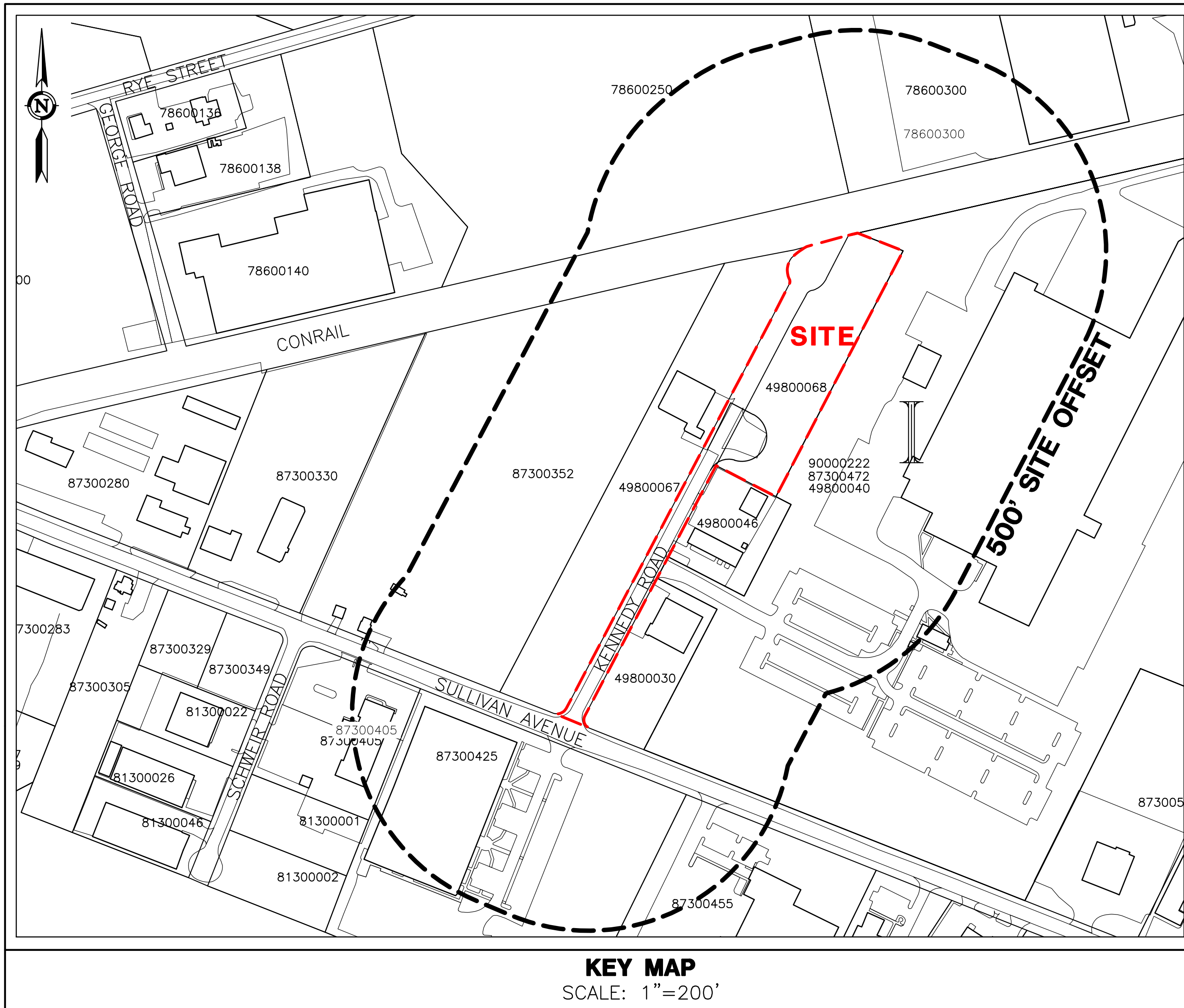
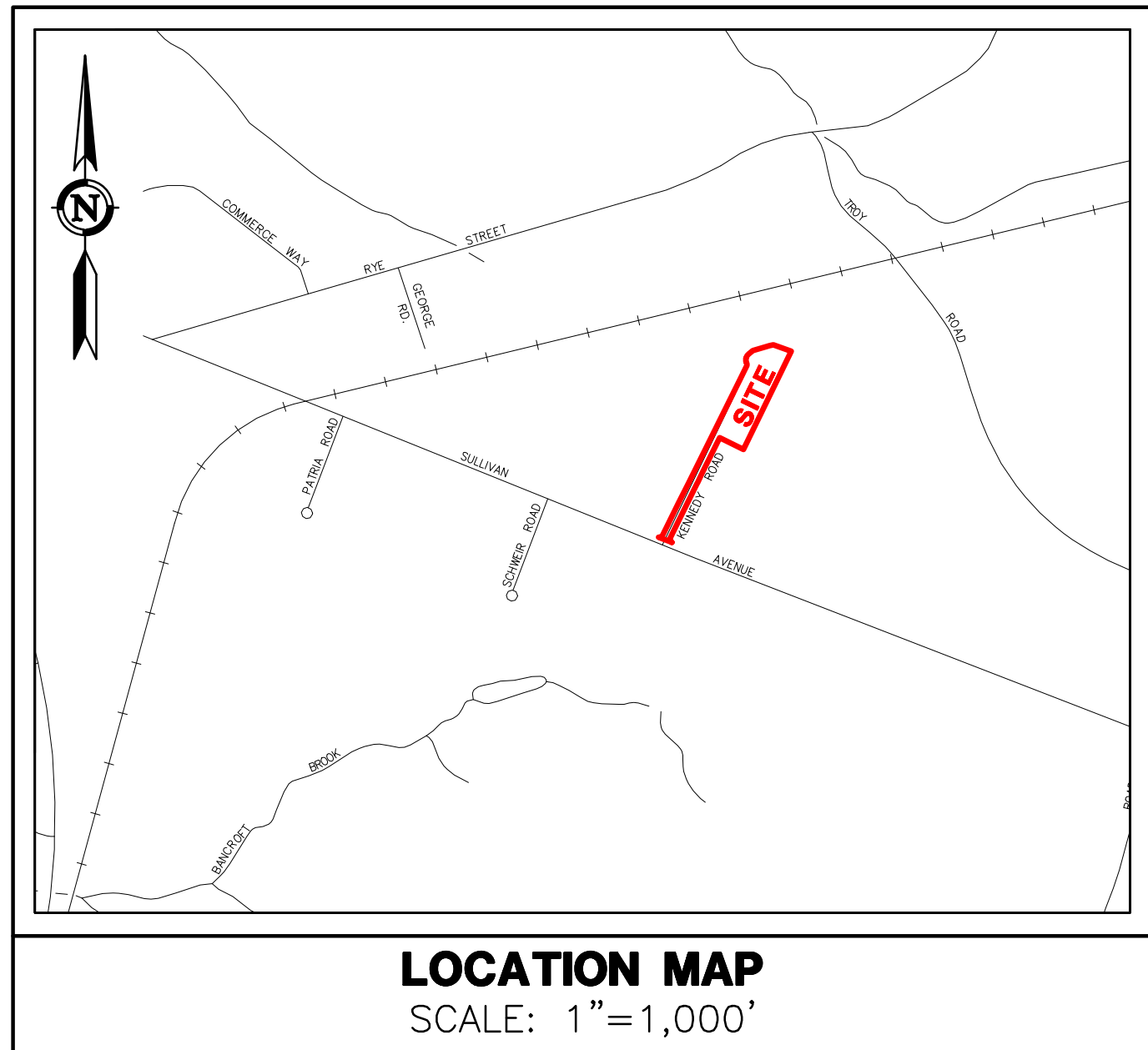


KENNEDY ROAD CUL-DE-SAC RESUBDIVISION

KENNEDY ROAD ~ SOUTH WINDSOR ~ CT
GIS NO. 49800068

N/F 500' ABUTTERS		
STREET ADDRESS	OWNER	PARCEL ID
30 KENNEDY ROAD	WOODCOCK JOHN J JR TR	49800030
40 KENNEDY ROAD	456 SULLIVAN AVE LLC	49800040
46 KENNEDY ROAD	LAWSON'S PROPERTIES LLC	49800046
67 KENNEDY ROAD	FOUR WOODS LLC	49800067
250 RYE STREET	ALTATWO REALTY COMPANY LLC	78600250
300 RYE STREET	ALTA REALTY COMPANY LLC	78600300
352 SULLIVAN AVE	FOUR WOODS LLC	87300352
405 SULLIVAN AVENUE	KUHNS FAMILY PROPERTIES LLC	87300405
425 SULLIVAN AVENUE	CONDOR PROPERTIES LLC	87300425
455 SULLIVAN AVENUE	PARKSITE INC	87300455
472 SULLIVAN AVENUE	CURRENT RESIDENT	87300472
222 TROY ROAD	CURRENT RESIDENT	90000222



SHEET INDEX		
C-T1	COVER SHEET	1 of 10
C-SP1	RESUBDIVISION SITE PLAN	2 of 10
C-SP2	RESUBDIVISION SITE PLAN	3 of 10
C-GD1	RESUBDIVISION GRADING PLAN	4 of 10
C-DR1	RESUBDIVISION DRAINAGE PLAN	5 of 10
C-ES1	RESUBDIVISION EROSION & SEDIMENTATION CONTROL PLAN	6 of 10
C-ES2	RESUBDIVISION EROSION & SEDIMENTATION CONTROL NOTES & DETAILS	7 of 10
C-LS1	LANDSCAPE PLAN, DETAILS, & NOTES	8 of 10
C-D1	NOTES, LEGEND, & DETAILS	9 of 10
C-D2	DETAILS	10 of 10
RS-1 & RS-2	PROPERTY SURVEY / RESUBDIVISION PLAN	1-2 of 2

06 74

5/25/2022

Peter DeMallie
c/o Scannell Properties #644, LLC
Design Professionals Inc.
21 Jeffrey Drive
South Windsor, CT 06074

RE: Appl. #22-16W--Scannell, 352, 394 Sullivan Ave and 67, 68 Kennedy Rd

Dear Mr. DeMallie:

On May 18, 2022, the Inland Wetlands Agency/Conservation Commission approved Appl. #22-16W--Scannell, 352, 394 Sullivan Ave and 67, 68 Kennedy Rd -- application to construct a Distribution facility, parking, stormwater management and associated utilities, on property located northerly of Sullivan Ave and westerly of Kennedy Rd, Industrial (I) zone.

Very truly yours,

INLAND WETLANDS AGENCY/
CONSERVATION COMMISSION

Barbara Kelly Aug
Barbara Kelly, Chairperson

cc: Director of Planning
Chief Building Official
Town Engineer

Town Hall 1540 Sullivan Avenue, South Windsor, CT 06074 | Tel (860) 644-2511 | Fax (860) 644-2781

PROPERTY OWNERS:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074

APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074

GENERAL NOTES:

- THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.
- REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.
- THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT RESUBDIVISION IMPROVEMENTS TO KENNEDY ROAD AND ASSOCIATED IMPROVEMENTS. REFER TO PLANS SUBMITTED FOR THE 67 KENNEDY ROAD WAREHOUSE AND DISTRIBUTION CENTER FOR INFORMATION RELATED TO THAT SITE AND APPLICATION.

