## **GENERAL NOTES**

- 1. REFERENCES ARE MADE TO THE FOLLOWING MAPS:
  - A. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON AN A-2 / T-2 SURVEY PREPARED BY SLR INTERNATIONAL CORPORATION, ENTITLED "TOPOGRAPHIC SURVEY". DATED: OCTOBER 19, 2021 AT A
  - B. "SITE PLAN OF DEVELOPMENT FOR PEOPLESBANK, CEDAR AVE AND BUCKLAND RD, SOUTH WINDSOR CONNECTICUT", DATED: JANUARY 18, 2022, SCALE: 1"=30', PREPARED BY: SLR INTERNATIONAL
- 2. HORIZONTAL DATUM: NAD 1983, VERTICAL DATUM: NAVD 1988.
- 3. INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION, MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG", 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- 4. SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- 5. ALL UTILITY SERVICES ARE TO BE UNDERGROUND. EXCEPT WHERE OVERHEAD PIPE BRIDGES CONNECT BETWEEN BUILDINGS. THE EXACT LOCATION AND SIZE OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL
- 8. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 6" TOPSOIL, AND BE SEEDED WITH GRASS OR SODDED, AS SHOWN ON THE PLANS.
- 9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- 10. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF SOUTH WINDSOR REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM
- 11. THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- 12. ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- 13. THE BUILDING IS TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
- 14. COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE
- 15. THE PROPERTY OWNER MUST MAINTAIN (REPAIR/REPLACE WHEN NECESSARY) THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- 16. PLANS PREPARED FOR REGULATORY APPROVAL ONLY.

| ZONING DATA TABLE                       |  |                    |           |  |  |  |
|---|--|--------------------|-----------|--|--|--|
| ZONE                                    | GD   |                    |           |  |  |  |
| SITE USE                                | RESTAURANT - FAST CASUAL, RETAIL, BANK (PREVIOUSLY APPROVED)   |                    |           |  |  |  |
|   | REQUIRED   | EXISTING -<br>BANK | PROPOSED  |  |  |  |
| MIN LOT AREA                            | 3 acres  | 5.779 ACRES        | NO CHANGE |  |  |  |
| MIN FRONTAGE                            | 200'   | 520'               | NO CHANGE |  |  |  |
| MIN LOT DEPTH                           | 200'   | 440'               | NO CHANGE |  |  |  |
| MIN FRONT SETBACK                       | 65'  | 98.2'              | 66'       |  |  |  |
| MIN SIDE SETBACK <sup>1</sup>           | 25'  | 31.7'              | NO CHANGE |  |  |  |
| MIN REAR SETBACK <sup>1</sup>           | 10'  | >10'               | NO CHANGE |  |  |  |
| MAX IMPERVIOUS<br>COVERAGE <sup>2</sup> | 60%  | 15.6%              | 55%       |  |  |  |
| Max building height <sup>3</sup>        | 60 FEET/4 STORIES FOR ANY BUILDING THAT IS AT LEAST 125 FEET FROM A PUBLIC STREET RIGHT-OF-WAY 30 FEET/2 STORIES FOR ANY BUILDING LOCATED WITHIN 125 FEET OF THE PUBLIC STREET RIGHT-OF-WAY  | ±20'               | ±20.7'    |  |  |  |
| PARKING GENERATION                      | FINANCIAL: 1 SPACE PER 250 SQ. FT. OF GFA PLUS 1 PER EMPLOYEE (1/250*2,000 + 4 = 12)  RESTAURANT: 1 SPACE PER 50 SQ. FT. OF GFA (1/50*(2,325+5,000+2400) = 195)  RETAIL: 1 SPACE 200 SQ.FT. OF GFA (1/200*1000 = 5)  TOTAL REQUIRED = 212 * 0.9 <sup>5</sup> = 191 |                    | 191       |  |  |  |
| EVSE PARKING SPACES <sup>4</sup>        | -NONE REQUIRED FOR 1-15 SPACES -FOR > 16 SPACES, PROVIDE 3% OF PARKING TOTAL (ROUNDED UP) FOR APPLICATIONS BETWEEN 2012-2023 = 0.03*191 <sup>5</sup> = 6 SPACES  | 2                  | 6         |  |  |  |
| LANDSCAPING                             | SEE NOTE 3   |                    |           |  |  |  |

I. SIDE OR REAR YARDS MAY BE IGNORED ALONG COMMON BOUNDARIES OF CONSOLIDATED LOTS. (ZONING REGULATION

- 2. REFLECTS FULL BUILD-OUT CONDITIONS APPROVED MARCH 15, 2022
- 3. SEE LAYOUT AND LANDSCAPING PLAN SHEET LA FOR LANDSCAPING COMPLIANCE
- 4. DISTANCE MEASURED FROM THE AVERAGE FINISHED GRADE WITHIN 10 FEET OF THE WALLS TO THE MEAN LEVEL BETWEEN TH EAVES AND RIDGE FOR GABLE, HIP OR GAMBREL ROOFS.
- 5. A MODIFICATION/REDUCTION OF 10% OF THE REQUIRED PARKING MEETING SECTION 6.4.9 OF THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS REQUESTED.



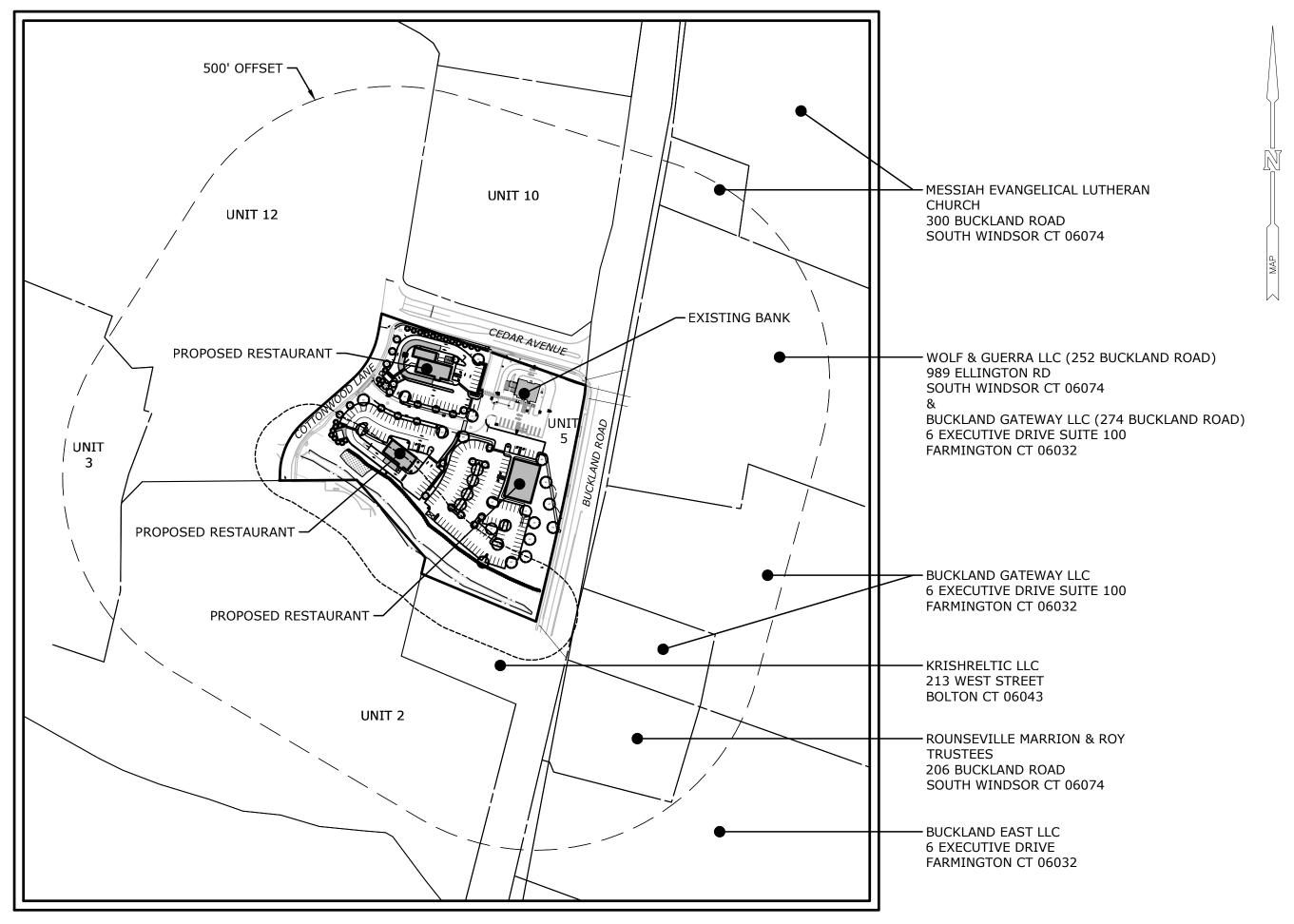
# PROPOSED RESTAURANTS

# CEDAR AVENUE AND BUCKLAND ROAD SOUTH WINDSOR, CONNECTICUT

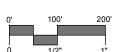
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JULY 12, 2023 REVISED: AUGUST 7, 2023

REVISED: SEPTEMBER 18, 2023



## **KEY MAP/PROJECT SITE VICINITY MAP:**

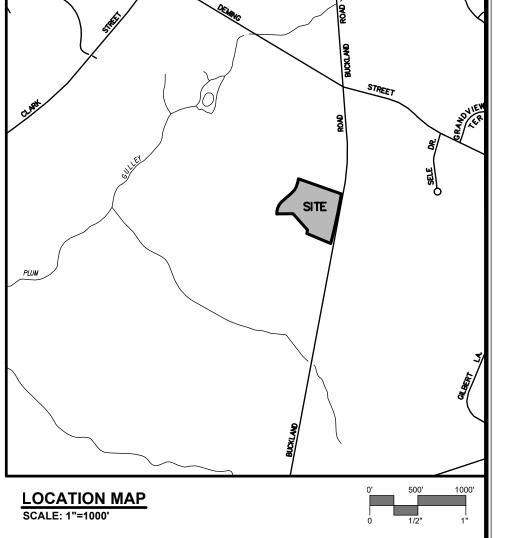


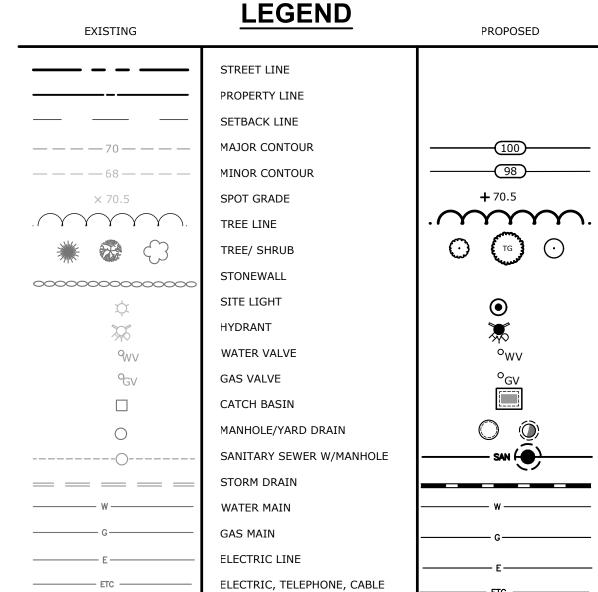
## OWNER/APPLICANT:

O'EVERGREEN, LLC 800 KELLY WAY HOLYOKE, MA 01040



| 01 | TITLE | TITLE SHEET                          |
|----|-------|--------------------------------------|
| 02 | EX    | EXISTING CONDITIONS                  |
| 03 | LA    | SITE PLAN - LAYOUT & LANDSCAPING     |
| 04 | GU    | SITE PLAN - GRADING & UTILITIES      |
| 05 | SE    | SEDIMENT AND EROSION CONTROL PLAN    |
| 06 | SE-2  | SEDIMENT AND EROSION CONTROL DETAILS |
| 07 | SD-1  | SITE DETAILS                         |
| 80 | SD-2  | SITE DETAILS                         |
| 09 | SD-3  | SITE DETAILS                         |
| 10 | SD-4  | SITE DETAILS                         |
|    |       |                                      |





