

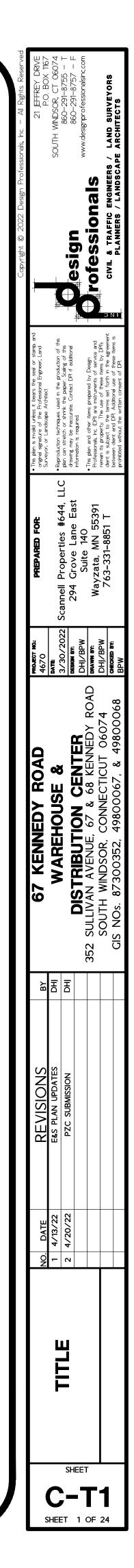
555 Long Wharf Drive New Haven, CT 06511-6107 203-563-5771 www.langan.com

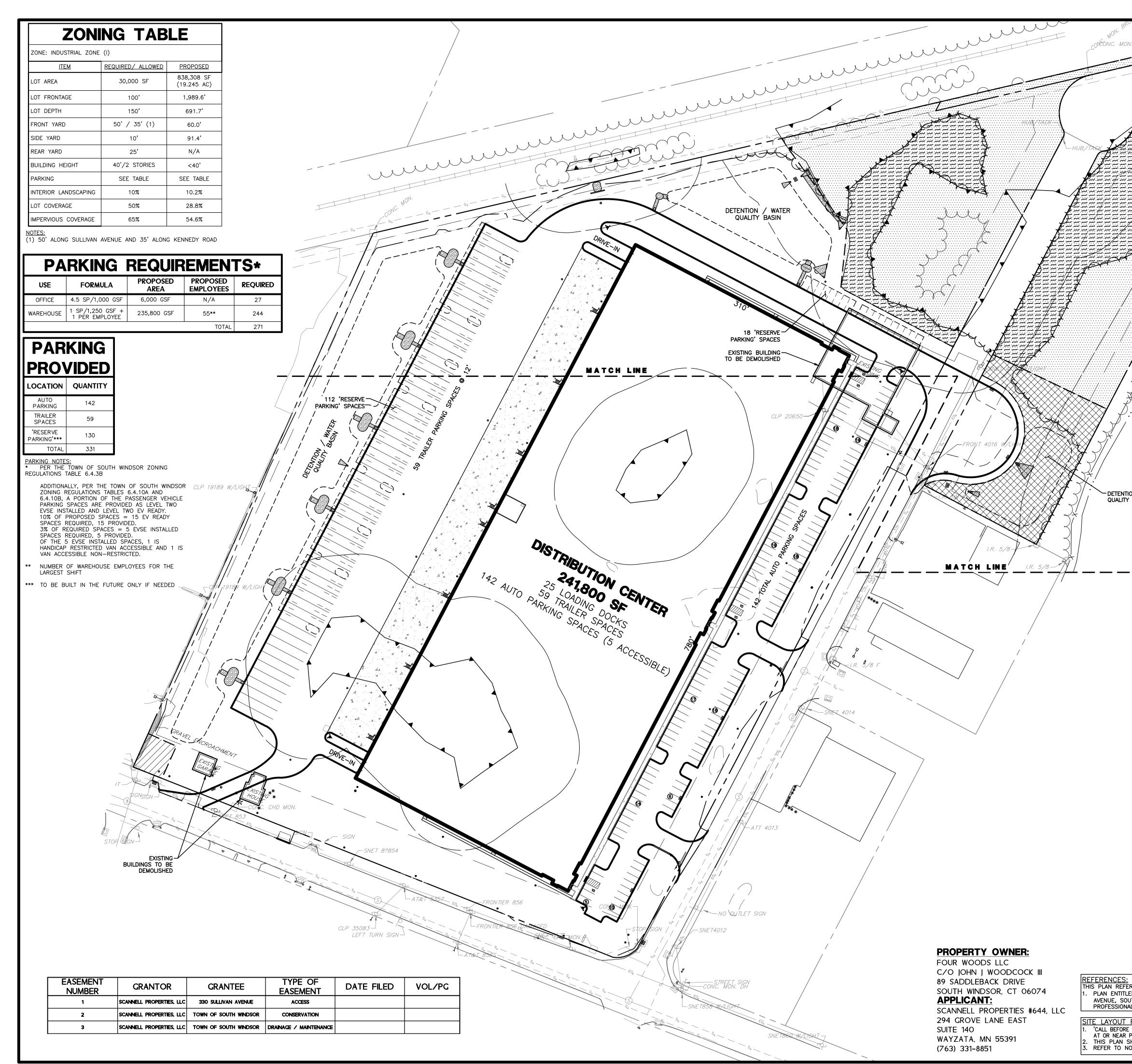
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TRAFFIC ENGINEER:

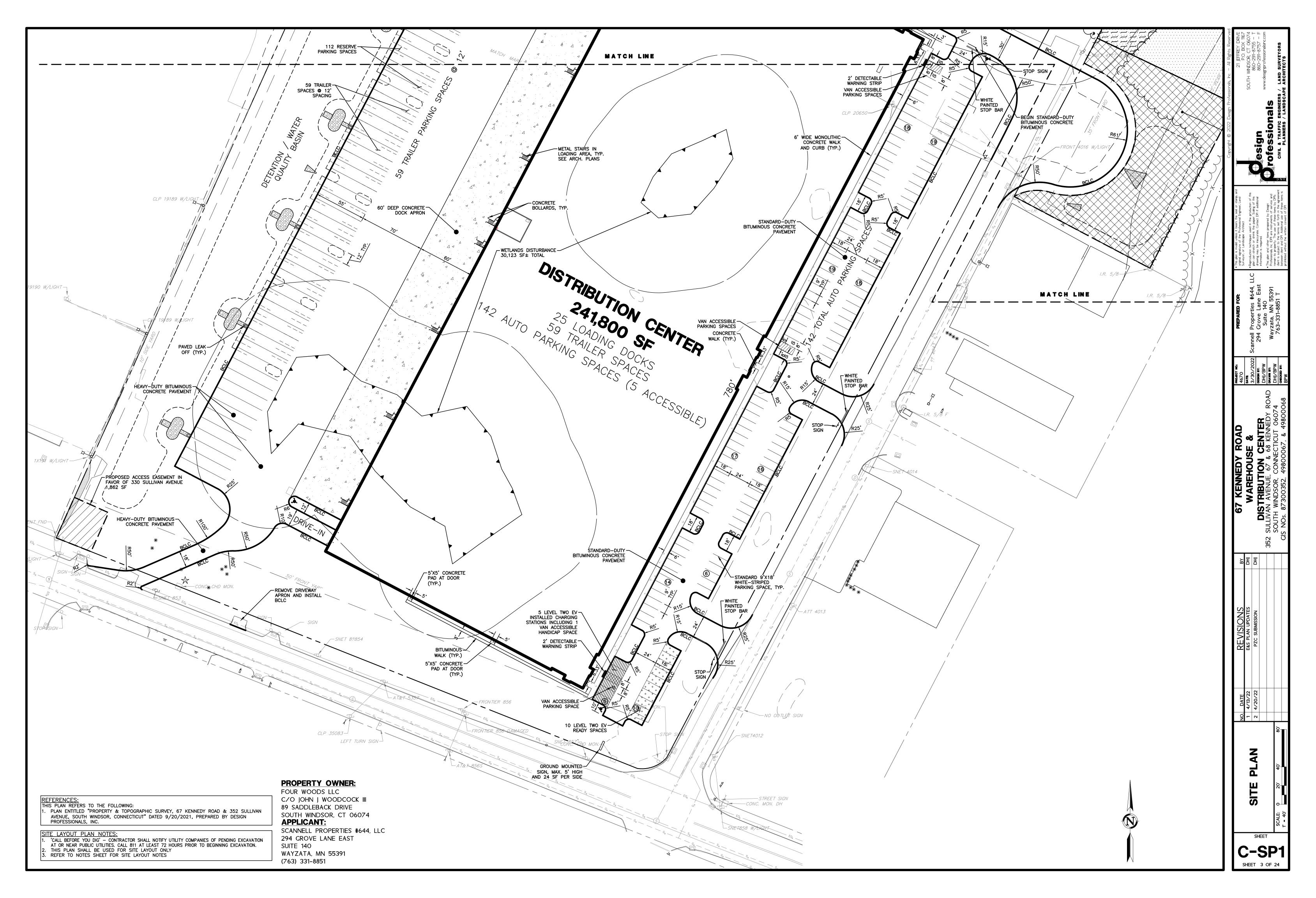
PROPERTY OWNER:

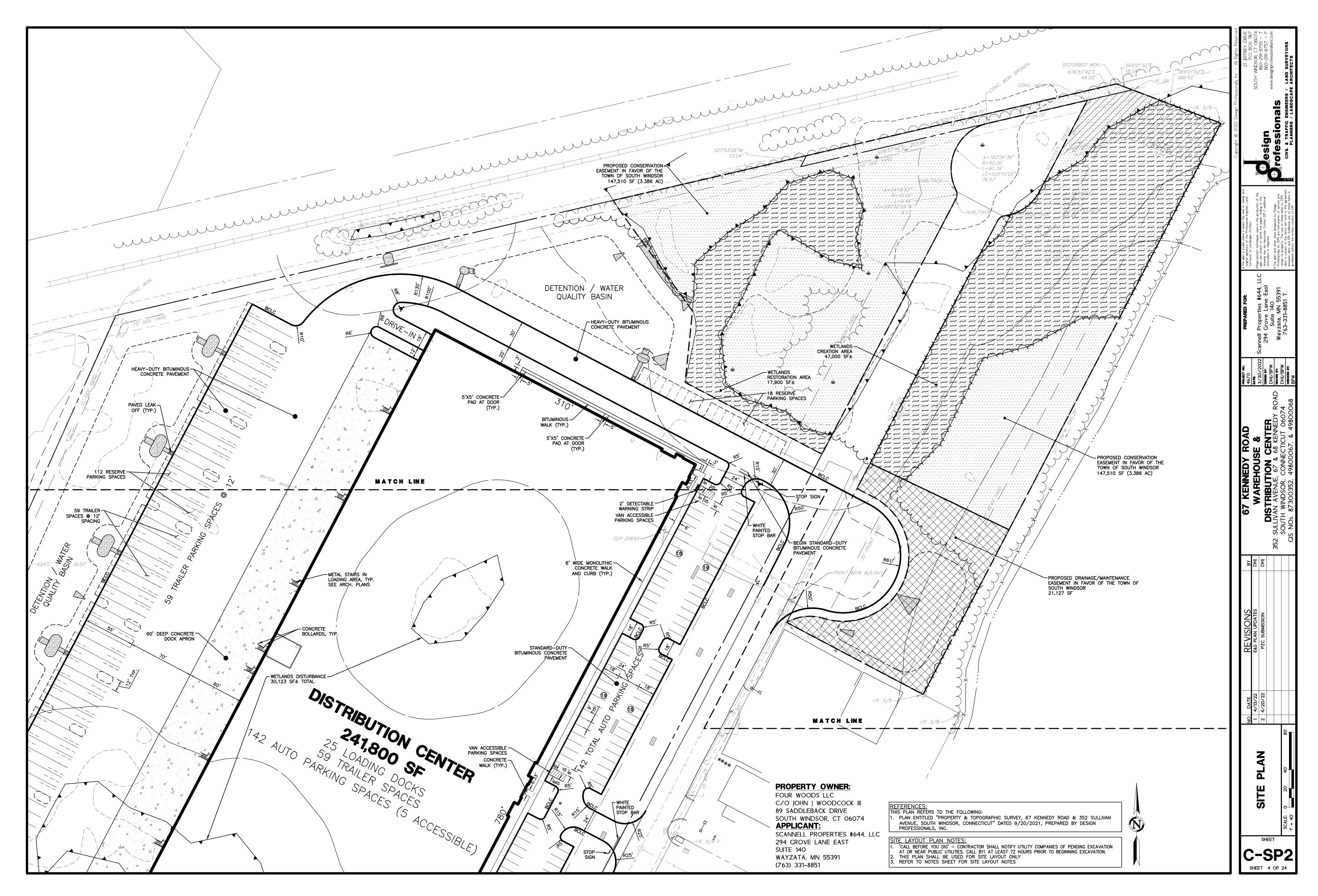
FOUR WOODS LLC C/O JOHN J WOODCOCK III 89 SADDLEBACK DRIVE SOUTH WINDSOR, CT 06074 **APPLICANT:** SCANNELL PROPERTIES #644, LLC 294 GROVE LANE EAST SUITE 140 WAYZATA, MN 55391 (763) 331-8851