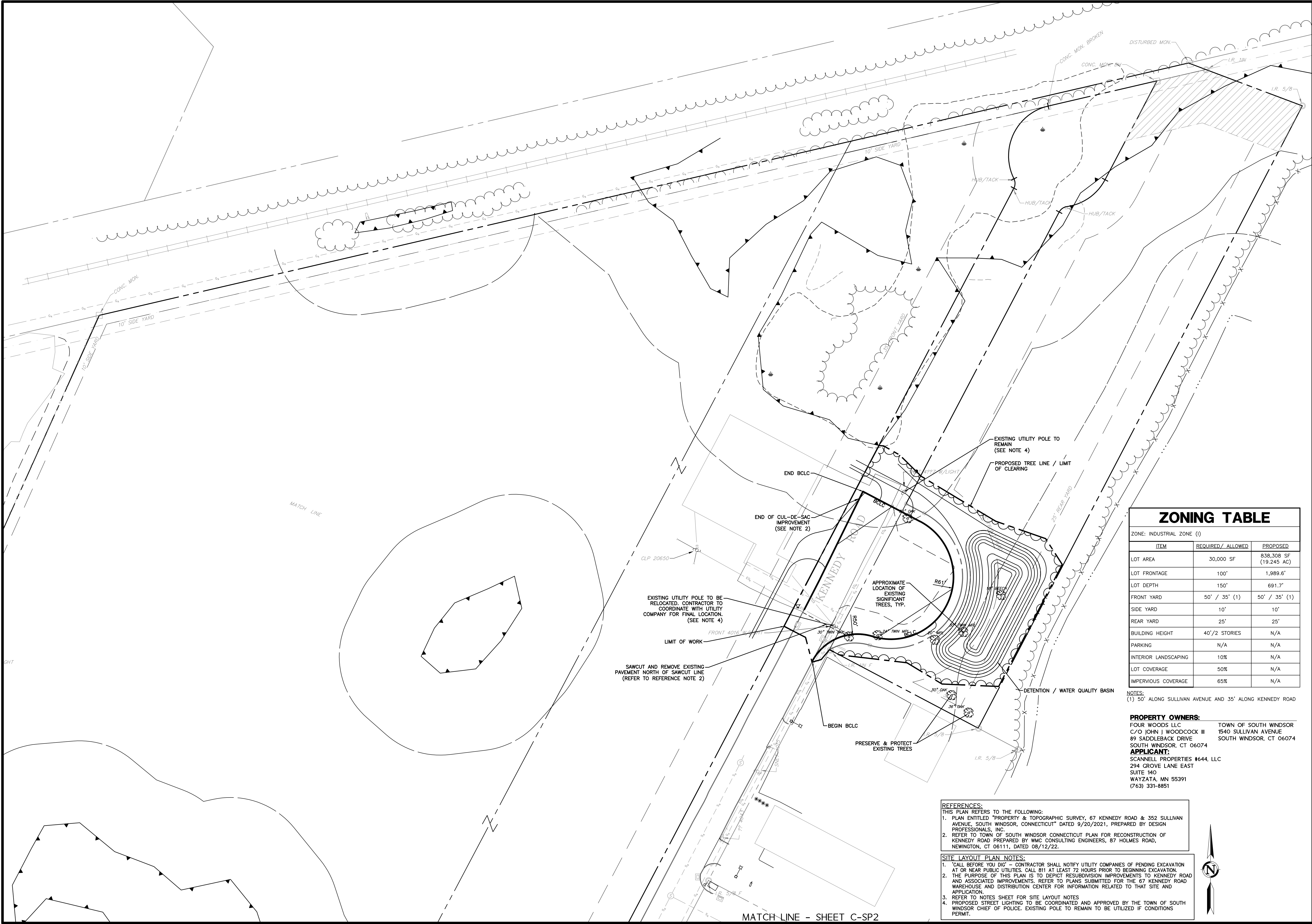
**CIVIL ENGINEER,
LANDSCAPE ARCHITECT
& LAND SURVEYOR:**

**design
professionals**

**CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS**

21 Jeffrey Drive
P.O. Box 1167
South Windsor, CT 06074

Phone: 860-291-8755
Fax: 860-291-8757
www.designprofessionalsinc.com



ZONING TABLE		
ZONE: INDUSTRIAL ZONE (I)		
ITEM	REQUIRED / ALLOWED	PROPOSED
LOT AREA	30,000 SF	838,308 SF (19.245 AC)
LOT FRONTAGE	100'	1,989.6'
LOT DEPTH	150'	691.7'
FRONT YARD	50' / 35' (1)	50' / 35' (1)
SIDE YARD	10'	10'
REAR YARD	25'	25'
BUILDING HEIGHT	40'/2 STORIES	N/A
PARKING	N/A	N/A
INTERIOR LANDSCAPING	10%	N/A
LOT COVERAGE	50%	N/A
IMPERVIOUS COVERAGE	65%	N/A

NOTES:
(1) 50' ALONG SULLIVAN AVENUE AND 35' ALONG KENNEDY ROAD

PROPERTY OWNERS:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074

APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074

- REFERENCES:**
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
2. REFER TO TOWN OF SOUTH WINDSOR CONNECTICUT PLAN FOR RECONSTRUCTION OF KENNEDY ROAD PREPARED BY WMC CONSULTING ENGINEERS, 87 HOLMES ROAD, NEWINGTON, CT 06111, DATED 08/12/22.
- SITE LAYOUT PLAN NOTES:**
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT RESUBDIVISION IMPROVEMENTS TO KENNEDY ROAD AND ASSOCIATED IMPROVEMENTS. REFER TO PLANS SUBMITTED FOR THE 67 KENNEDY ROAD WAREHOUSE AND DISTRIBUTION CENTER FOR INFORMATION RELATED TO THAT SITE AND APPLICATION.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES
4. PROPOSED STREET LIGHTING TO BE COORDINATED AND APPROVED BY THE TOWN OF SOUTH WINDSOR CHIEF OF POLICE. EXISTING POLE TO REMAIN TO BE UTILIZED IF CONDITIONS PERMIT.



RESUBDIVISION
SITE PLAN

SHEET
C-SP1

SHEET 2 OF 10

NO.

DATE

BY

REVISIONS

PREPARED FOR

Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

PROJECT NO.

4670

DATE

9/22/2023

DRAWN BY

DHJ

CHECKED BY

ILL

DESIGNED BY

ILL

SCALE

0 20' 40' 80'
T = 40'

KENNEDY ROAD
CUL-DE-SAC

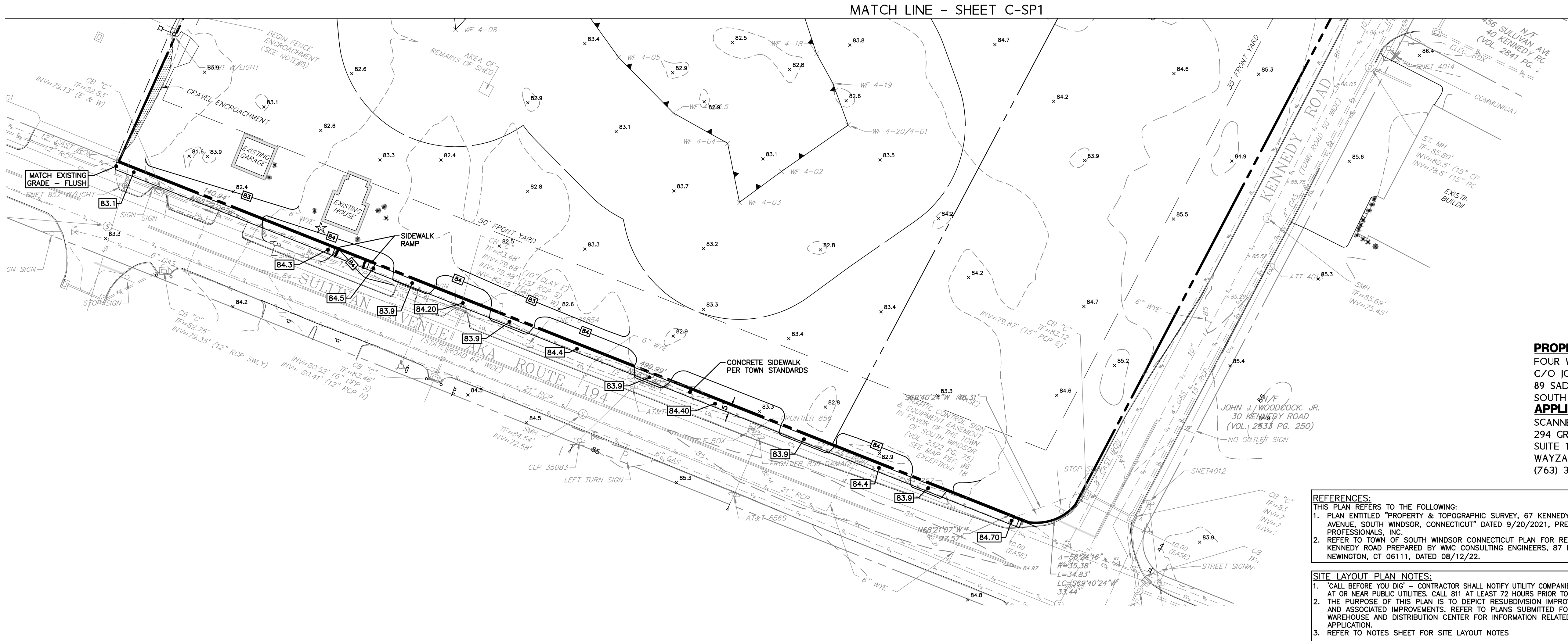
SOUTH WINDSOR, CONNECTICUT 06074
GIS NO. 49800068

design
professionals

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 JEFFREY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-298-9297
860-298-9297 - F
www.designprofessionals.com

Copyright © 2023 Design Professionals, Inc. - All Rights Reserved



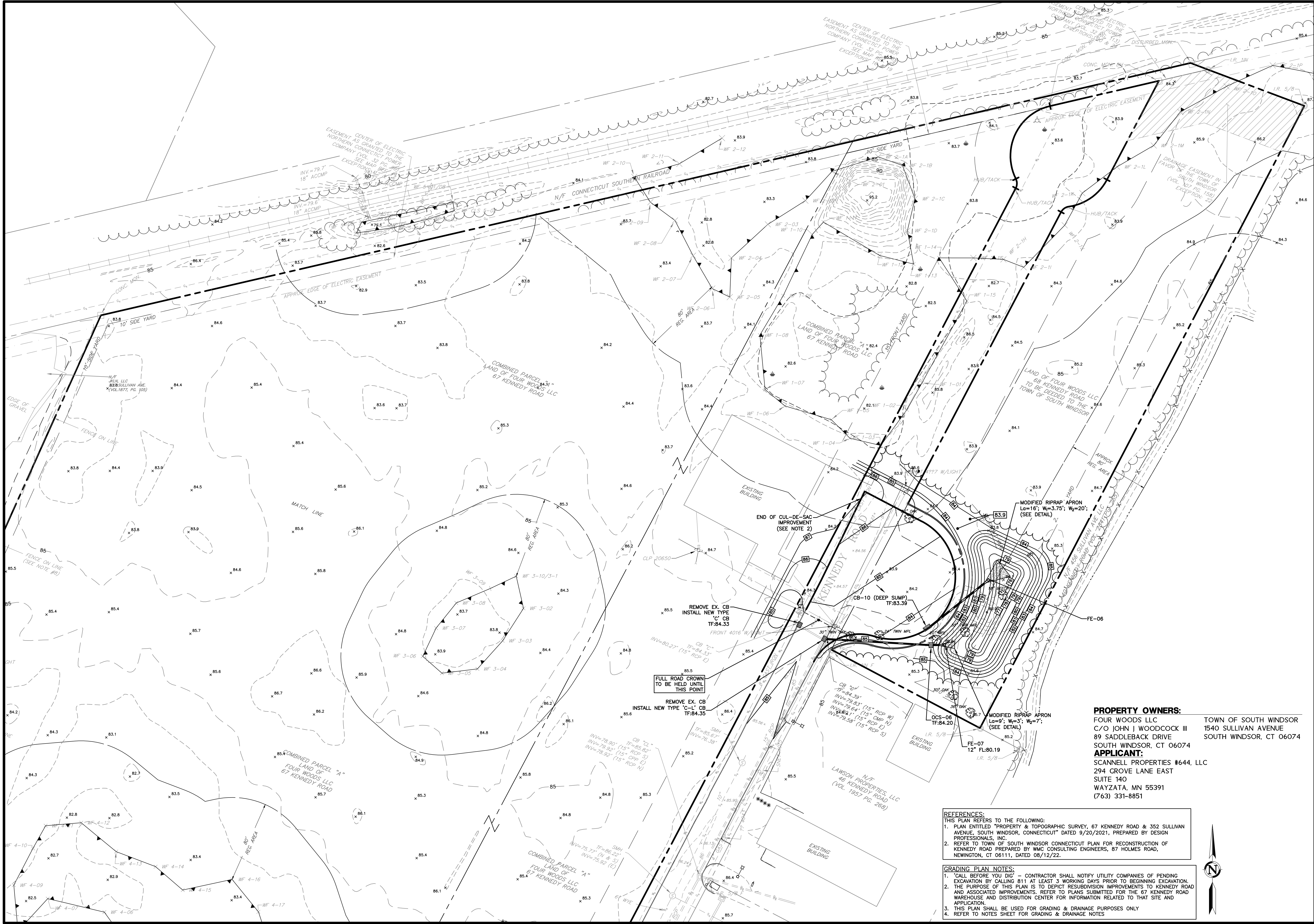
REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
2. REFER TO TOWN OF SOUTH WINDSOR CONNECTICUT PLAN FOR RECONSTRUCTION OF KENNEDY ROAD PREPARED BY WMC CONSULTING ENGINEERS, 87 HOLMES ROAD, NEWINGTON, CT 06111, DATED 08/12/22.