UTILITY POLE TRAFFIC SIGN

IRON PIPE

MONUMENT

**GUARD RAIL** 

CHAIN LINK FENCE

WATERCOURSE

WETLAND

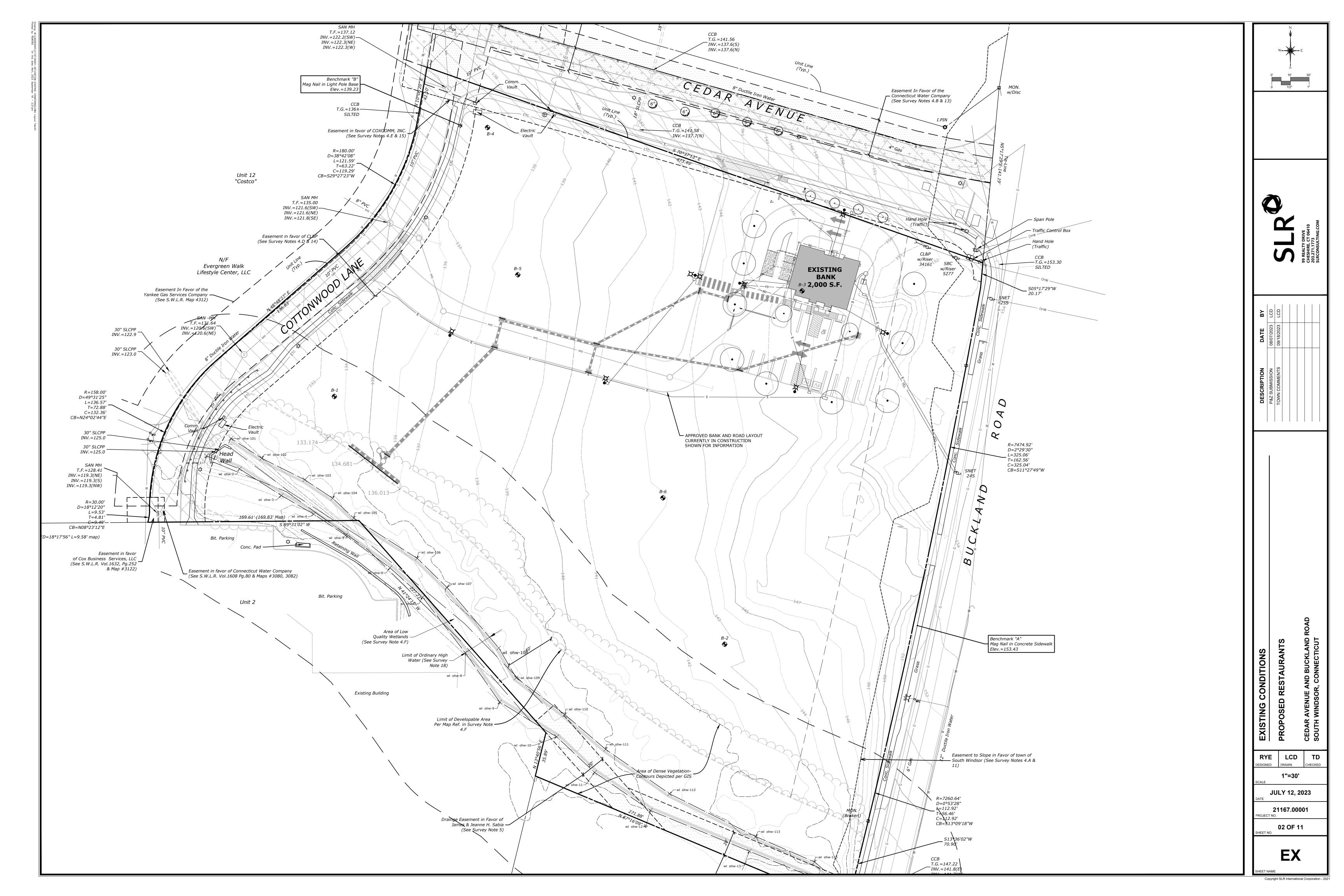
EDGE OF PAVEMENT W/CURB

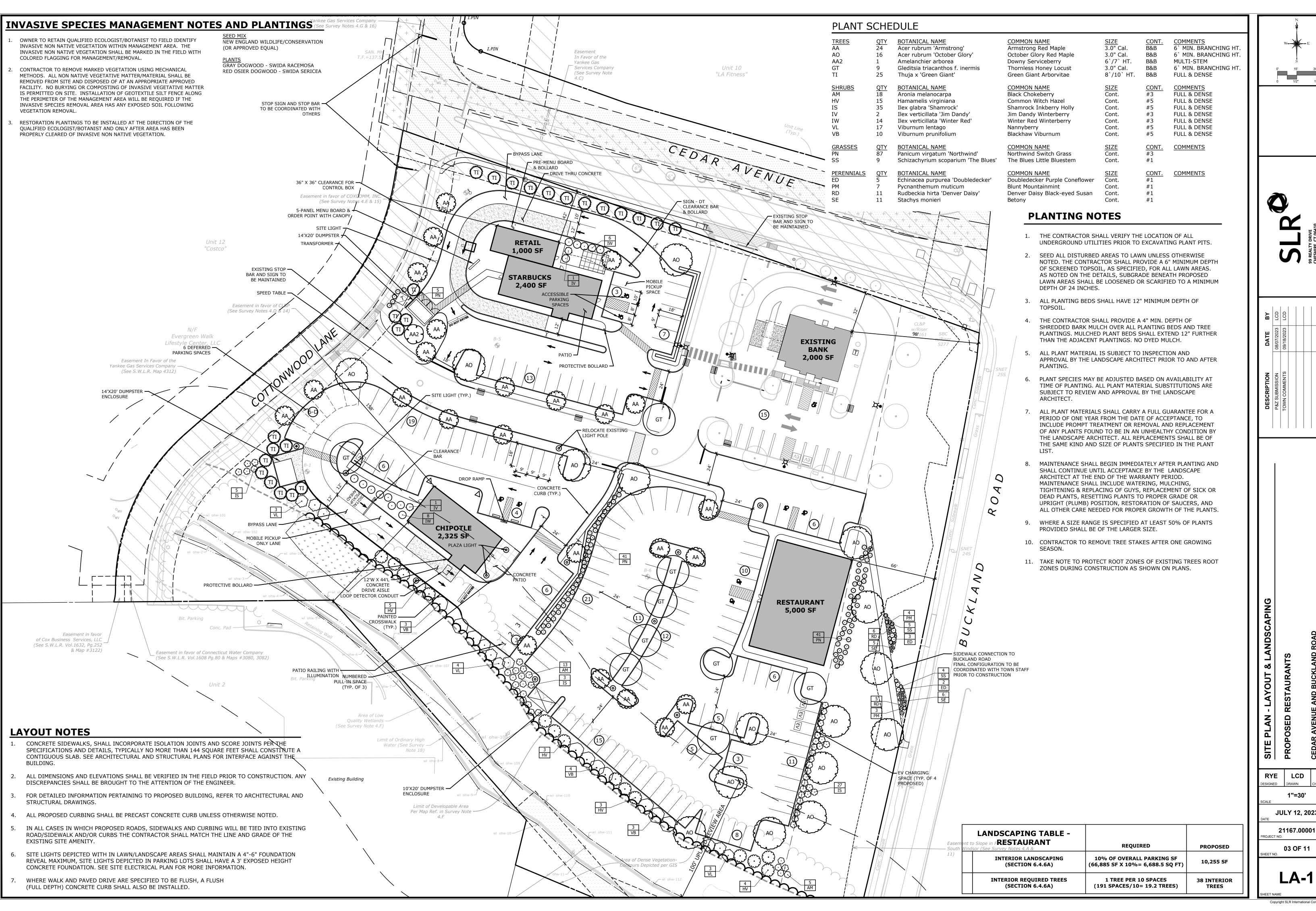
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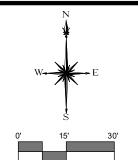
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| 09 | SD-3  | SITE DETAILS                         |
| 10 | SD-4  | SITE DETAILS                         |
| 11 | SD-5  | SITE DETAILS                         |



PREPARED BY:

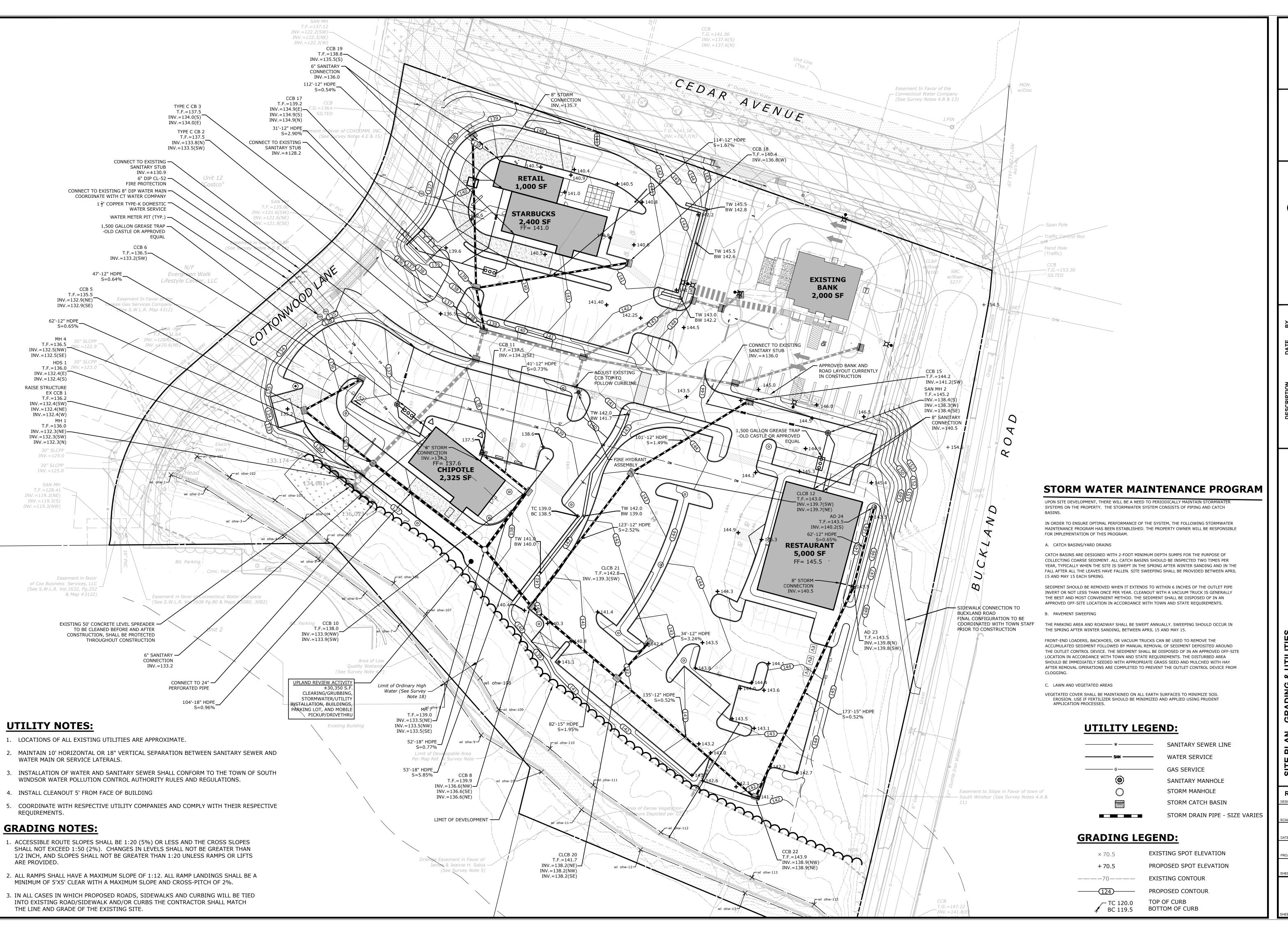


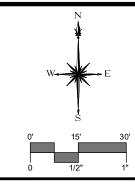




RYE | LCD | TD 1"=30" **JULY 12, 2023** 

03 OF 11







|             |                | ı             | ı |  | ı | ı |
|-------------|----------------|---------------|---|--|---|---|
| ΒY          | CCD            | ГС            |   |  |   |   |
| DATE        | 08/07/2023     | 09/18/2023    |   |  |   |   |
| DESCRIPTION | P&Z SUBMISSION | TOWN COMMENTS |   |  |   |   |