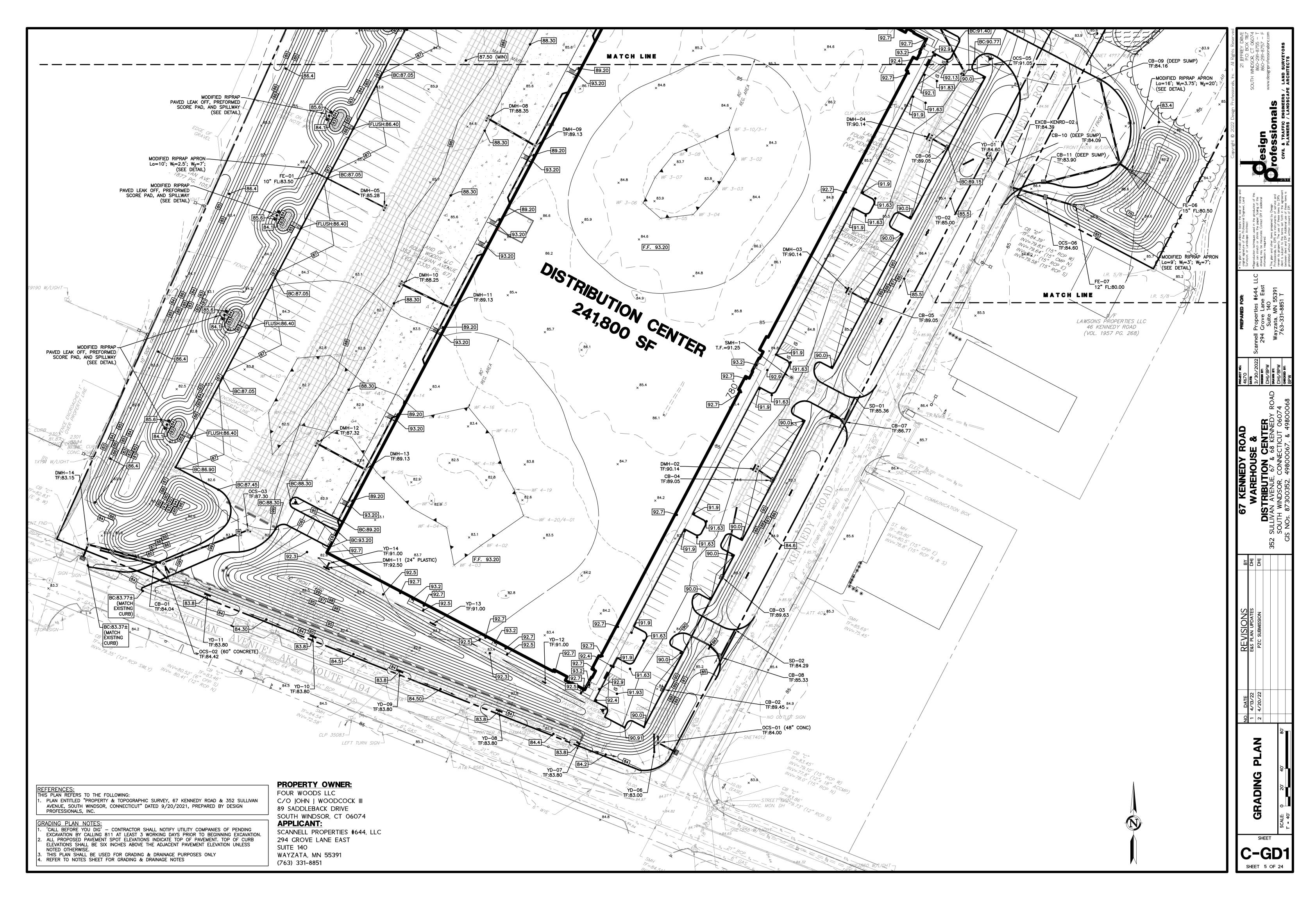


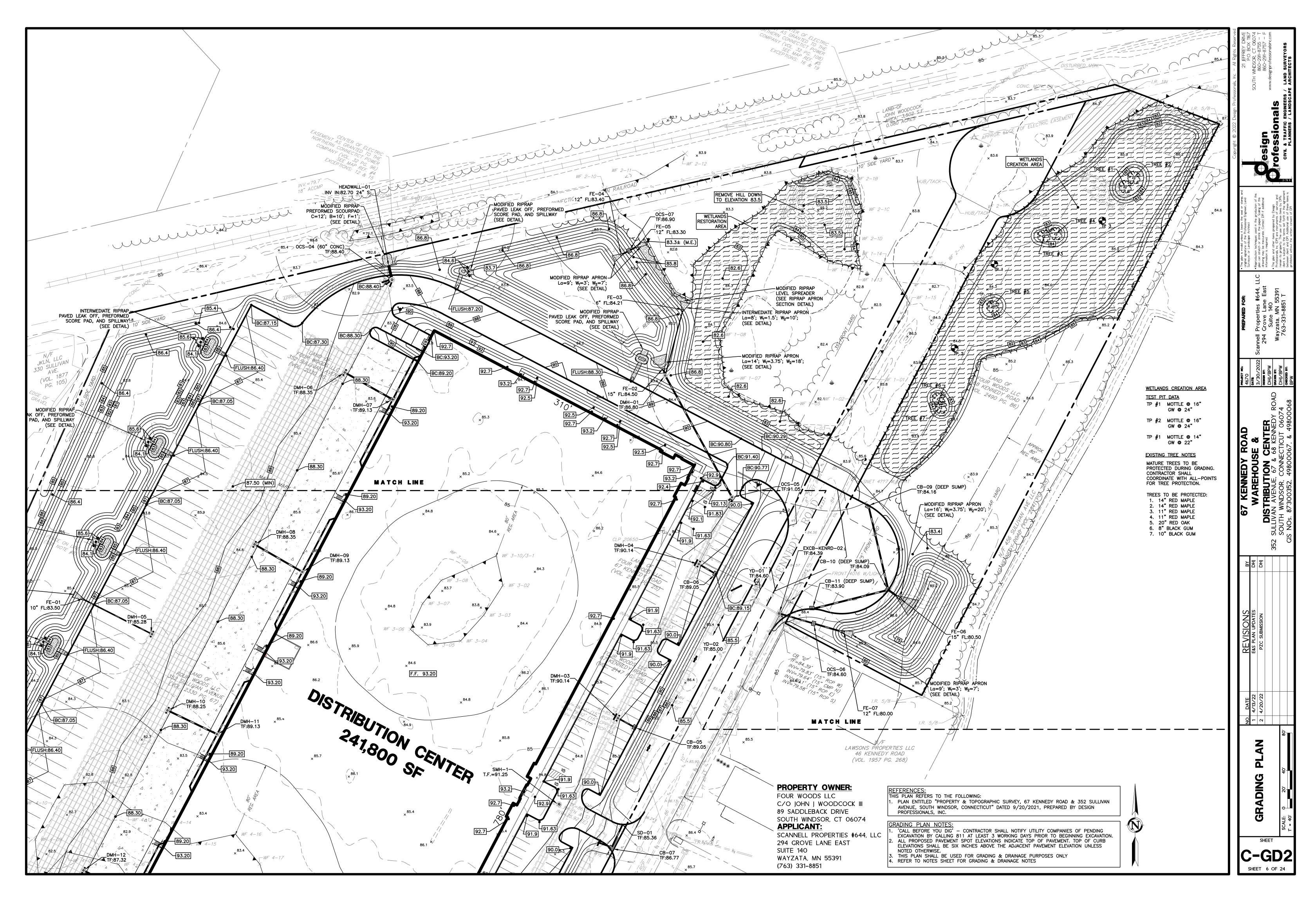


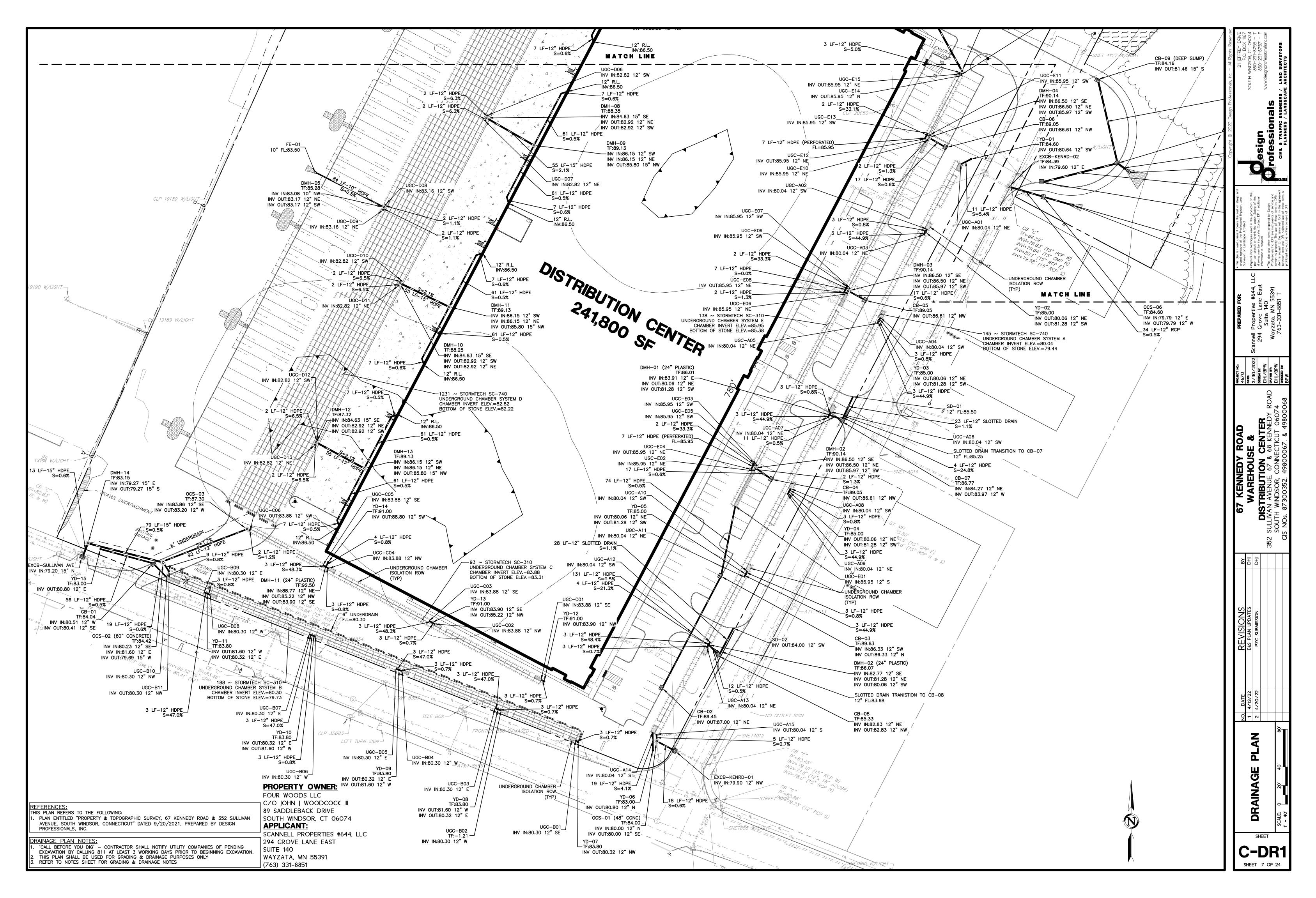
	Copyright © 2022 Design Professionals, Inc. – All Rights Reserved	ROAD Pmeer we Empered For The pair is invalid unless it bears the seel or stamp and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears the seel or stamp and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears the seel or stamp and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears and organal signature of the Professional Engineer, Land Surveyor, or Landscape Architect The pair is invalid unless it bears and organal signature of the Professional Engineer, Land Surveyor or Landscape Architect The pair is invalid unless it bears and organized of the Professional Surveyor or Surveyor or Landscape Architect The pair is invalid unless it pair invalid unless it pair is invalid unless it pair is invalid unless it pair invalid unless it pair is invalid unless it pair pair invalid unless it pair invalid unless it pair inv	ECTICUT 06074 DHJ/BPW Way zata, WIN 50391 remains property. The use of these items by DPs control of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the additional use of these items is a control of the agreement between dent and DPI Additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of these items is a control of the additional use of the additiona
		REVISIONS e&s plan updates pzc submission	
		L SITE NO. DATE 1 4/13/22 2 4/20/22	60' 120'
ENCES: AN REFERS TO THE FOLLOWING: N ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN NUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN DESIGN DESIGN DESIGN DEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION. OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION. S PLAN SHALL BE USED FOR SITE LAYOUT ONLY ER TO NOTES SHEET FOR SITE LAYOUT NOTES		SHEET 2 OF	scale: 0 30' r = 60' [] 30'