SITE LAYOUT PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT RESUBDIVISION IMPROVEMENTS TO KENNEDY ROAD AND ASSOCIATED IMPROVEMENTS. REFER TO PLANS SUBMITTED FOR THE 67 KENNEDY ROAD WAREHOUSE AND DISTRIBUTION CENTER FOR INFORMATION RELATED TO THAT SITE AND APPLICATION.
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

PROPERTY OWNERS:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074

RESUBDIVISION SITE PLAN	SHEET C-SP2 SHEET 3 OF 10	NO. DATE	BY	REVISIONS	KENNEDY ROAD CUL-DE-SAC KENNEDY ROAD SOUTH WINDSOR, CONNECTICUT 06074 GIS NO. 49800068	PROJECT NO. 4670 DATE 9/22/2023 DESIGN BY DJI CHECKED BY JLH	PREPARED FOR Scannell Properties #644, LLC 294 Grove Lane East Suite 140 Wayzata, MN 55391 763-331-8851 T	design professionals CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS PLANNERS / LANDSCAPE ARCHITECTS 21 JEFFREY DRIVE P.O. BOX 167 SOUTH WINDSOR, CT 06074 860-291-8727 - F 860-291-8727 - M www.designprofessionalsinc.com	Copyright © 2022 Design Professionals, Inc. - All Rights Reserved.



PROPERTY OWNERS:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074

REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
2. REFER TO TOWN OF SOUTH WINDSOR CONNECTICUT PLAN FOR RECONSTRUCTION OF KENNEDY ROAD PREPARED BY WMC CONSULTING ENGINEERS, 87 HOLMES ROAD, NEWINGTON, CT 06111, DATED 08/12/22.

GRADING PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT RESUBDIVISION IMPROVEMENTS TO KENNEDY ROAD AND ASSOCIATED IMPROVEMENTS. REFER TO PLANS SUBMITTED FOR THE 67 KENNEDY ROAD WAREHOUSE AND DISTRIBUTION CENTER FOR INFORMATION RELATED TO THAT SITE AND APPLICATION.
3. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY
4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES



RESUBDIVISION GRADING PLAN		REVISIONS		BY	
SHEET		NO.		DATE	
C-GD1		NO.		DATE	
SHEET 4 OF 10		NO.		DATE	

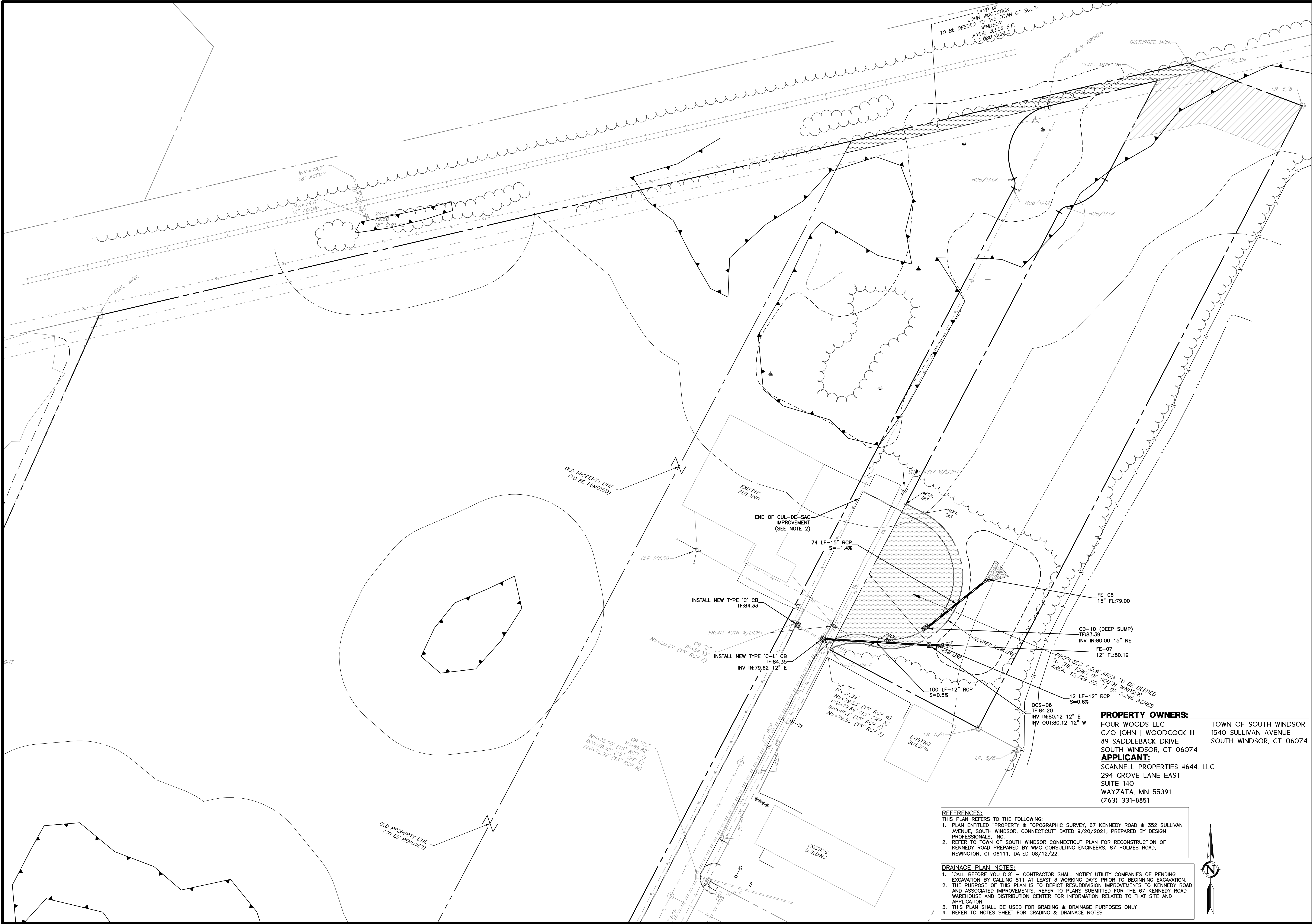
KENNEDY ROAD CUL-DE-SAC
KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NO. 49800068

PREPARED FOR:
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

DESIGN PROFESSIONALS
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

21 JEFFREY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8727 - F
860-291-8727 - F
www.designprofessionals.com

Copyright © 2022 Design Professionals, Inc. - All Rights Reserved



REFERENCES:
THIS PLAN REFERS TO THE FOLLOWING:
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
2. REFER TO TOWN OF SOUTH WINDSOR CONNECTICUT PLAN FOR RECONSTRUCTION OF KENNEDY ROAD PREPARED BY WMC CONSULTING ENGINEERS, 87 HOLMES ROAD, NEWINGTON, CT 06111, DATED 08/12/22.

DRAINAGE PLAN NOTES:
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT RESUBDIVISION IMPROVEMENTS TO KENNEDY ROAD AND ASSOCIATED IMPROVEMENTS. REFER TO PLANS SUBMITTED FOR THE 67 KENNEDY ROAD WAREHOUSE AND DISTRIBUTION CENTER FOR INFORMATION RELATED TO THAT SITE AND APPLICATION.
3. THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY
4. REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES

PROPERTY OWNERS:
FOUR WOODS LLC
C/O JOHN J WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
TOWN OF SOUTH WINDSOR
1540 SULLIVAN AVENUE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

