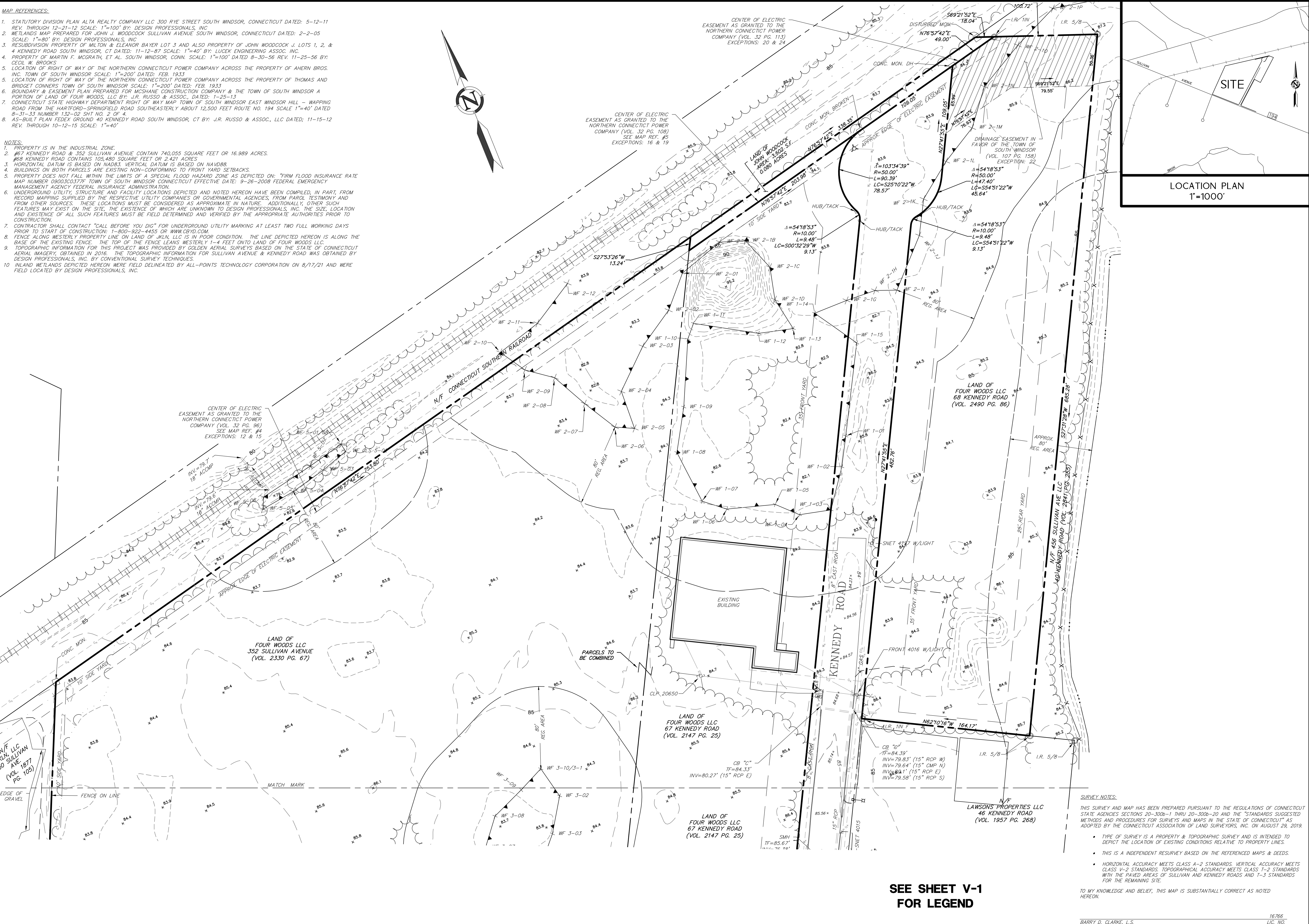


MAP REFERENCES:

1. STATUTORY DIVISION PLAN ALTA REALTY COMPANY LLC 300 RYE STREET SOUTH WINDSOR, CONNECTICUT DATED: 5-12-11 REV. THROUGH 12-21-12 SCALE: 1"=100' BY: DESIGN PROFESSIONALS, INC
2. WETLANDS MAP PREPARED FOR JOHN J. WOODCOCK SULLIVAN AVENUE SOUTH WINDSOR, CONNECTICUT DATED: 2-2-05 SCALE: 1"=80' BY: DESIGN PROFESSIONALS, INC
3. RESUBDIVISION PROPERTY OF MILTON & ELEANOR BAYER LOT 3 AND ALSO PROPERTY OF JOHN WOODCOCK J. LOTS 1, 2, & 4 KENNEDY ROAD SOUTH WINDSOR, CT DATED: 11-12-87 SCALE: 1"=40' BY: LUCEK ENGINEERING ASSOC. INC.
4. PROPERTY OF MARTIN F. MCGRATH, ET AL. SOUTH WINDSOR, CONN. SCALE: 1"=100' DATED 8-30-56 REV. 11-25-56 BY: CECIL W. BROOKS
5. LOCATION OF RIGHT OF WAY OF THE NORTHERN CONNECTICUT POWER COMPANY ACROSS THE PROPERTY OF AHERN BROS. INC. TOWN OF SOUTH WINDSOR SCALE: 1"=200' DATED: FEB. 1933
6. LOCATION OF RIGHT OF WAY OF THE NORTHERN CONNECTICUT POWER COMPANY ACROSS THE PROPERTY OF THOMAS AND BRIDGET CONNERS TOWN OF SOUTH WINDSOR SCALE: 1"=200' DATED: FEB. 1933
7. BOUNDARY & EASEMENT PLAN PREPARED FOR MCSHANE CONSTRUCTION COMPANY & THE TOWN OF SOUTH WINDSOR A PORTION OF LAND OF FOUR WOODS, LLC BY: J.R. RUSSO & ASSOC., DATED: 1-25-13
8. CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR EAST WINDSOR HILL - WAPPING ROAD FROM THE HARTFORD-SPRINGFIELD ROAD SOUTHEASTERLY ABOUT 12,500 FEET ROUTE NO. 194 SCALE 1"=40' DATED 8-31-33 NUMBER 132-02 SHT NO. 2 OF 4
9. AS-BUILT PLAN FEDEX GROUND 40 KENNEDY ROAD SOUTH WINDSOR, CT BY: J.R. RUSSO & ASSOC., LLC DATED: 11-15-12 REV. THROUGH 10-12-15 SCALE: 1"=40'

NOTES:

1. PROPERTY IS IN THE INDUSTRIAL ZONE.
2. #67 KENNEDY ROAD & 352 SULLIVAN AVENUE CONTAIN 740,055 SQUARE FEET OR 16.989 ACRES.
3. #68 KENNEDY ROAD CONTAINS 105,480 SQUARE FEET OR 2.421 ACRES.
4. HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD88.
5. BUILDINGS ON BOTH PARCELS ARE EXISTING NON-CONFORMING TO FRONT YARD SETBACKS.
6. PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE, AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 09003C0377E TOWN OF SOUTH WINDSOR CONNECTICUT EFFECTIVE DATE: 9-26-2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
7. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.
9. FENCE ALONG WESTERLY PROPERTY LINE ON LAND OF JKLN, LLC IS IN POOR CONDITION. THE LINE DEPICTED HEREON IS ALONG THE BASE OF THE EXISTING FENCE. THE TOP OF THE FENCE LEANS WESTERLY 1-4 FEET ONTO LAND OF FOUR WOODS LLC.
10. TOPOGRAPHIC INFORMATION FOR THIS PROJECT WAS PROVIDED BY GOLDEN AERIAL SURVEYS BASED ON THE STATE OF CONNECTICUT AERIAL IMAGERY OBTAINED IN 2016. THE TOPOGRAPHIC INFORMATION FOR SULLIVAN AVENUE & KENNEDY ROAD WAS OBTAINED BY DESIGN PROFESSIONALS, INC. BY CONVENTIONAL SURVEY TECHNIQUES.
11. INLAND WETLANDS DEPICTED HEREON WERE FIELD DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION ON 8/17/21 AND WERE FIELD LOCATED BY DESIGN PROFESSIONALS, INC.



SEE SHEET V-1  
FOR LEGEND

SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON THE REFERENCED MAPS & DEEDS.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS T-2 STANDARDS WITH THE PAVED AREAS OF SULLIVAN AND KENNEDY ROADS AND T-3 STANDARDS FOR THE REMAINING SITE.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