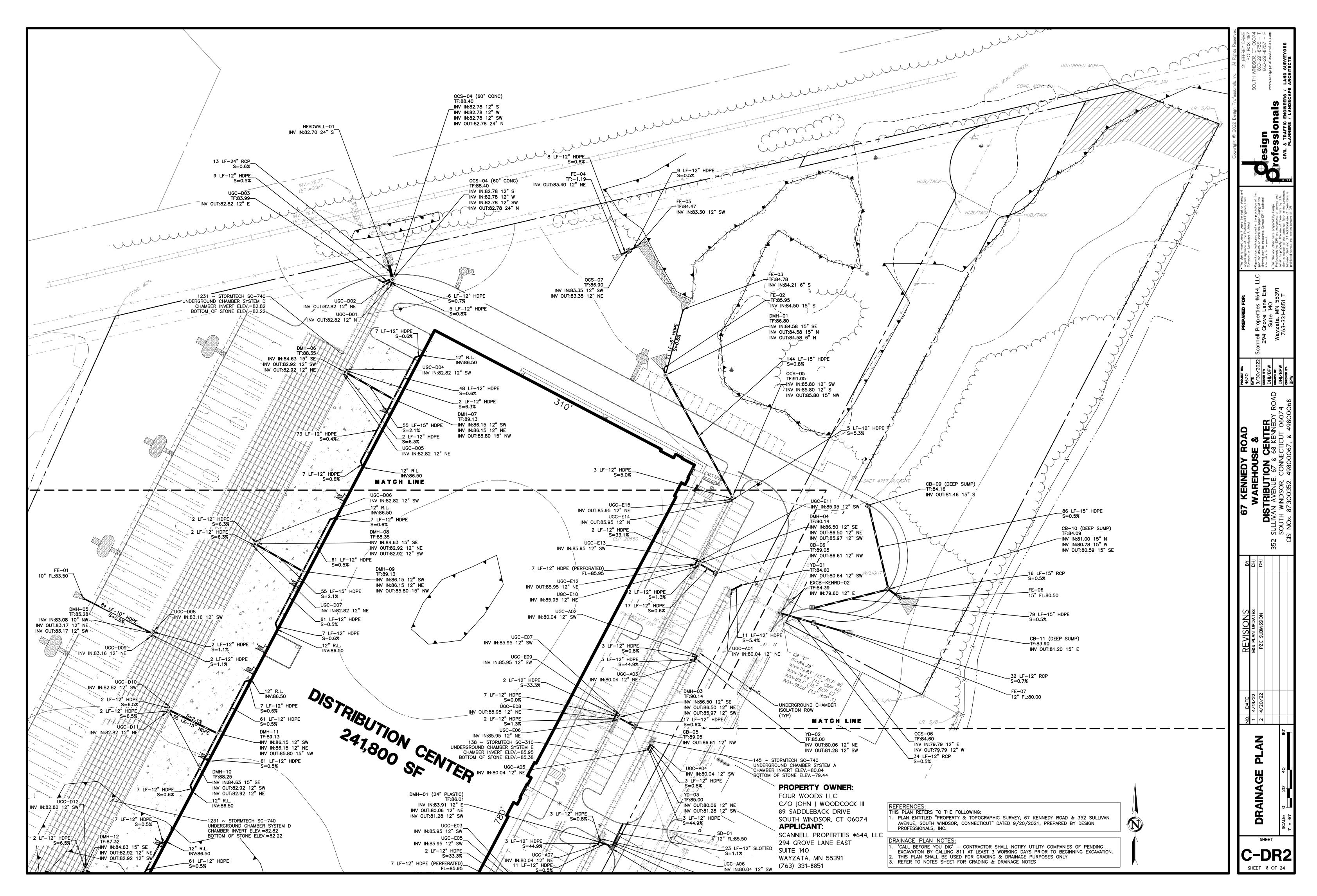


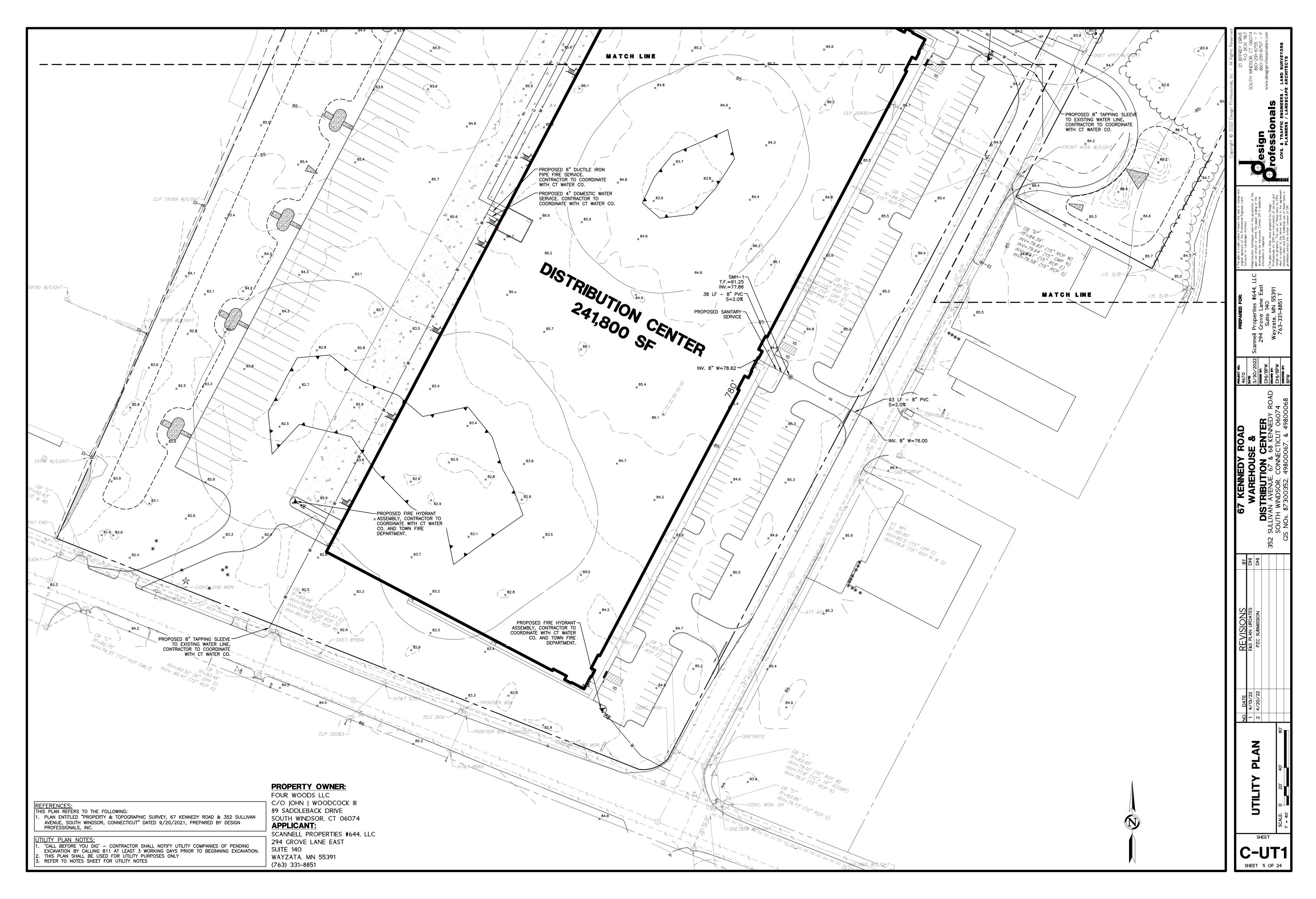


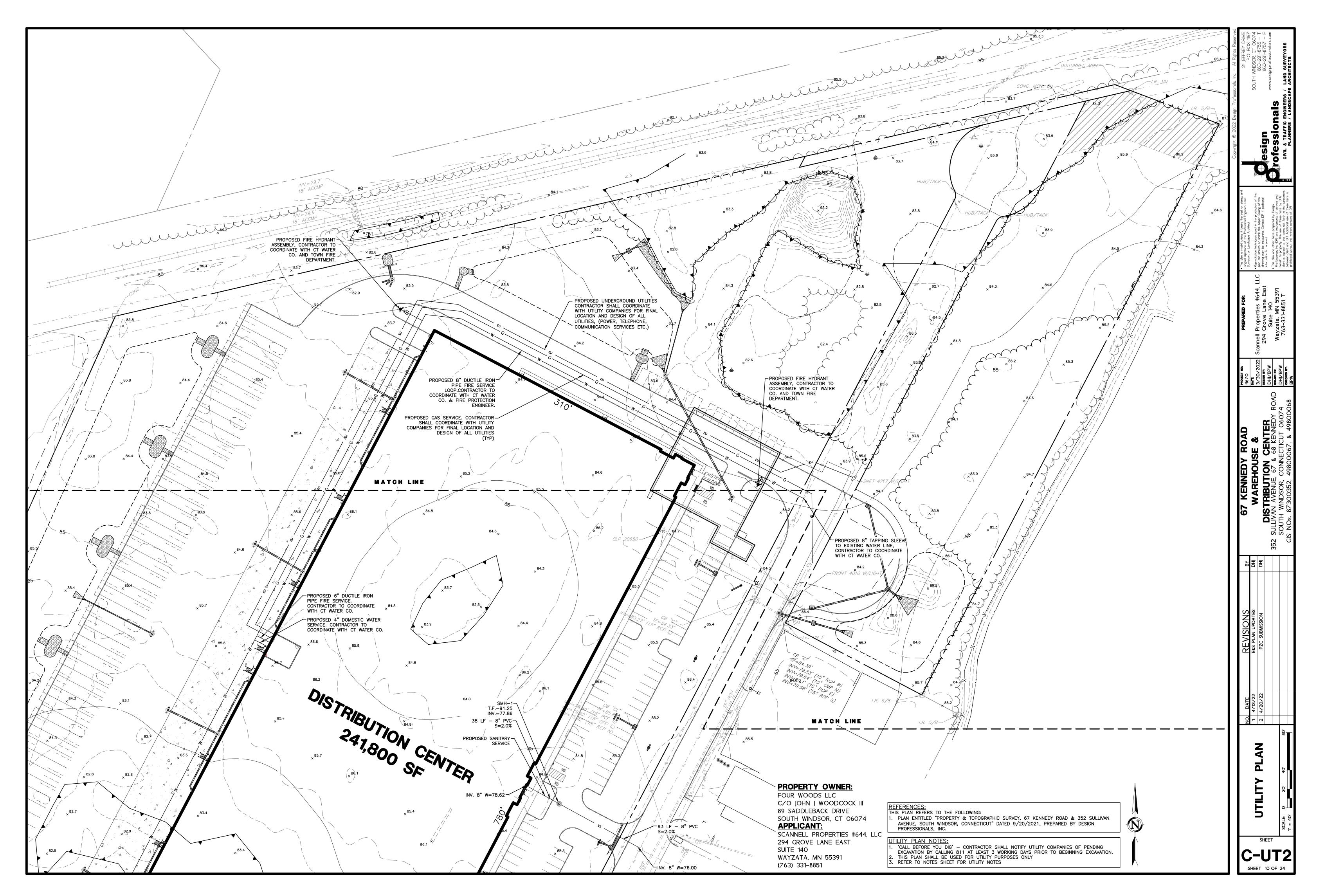


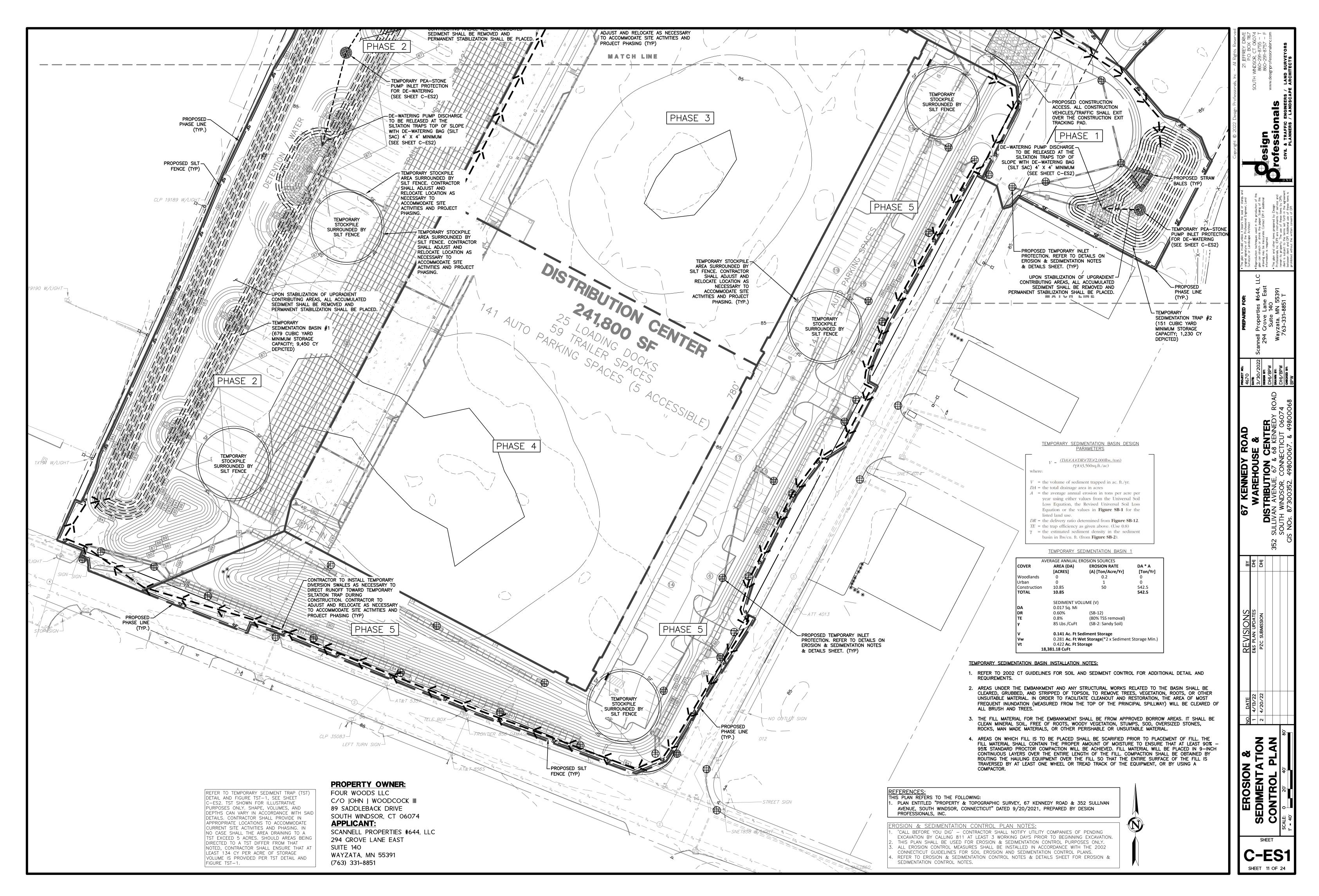


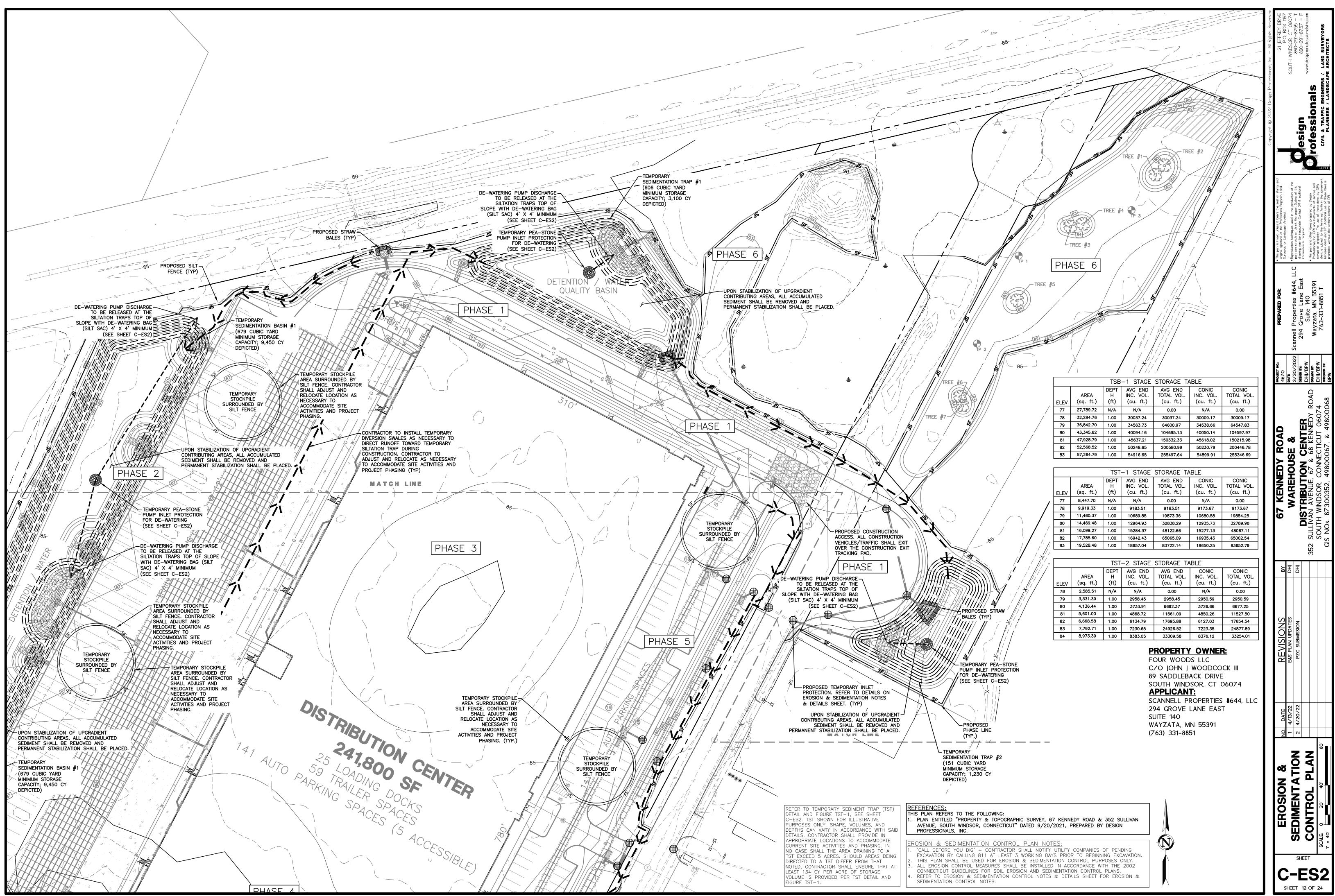


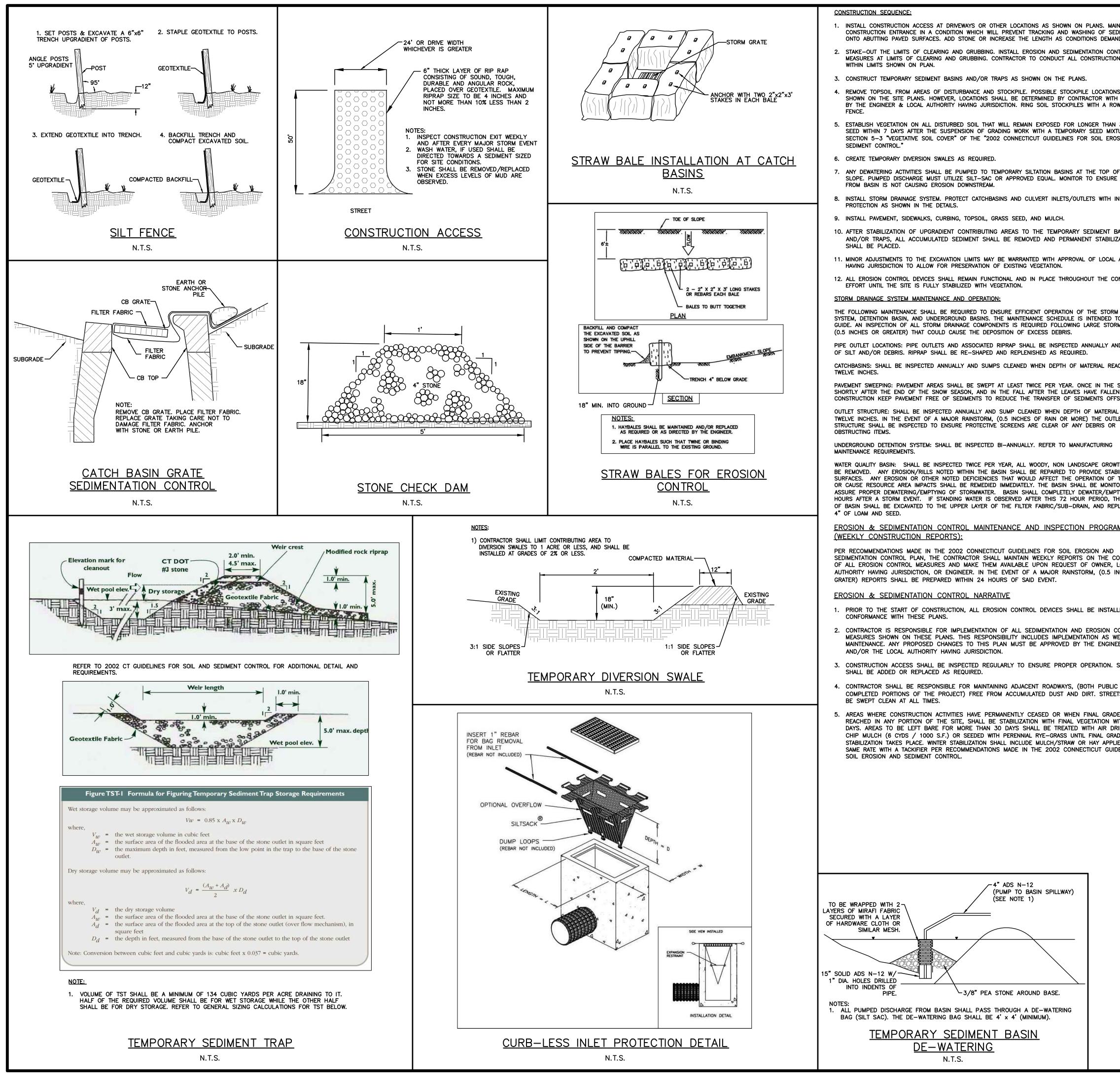












- CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SED ONTO ABUTTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAN
- MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION
- REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW
- 5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTU SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROS
- ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILTATION BASINS AT THE TOP OF SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE
- 8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH IN
- 10. AFTER STABILIZATION OF UPGRADIENT CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BA AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZ

12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CON

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM SYSTEM, DETENTION BASIN, AND UNDERGROUND BASINS. THE MAINTENANCE SCHEDULE IS INTENDED TO GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEPT AT LEAST TWICE PER YEAR. ONCE IN THE

CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFS OUTLET STRUCTURE: SHALL BE INSPECTED ANNUALLY AND SUMP CLEANED WHEN DEPTH OF MATERIAL

STRUCTURE SHALL BE INSPECTED TO ENSURE PROTECTIVE SCREENS ARE CLEAR OF ANY DEBRIS OR

UNDERGROUND DETENTION SYSTEM: SHALL BE INSPECTED BI-ANNUALLY. REFER TO MANUFACTURING

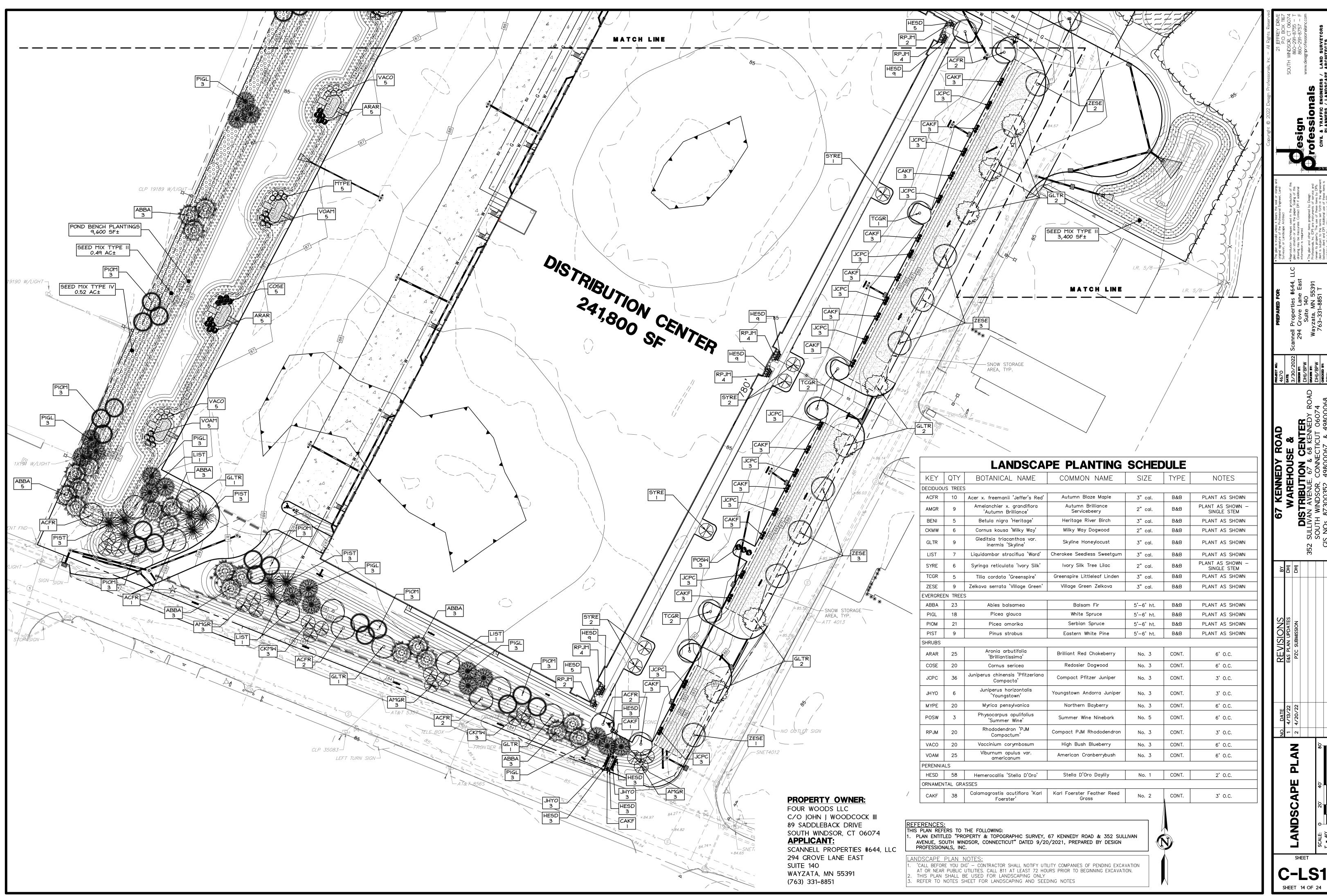
WATER QUALITY BASIN: SHALL BE INSPECTED TWICE PER YEAR, ALL WOODY, NON LANDSCAPE GROWT BE REMOVED. ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABI SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIED IMMEDIATELY. THE BASIN SHALL BE MONITO ASSURE PROPER DEWATERING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DEWATER/EMPT HOURS AFTER A STORM EVENT. IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIÓD, TH OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPL

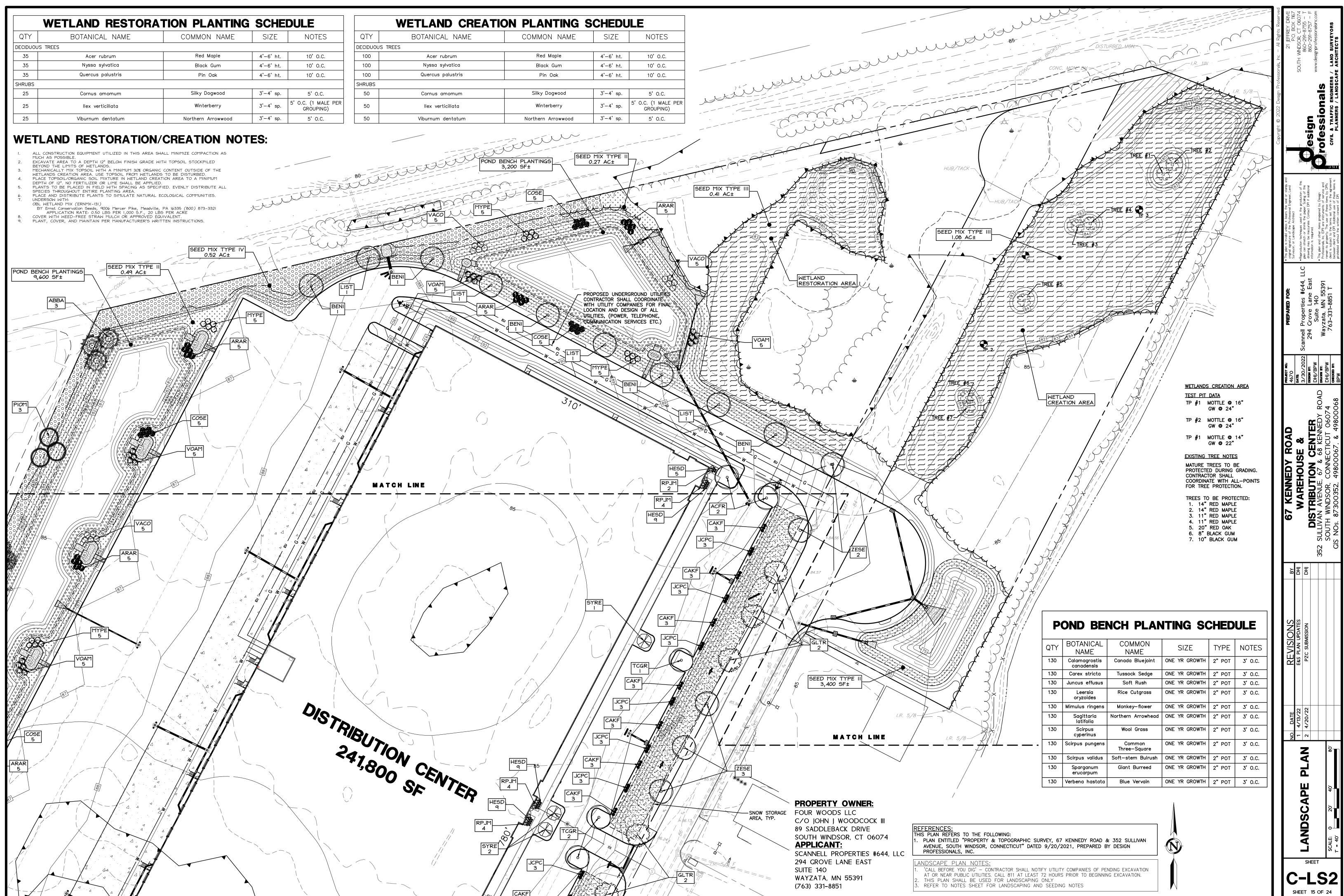
EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM

PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN. THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CO OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, I AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 IN

- 1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALL
- 2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CC MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WE MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEI
- 3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREET
- 5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WI DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRI CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRAE STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2002 CONNECTICUT GUID

NTAIN THE DIMENT D.	6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:	shts Reserve FREY DRIVE D. BOX 1167 CT 06074 L-8755 - T L-8755 - F H-8755 - F sionalsinc.com
TROL N ACTIVITIES	MULCH: RATE: STRAW 90# / 1000 S.F.	- AI Rig 21 JEH P.C 860-291 860-291 pprofess SURVE FECTS
(Adminized	TEMPORARY SEEDING: RATE: PERENNIAL RYEGRASS 1.0# / 1000 S.F.	als, Inc. JUTH W ww.desig LAND
S ARE APPROVAL	7. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.	scape
N OF SILT	8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF THAT CONTAINS SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.	Design P ENGINE
30 DAYS. URE PER SION AND	9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.	© 2022 [JD SION ANNERS
	10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND	
^F THE DISCHARGE	CULVERTS. 11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE	Copy Copy Cover
ILET	APPROPRIATE EQUIPMENT FOR WATER APPLICATION FOR THE PURPOSES OF ALLAYING DUST. APPLY WATER, SUITABLE MATERIALS, OR COVERS TO MATERIAL STOCKPILES AND OTHER SURFACES THAT CAN GIVE RISE TO AIRBORNE PARTICULATE MATTER. COVER, WHILE IN MOTION, OPEN-BODIED TRUCKS OR	
	OPEN-BODIED TRAILERS. MINIMIZE THE VOLUME OF WATER SPRAYED FOR CONTROLLING DUST AS TO PREVENT THE RUNOFF OF WATER. NO DISCHARGE OF DUST CONTROL WATER SHALL CONTAIN OR CAUSE A VISIBLE OIL SHEEN, FLOATING SOLIDS, VISIBLE DISCOLORATION, OR FOAMING IN THE	and and and for this neal sead PPAs trems is
ASINS ATION	RECEIVING STREAM. 12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES	Ergineer, Le Froduction (Scaling of DPI if addite by Design is of service e of these e it of DPI
AUTHORITY	OF THE AUTHORITY HAVING JURISDICTION. 13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE,	In the pears the professional Professional Professional Professional used in the used in the part with the papered take. Contract takes the peare take to be prepared use of the pears set for a Additional use the pears set for a professional use the pears set for a pear of the pear
NSTRUCTION	PAINT, AND OTHER MATERIALS. THIS AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM	thread unless ture of the eardscape techniques techniques be harcura be harcura a diath or shirt har (DP) an a pert, The to the ta
	SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF	This plan is crigital signal signal signal signal and signal representation is triformation is triformation is cheat is subj dent is subj between die between die
DRAINAGE O BE A M EVENTS	WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.	
D CLEANED	14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT	fit 4644, I 5391 T
CHES	WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFILLING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE	REPARED FOR: Properties #6 Drove Lane 1 Suite 140 Zata, MN 553 3-331-8851 7
SPRING	WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILING OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.	
N. DURING SITE.	15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE	Scannell F 294 o 76
. REACHES ET	TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR	
	MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.	project no: 4670 date 3/30/2022 deskon by: DHJ/BPW drecked by: BPW
TH SHALL	16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.	┙┍┍ ┙ ┺ ┺ ┺ ┇ ╚ ┇ ┺ ┺ ┺ ┺ ┺ ┺ ┺ ┺ ┺ ┺
ILIZED THE BASIN DRED TO	17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.	0 4 0 0 20
IY WITH 72 IE BOTTOM LACE WITH	18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.	0607. 49800
M	ESTIMATED CONSTRUCTION START DATE – SPRING 2023 ESTIMATED COMPLETION DATE – SPRING 2024	BOAL BE & S8 KEN 67. &
	 CONSTRUCTION DUST CONTROL NOTES IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT 	
ONDITION _OCAL ICHES OR	CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION	KENNEDY NAREHOU RIBUTION AVENUE, 67 & AVENUE, 67 & NDSOR, CONN
	MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM	KENNED /AREHO /AREHO VENUE, 67 DSOR, CON DSOR, CON DSOR, CON
ED IN	STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.	67 K AN AV 8730
ONTROL	 IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH 	⊡ ⊇ ⊑ <u>ő</u>
ELL AS ER	PILES, GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.	52 SUI SO CIS N
STONE	 CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TIMING OF 	m n
& IS SHALL	THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD	8 문 문
ES ARE	IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.	
ithin 7 IED Wood Ding And	CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.	
ED AT THE ELINES FOR	 USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS. 	EVISIONS PLAN UPDATES IC SUBMISSION
	• PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.	EVISI PLAN L
	 NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE 	E&S PZ
	SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S	
	RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.	
	• REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.	DATE 4/13/22 4/20/22
	PROJECT CONTACT INFO:	
	SCANNELL PROPERTIES #664, LLC 294 GROVE LANE EAST	
	SUITE 140 WAYZATA, MN 55391	
	• • • • • • • • • • • • • • • • • • • •	
	PROPERTY OWNER: FOUR WOODS LLC	EROSION DIMENTA AILS & I
	C/O JOHN J WOODCOCK III 89 SADDLEBACK DRIVE	EROSI SEDIMEN ETAILS
	SOUTH WINDSOR, CT 06074 APPLICANT:	
	SCANNELL PROPERTIES #644, LLC 294 GROVE LANE EAST	SHEET
	SUITE 140 WAYZATA, MN 55391 (7(2) 221 0051	C-ES3
	(763) 331-8851	SHEET 13 OF 24





LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST. DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS ND RESIDENTIAL LANDSCAPE BUFFER AREAS. ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS
- AND MULCH. WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1
- "AMERICAN STANDARD OF NURSERY STOCK." PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM INSECT PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT VOIDS AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" CRACKED OR MUSHROOMED BALLS ARE NOT ACCEPTABLE BARE-ROOT PLANTS: DUG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORMLY THICK COATING OF MUD BY BEING PUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT
- CONTAINER-GROWTH STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE. CONTAINER STOCK SHALL NOT BE POT BOUND. CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER. 5 B A
- 5.B.B. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT, FOR AT LEAST ONE YEAR. CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF I YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
- ONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS. CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNSEASONABLE CONDITIONS, BUT WITHOUT
- ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD. O NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF
- NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL, SUBSTITUTION ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN. ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER. PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
- PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO: A. BARK MULCH/COMPOST 10%-12% COARSE SAND
- 45-50% PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED LIME SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A 12.A MAXIMUM OF 60% OXIDE. (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE). FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC 12.B
- SLOW-RELEASE COMPOSITION NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASING CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNDAMAGED ONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT tting and deterioration
- DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. DAYLILIES AND PERENNIALS SHALL BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH, IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS. NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB. TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY
- WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR. CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND
- CONTRACTOR TO SUBMIT MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS. MOVING AND STORAGE OF PLANT MATERIALS: CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED. SPRAY DECIDUOUS PLANTS IN FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION. EGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF 17.B
- PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. ULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING INSPECTION CERTIFICATES REQUIRED BY LAW SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER TO STOCK AND ON ARRIVAL. THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- 17.E. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES. BRANCHES.
 I8. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
 I9. STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS
- CCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS. THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE
- PLANT LIST. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN I INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES. ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACIE
- ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS. CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS: REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD. MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
- PRUNE NEEDLE-LEAF EVERGREEN TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A NIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE. MULCH TO BE APPLIED AS FOLLOWS: AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL
- BE MULCHED 26.B. PLACEMENT: PLACE MULCH TO REQUIRED UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS. APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES. MULCH SHALL BE 6 MONTHS OLD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAWDUST.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS: MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
- MAINTENANCE SHALL INCLUDE PRUNING, MEEDING, MATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
- CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER 27.D AND SEASON PERMIT WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, TWICE 27.E. PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY T
- REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF GUARANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE. LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4455 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER OVERNING REGULATIONS
- CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES. ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR
- LANDSCAPE CONTRACTOR SHALL PROVIDE FILE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S

SEEDING NOTES:

- SEFDING MIXTURE TYPE I (LAWN AREAS): BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE 30% OF MIXTURE CHEWINGS RED FESCUE
- APPI ICATION RATE: 4.50LBS, PER 1000 S.F. SEEDING MIXTURE TYPE II (BASIN SLOPES)

REPRESENTATIVE PRIOR TO INSTALLATION.

- RETENTION BASIN WILDLIFE MIX ERNMX-127 BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
- APPLICATION RATE: 0.50 LÉS PER 1,000 S.F., 20 LES PER ACRE SEEDING MIXTURE TYPE III (WETLAND CREATION/RESTORATION AREAS OBL WETLAND MIX
- BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321 APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE SEEDING MIXTURE TYPE IV (SWALE BOTTOM)
- PERENNIAL RYEGRASS 10% OF MIXTURE 10% OF MIXTURE 5% OF MIXTURE CREEPING RED FESCUE ALSIKE CLOVER 5% OF MIXTURE
- TURF-TYPE TALL FESCUE 70% OF MIXTURE APPLICATION RATE: 5.00 LBS PER 1,000 S.F
- BASIN SIDE SLOPES SHALL HAVE A MINIMUM OF 6" OF "TRACKED" TOPSOIL UNLESS OTHERWISE NOTED SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO
- DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING ADD AN ADDITIONAL 15% TO SEEDING MIXTURE WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUAL TO CONWED 2000 AND APPLIED AT THE RATE OF 1,400LBS. PER ACRE.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDED AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.

WETLAND MITIGATION NOTES:

WETLAND MITIGATION GOALS

1) COMPENSATE FOR THE LOST WETLAND AREA BY PROVIDING A COMPREHENSIVE WETLAND MITIGATION PLAN THAT INCLUDES CREATING A NEW WETLAND AREA RESTORING A PREVIOUSLY DEGRADED WETLAND AREA. AND PROVIDING A CONSERVATION AREA THAT ENCOMPASSES BOTH AREAS AND FORESTED UPLAND BUFFER AREAS WHICH WILL PROVIDE HIGHER FUNCTIONS AND VALUES THAN THAT PROVIDED BY THE TOW ISOLATED WETLANDS BEING IMPACTED.

2) LOCATE WETLAND MITIGATION AREAS ADJACENT TO EXISTING WETLANDS TO ENSURE WETLAND HYDROLOGY CAN BE DEVELOPED WITHIN MITIGATION AREAS AND PROVIDE ECOLOGICAL CONNECTIVITY TO EXISTING WETLAND SYSTEM LOCATED IN THE NORTHERN PORTION OF THE PROJECT SITE.

3) PLANT WETLAND MITIGATION AREAS WITH A SUFFICIENT DENSITY AND DIVERSITY OF NATIVE PLANTS, WITH A FOCUS OF CREATING A FORESTED WETLAND COVER TYPE TO COMPENSATE FOR IMPACTED FORESTED WETLANDS. PROVDING ENHANCED FUNCTIONS AND VALUES WITH A PARTICULAR FOCUS ON ENHANCING WILDLIFE HABITAT FUNCTION.

GENERAL MITIGATION NOTES 1) THE PROJECT WETLAND SCIENTIST WITH EXPERTISE IN WETLAND CREATION, RESTORATION

AND ENHANCEMENT WILL SUPERVISE ALL ELEMENTS OF THE MITIGATION PLAN. 2) PLASTIC MESH SLEEVES TREE SHELTERS AND DEER REPELLANTS WILL BE USED AS NECESSARY TO PROTECT PLANTED TREES AND SHRUBS FROM EXCESSIVE DEER DAMAGE.

3) A PRE-CONSTRUCTION MEETING WILL BE HELD ON SITE BETWEEN THE PROJECT WETLAND SCIENTIST AND CONTRACTOR(S) PERFORMING ALL ASPECTS OF THE WETLAND MITIGATION PLAN (E.G., WETLAND CREATION, WETLAND RESTORATION, ETC.). THE PRIMARY INTENT OF THE PRE-CONSTRUCTION MEETING IS TO DISCUSS THE GOALS OF THE MITIGATION PLAN AND IMPLEMENTATION OF REQUIRED ELEMENTS NECESSARY TO ACHIEVE THESE GOALS AND SEQUENCE OF ELEMENTS. THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER WILL BE PROVIDED NOTICE OF THIS MEETING A MINIMUM OF 3 BUSINESS DAYS PRIOR TO THE MEETING WITH AN INVITATION TO ATTEND.

4) THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF ANY PHASE OF THE MITIGATION PROJECT.

PROPOSED WETLAND CREATION AND RESTORATION AREAS

PLANTS WITH EXCESSIVE DAMAGE WILL BE REPLACED.

) THE WETLAND CREATION AND RESTORATION AREAS. COLLECTIVELY REFERRED TO AS WETLAND MITIGATION AREAS, ARE PROPOSED IN CLOSE PROXIMITY TO EXISTING WETLANDS TO THE NORTH AND WEST, WITHIN THE NORTHERN PORTION OF THE PROJECT SITE THAT IS CURRENTLY DOMINATED BY MODERATELY WELL DRAINED SANDY GLACIOFLUVIAL (OUTWASH) SOILS. THE WETLAND CREATION AND RESTORATION AREAS WILL INCLUDE FORESTED, SCRUB-SHRUB, AND EMERGENT COVER TYPES TO PROMOTE A DIVERSE VARIETY OF WETLAND HABITATS THAT WILL SUPPORT SEVERAL WETLAND FUNCTIONS AND VALUES AT PRINCIPAL OR SECONDARY LEVELS. CONSTRUCTION OF THE WETLAND CREATION AND RESTORATION AREAS HAS BEEN DESIGNED TO MINIMIZE EROSION, PREVENT SEDIMENT FROM ENTERING ADJACENT WETLANDS, AND TO MAXIMIZE THE ESTABLISHMENT OF PLANTED NATIVE VEGETATION. THIS OVERALL MITIGAITON AREA WILL PROVIDE SIGNIFICANTLY HIGHER WETLAND FUNCTIONS AND VALUES THAN THE TWO ISOLATED WETLANDS PROPOSED TO BE IMPACTED. THIS WETLAND MITIGAITON PLAN HAS BEEN DEVELOPED UTILIZING CERTAIN ASPECTS CONTAINED WITHIN THE U.S. ARMY CORPS OF ENGINEERS NEW ENGLAND DISTRICT COMPENSATORY MITIGATION STANDARD OPERATING PROCEDURES (DECEMBER 29, 2020) AS GUIDANCE. THE WETLAND CREATION AND RESTORATION AREAS WILL BE CONSTRUCTED PER THE FOLLOWING:

2) PRIOR TO ANY EARTHWORK, A SILT FENCE AND/OR COMPOST FILTER SOCK EROSION CONTROL BARRIER WILL BE INSTALLED BETWEEN THE EXISTING WETLAND AND PROPOSED WETLAND CREATION AREA.

3) THE PROJECT WETLAND SCIENTIST SHALL BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF SEVEN (7) BUSINESS DAYS PRIOR TO ANY PHASE OF THE MITIGATION PROJECT INCLUDING EXCAVATION AND GRADING, SOIL TRANSFER AND PLANTING, TO MONITOR AND OR SEE IMPLEMENTATION OF THE WETLAND CREATION PLAN.

4) THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER SHALL BE NOTIFIED A MINIMUM OF48 HOURS PRIOR TO THE INSTALLATION OF EROSION CONTROLS AND AGAIN BEFORE THE COMMENCEMENT OF EXCAVATION WORK.

MATURE TREES IMMEDIATELY ADJACENT TO THE WETLAND CREATION AREA, WHICH ARE AT OR NEAR THE FINAL DESIGN ELEVATIONS OF THE AREA, WILL BE IDENTIFIED AND PRESERVED (WHERE POSSIBLE). IN ADDITION, SELECT MATURE MAST TREES WITHIN THE INTERIOR OF THE WETLAND CREATION AREA WILL BE IDENTIFIED AND PRESERVED TO RETAIN SOME EXISTING OVERSTORY FOREST COVER.

6) LARGER DBH RED MAPLE TREES WITHIN THE TWO IMPACTED ISOLATED WETLANDS WILL BE SELECTED FOR RELISE IN THE WETLAND CREATION AND RESTORATION AREAS AS RED MAPLES. ARE ADEPT AT RESPROUTING. SELECTED RED MAPLE TREES WILL BE CUT WITH A 4-6 FOOT STUMP RETAINED AND EXCAVATED TO INCLUDE SOME OF THE ROOT BALL. RED MAPLE STUMPS WILL BE "PLANTED" WITHIN THE WETLAND CREATION AND RESTORATION AREAS

WETLAND TOPSOIL FROM THE TWO IMPACTED ISOLATED WETLANDS WILL BE REMOVED. SEGREGATED, AND STOCKPILED IN THE WETLAND MITIATION STAGING AREA FOR USE IN WETLAND CREATION AREA. STOCKPILED WETLAND TOPSOIL SHALL NOT BE SCREENED SO I RETAINS ROOT MATTER AND SEED STOCK OF NATIVE WETLAND PLANT SPECIES THAT WILL AID IN NATURALLY ATTENUATING THE WETLAND CREATION AREA WITH NATIVE VEGETATION.

8) AS THE WETLAND CREATION AREA CONSISTS OF NATIVE MODERATEY WELL DRAINED SANDY GLACIOFLUVIAL SOILS WITH A SEASONAL HIGH GROUNDWAER TABLE. EXCAVATION WILL CONSIST OF FIRST REMOVAL AND SEGRETATION OF TOPSOIL. THE EXCAVATED TOPSOIL SHALL BE RETAINED FOR REUSE IN THE WETLAND CREATION AREA FOLLOWING ORGANIC MATTER AMENDMENTS, AS NECESSARY, TO REPLICATE WETLAND TOPSOIL. APPROXIMATELY 1 TO 2 FEET OF SANDY SUBSOIL WILL BE REMOVED IN ORDER TO INTERCEPT THE LOCAL SEASONAL HIGH GROUNDWATER TABLE AND CREATE VARING LEVELS OF WETLAND HYDROLOGY SEASONAL SOIL SATURATION WITHIN 12 INCHES OF THE FINAL WETLAND SOIL SURFACE GRADE MODIFICATIONS TO THIS GRADING PLAN MAY BE MADE IN THE FIELD AT THE DIRECTION OF THE PROJECT WETLAND SCIENTIST IN RESPONSE TO ACTUAL SUBSURFACE SOIL AND HYDROLOGIC CONDITIONS. THE PROJECT WETLAND SCIENTIST WILL INSPECT THE SUB-GRADE OF THE WETLAND CREATION AREA TO ENSURE THAT THE PROPER HYDROLOGY HAS BEEN ESTABLISHED PRIOR TO THE PLACEMENT OF WETLAND TOPSOIL.

9) AS THE WETLAND RESTORATION AREA CONSISTS OF FILL MATERIAL OVERLYING ORIGINAL WETLAND SOILS, EXCAVATION WILL CONSIST OF REMOVAL OF FILL MATERIAL UNTIL THE UNDERLYING NATIVE WETLAND SOIL IS EXPOSED. MINOR MODIFICATIONS TO THIS GRADING PLAN MAY BE MADE IN THE FIELD BY THE PROJECT WETLAND SCIENTIST IN RESPONSE TO ACTUAL SUBSURFACE SOIL AND HYDROLOGIC CONDITIONS. THE PROJECT WETLAND SCIENTIST WILL INSPECT THE SUB-GRADE OF THE WETLAND CREATION AREA TO ENSURE THAT THE PROPER HYDROLOGY HAS BEEN ESTABLISHED.

10) THE WETLAND SOIL WITHIN THE WETLAND CREATION AREA SHALL BE A MINIMUM OF TWELVE INCHES DEEP. WETLAND TOPSOIL WILL BE ADDED AS NEEDED TO MEET THESE CONDITIONS. ADDED WETLAND SOILS SHALL CONSIST OF PREPARED WEED-FREE TOPSOIL MADE UP OF A 1: 1 MIXTURE (OR EQUAL VOLUMES) OF ORGANIC AND MINERAL MATERIALS THAT CONTAINS AT LEAST 12 PERCENT ORGANIC CARBON CONTENT BY WEIGHT. CLEAN COMPOSTED LEAF MOLD OR COMMERCIALLY AVAILABLE COMPOST FREE OF WEEDS OR INVASIVE SPECIES IS THE PREFERRED AMENDMENT TO ACHIEVE THIS STANDARD, THOUGH OTHER MATERIALS MAY BE USED IF APPROVED BY THE PROJECT WETLAND SCIENTIST.

11) THESE SOILS WILL THEN BE GRADED TO ACHIEVE A SLIGHT HUMMOCK/HOLLOW MICROTOPOGRAPHY, SIMILAR TO THAT OF A NATURAL WETLAND SUBSTRATE. THE CONTRACTOR SHALL ENSURE THAT PROPER SOIL COMPACTION LEVELS (LOOSE TO FRIABLE) ARE MAINTAINED. IF CORRECTION MEASURES ARE NECESSARY, THE CONTRACTOR SHALL SUBMIT METHOD(S) TO BE EMPLOYED TO THE PROJECT WETLAND SCIENTIST FOR APPROVAL.

12) THE DISTURBED UPLAND SLOPE ADJACENT TO THE MITIGATION AREAS WILL BE ROUGH GRADED TO REMOVE UNWANTED LARGE DEBRIS. SIX INCHES OF TOPSOIL WILL BE PLACED ON THE SLOPE AND SEEDED WITH A NEW ENGLAND CONSERVATION/WILDLIFE MIX (NEW ENGLAND WETLAND PLANTS, INC. [413.548.8000] OR EQUIVALENT), APPROPRIATE EROSION CONTROLS MEASURES (I.E., EROSION CONTROL BLANKET, HYDROSEEDING WITH BONDED FIBER MATRIX, STRAW MULCH, ETC.) WILL BE UTILIZED TO STABILIZE THE SLOPE UNTIL VEGETATION IS

ESTABLISHED.

13) WETLAND CREATION AND RESTORATION AREAS PLANTINGS SHALL TAKE PLACE ONCE THE ABOVE LISTED TASKS HAVE BEEN COMPLETED. THE WETLAND CREATION AND RESTORATION AREAS WILL BE PLANTED WITH NATIVE TREES AND SHRUBS AS NOTED IN THE PLANTING SCHEDULE AND UNDER SOWN WITH A NATIVE NEW ENGLAND WETLAND SEED MIX (NEW ENGLAND WETLAND PLANTS, INC. [413.548.8000] OR APPROVED EQUIVALENT) AFTER THE GRADING IS COMPLETED.