RESUBDIVISION
DRAINAGE PLAN

SHEET
C-DR1

SHEET 5 OF 10

NO.	DATE	BY	REVISIONS

KENNEDY ROAD
CUL-DE-SAC

KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NO. 49800068

PREPARED FOR:
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

PROJECT NO.
4670
DATE
9/22/2023
DESIGNED BY
DHL
CHECKED BY
DHL
DATE
9/22/2023

design
Professionals

CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS

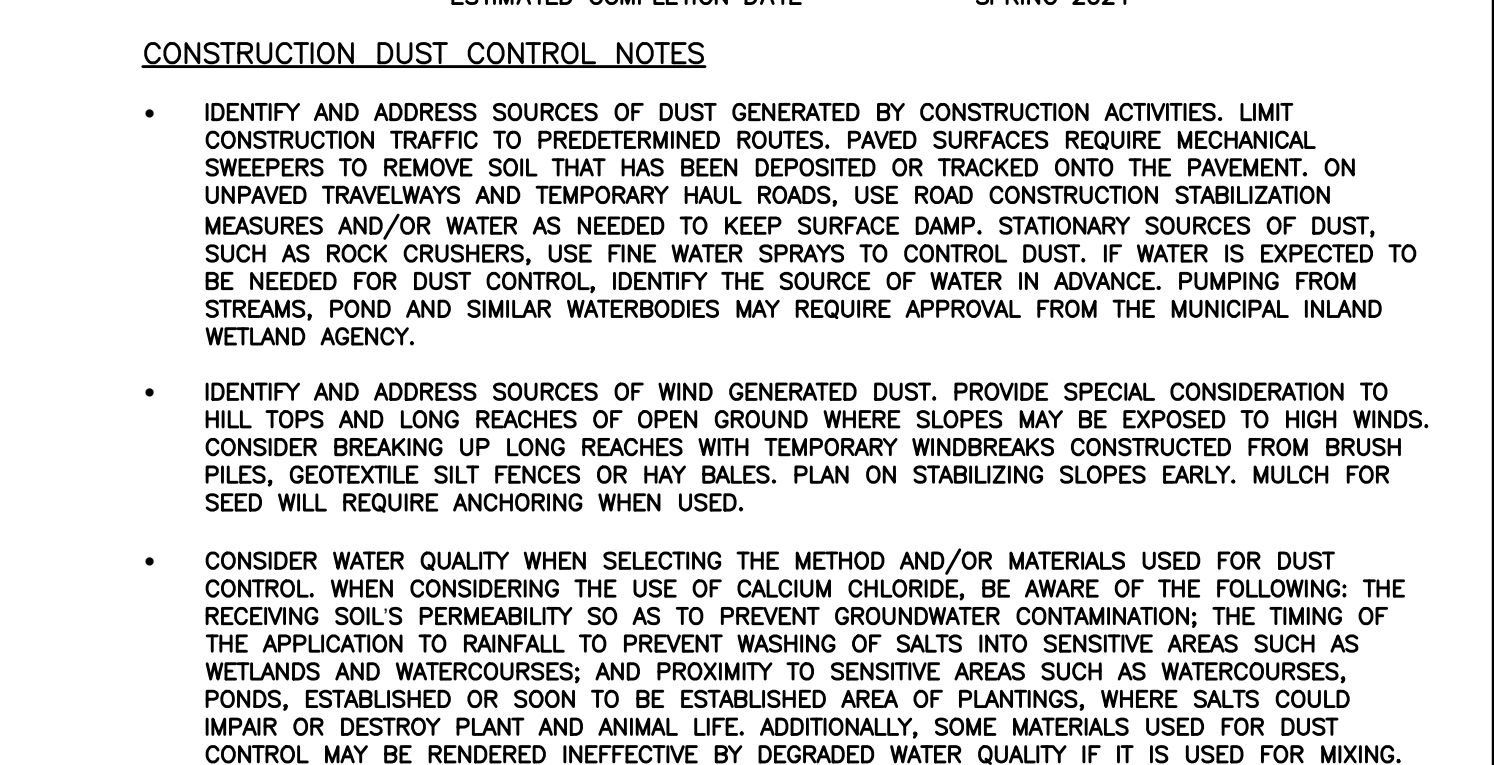
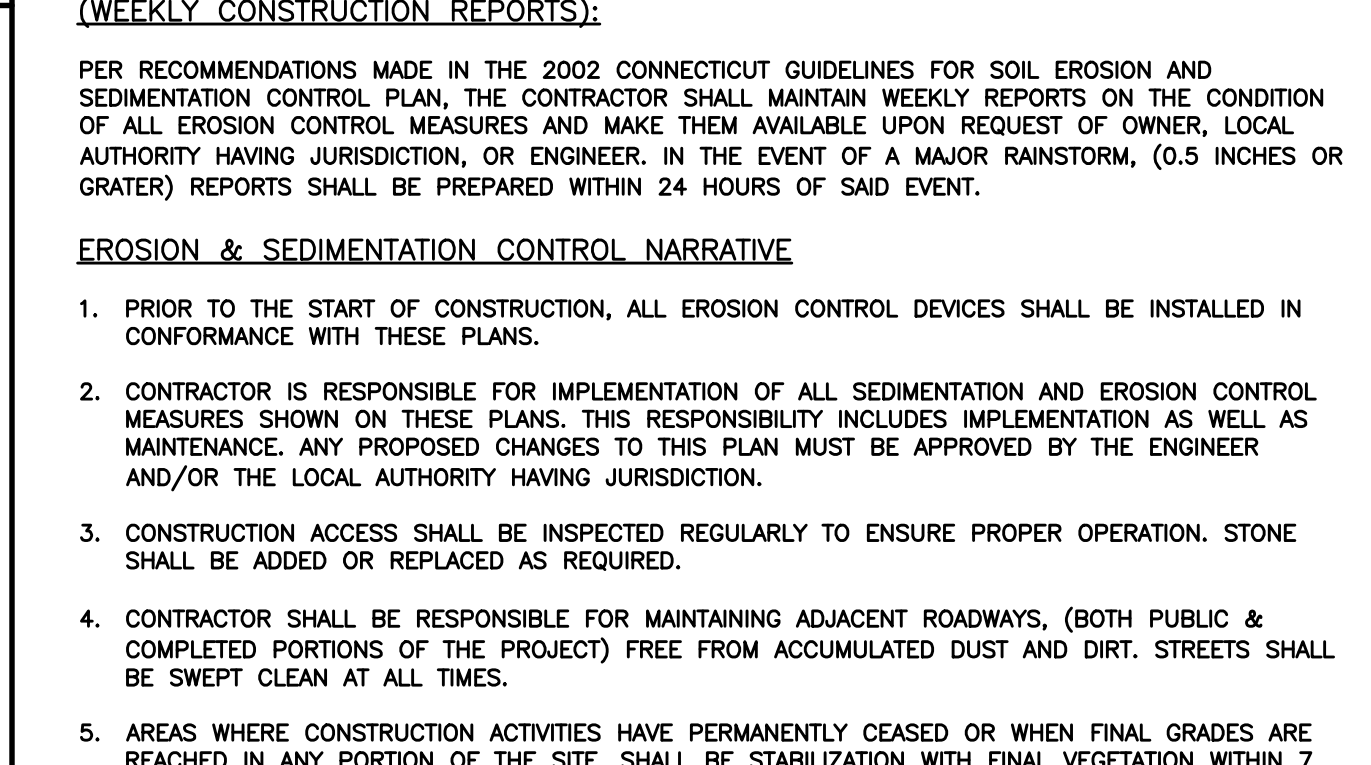
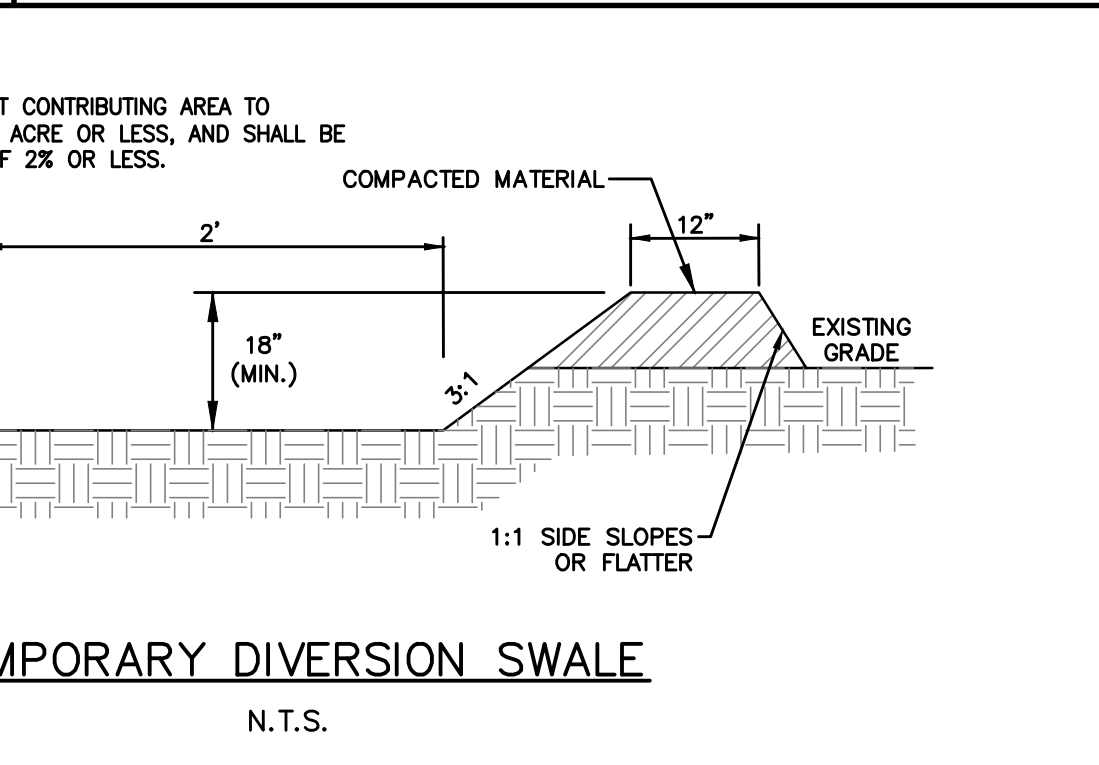
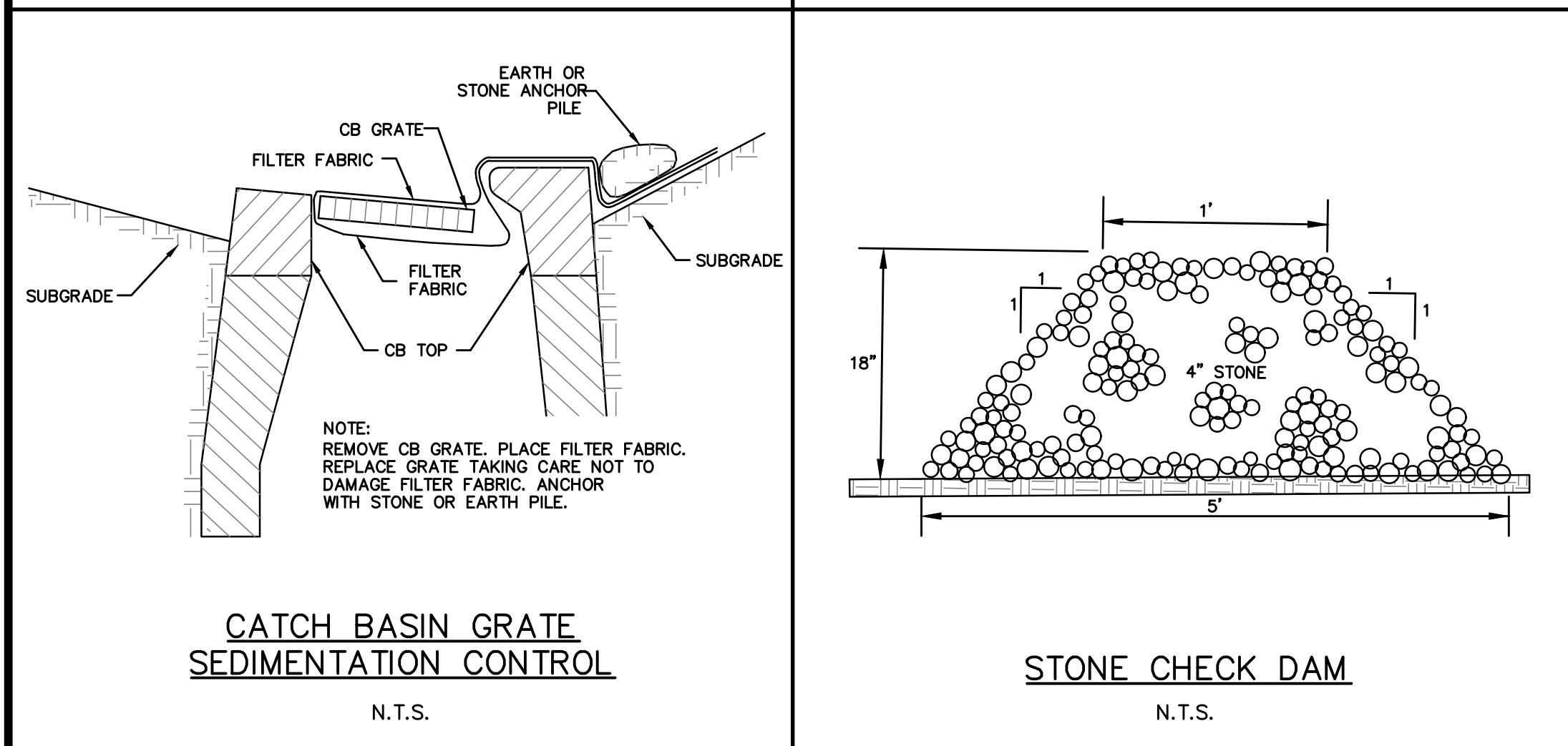
21 JEFFREY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8727
860-291-8727 - F
www.designprofessionalsinc.com

*The plan is a final product and does not constitute a contract. It is the responsibility of the client to ensure that the plan is used for the intended purpose and that all necessary permits are obtained. The plan is not to be used for any other purpose without the written consent of the firm.

*Reproduction techniques used in the production of this plan are not to be used for any other purpose without the written consent of the firm.

*Information is provided for informational purposes only and is not to be used for any other purpose without the written consent of the firm.

*Professionals, Inc. is a registered professional engineering firm and is not to be used for any other purpose without the written consent of the firm.