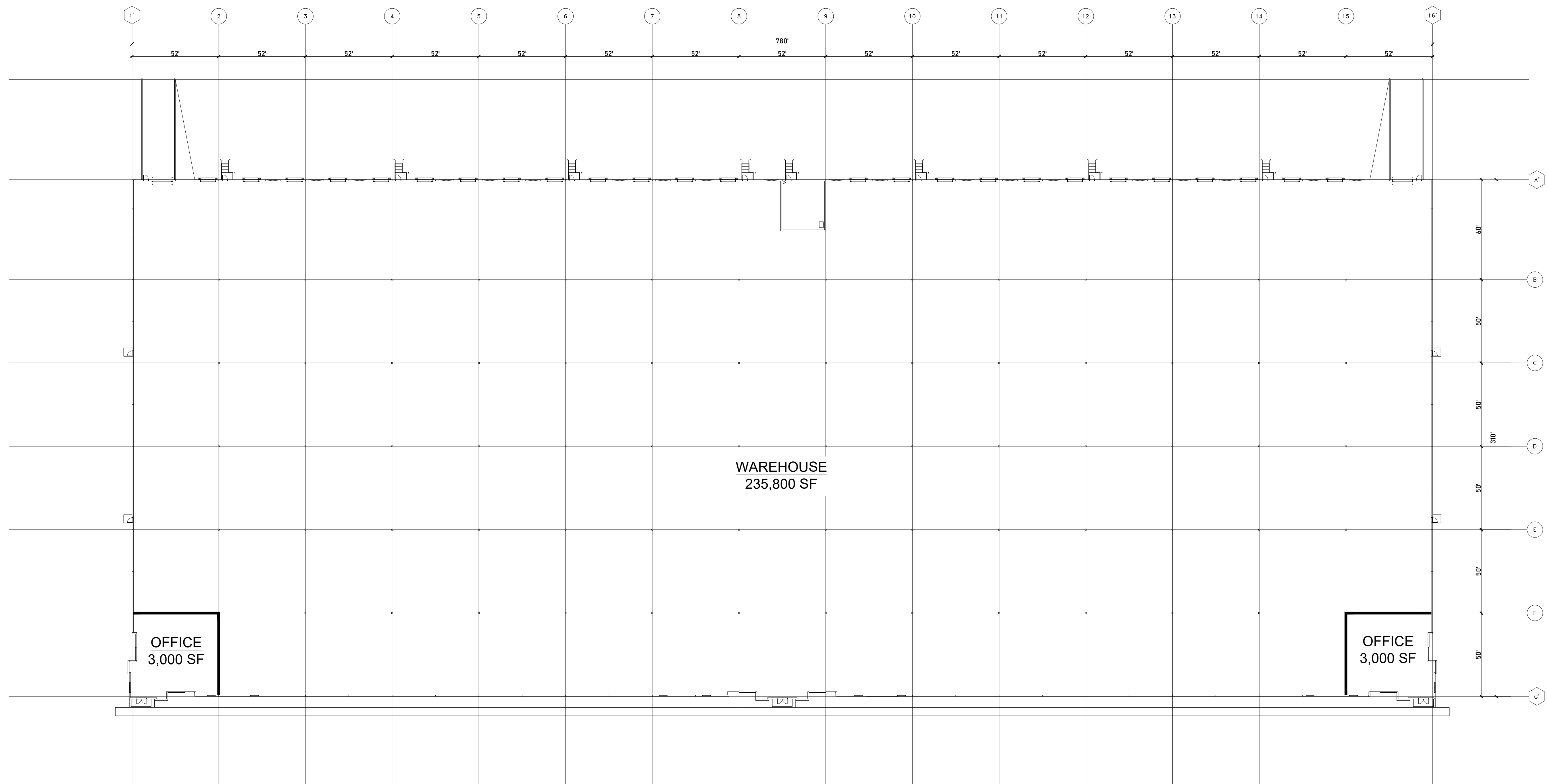
BARRY D. CLARKE, L.S.

16766

LIC. NO.

PROPERTY & TOPOGRAPHIC SURVEY	NO.	DATE	REVISIONS		BY
			1	2-9-22	
SHEET V-2	LAND OF FOUR WOODS LLC				
	DANIEL MADRICAL SCANNELL PROPERTIES 294 GROVE LANE EAST SUITE 140 WAYZATA, MN 55391				
PREPARED FOR:					
21 JEFFREY DRIVE P.O. BOX 1167 SOUTH WINDSOR, CT 06074 860-291-9757 - F www.designprofessionals.com					
DESIGN PROFESSIONALS CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS GIS ANALYSTS / LANDSCAPE ARCHITECTS					