SED RESTAURANTS

RYE LCD TD
DESIGNED DRAWN CHECKED

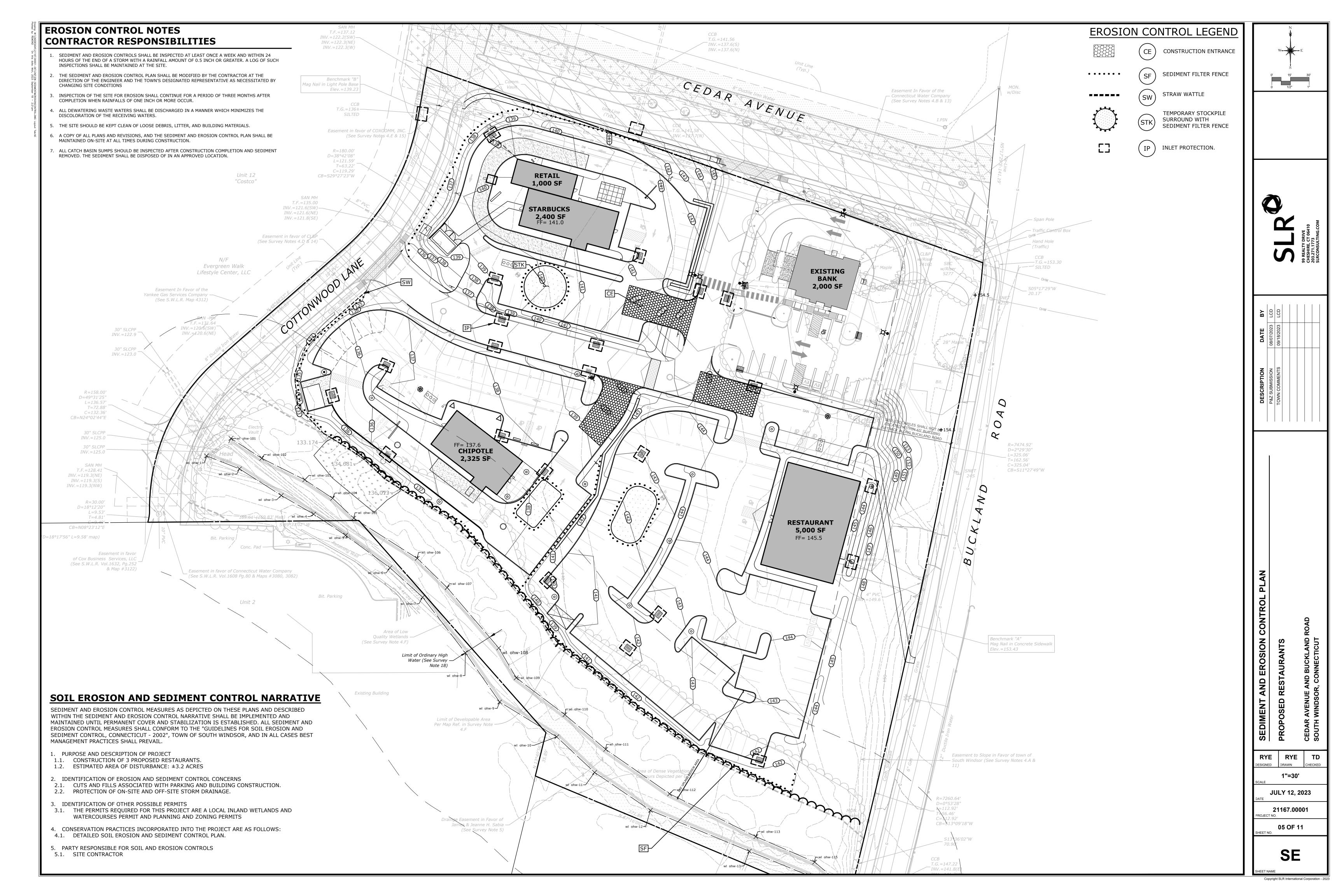
1"=30' ------ULY 12, 2023

JULY 12, 2023

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THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION, AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT.

IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATER BODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INSOFAR AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES, AND WATER BODIES, AND TO PREVENT, INSOFAR AS POSSIBLE, EROSION ON THE SITE.

#### LAND GRADING

- THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES, SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
- a. THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- b. THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL
- TO FOUR VERTICAL (1:4). PROVISION SHOULD BE MADE TO CONDUCT SURFACE WATER SAFELY TO STORM
- DRAINS TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL
- e. EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING, OR CRACKING.
- NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSES, OR WATER
- PRIOR TO ANY REGRADING, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.

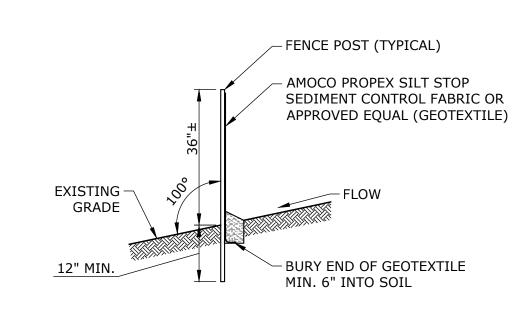
### **TOPSOIL**

- TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH, AND MAINTENANCE OF VEGETATION.
- 2. UPON ATTAINING FINAL SUBGRADES, SCARIFY SURFACE TO PROVIDE A GOOD BOND WITH TOPSOIL.
- REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS AND CONSTRUCTION DEBRIS.
- APPLY LIME ACCORDING TO SOIL TEST OR AT THE RATE OF TWO (2) TONS PER ACRE. MATERIAL: 1. TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
- TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE. 3. TOPSOIL SHOULD BE RELATIVELY FREE OF SUBSOIL MATERIAL AND MUST BE FREE OF STONES LARGER THAN 1.25", LUMPS OF SOIL, ROOTS, TREE LIMBS, TRASH, OR CONSTRUCTION DEBRIS. IT SHOULD BE FREE OF ROOTS OR RHIZOMES SUCH AS THISTLE, NUTGRASS. AND OUACKGRASS.
- AN ORGANIC MATTER CONTENT OF SIX PERCENT (6%) IS REQUIRED. AVOID LIGHT COLORED SUBSOIL MATERIAL. SUITABLE. AVOID TIDAL MARSH SOILS BECAUSE OF HIGH
- SOLUBLE SALT CONTENT OF OVER 500 PARTS PER MILLION (PPM) IS LESS 6. THE pH SHOULD BE 5.5 TO 7 IF LESS, ADD LIME TO INCREASE pH TO AN ACCEPTABLE LEVEL.

## **EXECUTION**

1. AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.

SPREAD TOPSOIL UNIFORMLY TO A DEPTH OF AT LEAST SIX INCHES (6"), OR TO THE DEPTH SHOWN ON THE LANDSCAPING PLANS.



# SEDIMENT FILTER FENCE

#### **VEGETATIVE COVER SELECTION AND MULCHING**

TEMPORARY VEGETATIVE COVER:

PERENNIAL RYEGRASS 5 LBS./1,000 SQ.FT. (LOLIUM PERENNE)

\* PERMANENT VEGETATIVE COVER: SEE SPECIFICATIONS

#### TEMPORARY MULCHING:

CLEAN DRY STRAW OR HAY FREE OF WEEDS WITH A MULCH TACKIFIER 70-90 LBS./1,000 SQ.FT. (TEMPORARY VEGETATIVE AREAS)

#### WOOD FIBER IN HYDROMULCH SLURRY 25-50 LBS./1,000 SQ. FT.

- 1. SMOOTH AND FIRM SEEDBED WITH CULTIPACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
- 2. SELECT ADAPTED SEED MIXTURE FOR THE SPECIFIC SITUATION. NOTE RATES AND THE SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING SPEC. ABOVE).
- 3. APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED, BY BROADCASTING, DRILLING, OR
- 4. COVER GRASS AND LEGUME SEED WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
- MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO TEMPORARY MULCHING
- SPECIFICATIONS. (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION ABOVE). 6. USE PROPER INOCULANT ON ALL LEGUME SEEDINGS, USE FOUR (4) TIMES NORMAL RATES
- WHEN HYDROSEEDING.
- 7. USE SOD WHERE THERE IS A HEAVY CONCENTRATION OF WATER AND IN CRITICAL AREAS WHERE IT IS IMPORTANT TO GET A QUICK VEGETATIVE COVER TO PREVENT EROSION.

#### **MAINTENANCE**

- 1. TEST FOR SOIL ACIDITY EVERY THREE (3) YEARS AND LIME AS REQUIRED.
- 2. ON SITES WHERE GRASSES PREDOMINATE, BROADCAST ANNUALLY 500 POUNDS OF 10-10-10 FERTILIZER PER ACRE (12 LBS. PER 1,000 SQ. FT.) OR AS NEEDED ACCORDING TO ANNUAL SOIL
- 3. ON SITES WHERE LEGUMES PREDOMINATE, BROADCAST EVERY THREE (3) YEARS OR AS INDICATED BY SOIL TEST 300 POUNDS OF 0-20-20 OR EQUIVALENT PER ACRE (8 LBS PER 1,000

#### **EROSION CHECKS**

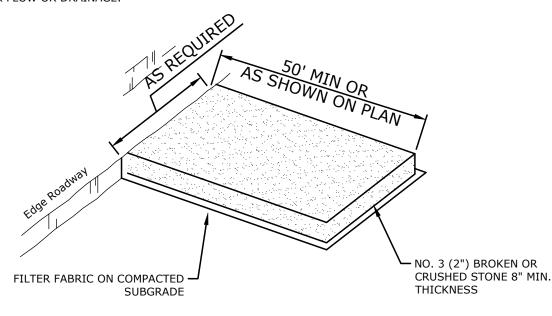
TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW, HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND OR GEOTEXTILE FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

#### CONSTRUCTION:

- 1. BALES SHOULD BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- 2. EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (6") INCHES.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- 4. GEOTEXTILE FABRIC SHALL BE SECURELY ANCHORED AT THE TOP OF A THREE FOOT (3') HIGH FENCE AND BURIED A MINIMUM OF SIX INCHES (6") TO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO FEET (2').

#### INSTALLATION AND MAINTENANCE:

- 1. BALED HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
- BALED HAY EROSION BARRIERS AND GEOTEXTILE FENCE SHALL BE INSTALLED AT THE LOCATION INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DEEMED APPROPRIATE DURING
- 3. ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
- INSPECTION SHALL BE FREQUENT (PER TABLE BELOW) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM WATER FLOW OR DRAINAGE.



NOTE: CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED DURING OPERATIONS WHICH PROMOTE VEHICULAR TRACKING OF MUD

## **CONSTRUCTION ENTRANCE PAD**

#### **TEMPORARY VEGETATIVE COVER**

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT, AREAS WHERE FINAL GRADING HAS BEEN COMPLETED, AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED IF AREAS WILL NOT BE PERMANENTLY SEEDED BY SEPTEMBER 1.