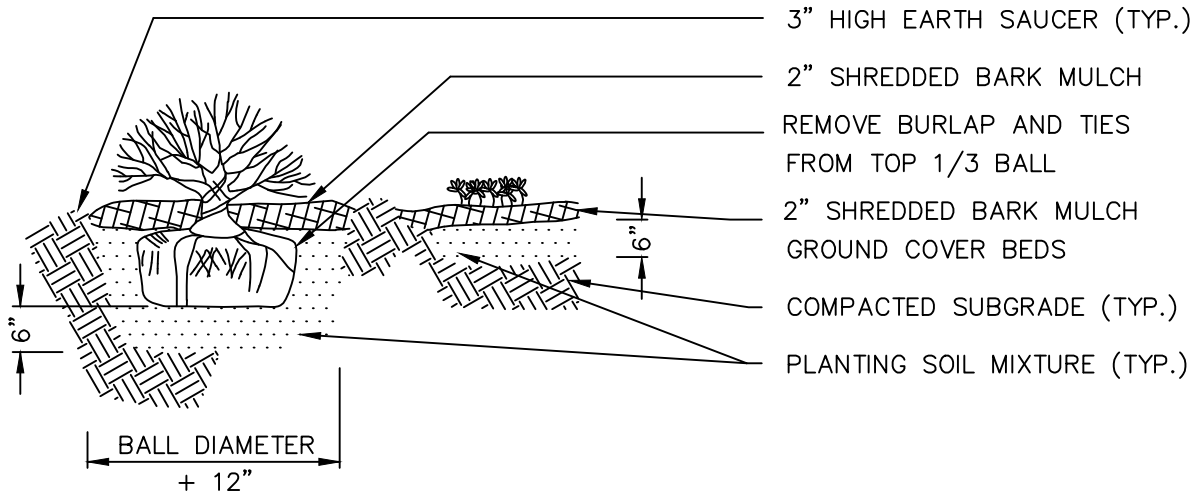


LANDSCAPE NOTES:

- ALL EXISTING TREES TO REMAIN SHALL BE SHAPED OR PRUNED WITHIN THE DEVELOPMENT AND ALONG THE PERIMETER OF CONSTRUCTION LIMIT UNDER THE DIRECTION OF A LICENSED ARBORIST.
- DEBRIS AND DEAD, UNHEALTHY EXISTING TREES AND INVASIVE SPECIES SHALL BE REMOVED FROM WETLANDS AND RESIDENTIAL LANDSCAPE BUFFER AREAS.
- ALL AREAS DESIGNATED TO BE SEEDED SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL, SOIL AMENDMENTS AND MULCH, WATER AND MAINTAIN LAWN AREAS UNTIL ALL AREAS ARE STABILIZED AND ACCEPTED BY OWNER'S REPRESENTATIVE.
- PLANTS: ALL PLANTS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD OF NURSERY STOCK". PROVIDE PLANTS TYPICAL OF THEIR SPECIES OR VARIETY WITH NORMAL, DENSELY-DEVELOPED BRANCHES AND VIGOROUS, FIBROUS ROOT SYSTEMS. PROVIDE ONLY SOUND, HEALTHY, VIGOROUS PLANTS FREE FROM PESTS, DISEASES, AND PHYSICAL INJURY. ALL PLANTS SHALL HAVE A FULLY DEVELOPED FORM WITHOUT Voids AND OPEN SPACES.
- BALLED AND BURLAPPED PLANTS: DIG BALLED AND BURLAPPED PLANTS WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM. NECESSARY FOR FULL RECOVERY OF PLANT, PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD OF NURSERY STOCK". CRACKED OR PUNCHED BALLS ARE NOT ACCEPTABLE.
- 5.A. BARE-ROOT PLANTS: DUG WITH ADEQUATE FIBROUS ROOTS, COVERED WITH A UNIFORM THICK COATING OF MUD BY BEING RUDDLED IMMEDIATELY AFTER THEY ARE DUG, OR PACKED IN MOIST STRAW OR PEAT MOSS.
- 5.B. CONTAINER-GROWN STOCK: GROWN IN A CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR THE ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE.
- 5.B.A. CONTAINER STOCK SHALL NOT BE POT BOUND.
- 5.B.B. CONTAINER STOCK SHALL NOT BE LOOSE IN THE CONTAINER.
- 5.C. ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST ONE YEAR.
6. CONTRACTOR RESPONSIBLE TO WARRANT PLANT MATERIAL TO REMAIN ALIVE AND BE HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL.
7. CONTRACTOR TO REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD AT CONTRACTOR'S EXPENSE. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD, AND EXTEND WARRANTY PERIOD FOR AN ADDITIONAL GROWING SEASON FOR THE REPLACEMENT PLANTS.
8. CONTRACTOR RESPONSIBLE FOR PLANTING UNDER FAVORABLE WEATHER CONDITIONS AND RECOMMENDED SEASON FOR PLANT SURVIVAL AND ESTABLISHMENT. AT OPTION OF, AND UNDER FULL RESPONSIBILITY OF CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNREASONABLE CONDITIONS, BUT WITHOUT ADDITIONAL COMPENSATION. IF SPECIAL CONDITIONS EXIST TO REQUIRE PLANTING OUTSIDE THE ABOVE SPECIFIED DATES, THE CONTRACTOR SHALL SUBMIT IN WRITING FOR PERMISSION BY THE OWNER'S REPRESENTATIVE. ANY VARIANCE IN THE PLANTING SEASON WILL NOT AFFECT THE ONE YEAR PLANTING GUARANTEE PERIOD.
9. DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL. SUBSTITUTION OF PLANTS WILL NOT BE APPROVED IN WRITING BY THE OWNER.
- 9.A. ROOT TYPES MAY BE FREELY SUBSTITUTED IN THE CASE OF BALLED AND BURLAPPED, OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS REMAINING UNCHANGED. BARE ROOT OR COLLECTED PLANTS ARE NOT ACCEPTABLE AS SUBSTITUTES WITHOUT RECEIPT OF A CHANGE ORDER.
10. PROVIDE A MINIMUM OF 12" OF PLANTING SOIL MIXTURE IN ALL PLANTING BEDS.
11. PLANTING SOIL MIXTURE (BY VOLUME) SHALL BE EQUAL TO:
A. BARK MULCH/COMPOST 12%-12%
B. COARSE SAND 45%-45%
C. TOPSOIL 45%-50%
12. PRIOR TO PLANTING, THE CONTRACTOR SHALL OBTAIN SOIL TEST FROM A CERTIFIED SOIL LABORATORY FOR ALL AREAS OF THE SITE WITH RECOMMENDATIONS FOR APPROPRIATE SOIL AMENDMENTS FOR THE TYPES OF PLANTS SPECIFIED.
- 12.A. LIME SHALL BE PELLETIZED LIME MANUFACTURED TO MEET AGRICULTURAL STANDARDS AND CONTAIN A MAXIMUM OF 40% OXIDE (I.E., CALCIUM OXIDE PLUS MAGNESIUM OXIDE).
- 12.B. FERTILIZER SHALL BE OF A FORMULA INDICATED BY THE SOIL TESTING TO ACHIEVE A MINIMUM OF ONE POUND OF NITROGEN PER 1000 S.F. OF LAWN AREA. FERTILIZER SHALL BE A MINIMUM OF 50% ORGANIC SLOW-RELEASE COMPOST.
- 12.C. NO SOIL AMENDMENTS OR FERTILIZER SHALL BE USED FOR AREA DISTURBED WITHIN WETLANDS OR CREATED WATER QUALITY BASINS.
- 12.D. CONTRACTOR TO HAVE FERTILIZER MATERIALS DELIVERED IN ORIGINAL, UNOPENED, AND UNFAMISHED CONTAINERS SHOWING HEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. STORE IN MANNER TO PREVENT WETTING AND DETERIORATION.
- 12.E. DELAY MIXING FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
13. DAPLIES AND PERENNIALS BE INSTALLED AT 24" O.C., UNLESS NOTED OTHERWISE. APPLY 2" OF BARK MULCH IN AREAS OF GROUND COVER AND PERENNIALS OR OWNER SELECTED ANNUALS.
14. NO PLANT, EXCEPT GROUND COVERS, GRASSES, OR VINES, SHALL BE PLANTED LESS THAN TWO FEET FROM STRUCTURES, EDGE OF PAVEMENT, OR BACK OF CURB.
15. TREES IN EXCESS OF 3" CALIPER SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO THE SPECIFICATIONS AND APPROVAL OF LANDSCAPE ARCHITECT AT THEIR PLACE OF GROWTH AND UPON DELIVERY. WRITTEN REQUEST SHALL BE SUBMITTED 10 DAYS PRIOR.
16. CONTRACTOR RESPONSIBLE TO SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES. LANDSCAPE MATERIALS TO BE SHIPPED WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNMENTAL AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS AND CONTRACTOR TO SUBMIT MANUFACTURERS' OR VENDORS' CERTIFIED ANALYSIS FOR FERTILIZER MATERIALS, MOVING AND STORAGE OF PLANT MATERIALS. CONTRACTOR TO TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING. WORKMANSHIP THAT FAILS TO MEET THE HIGHEST STANDARDS WILL BE REJECTED.
- 17.A. SPRAY DECIDUOUS FOLIAGE WITH AN APPROVED ANTITRANSPIRANT IMMEDIATELY AFTER DIGGING TO PREVENT DEHYDRATION.
- 17.B. LEGIBLY TAG PLANTS WITH BOTANICAL NAME AND SIZE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 17.C. DIG, PACK, TRANSPORT, AND HANDLE PLANTS WITH CARE TO ENSURE PROTECTION AGAINST INJURY. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TRANSPORTATION TO SITE AND DURING TEMPORARY STORAGE BEFORE PLANTING. INSPECTION CERTIFICATE SHALL ACCOMPANY EACH SHIPMENT INVOICE OR ORDER.
- 17.D. STOCK AND ON ARRIVAL, THE CERTIFICATE SHALL BE FILED WITH THE OWNER.
- 17.E. NO PLANT SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT COULD DAMAGE OR BREAK THE BRANCHES.
18. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZES, QUANTITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.
19. STOCK FURNISHED SHALL BE AT LEAST THE MINIMUM SIZE INDICATED ON THE DRAWINGS. LARGER STOCK IS ACCEPTABLE, AT NO ADDITIONAL COST AND PROVIDING THE LARGER PLANTS WILL NOT BE CUT BACK TO THE SIZE INDICATED ON THE DRAWINGS.
20. THE HEIGHT OF THE TREE, MEASURED FROM THE CROWN OF THE ROOTS TO THE AVERAGE HEIGHT OF THE TOP OF THE TREE, SHALL NOT BE LESS THAN THE MINIMUM SIZE DESIGNATED IN THE PLANT LIST.
21. SHRUBS AND SMALL PLANTS SHALL MEET THE REQUIREMENTS FOR SPREAD AND HEIGHT INDICATED IN THE PLANT LIST.
22. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
23. ANTITRANSPIRANT: PROVIDE PROTECTIVE FILM EMULSION PROVIDING A PROTECTIVE FILM OVER PLANT SURFACES; PERMEABLE TO PERMIT TRANSPIRATION. MIXED AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
24. WATER IS TO BE SUPPLIED FOR PLANTS THAT IS CLEAN, FREE FROM TOXIC AMOUNTS OF SALT, OIL, ACID, ALKALI, ORGANIC MATTER OR OTHER SUBSTANCES HARMFUL TO PLANTS.
25. CONTRACTOR TO PRUNE AND REPAIR PLANTS AS FOLLOWS:
25.A. REMOVE OR CUT BACK, BROKEN, DAMAGED, AND UNSYMMETRICAL GROWTH OF NEW WOOD.
25.B. MULTIPLE LEADER PLANTS: PRESERVE THE CENTRAL LEADER WHICH WILL BEST PROMOTE THE SYMMETRY OF THE PLANT. CUT BRANCHES FLUSH AT THE BRANCH COLLAR WITH THE TRUNK OR MAIN BRANCH.
25.C. PRUNE NEEDLE-LEAF TREES ONLY TO REMOVE BROKEN OR DAMAGED BRANCHES.
25.D. ALL TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7 FEET ABOVE FINISH GRADE.
25.E. MULCH TO BE APPLIED AS FOLLOWS:
25.A. AREAS TO RECEIVE MULCH: ALL PLANT BEDS AND OTHER AREAS AS DESIGNATED ON DRAWINGS SHALL BE MULCHED.
25.B. PLACEMENT: PLACE MULCH TO REQUIRE UNIFORM DEPTH SOON AFTER PLANTING TO PREVENT DRYING OF PLANTING SOIL AROUND ROOTS. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNKS.
25.C. APPLY BARK MULCH TO A UNIFORM DEPTH OF 2 INCHES.
25.D. MULCH SHALL BE 6 POUND, BALD, WELL-ROTTED, SHREDDED, NATIVE HARDWOOD BARK, NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SANDUST.
25.E. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIALS:
25.A. MAINTAIN PLANTINGS UNTIL FINAL ACCEPTANCE OF WORK.
25.B. MAINTENANCE SHALL INCLUDE PRUNING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
25.C. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE PLANTING SAUCER AND ADJACENT MATERIAL AND REMOVE DEAD MATERIAL.
25.D. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
25.E. WATER PLANTINGS IN A SATISFACTORY MANNER DURING AND IMMEDIATELY FOLLOWING PLANTING, THICE PER WEEK, OR LESS UNDER WET CONDITIONS, UNTIL ACCEPTANCE BY OWNER. PROVIDE ADDITIONAL WATERING DURING EXCESSIVE DRY PERIODS DURING THE MAINTENANCE PERIOD AS DIRECTED BY THE OWNER.
25.F. REPLACEMENT OF PLANTS: ANY PLANTS TO BE REPLACED PRIOR TO ACCEPTANCE OF WORK, OR UNDER TERMS OF WARRANTY SHALL BE INSTALLED FOLLOWING PROCEDURES SET FORTH ABOVE.
26. LANDSCAPE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
27. LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
28. LANDSCAPE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 1-800-922-4465 AT LEAST TWO FULL WORKING DAYS PRIOR TO INSTALLATION.
29. LANDSCAPE CONTRACTOR TO REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS FROM SITE PER GOVERNING REGULATIONS.
30. CONSTRUCTION SITE IS TO BE IN A CLEAN, ORDERLY CONDITION AT ALL TIMES.
31. ALL REQUIRED PERMITS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
32. LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING WORK FOR THE ENTIRE PROJECT. THIS WILL INCLUDE ALL AREAS TO BE GRASSED OR LANDSCAPED. GRADING MUST PROVIDE PROPER POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND NOT LEAVE ANY POCKETS WHERE STANDING WATER MAY COLLECT.
33. TOPSOIL SHALL NOT BE SPREAD UNDER FROZEN OR MUDDY CONDITIONS.
- 34.A. THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