14) THE PROJECT WETLAND SCIENTIST SHALL INSPECT THE PLANTING STOCK SPECIMENS FOR HEALTH. PEST. AND SUITABLE FOR USE WITHIN THE REPLICATION AREA. UNSUITABLE SPECIMENS WILL BE REJECTED AND REPLACED WITH SUITABLE SPECIMENS. ANY PLANTING SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ALL WOODY PLANT STOCK SHALL BE CONTAINER-GROWN OR BURLAP BALLED. PLANTING WITHIN THE WETLAND MITIGATION AREAS WILL CONFORM TO THE PLANS OR WILL BE COMPLETED IN ACCORDANCE WITH DIRECTIONS PROVIDED IN THE FIELD BY THE PROJECT WETLAND SCIENTIST. ONLY PLANT MATERIALS NATIVE AND INDIGENOUS TO CONNECTICUT SHALL BE USED. INVASIVE PLANT SPECIES WILL NOT BE USED IN THE MITIGATION AREA.

15) ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK SECTION 10: SEEDLING TREES AND SHRUBS" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

16) NO CULTIVARS OF NATIVE PLANTS IDENTIFIED IN THE PLANTING SCHEDULE SHALL BE USED UNLESS APPROVED BY THE PROJECT WETLAND SCIENTIST

17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CAREFUL INSTALLATION, MAINTENANCE (INCLUDING WATERING), AND ESTABLISHMENT OF THE PLANT MATERIAL IN THE MITIGATION AREAS. A MAINTENANCE SCHEDULE FOR IRRIGATION AND PRUNING (AS NECESSARY) WILL BE ESTABLISHED BY THE CONTRACTOR. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR TO REMAIN ALIVE AND HEALTHY FOR THE FULL TWELVE (12) MONTH PERIOD FOLLOWING THE DATE OF PLANTING.

18) ALL PLANTINGS TO BE SPACED GENERALLY AS NOTED ON THE PLANTING SCHEDULE WITH ASSISTANCE FROM THE PROJECT WETLAND SCIENTIST TO SIMULATE NATURAL GROWTH PATTERNS

19) ROCKS AND BOULDERS UNCOVERED DURING EXCAVATION OF THE WETLAND RESTORATION AREAS MAY BE LEFT IN PLACE PROVIDED THAT THEY DO NOT SIGNIFICANTLY DECREASE THE PLANTABLE AREA OF THE MITIGATION AREAS. ROCKS AND BOULDERS WILL BE PLACED IN SUCH A WAY AS TO PROVIDE CREVICES AND CAVITIES SUITABLE FOR USE BY WILDLIFE. NO MORE THAN 5 PERCENT OF THE MITIGATION AREAS WILL BE TREATED IN THIS MANNER.

20) FALLEN LOGS, BRANCHES, STUMPS AND OTHER NATURAL DEBRIS WITHIN THE WETLAND MITIGAITON AREAS, EXCLUDING INVASIVE PLANTS, WILL BE REUSED TO PROVIDE BENEFICIAL HABITAT FEATURES FOR WILDLIFE. THIS WILL INCLUDE DOWNED AND UNCOVERED MATERIAL THAT IS ACQUIRED DURING THE PROJECT'S CLEARING ACTIVITIES AND WILL BE DISTRIBUTED TO COVER NO MORE THAN 5 PERCENT OF THE MITIGAITON AREA'S SURFACE. THE NATURAL DEBRIS CAN BE OF VARYING SIZES AND IN VARYING DEGREES OF DECOMPOSITION.

21) THE EROSION CONTROL BARRIERS WILL BE DISASSEMBLED AND PROPERLY DISPOSED OF ONCE THE MITIGAITON AREAS ARE PERMANENTLY STABLIZED BY NATIVE VEGETATION. ANY SEDIMENT COLLECTED BY THESE DEVICES WILL BE REMOVED AND DISPOSED OF IN A MANNER THAT PREVENTS EROSION AND TRANSPORT INTO WETLANDS. MINOR GRADING BY HAND MAY BE PERFORMED IN THIS ZONE TO PROVIDE SURFACE HYDROLOGIC CONNECTION BETWEEN THE MITIGATION AREAS; AREAS WILL BE STABILIZED WITH MULCH AS NECESSARY.

INVASIVE SPECIES CONTROL PLAN

) THE SETTING FOR THE PROPOSED WETLAND MITIGATION AREAS CONSISTS PRIMARILY OF A MATURE FOREST WITH NATIVE TREES, SHRUBS AND FORBS THAT CONTAINS MINIMAL INVASIVE PLANT SPECIES. AS SUCH, CERTAIN PRECAUTIONS ARE RECOMMENDED DURING CONSTRUCTION IN ORDER TO AVOID/MINIMIZE THE IMPORTATION OF INVASIVE PLAN SEEDS/MATERIAL THAT COULD COLONIZE THE WETLAND CREATION AREAS AND DIMINISH ITS WILDLIFE HABITAT VALUE. PROPOSED SOIL DISTURBANCES DURING CONSTRUCTION PROVIDE AN OPPORTUNITY FOR INVASIVE PLANTS TO GAIN A FOOTHOLD AND SPREAD INTO THE SURROUNDING HABITATS THIS CAN OCCUR THROUGH THE IMPORTATION OF SOIL THAT CONTAINS INVASIVE PLANT SEED STOCK OR CARRIED BY CONSTRUCTION EQUIPMENT THAT HAS PICKED UP SOIL WITH INVASIVE SEED STOCK. THE INVASIVE SPECIES PLAN INCLUDES THE FOLLOWING FLEMENTS.

2) THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING TO REVIEW THE REQUIREMENTS OF THE INVASIVE SPECIES CONTROL PLAN PRIOR TO MOBILIZATION OF EQUIPMENT, VEHICLES, MATERIALS, ETC, ONTO THE PROJECT SITE.

3) PRIOR TO ENTRY ONTO THE PROJECT SITE, ALL EQUIPMENT AND VEHICLES SHALL BE PRESSURE WASHED BY THE CONTRACTOR AT ITS STORAGE YARD IN ORDER TO REMOVE ANY LOOSE SOIL THAT MAY BE CARRYING INVASIVE PLANT SEEDS.

4) IMPORTATION OF TOPSOIL ONTO THE PROJECT SITE FOR USE IN THE WETLAND MITIGATION AREAS SHOULD BE AVOIDED. TO THE EXTENT PRACTICABLE, WETLAND TOPSOIL FROM THE TWO IMPACTED ISOLATED WETLANDS AND TOPSOIL FROM THE WETLAND CREATION AREA SHALL BE RETAINED FOR REUSE IN THE WETLAND MITIGATION AREAS, AMENDED AS NECESSARY TO ATTAIN THE WETLAND TOPSOIL SPECIFICATIONS IN THE PRECEDING SECTION.

) TEMPORARILY STOCKPILED TOPSOIL SHALL BE IMMEDIATELY SEEDED WITH EITHER ANNUAL RYE OR WINTER RYE IF IT WILL NOT BE USED WITHIN ONE (1) WEEK.

6) ANY CLEAN FILL MATERIAL IMPORTED ONTO THE PROPERTY SHALL BE FREE OF WEED SEEDS

7) USE OF HAYBALES IS PROHIBITED ON THIS PROJECT. NATURAL EROSION CONTROL MATERIALS SHALL BE EITHER STRAW BALES OR STRAW- OR COMPOST-FILLED SOCKS/WATTLES

8) ALL RESTORED AREAS WILL BE INSPECTED DURING THE GROWING SEASON FOR FIVE (5) YEARS FOLLOWING ESTABLISHMENT OF PERMANENT VEGETATION TO MONITOR FOR POSSIBLE COLONIZATION BY INVASIVE PLANTS SPECIES. REFER TO POST-CONSTRUCTION MITIGATION MONITORING SECTION. INVASIVE PLANTS ARE THOSE LISTED AS NON-NATIVE INVASIVE WOODY PLANTS BY THE CONNECTICUT INVASIVE PLANT WORKING GROUP.

9) IF INVASIVE WOODY PLANTS ARE IDENTIFIED TO HAVE MORE THAN 20% AERIAL COVERAGE IN THE RESTORED AREAS, A CONTROL PLAN FOR REMOVAL OF THE INVASIVE WOODY PLANTS WILL BE IMPLEMENTED.

FERTILIZER AND PESTICIDE USE NOTES

1) THE USE OF FERTILIZER AND PESTICIDES IN THE WETLAND MITIGATION AREAS ARE PROHIBITED. HERBICIDE USAGE WILL ONLY OCCUR AS NECESSARY FOR THE CONTROL OF INVASIVE SPECIES WITHIN THE MITIGATION AREAS

2) ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING HERBICIDE USE, APPLICATOR PERMIT AND POSTING REQUIREMENTS SHALL BE FOLLOWED.

3) ALL HERBICIDE APPLICATIONS SHALL BE PERFORMED BY A STATE LICENSED INDIVIDUAL UNDER THE SUPERVISION OF THE PROJECT WETLAND SCIENTIST.

4) CERTIFICATIONS, LICENSES AND PERMITS SHALL BE PRODUCED BY THE LICENSED APPLICATOR PRIOR TO THE START OF WORK

5) ALL HERBICIDES SHALL BE MIXED WITH A DYE APPROVED BY U.S. EPA FOR USE AS A HERBICIDE ADJUVANTS, SUCH AS TURFMARK@DYE OR EQUIVALENT.

6) ONLY NONIONIC SURFACTANTS SHALL BE ADDED TO THE SPECIFIED HERBICIDES.

POST-CONSTRUCTION MITIGATION MONITORING

I) LONG-TERM MONITORING OF THE WETLAND MITIGATION AREAS WILL BE CONDUCTED AS FOLLOWS. THE MITIGATION AREAS WILL BE MONITORED THE FIRST FOUR GROWING SEASONS FOLLOWING THEIR CONSTRUCTION. THE FIRST YEAR OF MONITORING WILL BE THE FIRST YEAR THAT THE SITE HAS BEEN THROUGH A FULL GROWING SEASON AFTER COMPLETION OF ALL WETLAND MITIGATION CONSTRUCTION AND PLANTING ACTIVITIES. FOR MONITORING PURPOSES, A GROWING SEASON STARTS NO LATER THAN MAY 31 AND ENDS NO EARLIER THAN NOVEMBER 15

MONITORING REPORTS WILL BE SUBMITTED TO THE TOWN OF SOUTH WINDSOR SENIOR ENVIRONMENTAL PLANNER NO LATER THAN JANUARY 31 OF EACH YEAR FOLLOWING THE PREVIOUS YEAR OF MONITORING. THE REPORTS WILL PROVIDE DETAILS ON THE FIVE SUCCESS STANDARDS DESCRIBED BELOW WITH THE GOAL BEING THAT ALL SUCCESS STANDARDS ARE SATISFIED BY YEAR 5 PERMANENT PHOTO STATIONS SHALL BE ESTABLISHED AT REPRESENTATIVE LOCATIONS WITH PHOTOGRAPHS FROM EACH STATION INCLUDED IN FACH ANNUAL REPORT TO TRACK PROGRESS MONITORING REPORTS SHALL INCLUDE THE PERCENT SURVIVAL OF PLANTED TREES AND SHRUBS AS WELL AS THE EXTENT OF HERBIVORY REPORTS WILL ALSO INCLUDE OBSERVATIONS OF VEGETATION DEVELOPMENT AND ANY WILDLIFF USAGE REMEDIAL ACTIONS RECOMMENDED AND/OR COMPLETED DURING THE MONITORING YEAR WILL ALSO BE PROVIDED IN THE REPORT.

) PLANTS DETERMINED TO BE DEAD OR UNHEALTHY SHALL BE REPLACED IN KIND, AS NECESSARY, TO ACHIEVE THE SUCCESS STANDARDS NOTED BELOW. IF THERE ARE PROBLEMS THAT NEED TO BE ADDRESSED AND IF THE MEASURES TO CORRECT THEM REQUIRE PRIOF APPROVAL FROM THE TOWN OF SOUTH WINDSOR INLAND WETLANDS AGENCY. THE PERMITTEI WILL CONTACT THE AGENCY AS SOON AS THE NEED FOR CORRECTIVE ACTION IS DISCOVERED IF FOLLOWING YEAR 5 OF THE MONITORING PROGRAM NOT ALL OF THE SUCCESS STANDARDS ARE SATISFIED, AN ADDITIONAL YEAR OF MONITORING SHALL BE REQUIRED UNTIL ALL SUCCESS STANDARDS ARE ACHIEVED.

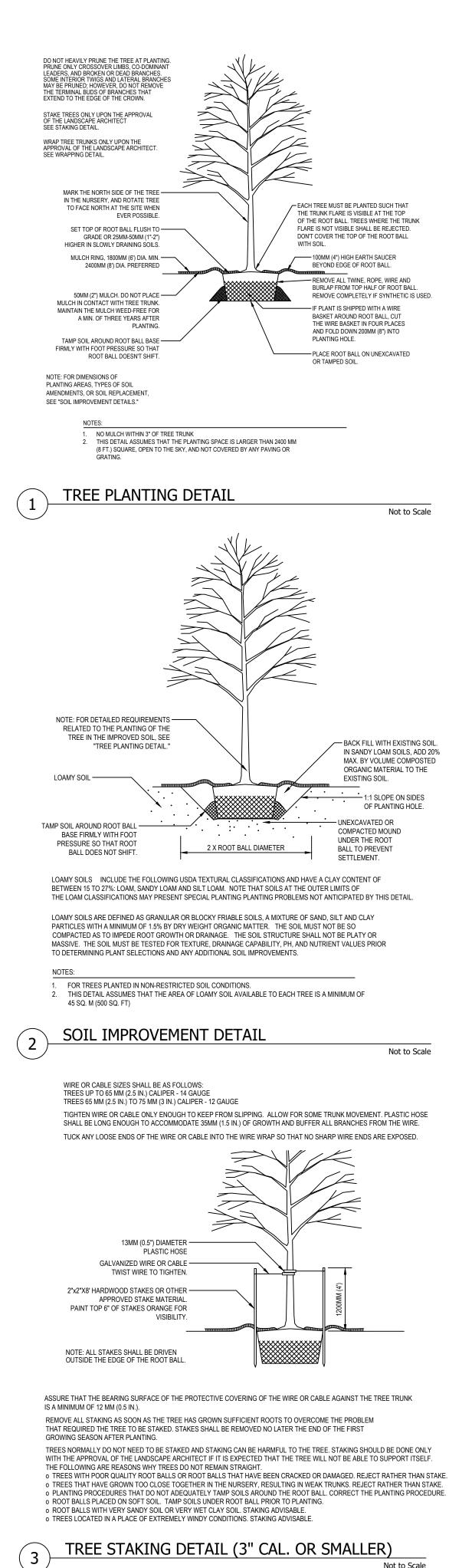
4) THE MITIGATION AREAS WILL BE ASSESSED USING FOUR SUCCESS STANDARDS AS FOLLOWS. SUCCESS STANDARD 1: AT LEAST 80% OF THE SURFACE AREA, INCLUDING COLLECTIVELY THE HERBACEOUS. SHRUB, AND FOREST STRATUMS OF THE MITIGATION AREAS SHOULD BE ESTABLISHED WITH INDIGENOUS NATIVE SPECIES WITHIN THREE GROWING SEASONS. SUCCESS STANDARD 2: VEGETATION SHOULD BE CHECKED TO ENSURE THAT NO MORE THAN 20% OF THE SURFACE AREA IS OCCUPIED BY NON-NATIVE INVASIVE SPECIES SUCCESS STANDARD 3: SLOPES WITHIN AND ADJACENT TO THE PROPOSED WETLAND CREATION AREAS ARE STABILIZED WITH VEGETATION AND NO EROSION OF SLOPES IS OBSERVED. <u>SUCCESS</u> <u>STANDARD</u> <u>4</u>: WETLAND CREATION AREAS SUSTAIN SUFFICIENT WETLAND HYDROLOGY TO SUPPORT 50% OR GREATER AERIAL DOMINANCE OF NATIVE WETLAND VEGETATION (WETLAND VEGETATION IS DEFINED AS NATIONAL WETLAND PLANT INDICATOR RATINGS OF FAC OR WETTER).

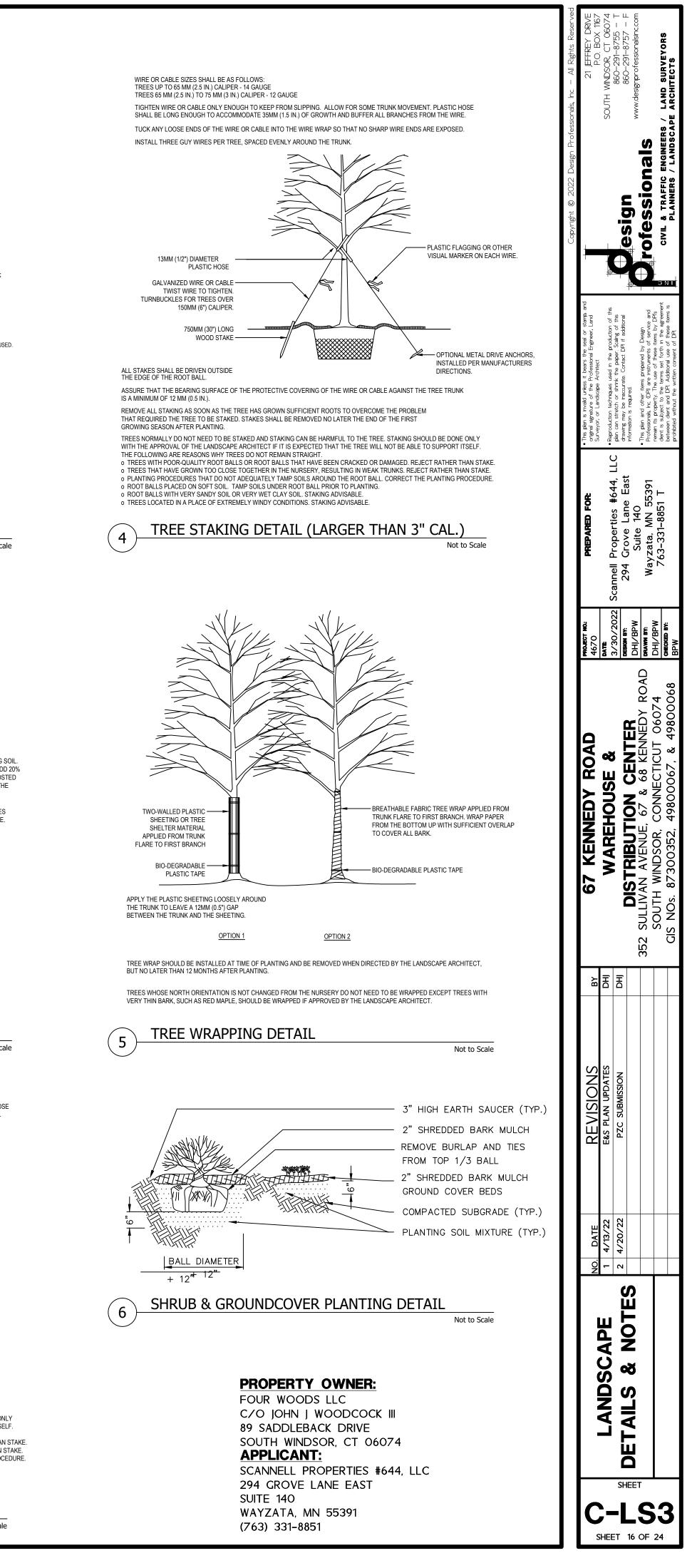
STREET TREE NOTES:

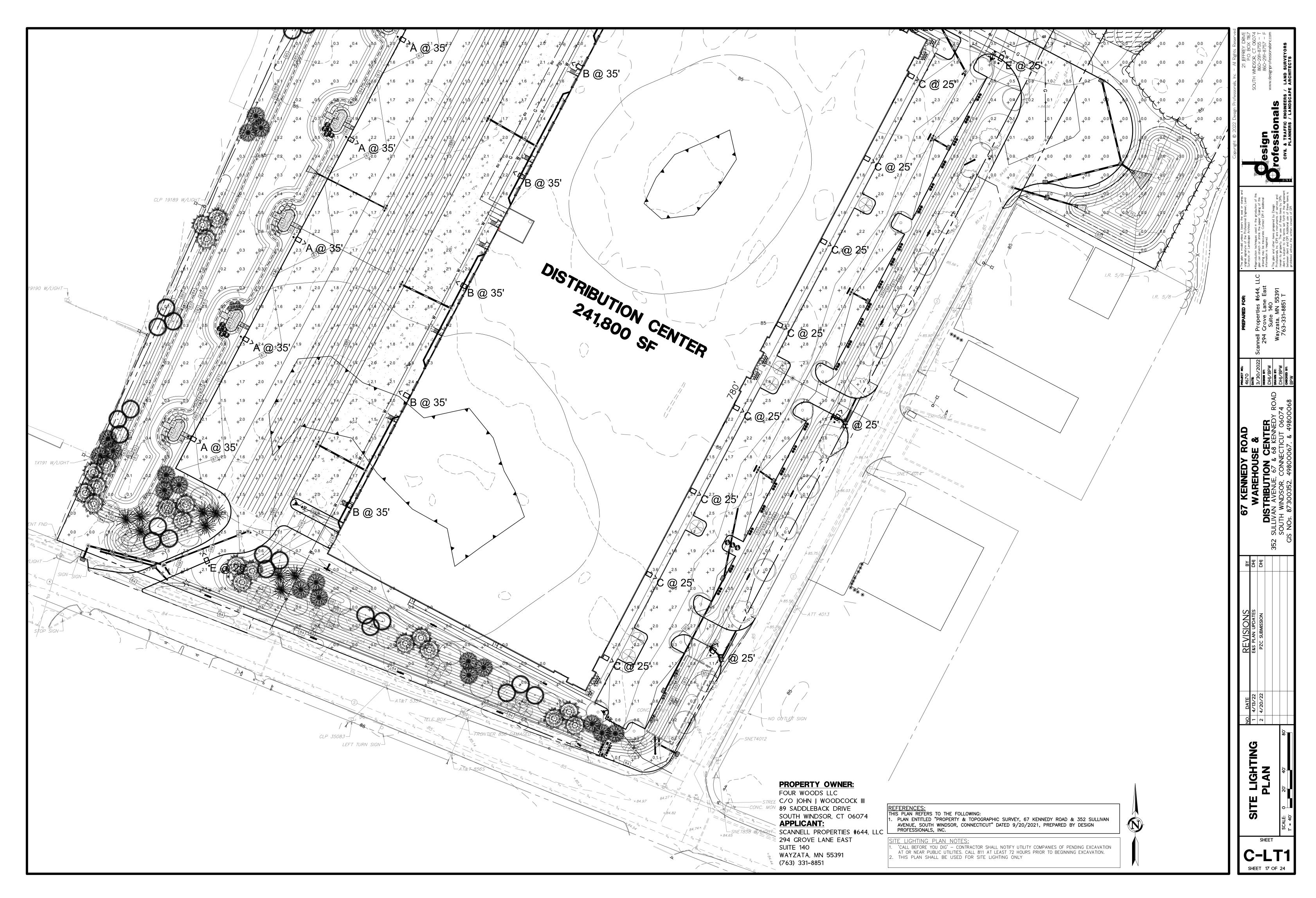
ALL TREES SHALL BE HANDLED BY THE ROOT BALL AND NOT BY THE TRUNK OF THE TREE. ALL ROPE OR TWINE SHALL BE COMPLETELY REMOVED ONCE THE TREE HAS BEEN PLACED IN THE PLANTING AREA, BURLAP SHALL BE ROLLED DOWN AND CUT OR TUCKED UNDER THE ROOT BALL. ANY WIRE BASKETS SHALL BE CUT AND THE UPPER 2/3 REMOVED AFTER THE TREE IS PLACED IN THE PLANTING AREA. . TREES SHALL BE FRESHLY DUG WITHIN 30 DAYS OF DELIVERY O THE PLANTING SITE. TWINE, ROPE OR ANY OTHER OBJECTS AROUND THE ROOT BALL SHALL BE REMOVED. A PLANTING AREA OF TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE EXCAVATED. THE DEPTH OF THE EXCAVATION SHALL BE TWO INCHES LESS THAN THE OVERALL HEIGHT OF THE ROOT BALL AS MEASURED FROM THE ROOT FLAIR ON THE TRUNK TO THE BOTTOM OF THE ROOT BALL ALL EXCAVATED MATERIAL SHALL BE DEPOSITED AT AN APPROVED WHEN BACK FILLING TREES, GROWING MEDIUM SHALL BE WORKED IN TO AVOID ANY AIR POCKETS. CARE MUST BE TAKEN NOT TO COMPACT GROWING MEDIUM EXCESSIVELY HE BEGINNING OF THE ROOT FLAIR SHALL BE SET TWO INCHES ABOVE FINAL GRADE. WATER SHALL BE APPLIED AS SOIL CONDITIONS DICTATE. ALL TREE TRUNKS SHALL BE FREE FROM ANY INJURY OR DAMAGE. ALL TREES SHALL HAVE A SINGLE CENTRAL DOMINANT LEADER. TREES SHALL NOT BE STAKED OR GUYED UNLESS DICTATED BY THE FREE WARDEN. THE DEPTH OF ALL MULCH SHALL NOT EXCEED MORE THAN TWO 14. INCHES. ALL TAGS, RIBBONS, OR OTHER MARKINGS SHALL BE REMOVED NO PRUNING SHALL BE PERFORMED UNLESS DIRECTED BY THE TREE WARDEN

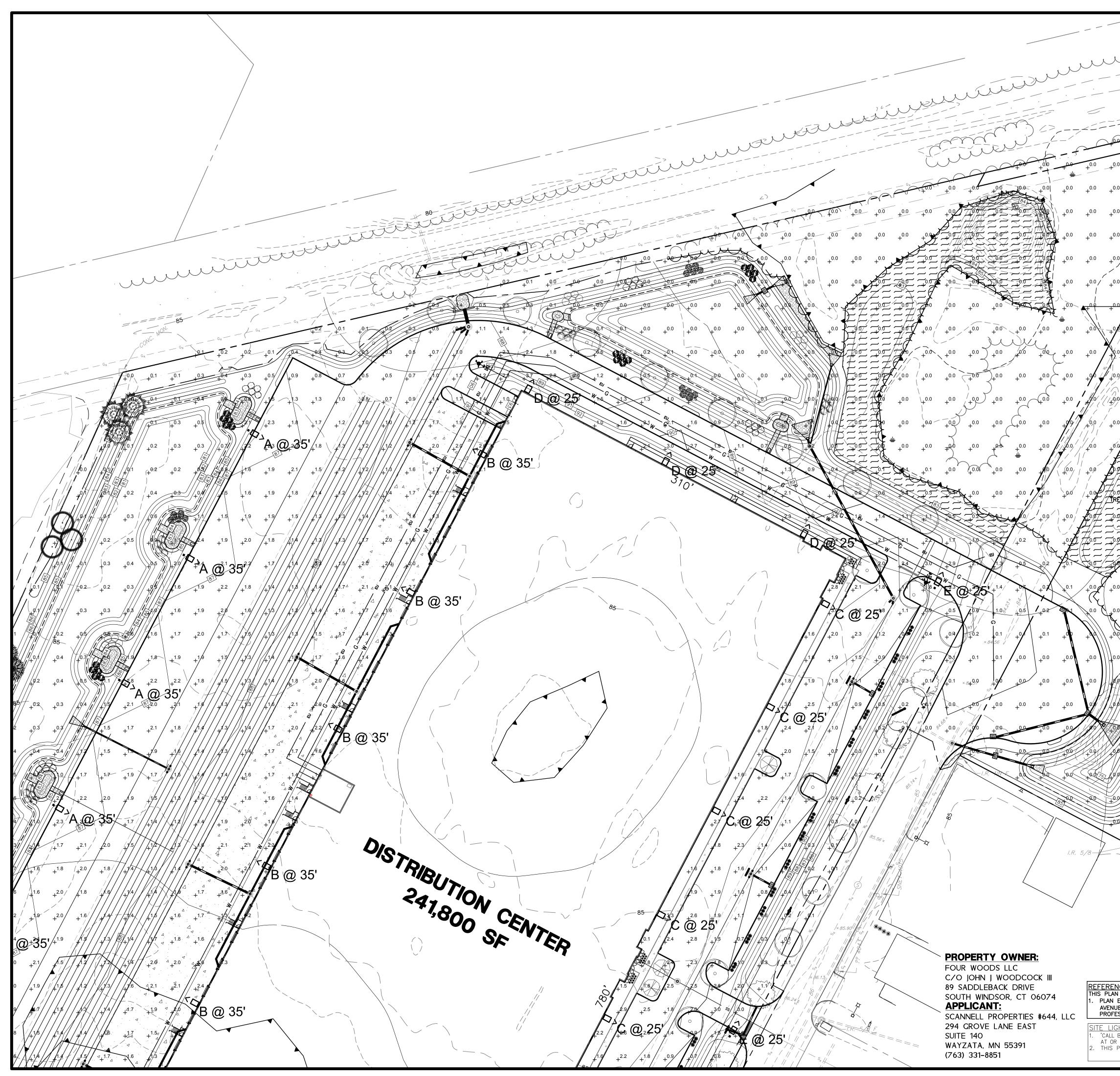
NO FERTILIZERS OR WATER POLYMERS SHALL BE APPLIED AT

PLANTING









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$\stackrel{\wedge}{\square}$	С	8	Lithonia Lighting	DSX2 LED P1 40K TFT MVOLT	NDSX2 LED P1 40K TFTM MVOL	T 0.91	140	Wall Moun
$\stackrel{\wedge}{\square}$	D	3	Lithonia Lighting	DSX2 LED P1 40K T3N MVOLT	DSX2 LED P1 40K T3M MVOL	0.91	140	Wall Moun
	E	4	Lithonia Lighting	DSX2 LED P1 40K T3N MVOLT	IDSX2 LED P1 40K T3M MVOL	0.91	140	Pole Mour

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #	ı +	0.7 fc	3.9 fo	0.0 fc	N/A	N/A

SITE LIGHTING NOTES:

- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
 CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ADDIVIDUATION IN THE FIELD IN CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION
- SHOWN ON THE PLANS. MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE. З.
- LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
 LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
 ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
 LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING
- MANUFACTURER (BY OTHERS). 7. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

REFERENCES: THIS PLAN REFERS TO THE FOLLOWING: 1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.



<u>SITE LIGHTING PLAN NOTES:</u>

. 'CALL BEFORE YOU DIG' – CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION. 2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

								Copyright © 2022 Design Prof	Copyright © 2022 Design Professionals, Inc. – All Rights Reserved
NO	NO. DATE	REVISIONS	ΒY	67 KENNEDY ROAD	ряолест но: 4670	PREPARED FOR:	 This plan is invalid unless it bears the seal or startp, and onginal signature of the Professional Engineer, Land Survevor, or Landscape Architect 	}	21 JEFFREY DRIVE P.O. BOX 1167
-	4/13/22	E&S PLAN UPDATES	DHJ	WARFHOUSE &	DATE DATE		 Reproduction techniques used in the production of this 		SOUTH WINDSOR, CT 06074
2	2 4/20/22	PZC SUBMISSION	DHJ		3/30/2022 50	annell Properties #044, LLC 204 Crowe Lang East	3/30/2022 SCANNEII Properties #044, LLC pair can stretch or strink the paper. Scaling of this Design any of the provided of		860-291-8755 - T 860-201-8757 - E
					DHJ/BPW	Suite 140	Information is required		www.designprofessionalsinc.com
					DRAWN BY:	Wayzata, MN 55391	 This plan and other items prepared by Design Professionals, hc. (DPI) are instruments of service and 	U rofessionals	
						763-331-8851 T	remain its property. The use of these items by DH's client is subject to the terms set forth in the agreement	CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS	S / LAND SURVEYORS
				CIS NOs. 87300352, 49800067, & 49800068	BPW		between client and LMP. Additional use of these items is prohibited without the written consent of DPI.	PLANNERS / LANDSCAPE ARCHITECTS	APE ARCHITECTS

CONSTRUCTION NOTES:

- 1. At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- 2. It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- 3. The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- 4. The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- 5. Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- 6. Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- 7. The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- 8. Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- 9. Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- 10. The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- 11. The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- 12. Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- 13. Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- 14. Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- 15. Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- 16. At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- 17. Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- 18. The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- 19. The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

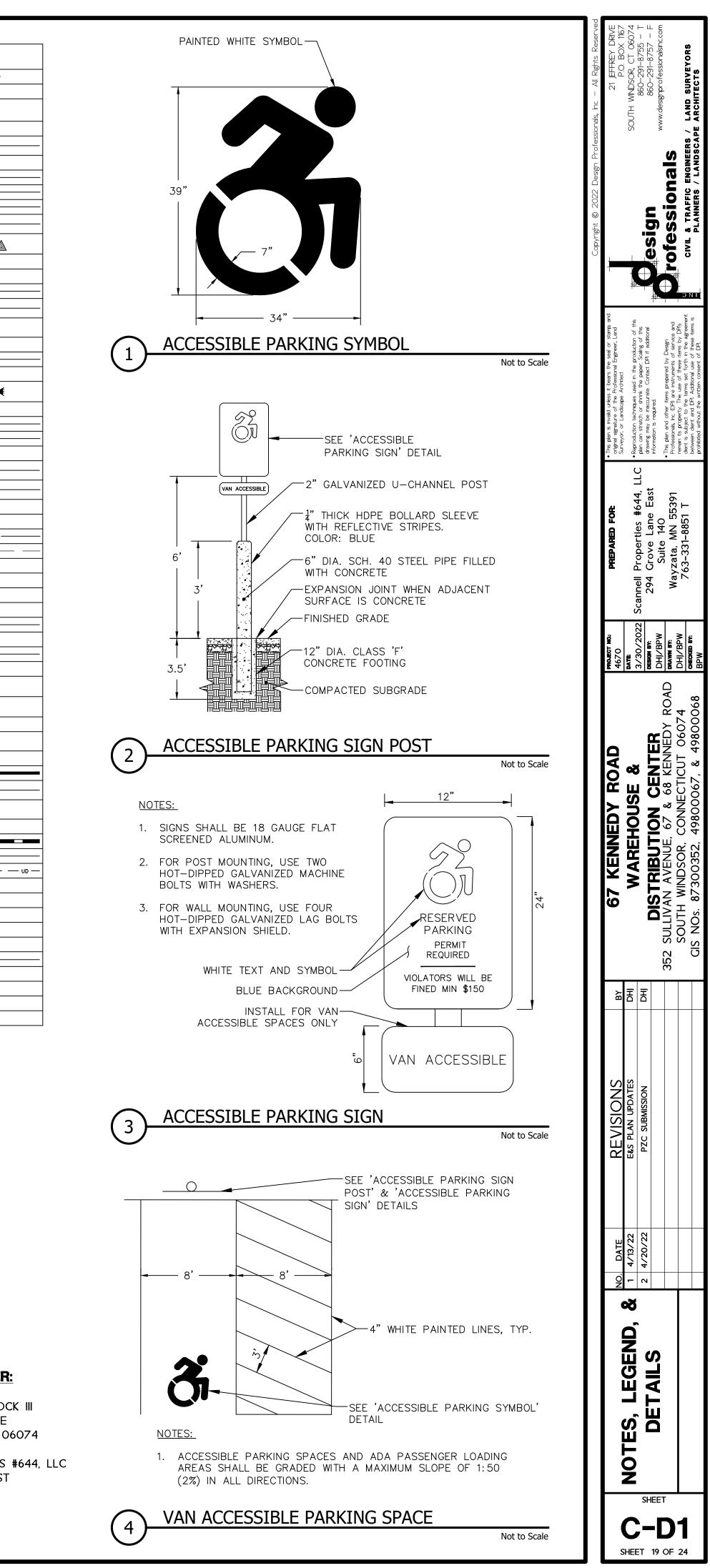
- 20. The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
- 21. Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
- 22. Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
- 23. The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
- 24. The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also responsible for all notification, inspection, monitoring or testing as may be required.
- 25. All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
- 26. The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
- 27. All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The Contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
- 28. All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
- 29. The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
- 30. Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
- 31. The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
- 32. Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
- 33. Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
 - Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
 - High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
 - Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
- 34. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
- 35. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
- 36. Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip—on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.
- 37. Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.

- 38. Contractor must contact the applicable water company to confirm the proper water meter and vault, prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DIP) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
- 39. The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
- 40. Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
- 41. For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
- 42. Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) "Manual on Uniform Traffic Control Devices" (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
- 43. All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval reauirements.
- 44. Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer orthe authority having jurisdiction.
- 45. All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
- 46. The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
- 47. All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
- 48. The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.
- AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:
- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
- Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
- Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
- A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
- Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
- The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