#### GENERAL:

- 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- 2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- 3. APPLY LIME ACCORDING TO SOIL TEST OR AT A RATE OF TWO (2) TON OF GROUND DOLOMITIC LIMESTONE PER ACRE (5 LBS. PER 100 SQ. FT.).
- APPLY FERTILIZER ACCORDING TO SOIL TEST OR AT THE RATE OF 300 LBS. OF 10-10-10 PER ACRE (7 LBS. PER 1,000 SQ. FT.) AND SECOND APPLICATION OF 200 LBS. OF 10-10-10- (5 LBS. PER 1,000 SQ. FT.) WHEN GRASS IS FOUR INCHES (4") TO SIX INCHES (6") HIGH. APPLY ONLY WHEN GRASS IS DRY.
- UNLESS HYDROSEEDED, WORK IN LIME AND FERTILIZER TO A DEPTH OF FOUR (4") INCHES USING A DISK OR ANY SUITABLE EQUIPMENT.
- 6. TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM LOOSE SEEDBED. WORK ON CONTOUR

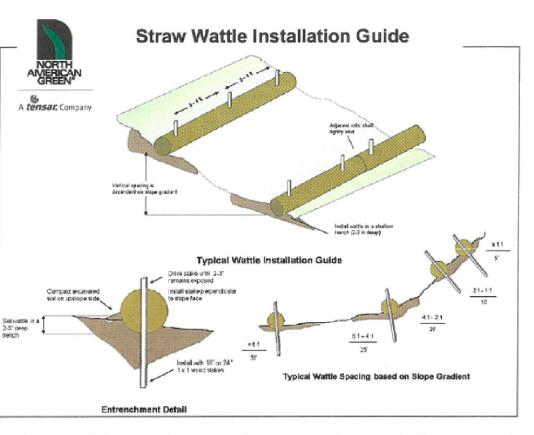
#### SITE PREPARATION:

- 1. SELECT APPROPRIATE SPECIES FOR THE SITUATION. NOTE RATES AND SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING
- APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- UNLESS HYDROSEEDED, COVER RYEGRASS SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL
- 4. MULCH IMMEDIATELY AFTER SEEDING IF REQUIRED. (SEE VEGETATIVE)

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF, AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

## SITE PREPARATION:

- 1. INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- 2. REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- 3. PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
- 4. APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.
- 5. APPLY FERTILIZER ACCORDING TO SOIL TEST OR PER THE TECHNICAL SPECIFICATIONS.



- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE, COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE, ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18-24" (45.7-61 CM) STAKES EVERY 3-4" (0.9 1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" (5-7.5 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

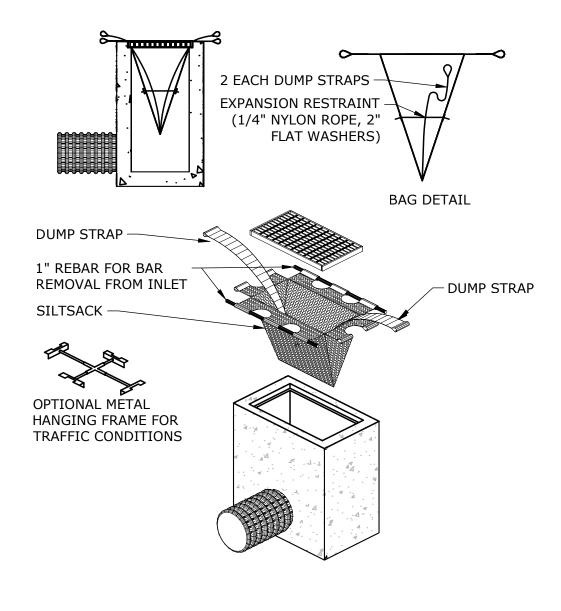
North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.

To maximize sediment containment with the Straw Wattle, place the initial structure at the top/crest of the slope iff significant runoff is expected from above. If no runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downhill from the top/crest of the slope. The final structure should be installed at or just beyond the bottom/toe of the slope. Wattles should be installed perpendicular to the primary direction of overland flow. Straw Wattles are a temporary sediment control device and are not intended to replace rolled erosion control products (RECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches a supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on

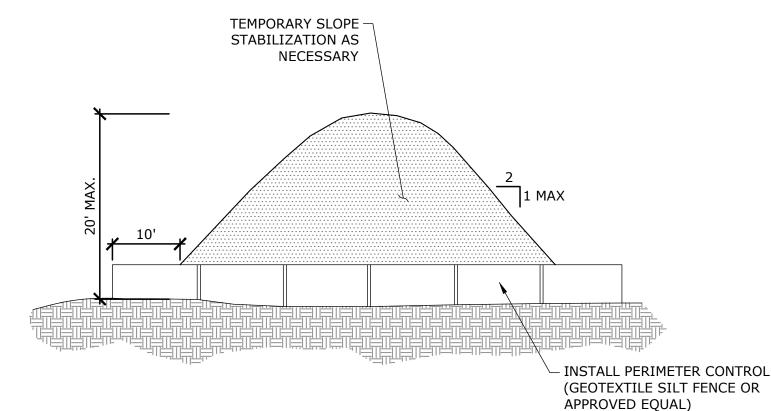
For additional installation assistance, please contact North American Green's Technical Services Department at 1 -800-772-2040 14649 Highway 41 North, Evansville, Indiana 47725 1-800-772-2040 www.nagreen.com

# **STRAW WATTLE**





## TEMPORARY INLET PROTECTION



INSTALL A GEOTEXTILE SILT FENCE AND/OR HAY BALE BARRIER AROUND THE

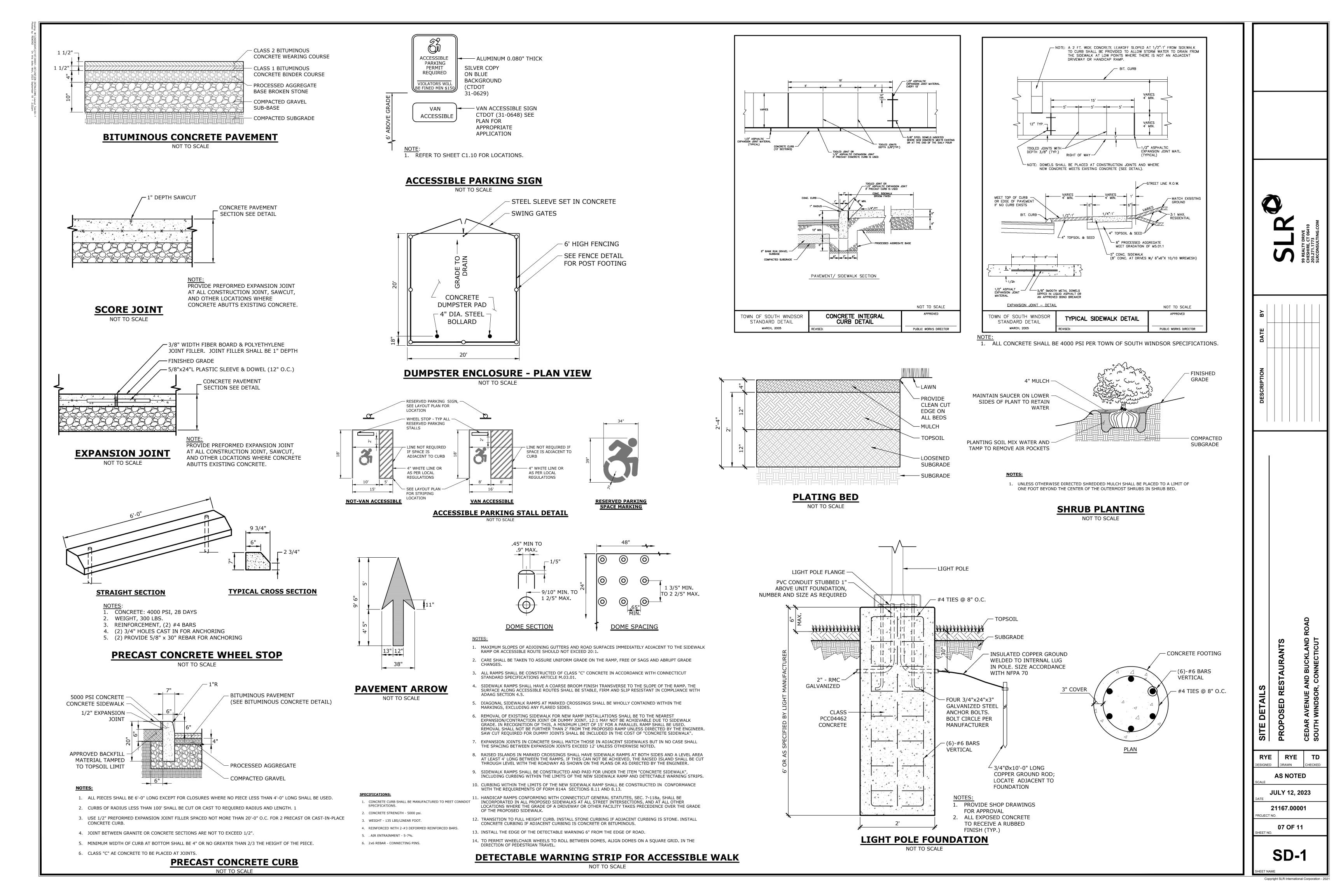
STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE PROPOSED TOE OF SLOPE.

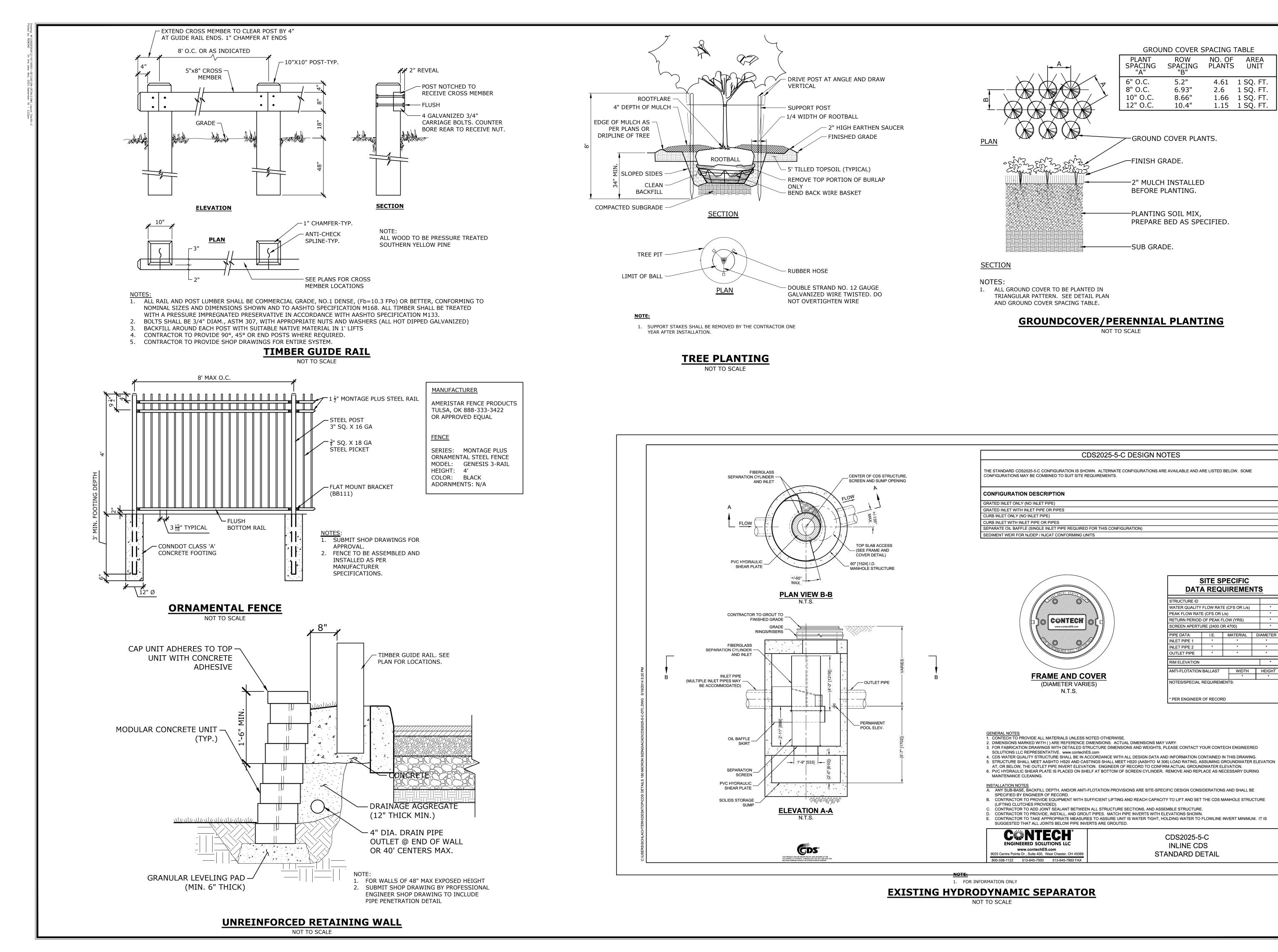
- 2. SIDE SLOPES SHALL NOT EXCEED A SLOPE OF 2:1. STOCKPILES THAT REMAIN INACTIVE FOR MORE THAN 30 DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION
- 3. DISTANCE FROM WETLANDS, WATERCOURSES, DRAINAGE WAYS AND STEEP SLOPES SHALL BE MAXIMIZED. RUNOFF SHALL BE DIVERTED AWAY FROM STOCKPILE AREA