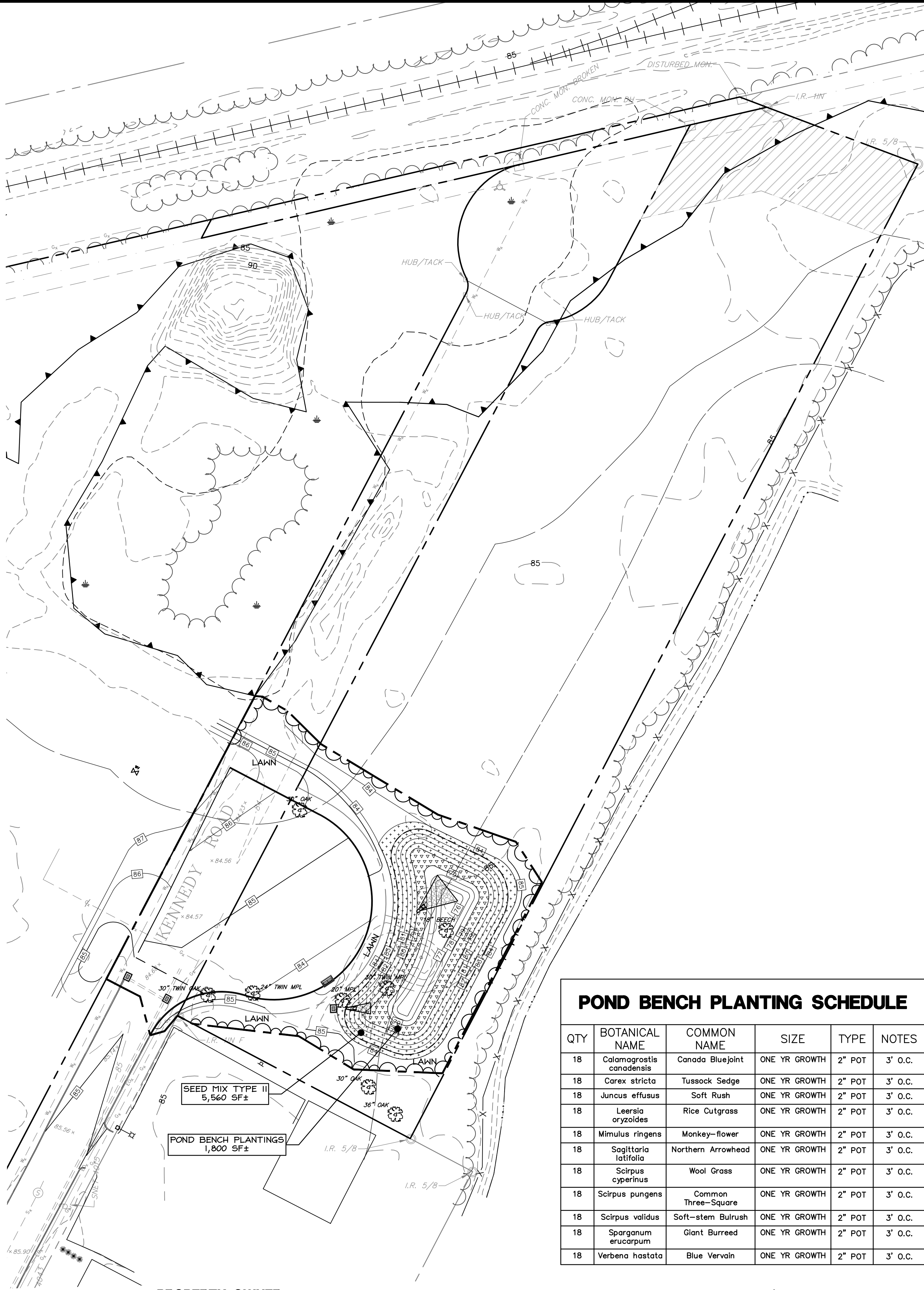
SEEDING NOTES:

- SEEDING MIXTURE TYPE I (LAWN AREAS):
BLUEGRASS BLEND (3 VARIETIES) 50% OF MIXTURE
CHENING'S RED FESCUE 30% OF MIXTURE
PERENNIAL RYEGRASS 20% OF MIXTURE
APPLICATION RATE: 4.50 LBS. PER 1000 S.F.
- SEEDING MIXTURE TYPE II (BASIN SLOPES)
RETENTION BASIN WILDLIFE MIX - ERNTHX-127
BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- SEEDING MIXTURE TYPE III (WETLAND CREATION/RESTORATION AREAS)
CBL WETLAND MIX
BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
APPLICATION RATE: 0.50 LBS PER 1,000 S.F., 20 LBS PER ACRE
- SEEDING MIXTURE TYPE IV
SHADY NORTHEAST NATIVE WILDFLOWER MIX - ERNTHX-153-1
BY Ernst Conservation Seeds, 9006 Mercer Pike, Meadville, PA 16335 (800) 873-3321
APPLICATION RATE: 5.0 LBS PER 1,000 S.F.
- BASIN SIDE SLOPES SHALL HAVE A MINIMUM OF 6" OF "TRACKED" TOPSOIL UNLESS OTHERWISE NOTED.
- SEED MIXES IN AND AROUND DETENTION BASINS SHALL BE SUBSTANTIALLY ESTABLISHED PRIOR TO DISCHARGING RUNOFF FROM THE STORMWATER SYSTEM.
- SEEDING OF BASIN SLOPES (SEEDING MIXTURE TYPE II) SHALL BE BY HYDROSEEDING AND HYDRO-MULCHING. ADD AN ADDITIONAL 50% TO SEEDING RATES WHEN HYDRO-SEEDING IS USED. HYDROMULCH SHALL BE EQUAL TO COMBED 2000 AND APPLIED AT THE RATE OF 1,400 LBS. PER ACRE.
- CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SEEDED AREAS UNTIL SATISFACTORY GROWTH AS DETERMINED BY THE OWNER. REPLANT BARE AND REPAIR ERODED AREAS UNTIL END OF MAINTENANCE PERIOD.



1 SHRUB & GROUND COVER PLANTING DETAIL

Not to Scale



POND BENCH PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
18	Calamagrostis canadensis	Canada Bluejoint	ONE YR GROWTH	2" POT	3' O.C.
18	Carex stricta	Tussock Sedge	ONE YR GROWTH	2" POT	3' O.C.
18	Juncus effusus	Soft Rush	ONE YR GROWTH	2" POT	3' O.C.
18	Leersia oryzoides	Rice Cutgrass	ONE YR GROWTH	2" POT	3' O.C.
18	Mimulus ringens	Monkey-flower	ONE YR GROWTH	2" POT	3' O.C.
18	Sagittaria latifolia	Northern Arrowhead	ONE YR GROWTH	2" POT	3' O.C.
18	Scirpus cyperinus	Wool Grass	ONE YR GROWTH	2" POT	3' O.C.
18	Scirpus pungens	Common Three-Square	ONE YR GROWTH	2" POT	3' O.C.
18	Scirpus validus	Soft-stem Bulrush	ONE YR GROWTH	2" POT	3' O.C.
18	Sparganium erucarpum	Giant Burreed	ONE YR GROWTH	2" POT	3' O.C.
18	Verbena hastata	Blue Vervain	ONE YR GROWTH	2" POT	3' O.C.

PROPERTY OWNER:

FOUR WOODS LLC
C/O JOHN I WOODCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

REFERENCES:

- PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY, 67 KENNEDY ROAD & 352 SULLIVAN AVENUE, SOUTH WINDSOR, CONNECTICUT" DATED 9/20/2021, PREPARED BY DESIGN PROFESSIONALS, INC.
- REFER TO TOWN OF SOUTH WINDSOR CONNECTICUT PLAN FOR RECONSTRUCTION OF KENNEDY ROAD PREPARED BY WMC CONSULTING ENGINEERS, 87 HOLMES ROAD, NEWINGTON, CT 06111, DATED 08/12/22.