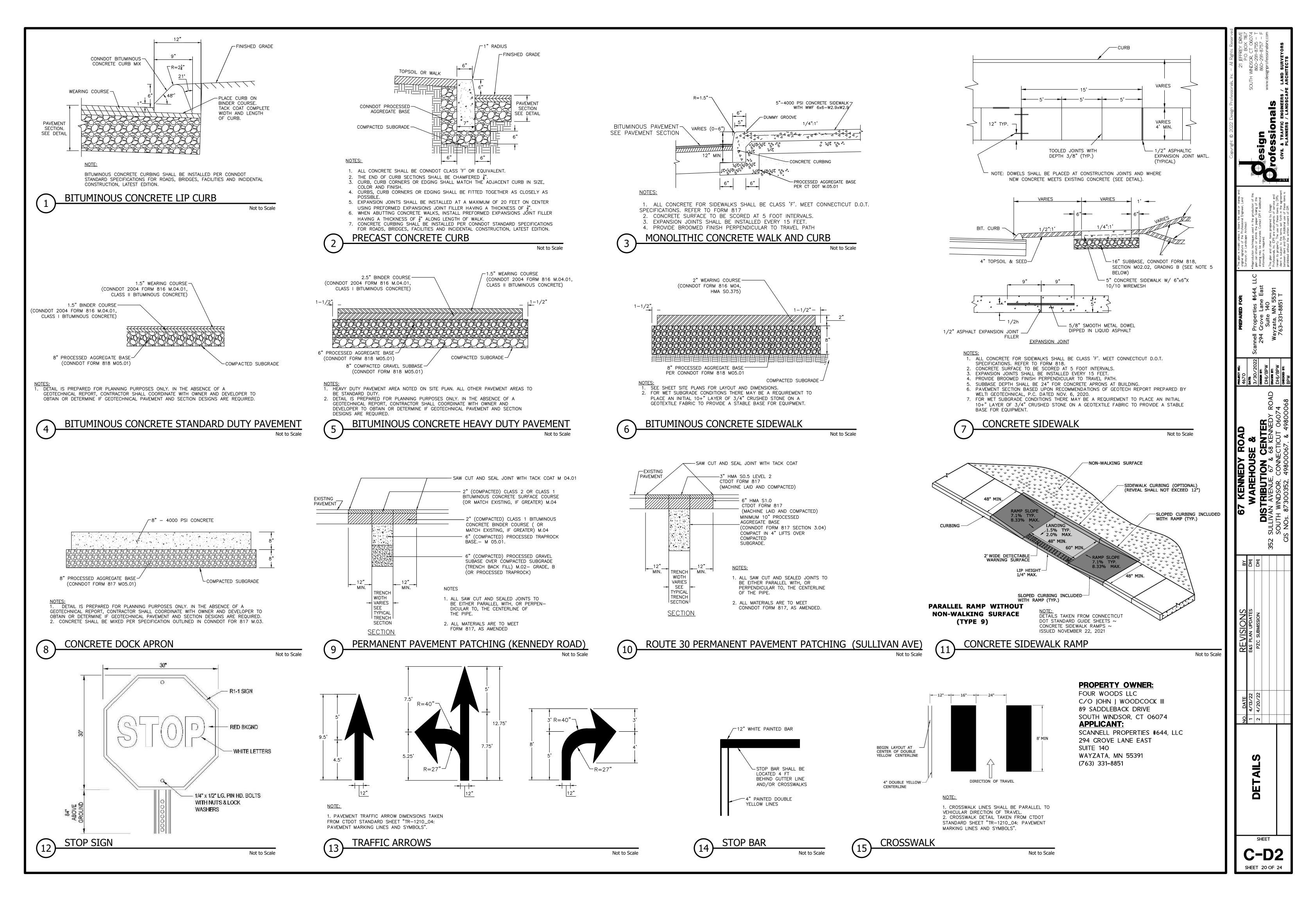
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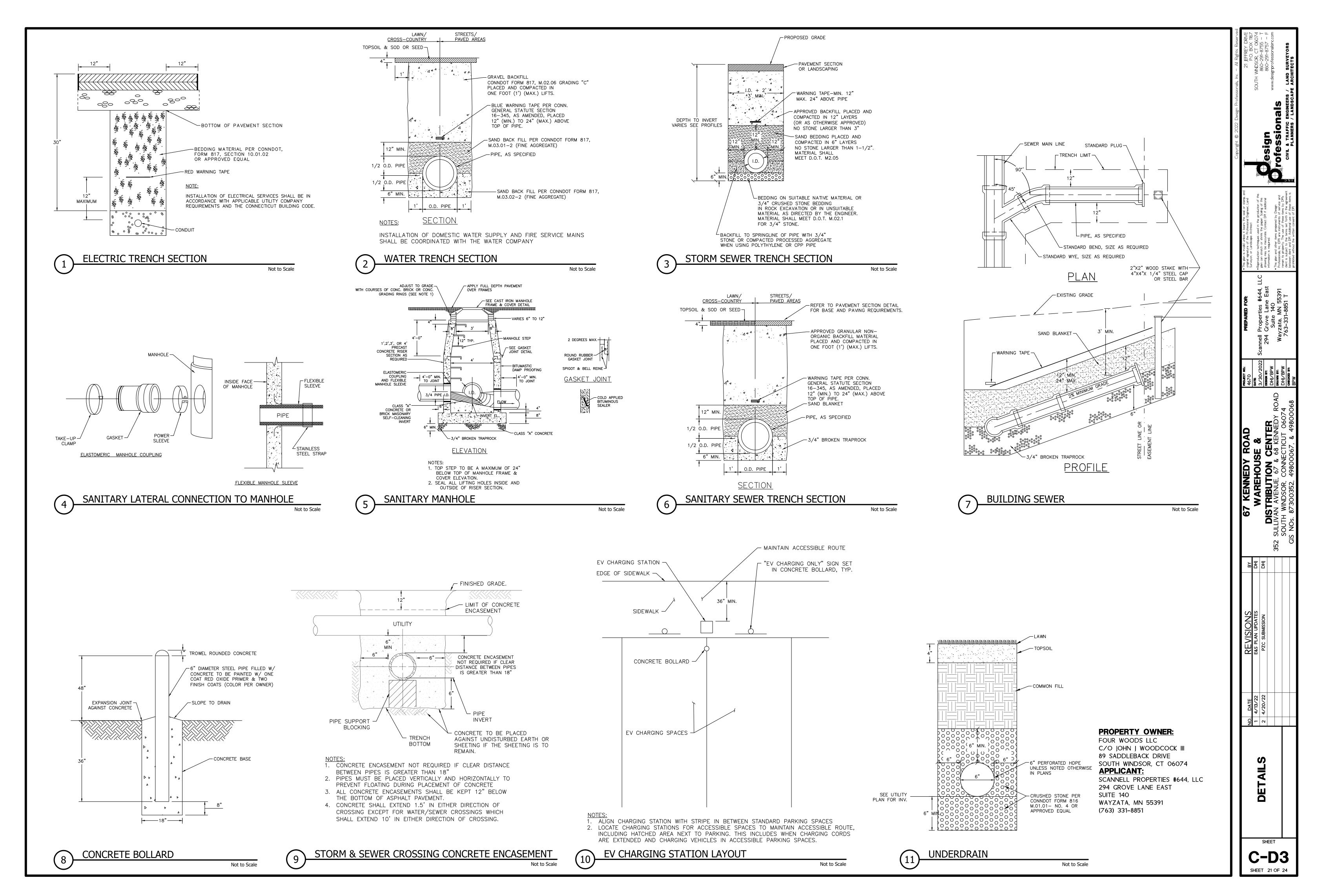
PROPERTY OWNER:

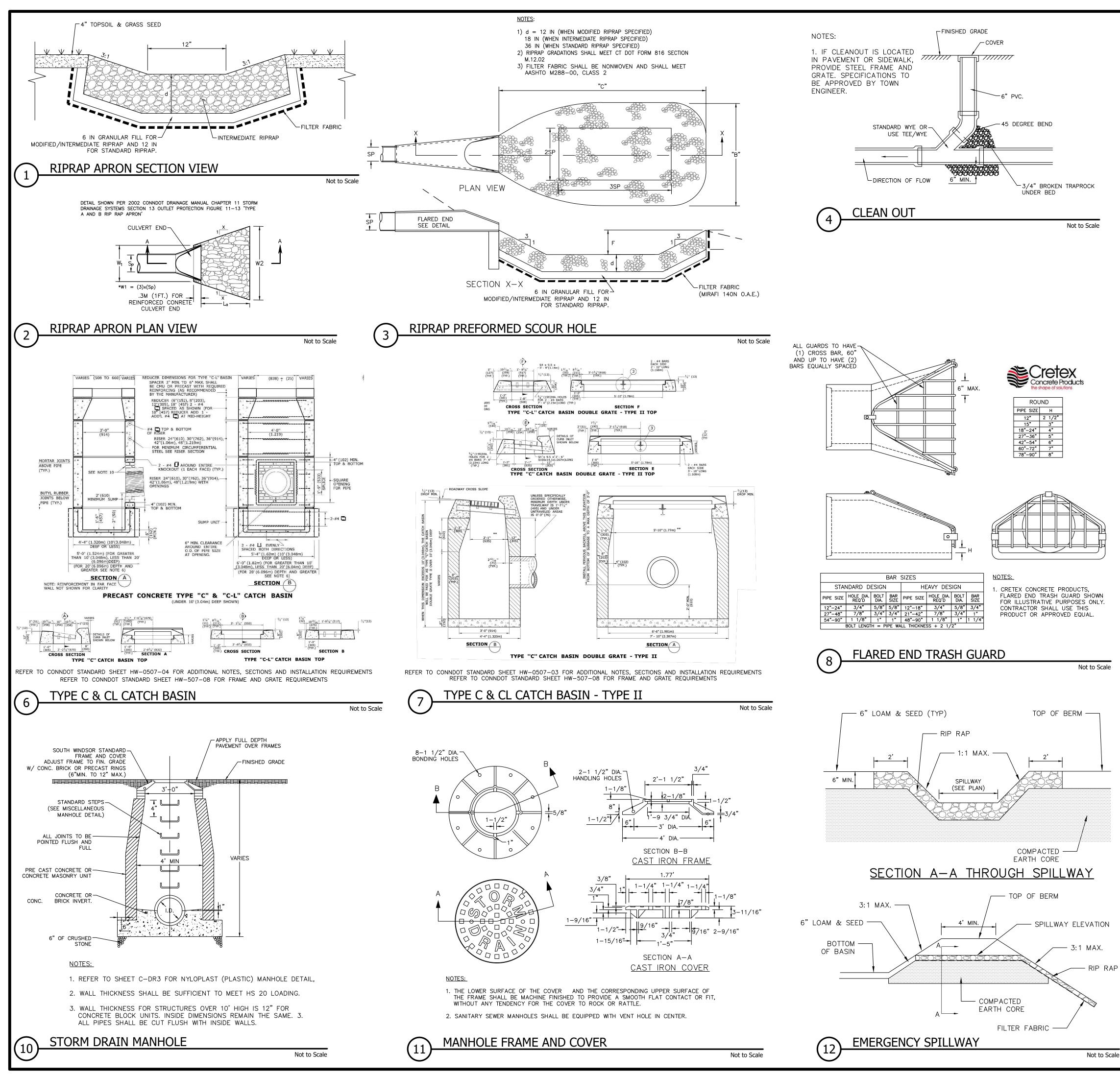
FOUR WOODS LLC C/O JOHN J WOODCOCK III 89 SADDLEBACK DRIVE SOUTH WINDSOR, CT 06074 **APPLICANT:** SCANNELL PROPERTIES #644, LLC 294 GROVE LANE EAST SUITE 140 WAYZATA, MN 55391 (763) 331-8851