## **TEMPORARY SOIL STOCKPILE**

RYE RYE **AS NOTED JULY 12, 2023** 

> 21167.00001 06 OF 11

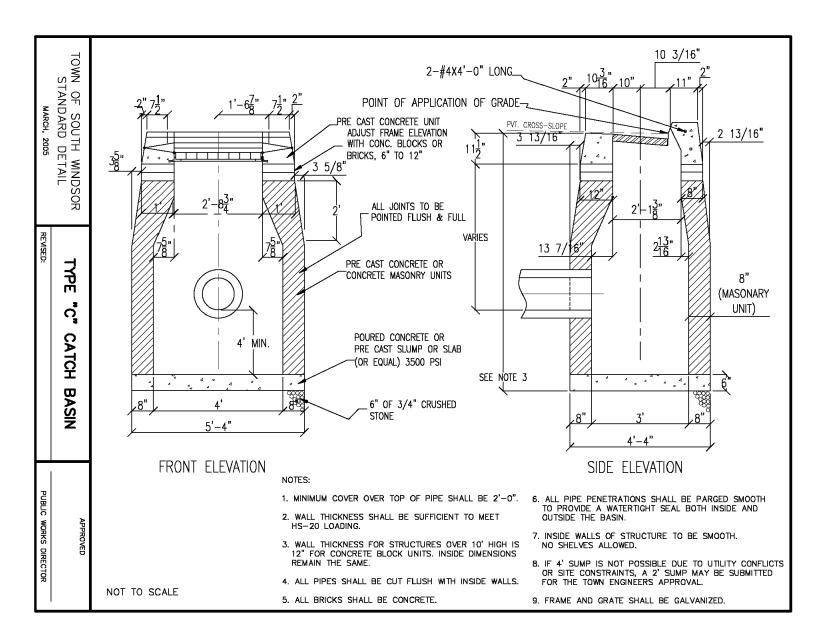


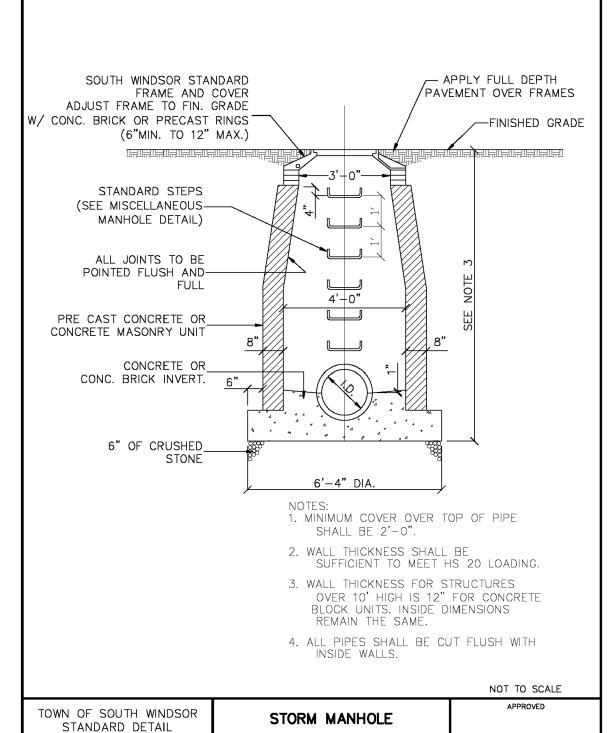


RYE RYE TD **AS NOTED JULY 12, 2023** 

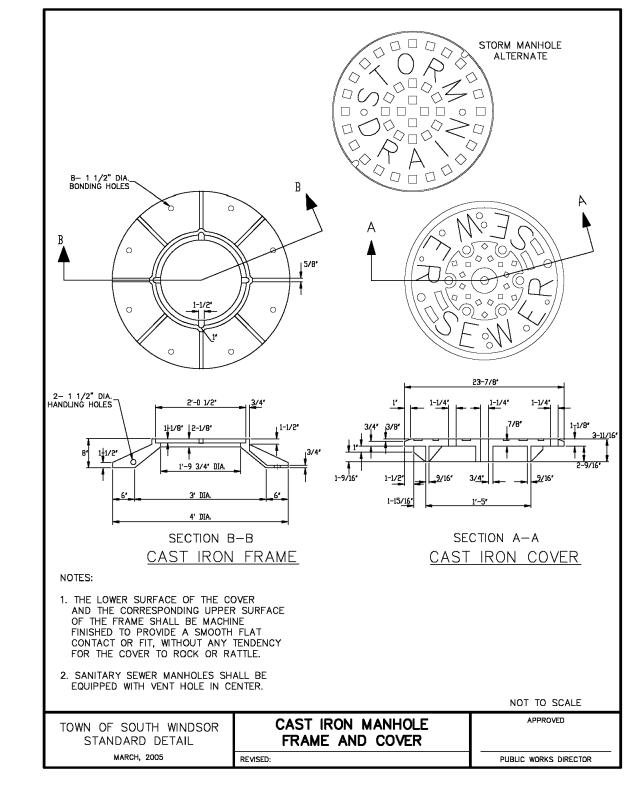
21167.00001 08 OF 11

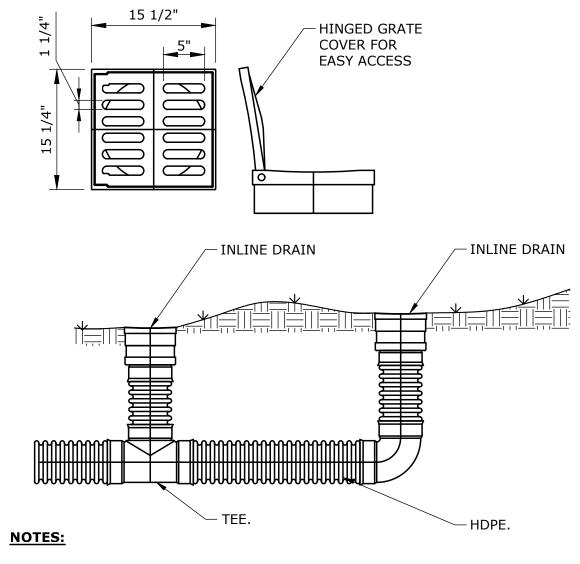
SD-2





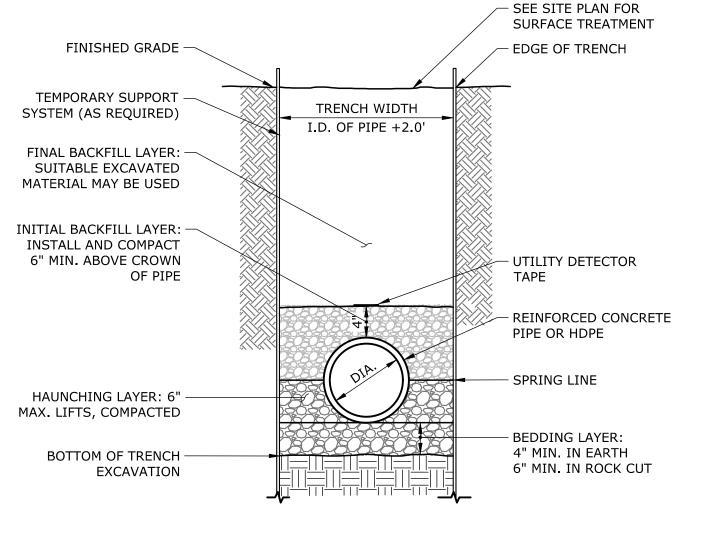
PUBLIC WORKS DIRECTOR





- 1. ALL AREA DRAIN GRATES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS.
- 1.1. 15" CAST IRON GRATE DRAIN AREA = 92.5SQ. INCH GRATE HAS H-20 (HEAVY TRAFFIC) DOT RATING.
- 1.2. MATERIAL SHALL CONFORM TO ASTM A48 CLASS 30B.
- 1.3. CASTINGS ARE FURNISHED WITH A BLACK PAINT.
- 1.4. INLINE DRAIN TO BE NYLOPLAST INC OR APPROVED EQUAL.





ELEV. 134.7 ELEV. 134.2

- 1. BACKFILL MATERIAL USED IN BEDDING, HAUNCHING, AND INITIAL BACKFILL LAYERS SHALL BE 3/4" CRUSHED STONE.
- 2. PAYMENT LIMIT FOR ROCK IN TRENCH TO BE PIPE DIAMETER + 3.0'