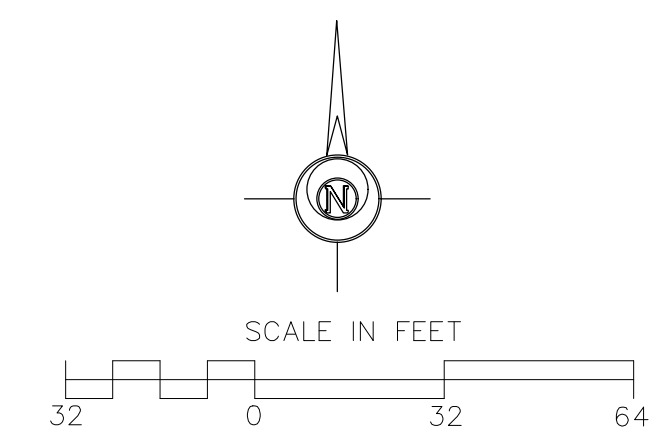




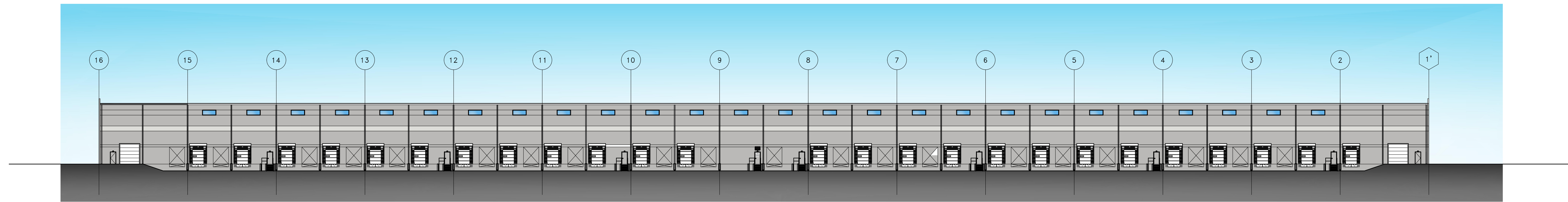
PROPOSED:  
PROJECT SITE  
April 20, 2022