LANDSCAPE PLAN NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.
- THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY.
- REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

PREPARED FOR
Scannell Properties #644, LLC
294 Grove Lane East
Suite 140
Wayzata, MN 55391
763-331-8851 T

PROJECT NO.
4670
DATE
9/22/2023
DESIGN BY
DJI
DRAWN BY
DJI
CHECKED BY
JL

REVISIONS
NO. DATE BY

LANDSCAPE PLAN
DETAILS & NOTES
SHEET
C-LS1
SHEET 8 OF 10

SCALE: 0' 20' 40' 80'
T = 40'

KENNEDY ROAD
CUL-DE-SAC
KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT 06074
GIS NO. 4980068

design
Professionals
CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS
PLANNERS / LANDSCAPE ARCHITECTS
21 EBBEY DRIVE
P.O. BOX 167
SOUTH WINDSOR, CT 06074
860-291-8737 - F
www.designprofessionals.com

Copyright © 2022 Design Professionals, Inc. - All Rights Reserved

- At least two (2) business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to same.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the relevant utility companies or governmental agencies. From parcel testimony, and from other sources. These locations may be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all construction activities and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

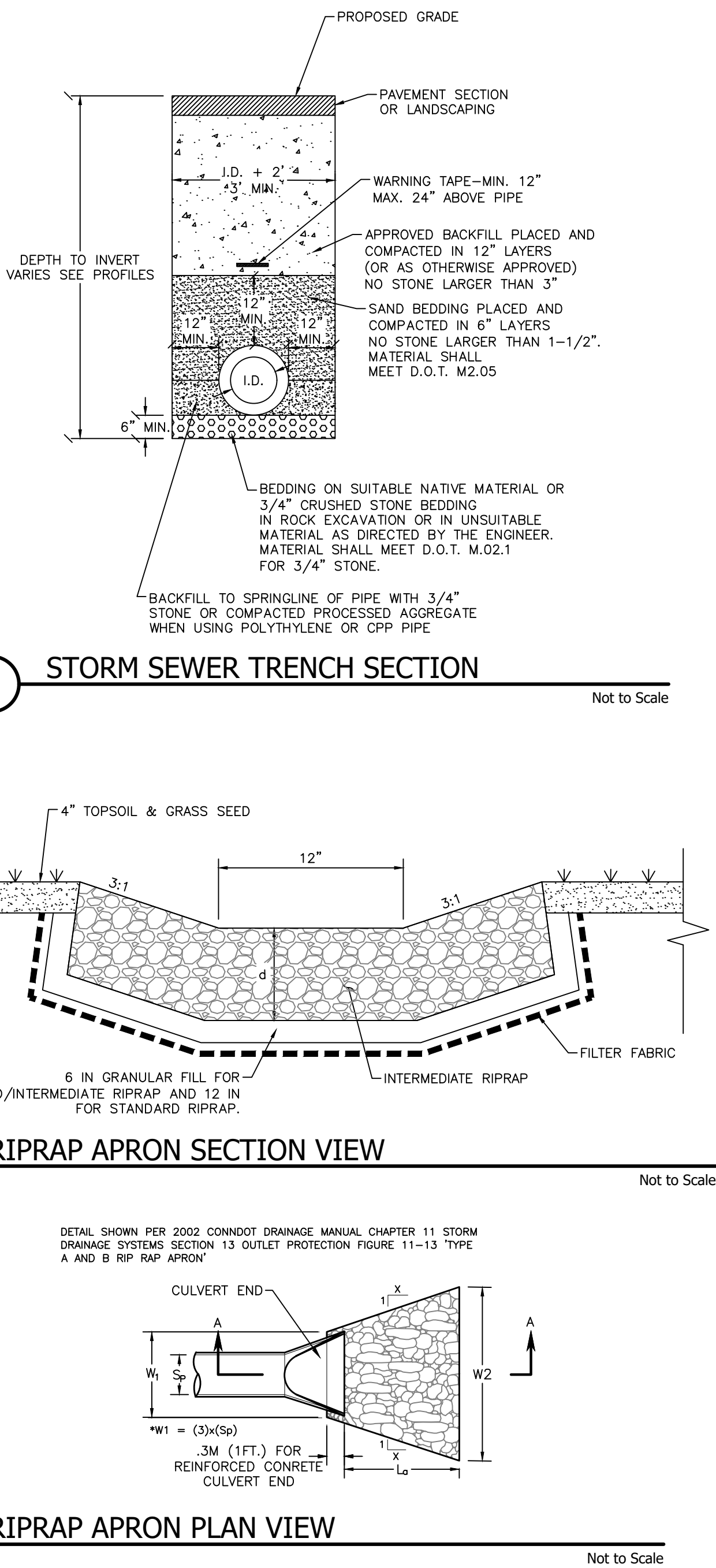
- Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with slit tight joints.
- High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for slit tight joints.
- Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
34. Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
35. Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
36. Sewers crossing streams and/or location within 10 feet of the stream, embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe between water crossings so both joints will be as far from the water line as possible. Where a local main crosses under a sewer, adequate structural support for the sewer must be provided.
37. Contractor's price for water service must include all fees, costs and appearances provided by the utility to provide full and complete working service.

- ## AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR
- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
 - Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
 - Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
 - Landings shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
 - Curb ramps—shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
 - The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

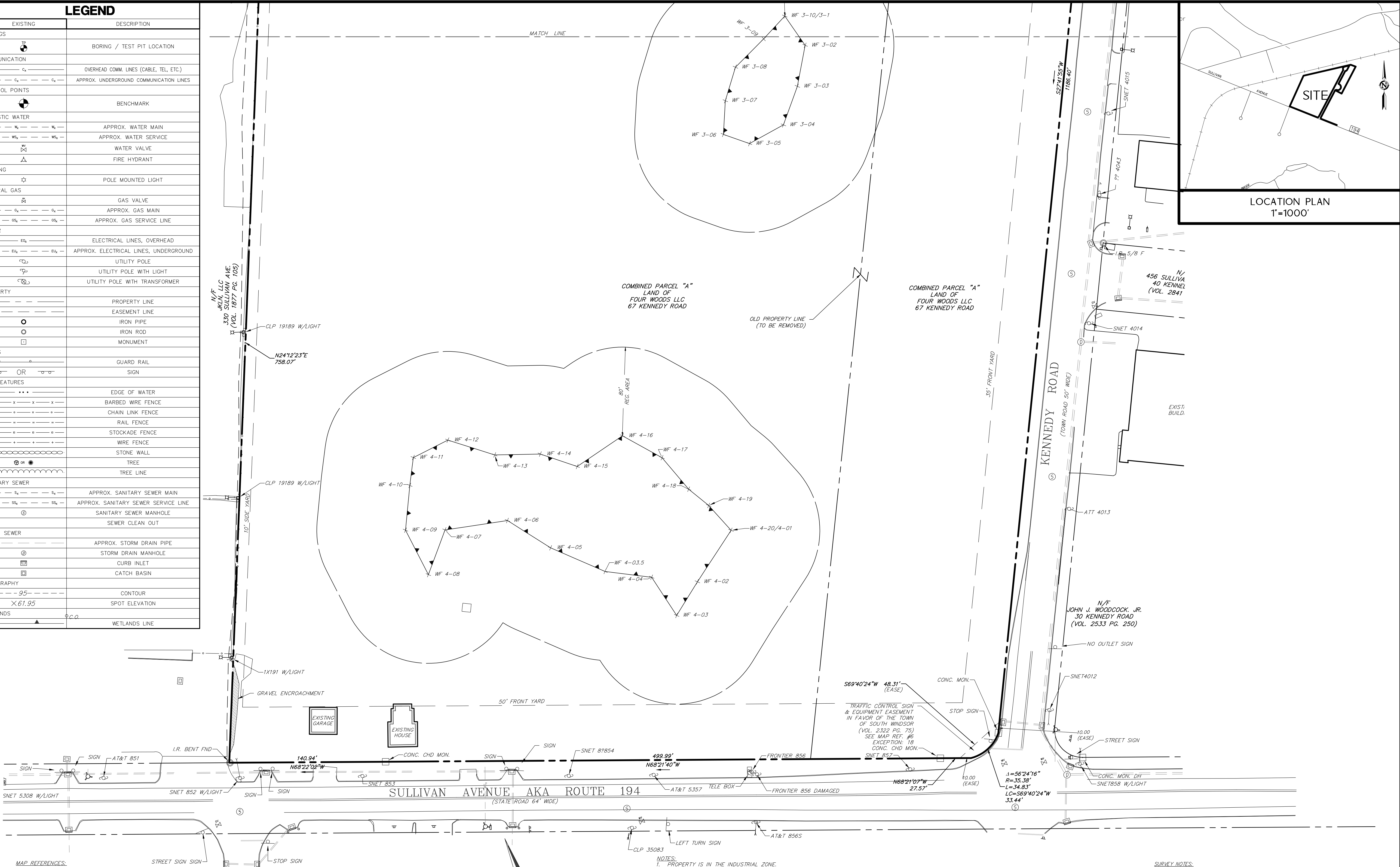
FOUR WOODS LLC
C/O JOHN J WILDCOCK III
89 SADDLEBACK DRIVE
SOUTH WINDSOR, CT 06074
APPLICANT:
SCANNELL PROPERTIES #644, LLC
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391
(763) 331-8851

[illegible]

4 Not to



LEGEND	
EXISTING	DESCRIPTION
BORINGS	
	BORING / TEST PIT LOCATION
COMMUNICATION	
	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
	APPROX. UNDERGROUND COMMUNICATION LINES
CONTROL POINTS	
	BENCHMARK
DOMESTIC WATER	
	APPROX. WATER MAIN
	APPROX. WATER SERVICE
	WATER VALVE
	FIRE HYDRANT
LIGHTING	
	POLE MOUNTED LIGHT
NATURAL GAS	
	GAS VALVE
	APPROX. GAS MAIN
	APPROX. GAS SERVICE LINE
POWER	
	ELECTRICAL LINES, OVERHEAD
	APPROX. ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
	UTILITY POLE WITH LIGHT
	UTILITY POLE WITH TRANSFORMER
PROPERTY	
	PROPERTY LINE
	EASEMENT LINE
	IRON PIPE
	IRON ROD
	MONUMENT
ROADS	
	GUARD RAIL
	SIGN
SITE FEATURES	
	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	STONE WALL
	TREE
	TREE LINE
SANITARY SEWER	
	APPROX. SANITARY SEWER MAIN
	APPROX. SANITARY SEWER SERVICE LINE
	SANITARY SEWER MANHOLE
	SEWER CLEAN OUT
STORM SEWER	
	APPROX. STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY	
	CONTOUR
	SPOT ELEVATION
WETLANDS	
	WETLANDS LINE



MAP REFERENCES:

- PROPERTY AND TOPOGRAPHIC SURVEY LAND OF FOUR WOODS LLC., 67 & 68 KENNEDY ROAD AND 352 SULLIVAN AVENUE PREPARED FOR DANIEL MADRIGAL SCANNELL PROPERTIES, SOUTH WINDSOR, CONNECTICUT, SCALE: 1"=40', DATE: 09-20-21, REVISED ON 02-09-22. PREPARED BY DESIGN PROFESSIONALS, INC

EASEMENT NUMBER	GRANTOR	GRANTEE	TYPE OF EASEMENT	DATE FILED	VOL/PG
1	AHERN BROTHERS, INC.	THE NORTHERN CONNECTICUT POWER COMPANY	ELECTRIC	3/18/1933	32 / 96
2	AHERN BROTHERS, INC.	THE NORTHERN CONNECTICUT POWER COMPANY	ELECTRIC	3/18/1933	32 / 108
3	AHERN BROTHERS, INC.	THE NORTHERN CONNECTICUT POWER COMPANY	ELECTRIC	3/18/1933	32 / 113
4	JOHN J. WOODCOCK, JR.	TOWN OF SOUTH WINDSOR	DRAINAGE	4/6/1965	107 / 158
5	FOUR WOODS, LLC	TOWN OF SOUTH WINDSOR	TRAFFIC CONTROL SIGN & EQUIPMENT	3/1/2013	2322 / 75

NOTES:

- PROPERTY IS IN THE INDUSTRIAL ZONE.
- #67 KENNEDY ROAD & 352 SULLIVAN AVENUE CONTAIN 740,055 SQUARE FEET OR 16.989 ACRES.
- #68 KENNEDY ROAD CONTAINS 105,480 SQUARE FEET OR 2.421 ACRES.
- LAND OWNED BY JOHN WOODCOCK CONTAINS 3,592 SQUARE FEET OR 0.08 ACRES.
- HORIZONTAL DATUM IS BASED ON NAD83.
- BUILDINGS ON COMBINED PARCEL "A" ARE EXISTING NON-CONFORMING TO FRONT YARD SETBACKS.
- PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 0903303377: TOWN OF SOUTH WINDSOR CONNECTICUT EFFECTIVE DATE: 9-26-2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPINGS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.
- FENCE ALONG WESTERLY PROPERTY LINE ON LAND OF IKLN, LLC IS IN POOR CONDITION. THE LINE DEPICTED HEREON IS ALONG THE BASE OF THE EXISTING FENCE. THE TOP OF THE FENCE LEANS WESTERLY 1-4 FEET ONTO LAND OF FOUR WOODS LLC.
- INLAND WETLANDS DEPICTED HEREON WERE FIELD DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION ON 8/17/21 AND WERE FIELD LOCATED BY DESIGN PROFESSIONALS, INC.

SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON THE REFERENCED MAP.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

16766
BARRY D. CLARKE, L.S.
LIC. NO.

21 JEFFREY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-294-9757 - F
www.designprofessionalsinc.com

design professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:
DANIEL MADRIGAL
SCANNELL PROPERTIES
294 GROVE LANE EAST
SUITE 140
WAYZATA, MN 55391

PROJECT NO:
4670
DATE:
9-22-23
DESIGN BY:
DATE:
DRAWN BY:
DATE:
CHECKED BY:
DATE:
LEG:

**RESUBDIVISION PLAN
LAND OF
FOUR WOODS LLC**
352 SULLIVAN AVE. 67 & 68 KENNEDY ROAD
SOUTH WINDSOR, CONNECTICUT

NO. DATE REVISIONS BY

PROPERTY SURVEY

SCALE: 0 20' 40' 80'
1" = 40'

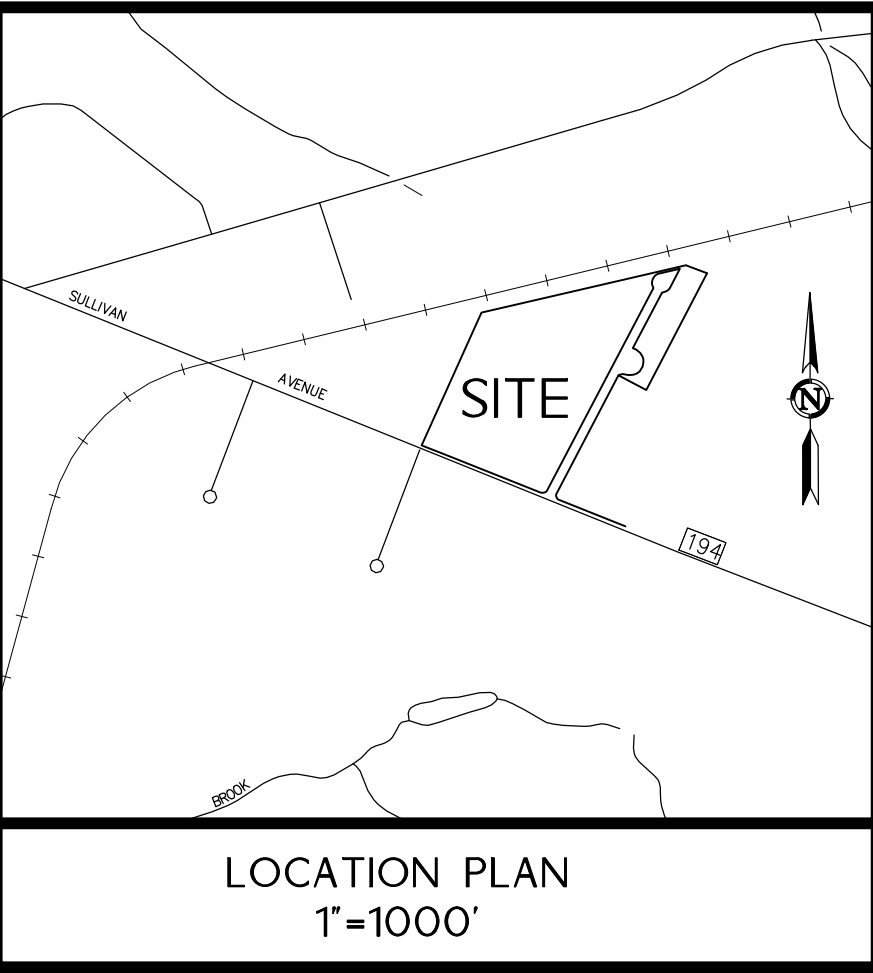
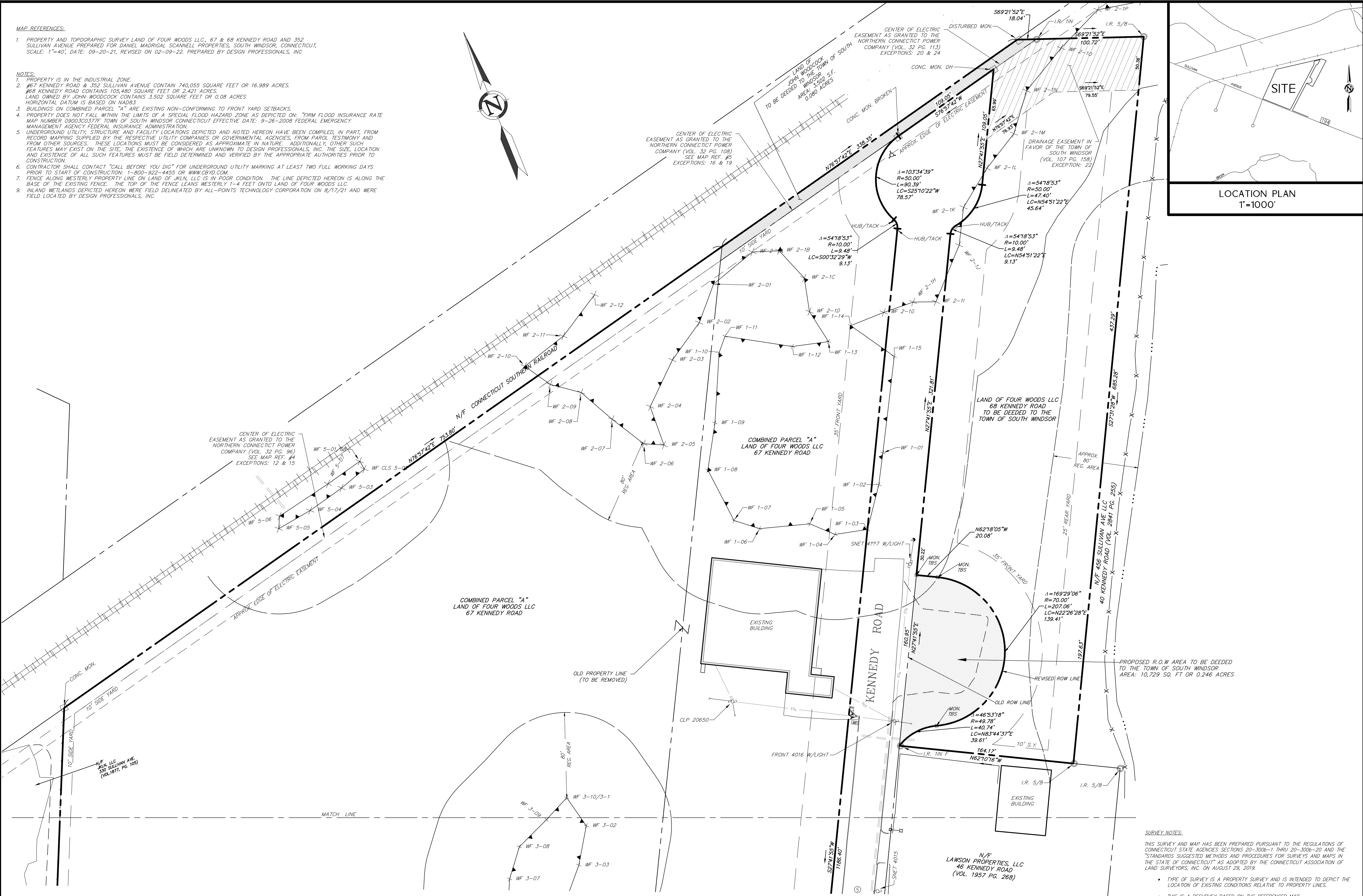
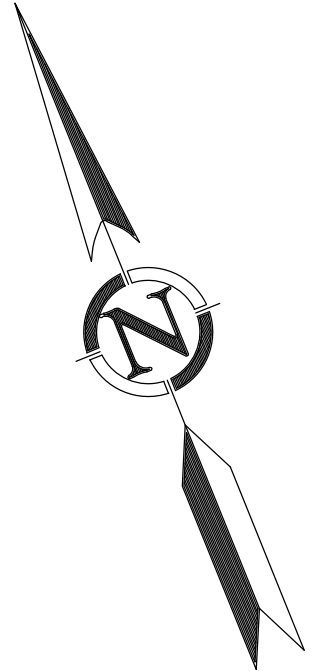
SHEET
RS-1

MAP REFERENCES:

- PROPERTY AND TOPOGRAPHIC SURVEY LAND OF FOUR WOODS LLC., 67 & 68 KENNEDY ROAD AND 352 SULLIVAN AVENUE PREPARED FOR DANIEL MADRIGAL SCANNELL PROPERTIES, SOUTH WINDSOR, CONNECTICUT, SCALE: 1"=40', DATE: 09-20-21, REVISED ON 02-09-22. PREPARED BY DESIGN PROFESSIONALS, INC.

NOTES:

- PROPERTY IS IN THE INDUSTRIAL ZONE.
- #67 KENNEDY ROAD & 352 SULLIVAN AVENUE CONTAIN 740,055 SQUARE FEET OR 16.989 ACRES. #68 KENNEDY ROAD CONTAINS 105,480 SQUARE FEET OR 2.421 ACRES. LAND OWNED BY JOHN WOODCOCK CONTAINS 3,502 SQUARE FEET OR 0.08 ACRES. HORIZONTAL DATUM IS BASED ON NAD83.
- BUILDINGS ON COMBINED PARCEL "A" ARE EXISTING NON-CONFORMING TO FRONT YARD SETBACKS.
- PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 0803300377T TOWN OF SOUTH WINDSOR CONNECTICUT EFFECTIVE DATE: 9-26-2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION."
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.
- FENCE ALONG WESTERLY PROPERTY LINE ON LAND OF JKL, LLC IS IN POOR CONDITION. THE LINE DEPICTED HEREON IS ALONG THE BASE OF THE EXISTING FENCE. THE TOP OF THE FENCE LEANS WESTERLY 1-4 FEET ONTO LAND OF FOUR WOODS LLC.
- INLAND WETLANDS DEPICTED HEREON WERE FIELD DELINEATED BY ALL-POINTS TECHNOLOGY CORPORATION ON 8/17/21 AND WERE FIELD LOCATED BY DESIGN PROFESSIONALS, INC.



SURVEY NOTES:

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS A RESURVEY BASED ON THE REFERENCED MAP.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

SEE SHEET V-1
FOR LEGEND

16766
LIC. NO.

BARRY D. CLARKE, L.S.

PROPERTY SURVEY RS-2	SHEET		SCALE: 0' 20' 40' 80' 1" = 40'	
	REVISIONS			
	NO.	DATE	BY	
RESUBDIVISION PLAN		PREPARED FOR:		design professionals CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS GIS ANALYSTS / LANDSCAPE ARCHITECTS www.designprofessionalsinc.com 21 JEFFERY DRIVE P.O. BOX 1167 SOUTH WINDSOR, CT 06074 860-291-9757 - F 860-291-9757 - C
LAND OF		DANIEL MADRIGAL		
FOUR WOODS LLC		SCANNELL PROPERTIES		
352 SULLIVAN AVE. 67 & 68 KENNEDY ROAD		294 GROVE LANE EAST		PROJECT NO: 4670 DESIGN BY: 9-22-23 CHECKED BY: BARRY D. CLARKE DATE: 9-22-23 LIC.
SOUTH WINDSOR, CONNECTICUT		SUITE 140		
		WAYZATA, MN 55391		