## **STORM DRAINAGE TRENCH**

NOT TO SCALE

— 24" PERFORATED HDPE PIPE PROPOSED GRADE — CONCRETE RIGID LEVEL - MODIFIED RIPRAP SPREADER LIP

-EMBED BOTH SIDES 12" MIN TO

— EROSION CONTROL SEED MIX

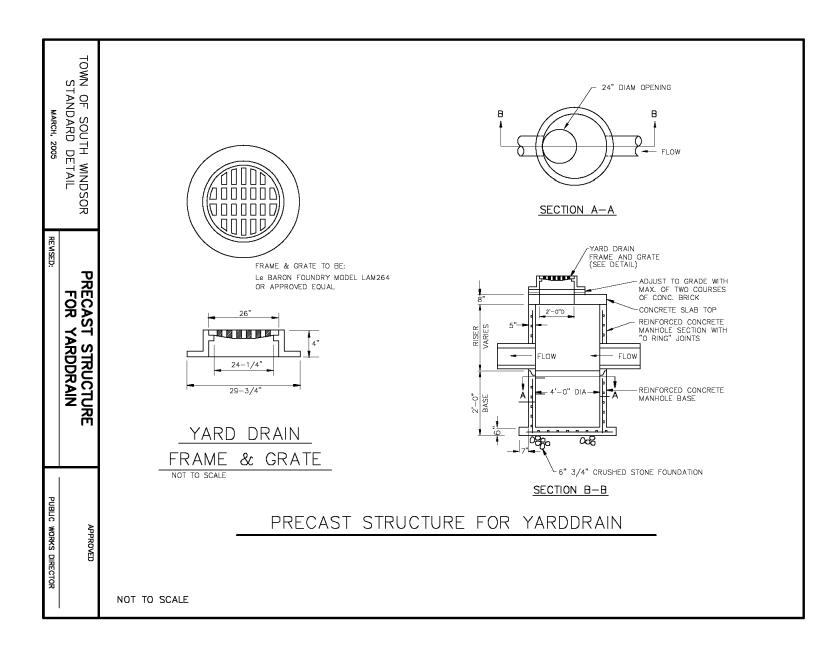
EMBANKMENT WITH 4 INCHES

-SEE PLANS

COVER

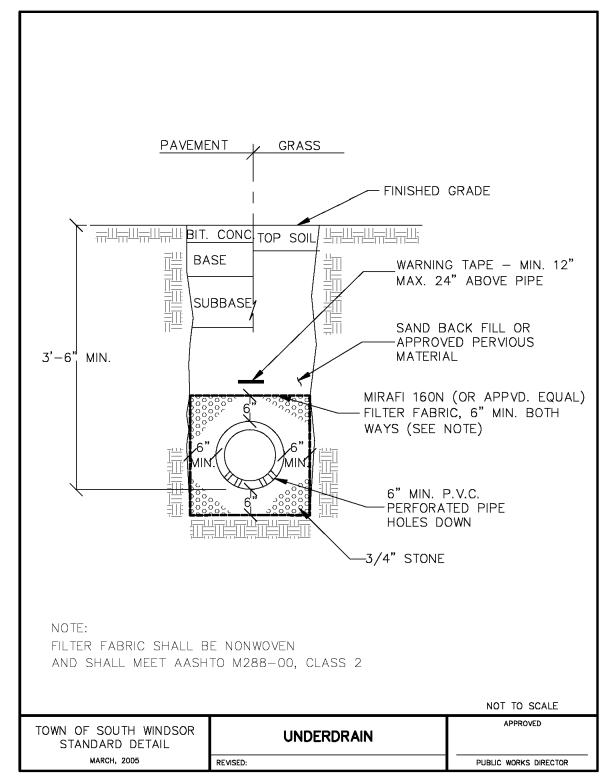
— GEOTEXTILE FABRIC

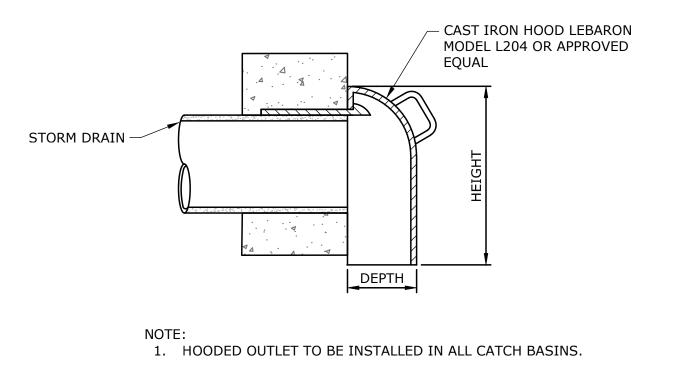
- 12" LAYER OF



NOT TO SCALE

**HOODED CATCH BASIN TRAP** 





RYE RYE TD **AS NOTED JULY 12, 2023** 21167.00001

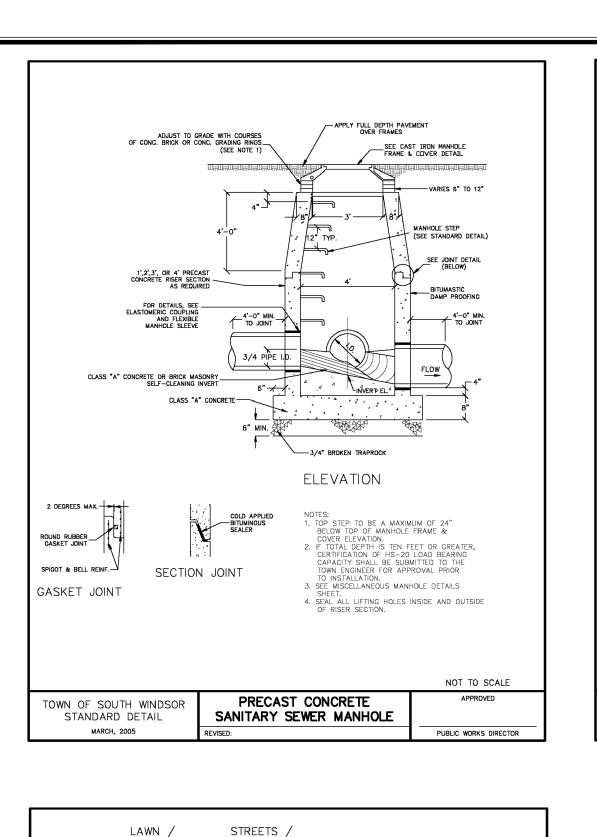
SD-3

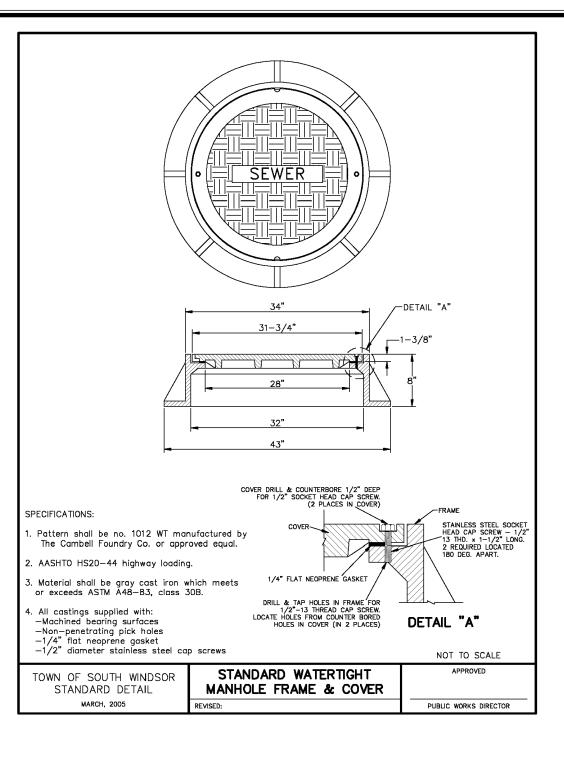
09 OF 11

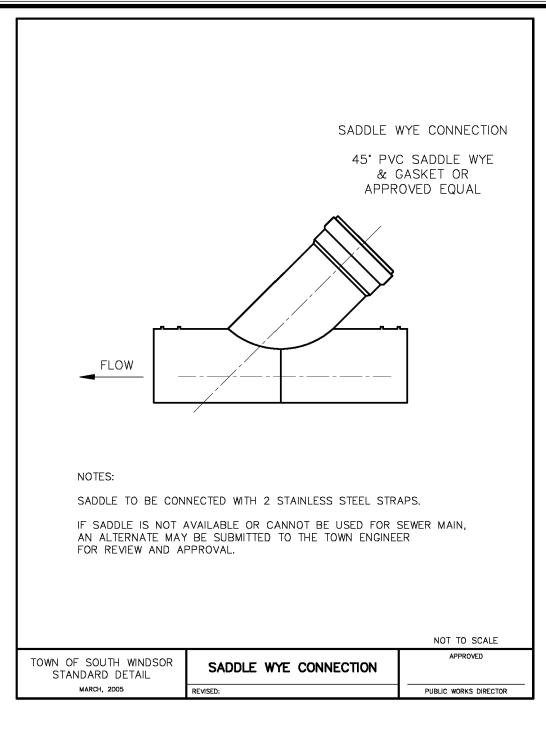
ELEV. 132.2 ELEV. 131.7

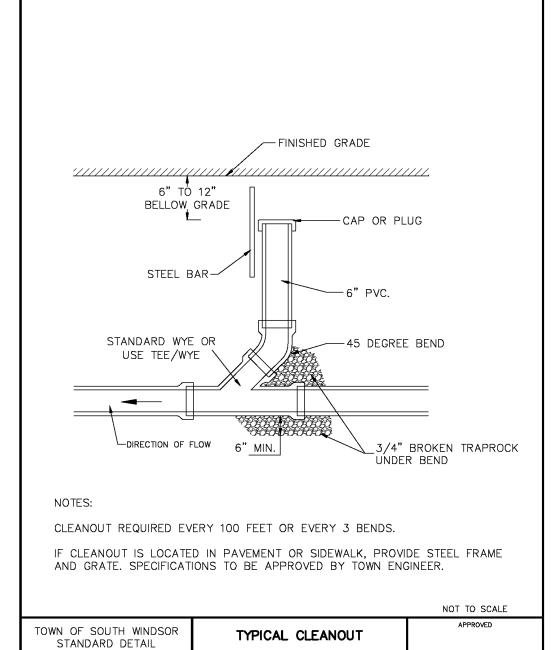
> 3/4" CRUSHED STONE 1. FOR INFORMATION ONLY