## Proposed Office / Warehouse

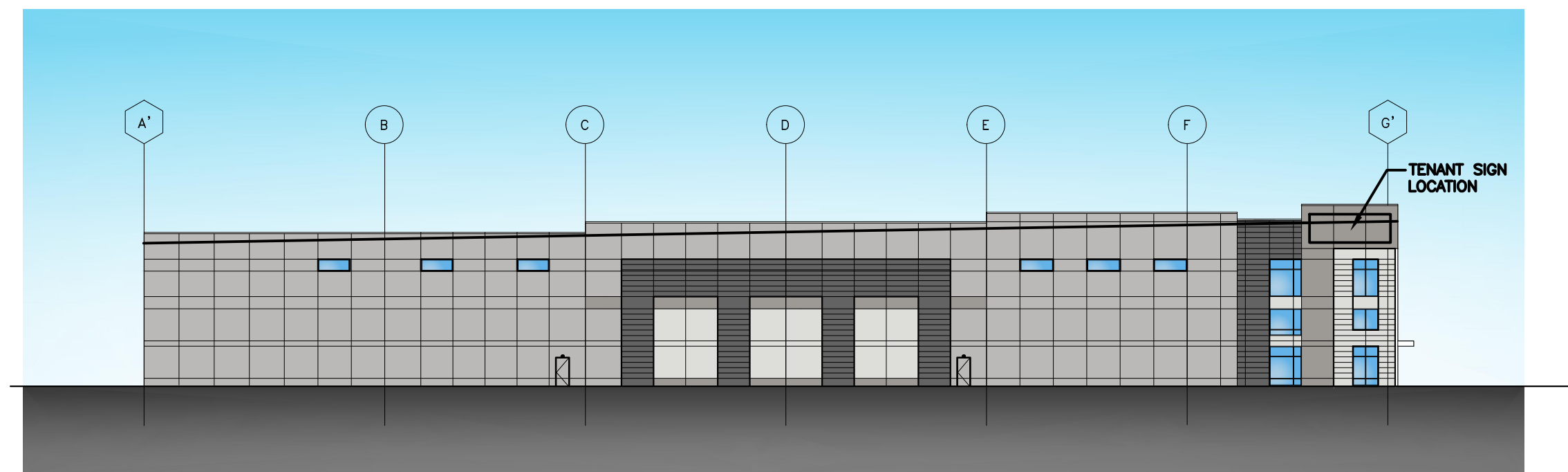
South Windsor, CT



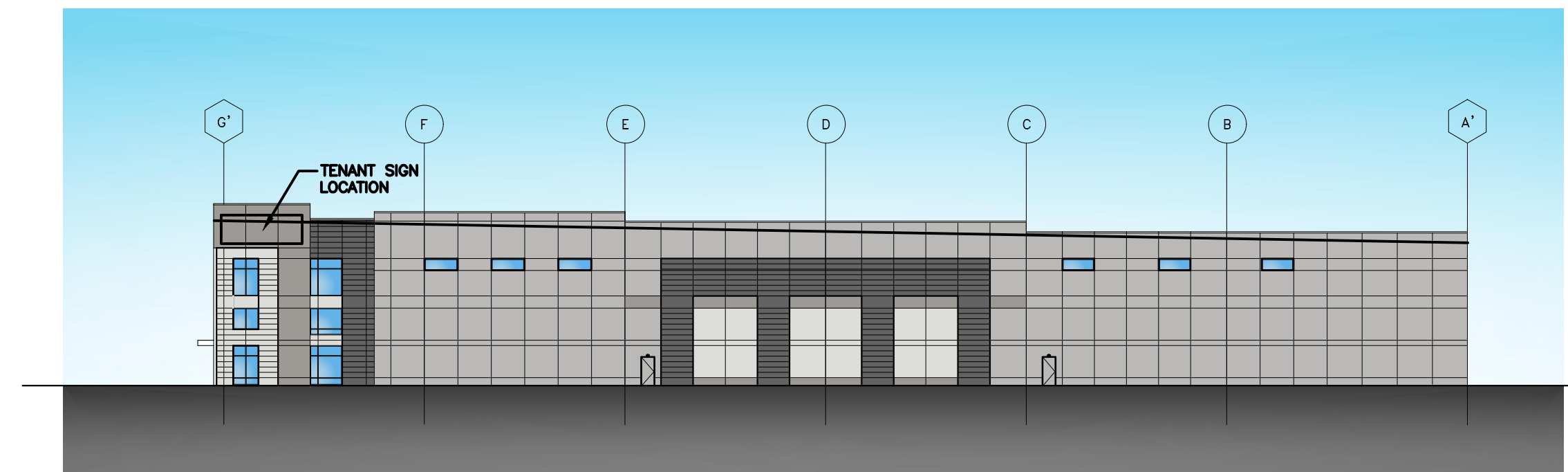




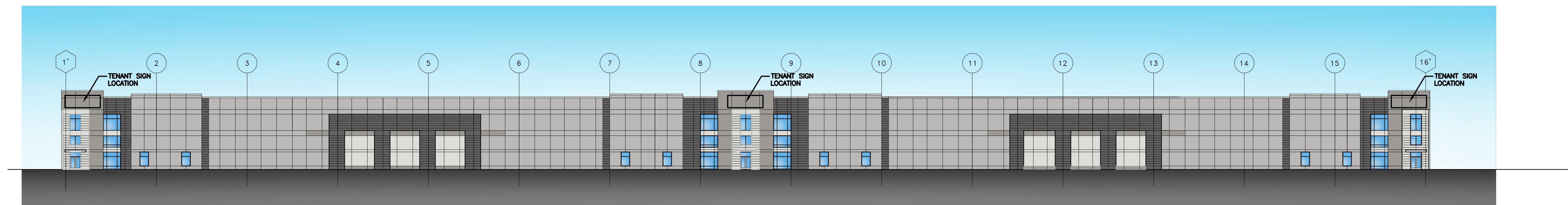
PLAN WEST ELEVATION



PLAN SOUTH ELEVATION



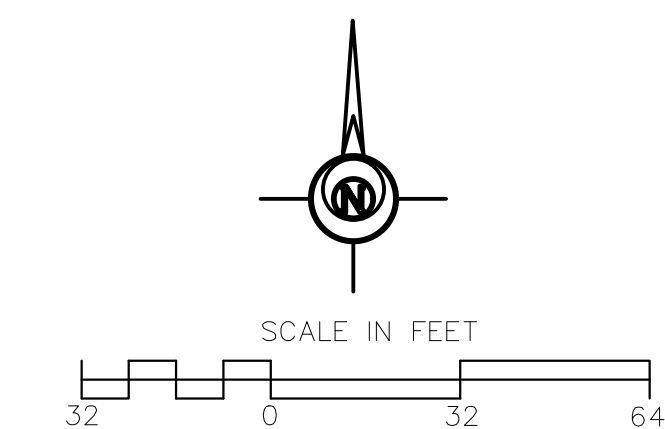
PLAN NORTH ELEVATION



PLAN EAST ELEVATION

PROPOSED:  
PROJECT SITE  
April 20, 2022

Proposed Office / Warehouse  
South Windsor, CT



**SCANNELL**  
PROPERTIES