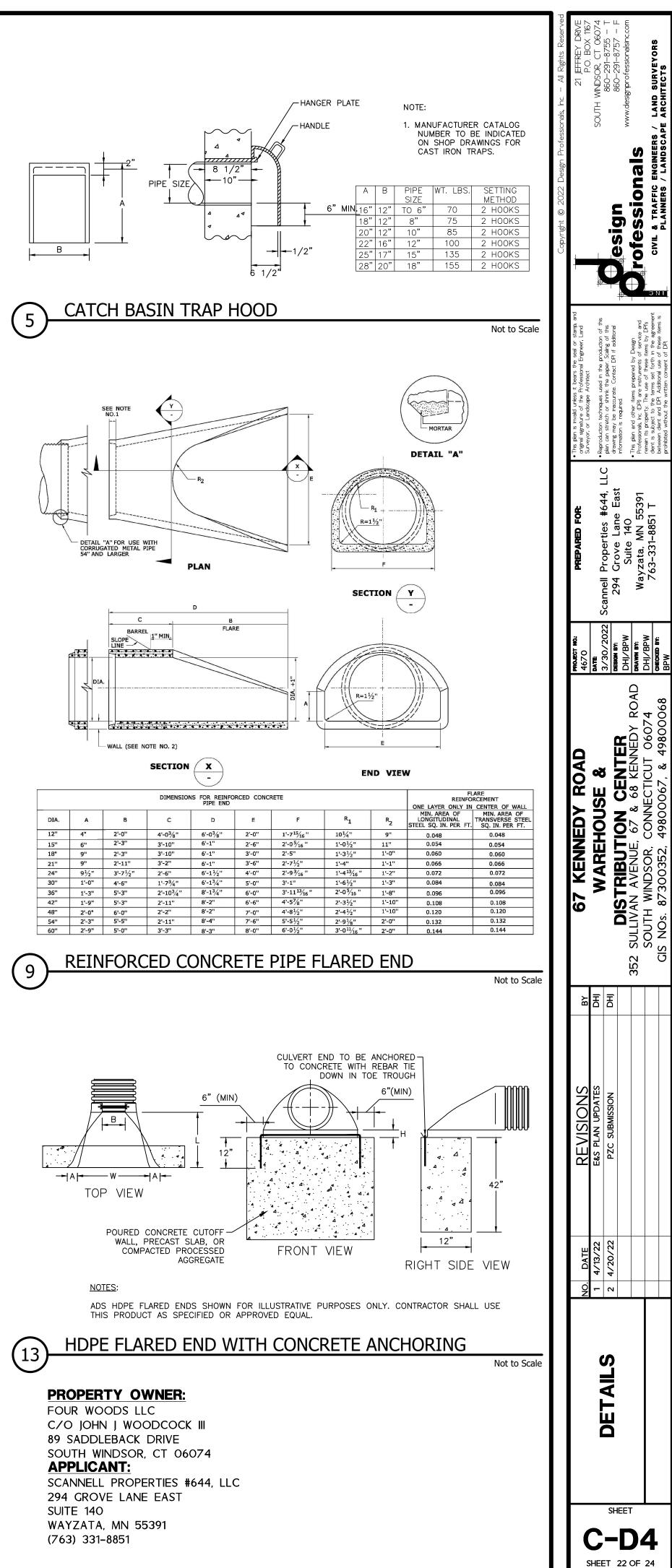




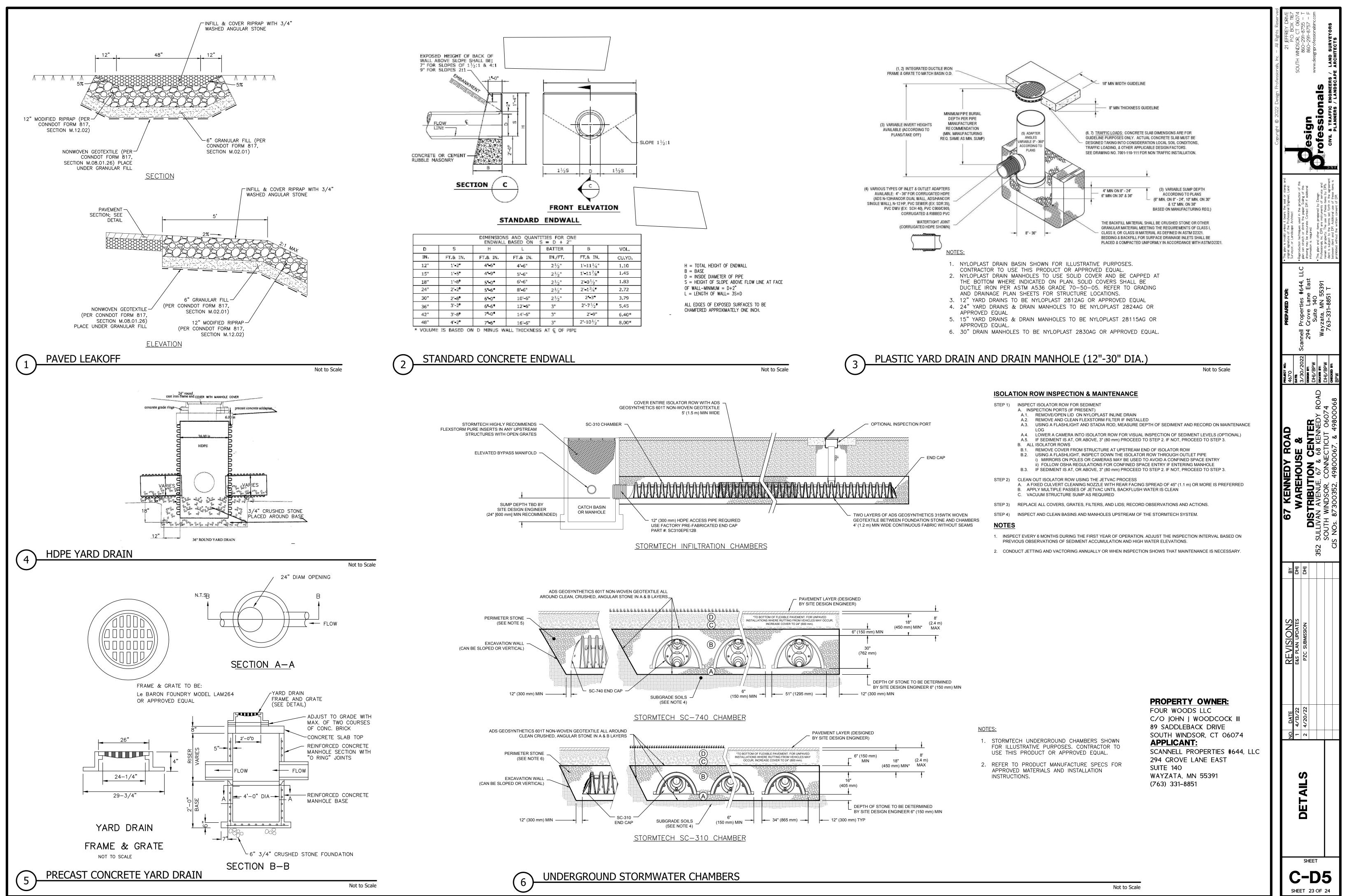


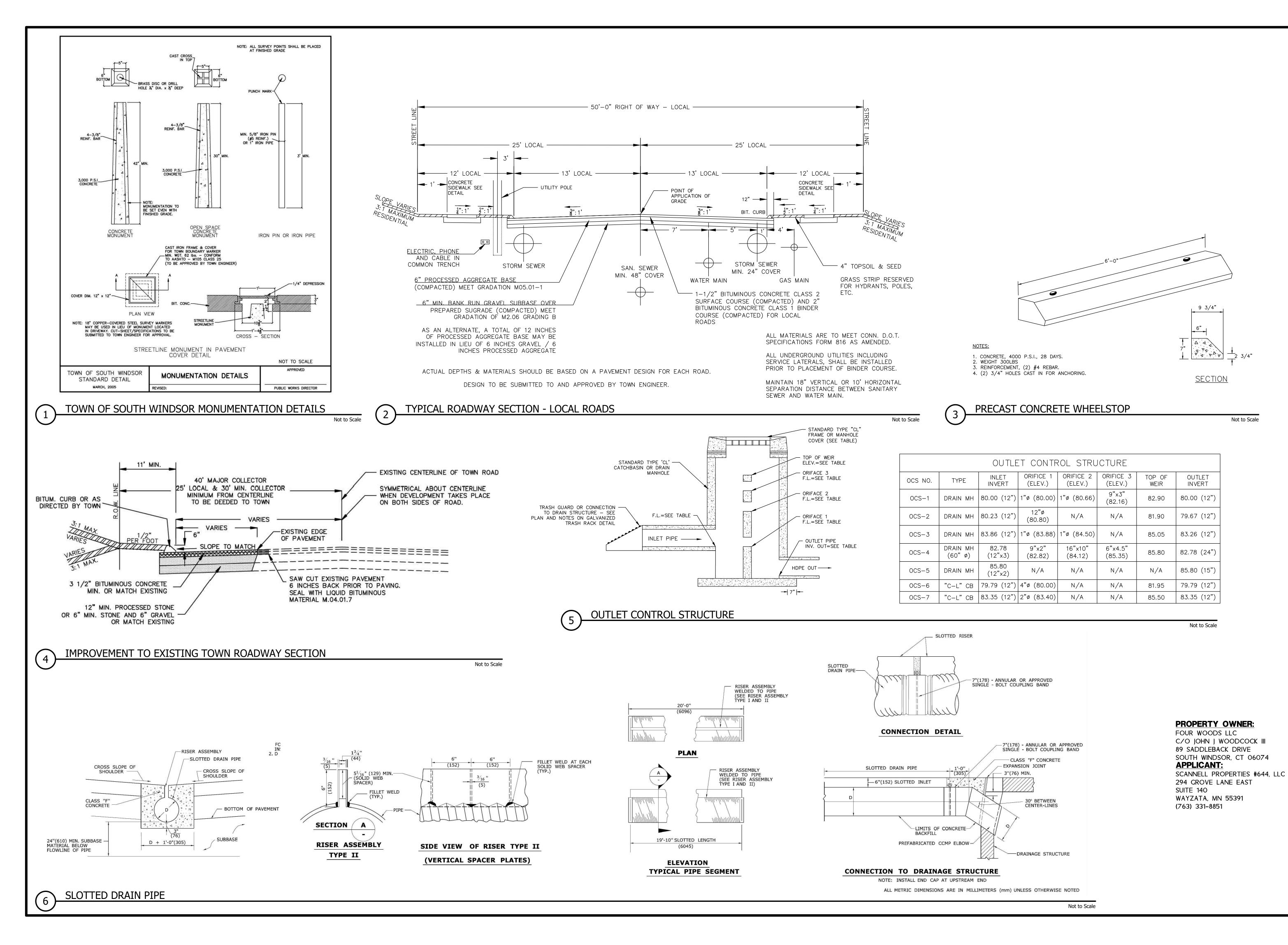




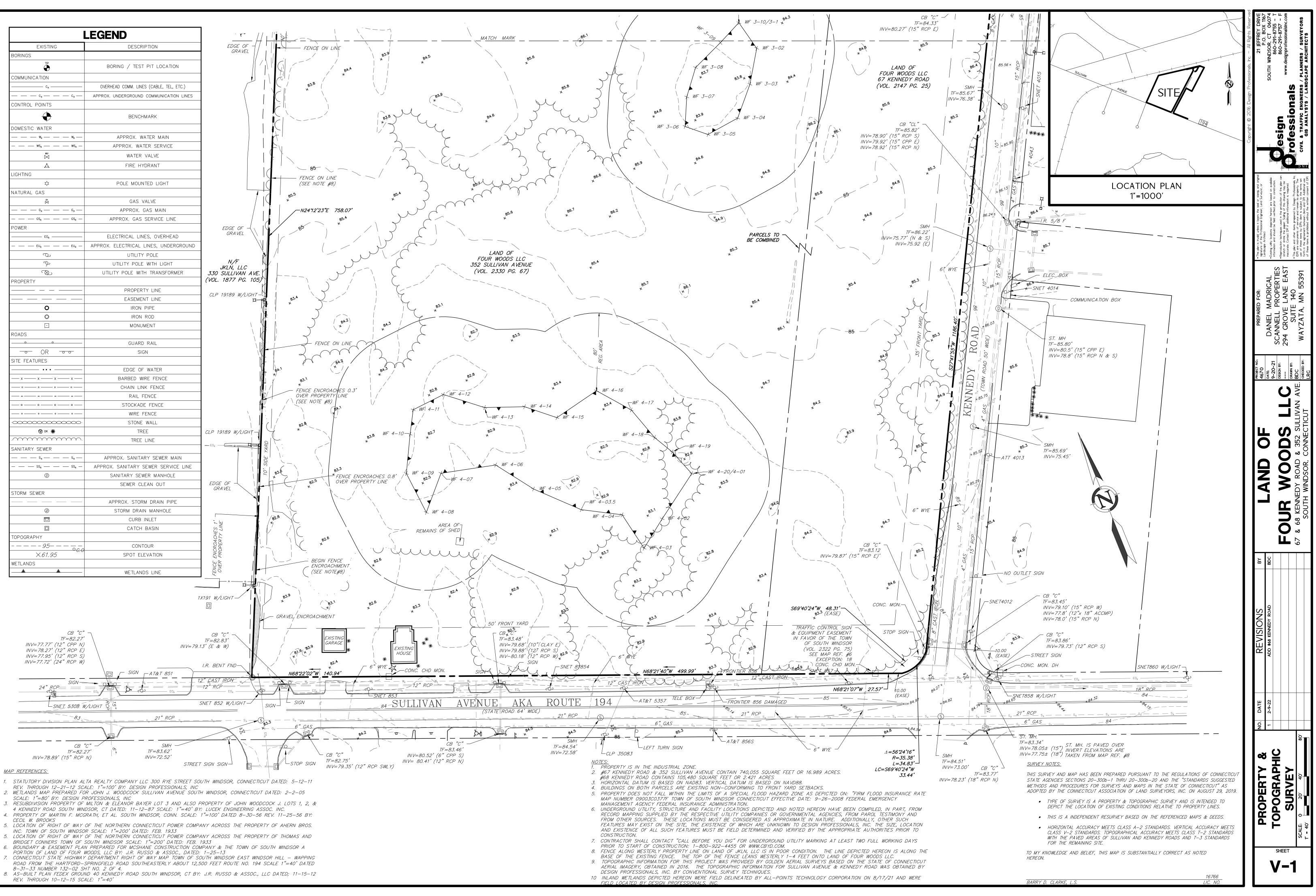


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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS Planners / Landscape architects	dent is subject to the terms set forth in the agreement between dent and DPI. Additional use of these items is prohibited without the written consent of DPI.	1 03-33-0001	CHECKED BY: BPW	CIS NOs. 87300352, 49800067, & 49800068					4
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21 JEFFREY DRIVE P.O. BOX 1167	 This plan is invalid unless it bears the seal or stamp, and original signature of the Professional Engineer, Land Surveyor, or Landscape Architect 	PREPARED FOR:	растио: 4670	67 KENNEDY ROAD	BY	REVISIONS	NO. DATE		s
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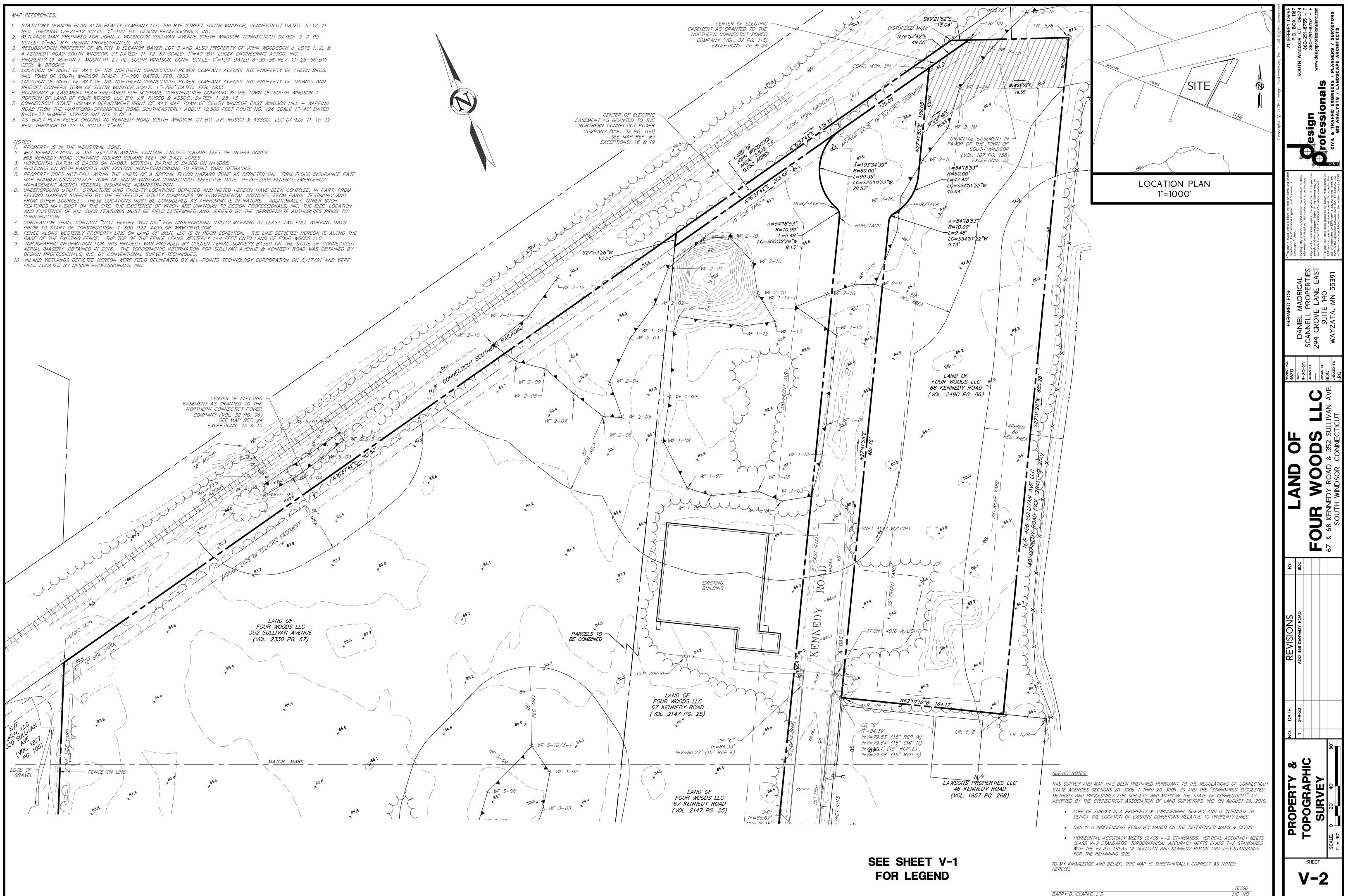


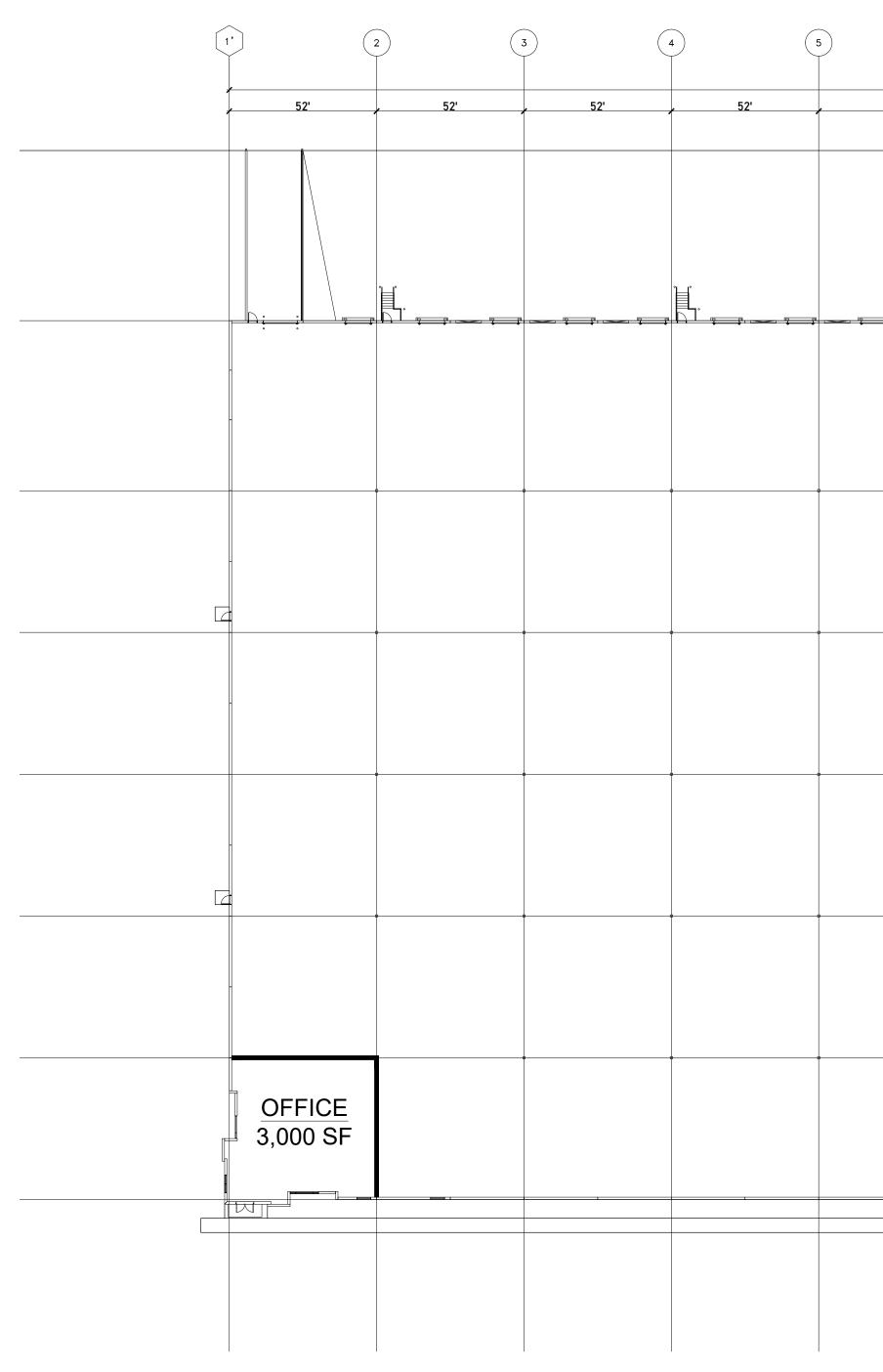
- WETLANDS MAP PREPARED FOR JOHN J. WOODCOCK SULLIVAN AVENUE SOUTH WINDSOR, CONNECTICUT DATED: 2-2-05

- CECIL W. BROOKS
- INC. TOWN OF SOUTH WINDSOR SCALE: 1"=200' DATED: FEB. 1933
- LOCATION OF RIGHT OF WAY OF THE NORTHERN CONNECTICUT POWER COMPANY ACROSS THE PROPERTY OF THOMAS AND BRIDGET CONNERS TOWN OF SOUTH WINDSOR SCALE: 1"=200' DATED: FEB. 1933
- PORTION OF LAND OF FOUR WOODS, LLC BY: J.R. RUSSO & ASSOC., DATED: 1-25-13
- ROAD FROM THE HARTFORD-SPRINGFIELD ROAD SOUTHEASTERLY ABOUT 12,500 FEET ROUTE NO. 194 SCALE 1"=40' DATED
- *REV. THROUGH 10-12-15 SCALE: 1"=40'*

- #68 KENNEDY ROAD CONTAINS 105,480 SQUARE FEET OR 2.421 ACRES
- MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
- RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND
- CONSTRUCTION.

- 10 INLAND WETLANDS DEPICTED HEREON WERE FIELD DELINEATED BY ALL—POINTS TECHNOLOGY CORPORATION ON 8/17/21 AND WERE FIELD LOCATED BY DESIGN PROFESSIONALS, INC.

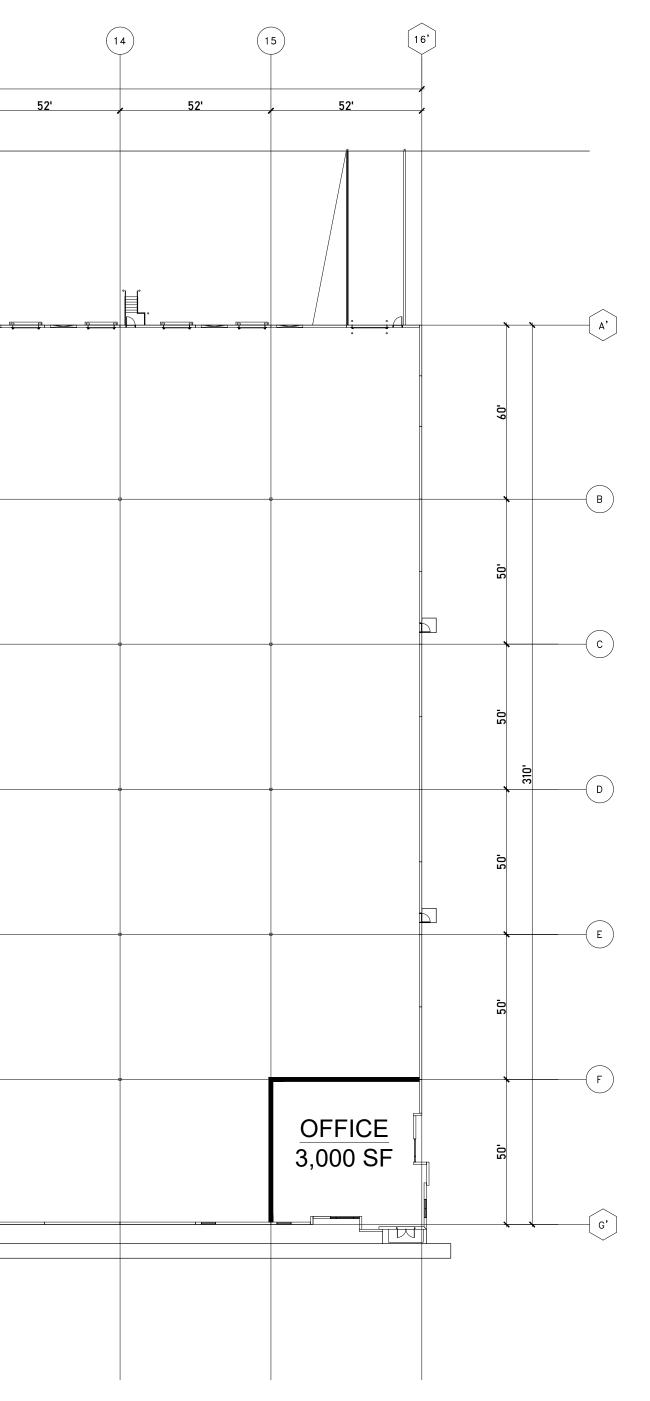


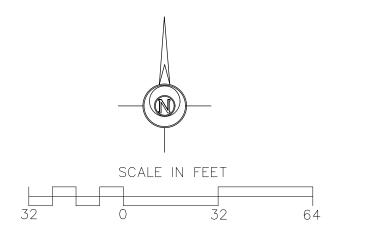




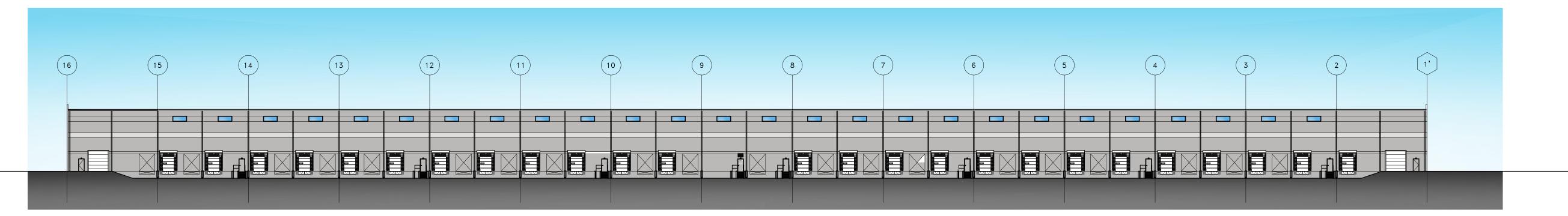
Proposed Office / Warehouse South Windsor, CT

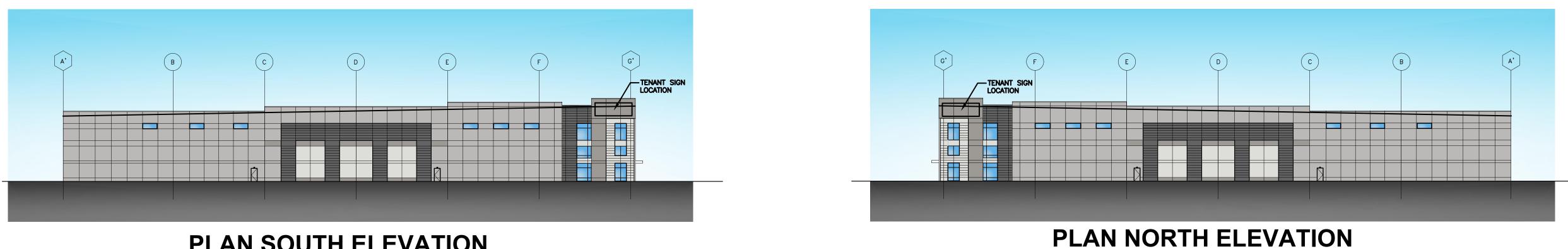
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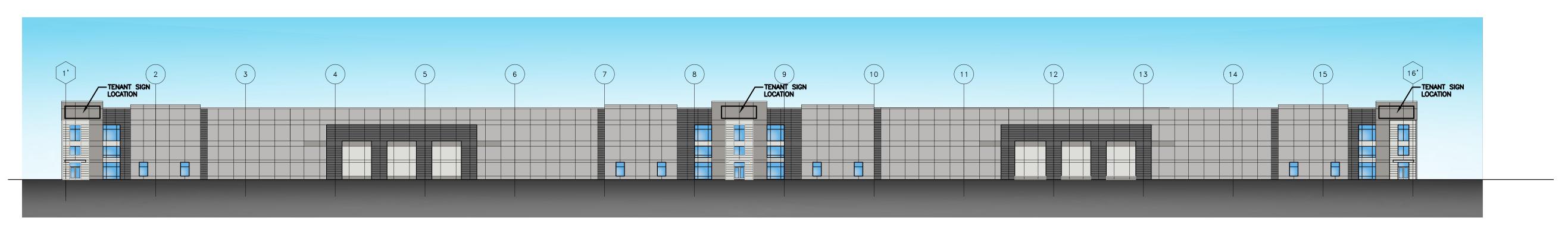








PLAN SOUTH ELEVATION







PLAN WEST ELEVATION

PLAN EAST ELEVATION