**EXISTING RIPRAP LEVEL SPREADER** NOT TO SCALE

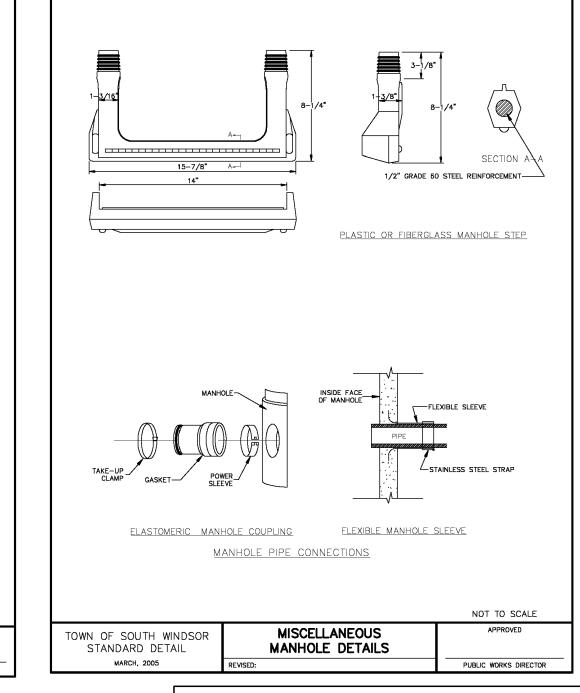


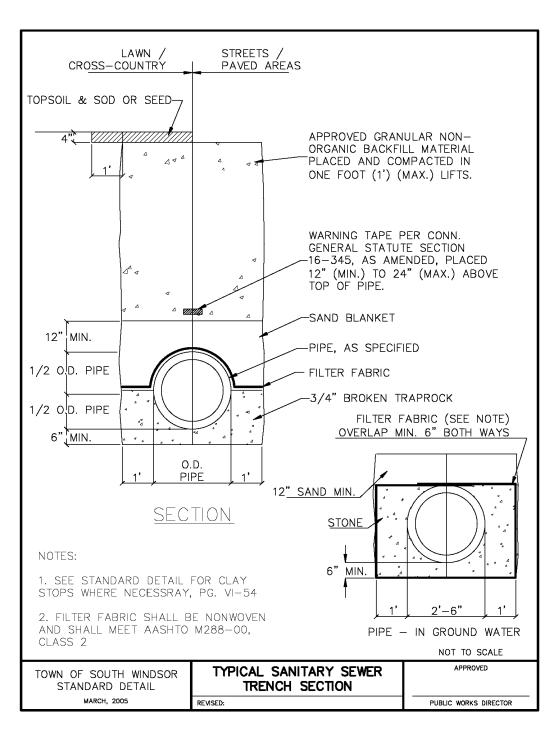


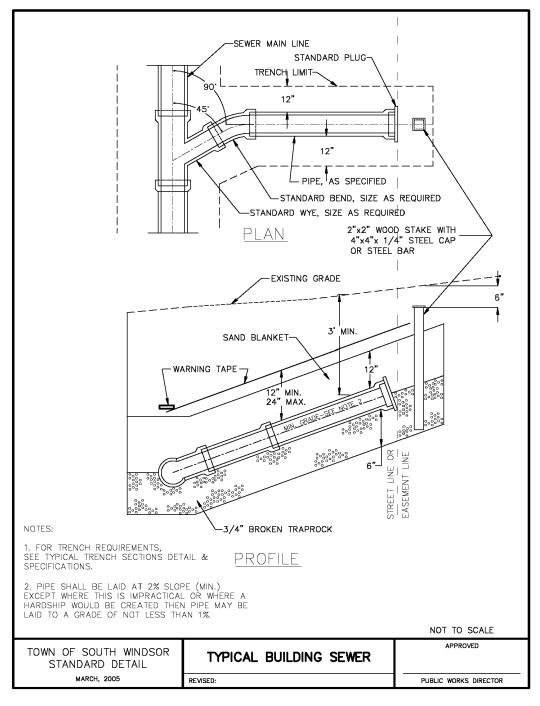


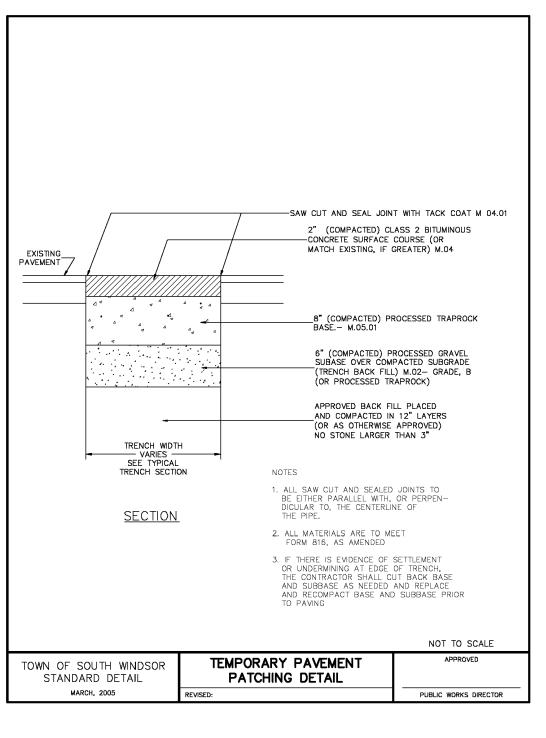


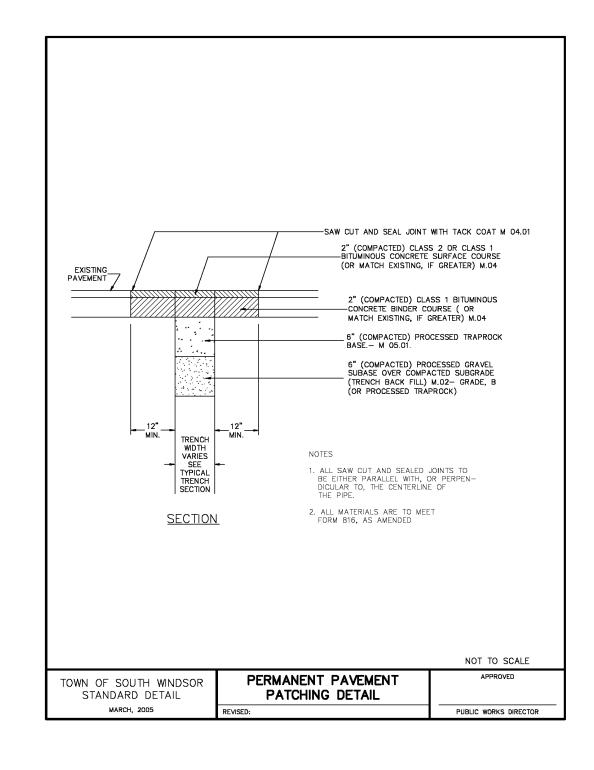
MARCH, 2005



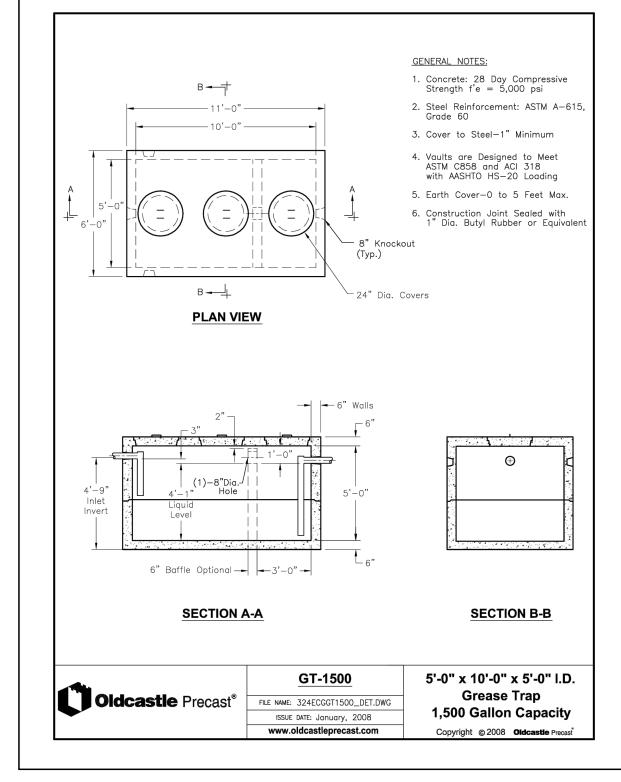


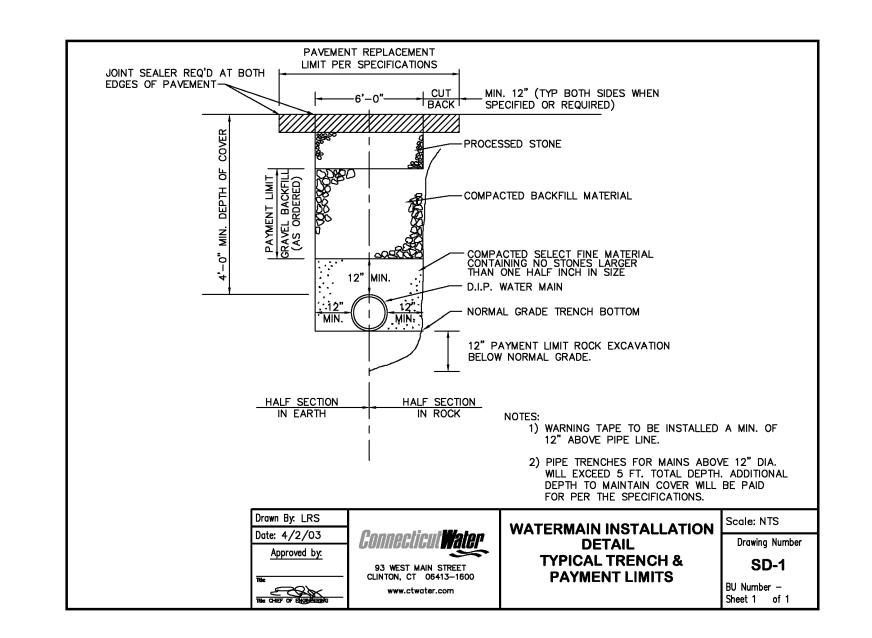


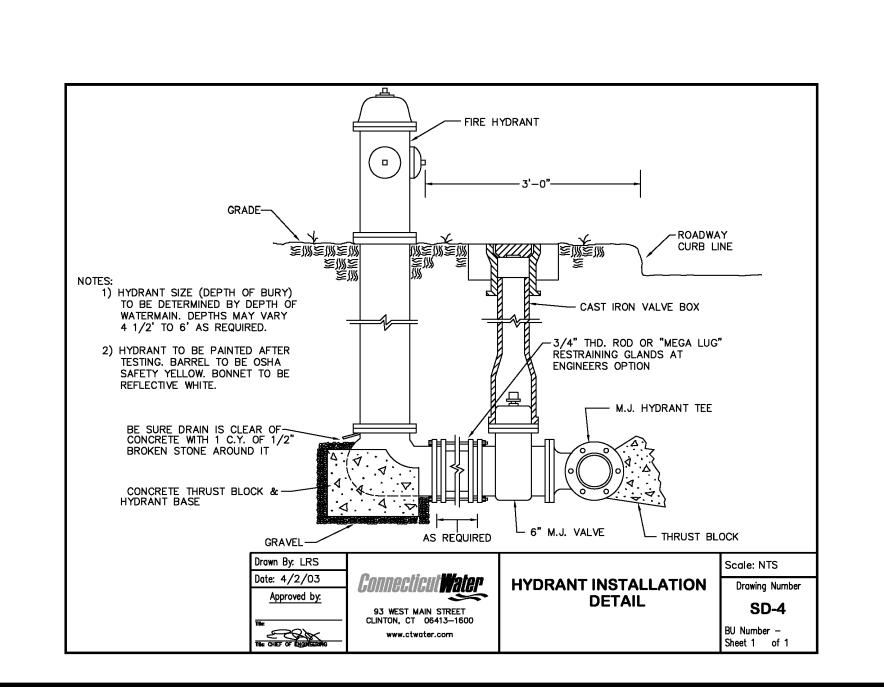


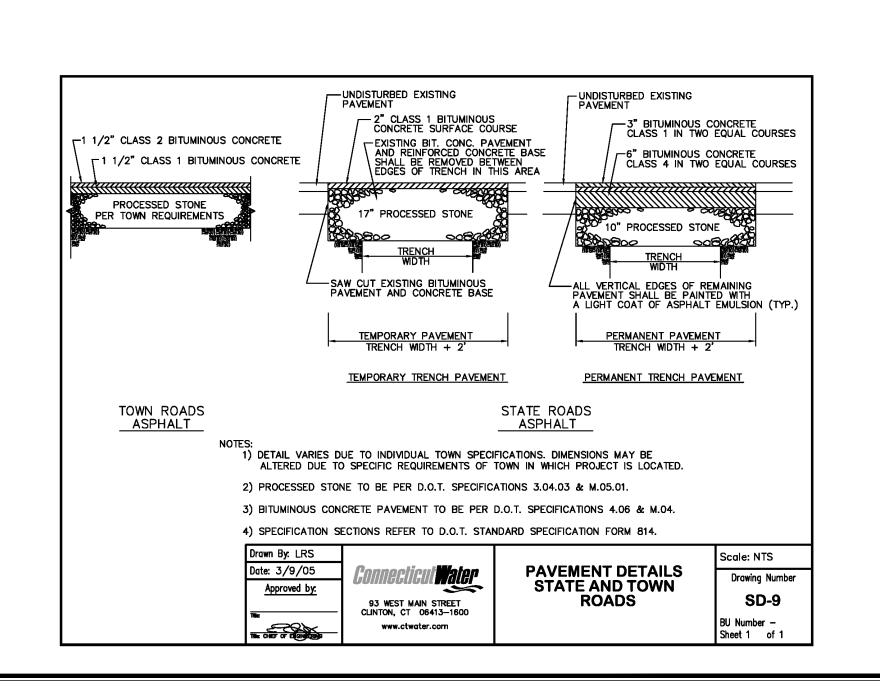


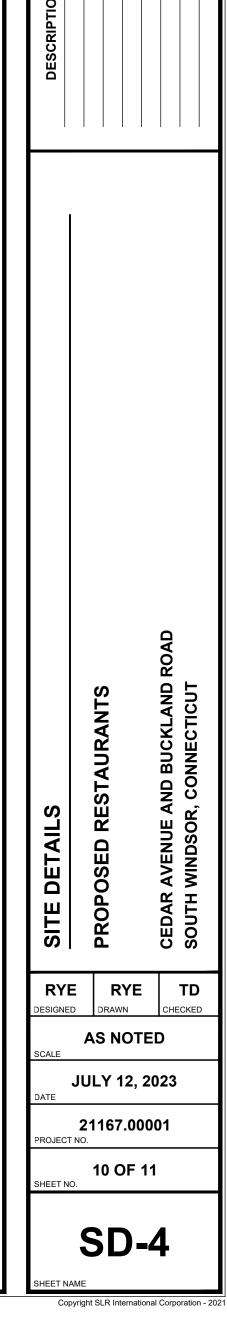
PUBLIC WORKS DIRECTOR

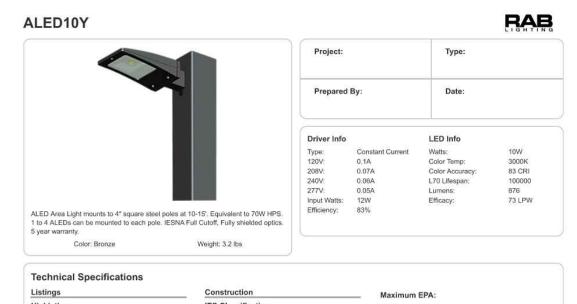






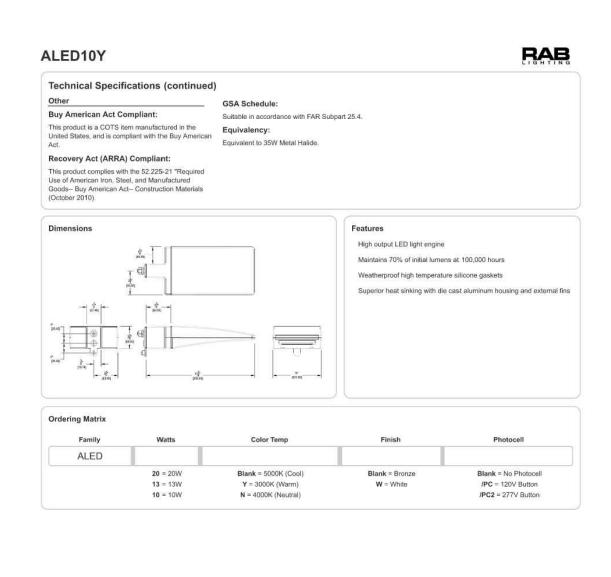




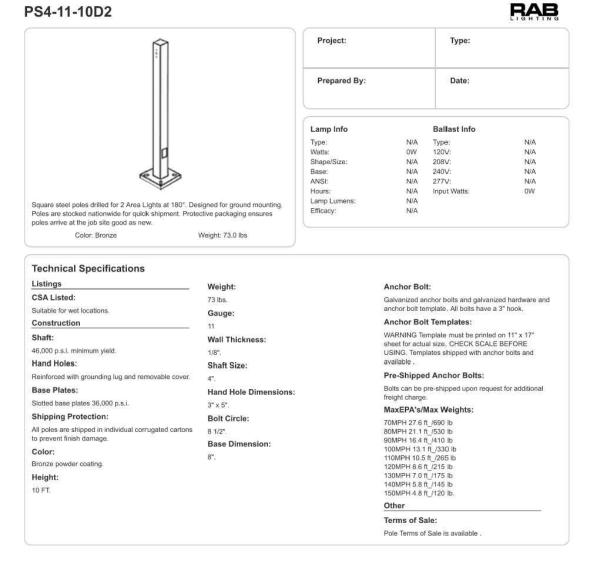


| Technical Specifications  |   |  |  |  |  |
|---|---|--|--|--|--|
| Listings  | Construction  | Maximum EPA:<br>Fixed Arm = 0.10.  |  |  |  |
| UL Listing:   | IES Classification:   |  |  |  |  |
| Suitable for wet locations.   | The Type III distribution is ideal for roadway, general   | Optical  |  |  |  |
| ESNA LM-79 & IESNA LM-80 Testing:   | parking, and other area lighting applications where a<br>larger pool of lighting is required. It is intended to be                                      | Lumen Maintenance:   |  |  |  |
| RAB LED luminaires have been tested by an<br>independent laboratory in accordance with IESNA LM-      | located near the side of the area, allowing the light to project outward and fill the area.   | The LED will deliver 70% of its initial lumens at 100,000 hours of operation.                                  |  |  |  |
| 79 and 80, and have received the Department of<br>Energy "Lighting Facts" label.                      | Housing:  | BUG Rating:  |  |  |  |
| Dark Sky Approved:  | Integral cast aluminum mounting pad and external fins   | B0 U0 G0   |  |  |  |
| The International Dark Sky Association has approved   | for optimum heat sinking to ensure cool operation with<br>maximum LED life and light output.  | Electrical   |  |  |  |
| this product as a full cutoff, fully shielded luminaire.  | Gaskets:  | Driver:  |  |  |  |
| ED Characteristics  | High temperature silicone.  | Multi-chip 10W high output long life LED Driver<br>Constant Current, Class II, 120V-240V, 50/60/ Hz,<br>350mA. |  |  |  |
| Lifespan:   | Finish:   |  |  |  |  |
| 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.                          | Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting  | S. S. C. Marian  |  |  |  |
| Color Consistency:  | color, and contains no VOC or toxic heavy metals.   | California Title 24:   |  |  |  |
| 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.                        | Green Technology:   | See ALED10/PC for a 2013 California Title 24 compliant model.  |  |  |  |
| Color Stability:  | Mercury and UV free. RoHS compliant components.<br>Polyester powder coat finish formulated without the  | Patents:   |  |  |  |
| LED color temperature is warrantied to shift no more  | use of VOC or toxic heavy metals.   | The design of the ALED is protected by patents pending in Canada, U.S., China and Taiwan.                      |  |  |  |
| than 200K in CCT over a 5 year period.  | Effective Projected Area:   |  |  |  |  |
| Color Uniformity:   | EPA = 0.2   | Warranty:  |  |  |  |
| RAB's range of CCT (Correlated Color Temperature)   | Cold Weather Starting:  | RAB warrants that our LED products will be free from   |  |  |  |
| ollows the guidelines of the American National<br>Standard for Specifications for the Chromaticity of | The minimum starting temperature is -40°C/-40°F   |  |  |  |  |
| Solid State Lighting (SSL) Products, ANSI C78.377-  | Maximum Ambient Temperature:  |  |  |  |  |
| 2015.   | Suitable for use in 104°F (40°C) ambient temperatures   |  |  |  |  |
| Color Accuracy:   | Thermal Management:   | Country of Origin:  Designed by RAB in New Jersey and assembled in th USA by RAB's IBEW Local 3 workers.       |  |  |  |
| 64 CRI<br>Color Temperature (Nominal CCT):  | Cast aluminum Thermal Management system for optimal heat sinking. The ALED is designed for cool operation, most efficient output and maximum I ED life. |  |  |  |  |

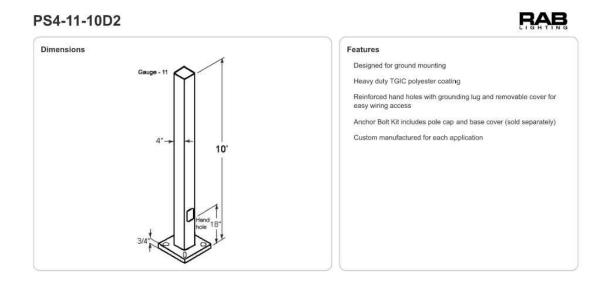
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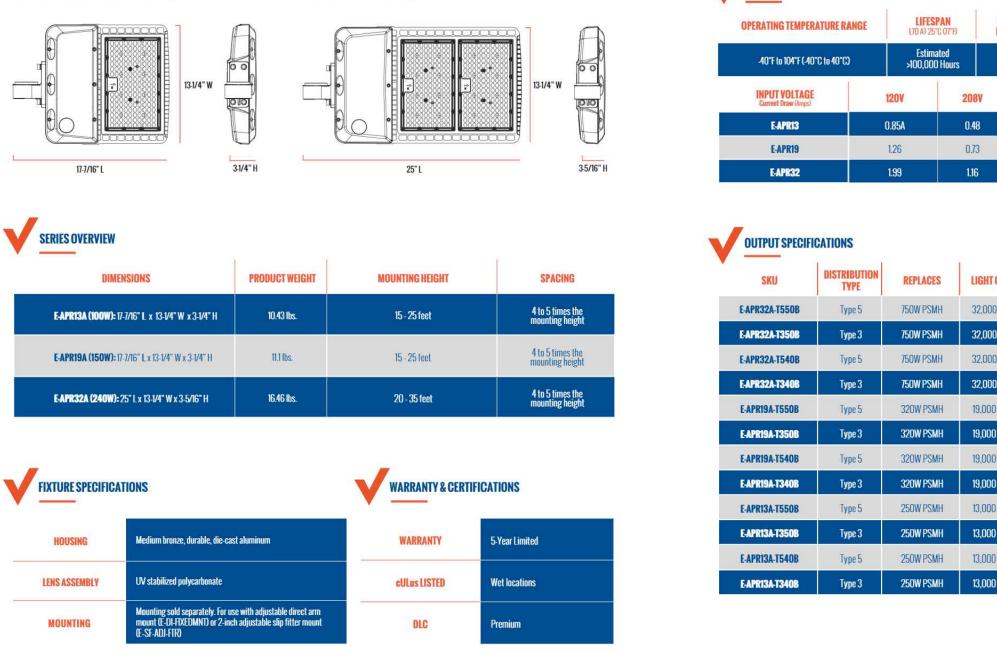


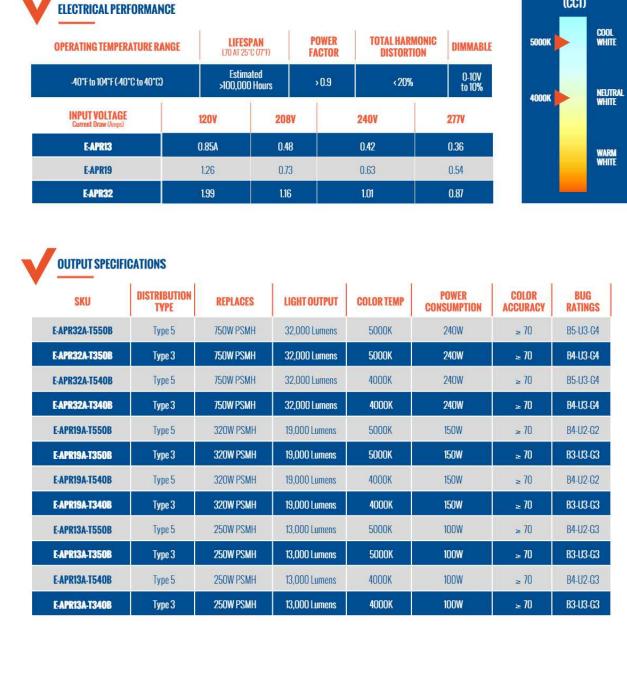
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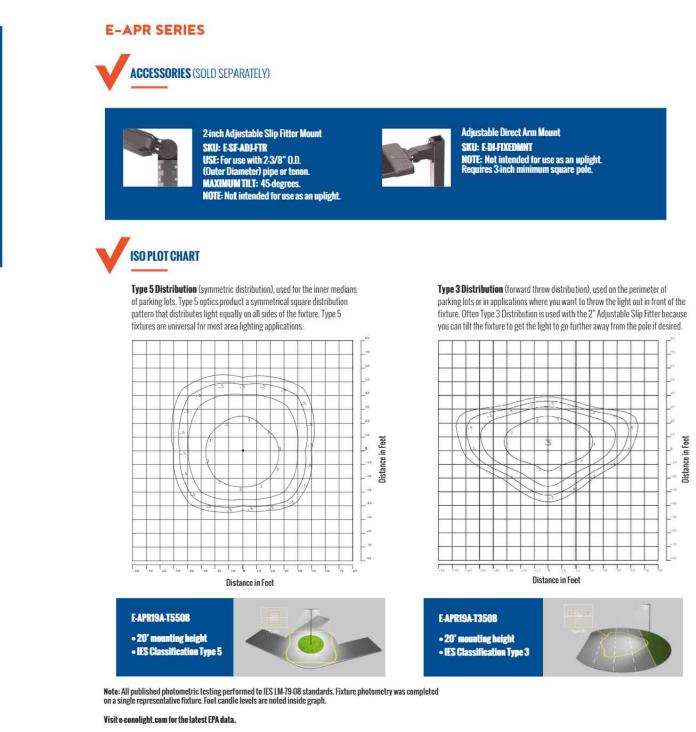


E-APR SERIES









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150196th Street, Sturtevant, WI 53177

Cree Lighting / C-Lite:
creelighting.com | Distribution/Sales: 855-617-2733
9201 Washington Ave, Racine, WI 53406

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SITE LIGHT

NOT TO SCALE

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savr.

SITE DETAILS
SITE DETAILS

SITE DETAILS

AND SED RESTAURANTS

PROPOSED RESTAURANTS

TO SOUTH WINDSOR, CONNECTICUT

SHEET NO.

SOUTH WINDSOR, CONNECTICUT