

INVASIVE SPECIES MANAGEMENT NOTES AND PLANTINGS

1. OWNER TO RETAIN QUALIFIED ECOLOGIST/BOTANIST TO FIELD IDENTIFY INVASIVE NON NATIVE VEGETATION WITHIN MANAGEMENT AREA. THE INVASIVE NON NATIVE VEGETATION SHALL BE MARKED IN THE FIELD WITH COLORED FLAGGING FOR MANAGEMENT/REMOVAL.
2. CONTRACTOR TO REMOVE MARKED VEGETATION USING MECHANICAL METHODS. ALL NON NATIVE VEGETATIVE MATTER/MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF AT AN APPROPRIATE APPROVED FACILITY. NO BURYING OR COMPOSTING OF INVASIVE VEGETATIVE MATTER IS PERMITTED ON SITE. INSTALLATION OF GEOTEXTILE SILT FENCE ALONG THE PERIMETER OF THE MANAGEMENT AREA WILL BE REQUIRED IF THE INVASIVE SPECIES REMOVAL AREA HAS ANY EXPOSED SOIL FOLLOWING VEGETATION REMOVAL.
3. RESTORATION PLANTINGS TO BE INSTALLED AT THE DIRECTION OF THE QUALIFIED ECOLOGIST/BOTANIST AND ONLY AFTER AREA HAS BEEN PROPERLY CLEARED OF INVASIVE NON NATIVE VEGETATION.

SEED MIX
NEW ENGLAND WILDLIFE/CONSERVATION
(OR APPROVED EQUAL)

PLANTS
GRAY DOGWOOD - SWIDA RACEMOSA
RED OSIER DOGWOOD - SWIDA SERICEA

STOP SIGN AND STOP BAR
TO BE COORDINATED WITH
OTHERS

36" X 36" CLEARANCE FOR
CONTROL BOX

Easement in favor of COXCOMM, INC.
(See Survey Notes 4.E & 15)

5-PANEL MENU BOARD &
ORDER POINT WITH CANOPY

SITE LIGHT

14'X20' DUMPSTER

TRANSFORMER

EXISTING STOP
BAR AND SIGN TO
BE MAINTAINED

SPEED TABLE

Easement in favor of Cox
(See Survey Notes 4.D & 14)

N/F
Evergreen Walk
Lifestyle Center, LLC
6 DEFERRED
PARKING SPACES

Easement In Favor of the
Yankee Gas Services Company
(See S.W.L.R. Map 4312)

14'X20' DUMPSTER
ENCLOSURE

COTTONWOOD LANE

RETAIL
1,000 SF

STARBUCKS
2,400 SF

ACCESSIBLE
PARKING
SPACES

PATIO

PROTECTIVE BOLLARD

RELOCATE EXISTING
LIGHT POLE

CLEARANCE
BAR

DROP RAMP

CONCRETE
CURB (TYP.)

CONCRETE PATIO

CONCRETE DRIVE AISLE

LOOP DETECTOR CONDUIT

PAINTED
CROSSWALK
(TYP.)

12'W X 44'L

PLAZA LIGHT

CHIPOTLE
2,325 SF

MOBILE PICKUP
ONLY LANE

BYPASS LANE

PROTECTIVE BOLLARD

14'X20' DUMPSTER
ENCLOSURE

14'X20' DUMPSTER
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14'X20' DUMPSTER
ENCLOSURE

LAYOUT NOTES

1. CONCRETE SIDEWALKS, SHALL INCORPORATE ISOLATION JOINTS AND SCORE JOINTS PER THE SPECIFICATIONS AND DETAILS, TYPICALLY NO MORE THAN 144 SQUARE FEET SHALL CONSTITUTE A CONTIGUOUS SLAB. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR INTERFACE AGAINST THE BUILDING.
2. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDING, REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
4. ALL PROPOSED CURBING SHALL BE PRECAST CONCRETE CURB UNLESS OTHERWISE NOTED.
5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE ANEMITY.
6. SITE LIGHTS DEPICTED WITH IN LAWN/LANDSCAPE AREAS SHALL MAINTAIN A 4"-6" FOUNDATION REVEAL MAXIMUM, SITE LIGHTS DEPICTED IN PARKING LOTS SHALL HAVE A 3' EXPOSED HEIGHT CONCRETE FOUNDATION. SEE SITE ELECTRICAL PLAN FOR MORE INFORMATION.
7. WHERE WALK AND PAVED DRIVE ARE SPECIFIED TO BE FLUSH, A FLUSH (FULL DEPTH) CONCRETE CURB SHALL ALSO BE INSTALLED.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
AA	24	Acer rubrum 'Armstrong'	Armstrong Red Maple	3.0" Cal.	B&B	6" MIN. BRANCHING HT.
AO	16	Acer rubrum 'October Glory'	October Glory Red Maple	3.0" Cal.	B&B	6" MIN. BRANCHING HT.
AA2	1	Amelanchier arborea	Downy Serviceberry	6' /7' HT.	B&B	MULTI-STEM
GT	9	Gleditsia triacanthos f. inermis	Thornless Honey Locust	3.0" Cal.	B&B	6" MIN. BRANCHING HT.
TI	25	Thuja x 'Green Giant'	Green Giant Arborvitae	8' /10' HT.	B&B	FULL & DENSE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
AM	18	Aronia melanocarpa	Black Chokeberry	Cont.	#3	FULL & DENSE
HV	15	Hamamelis virginiana	Common Witch Hazel	Cont.	#5	FULL & DENSE
IS	35	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	Cont.	#5	FULL & DENSE
IV	2	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	Cont.	#3	FULL & DENSE
IW	14	Ilex verticillata 'Winter Red'	Winter Red Winterberry	Cont.	#5	FULL & DENSE
VL	17	Viburnum lentago	Nannyberry	Cont.	#5	FULL & DENSE
VB	10	Viburnum prunifolium	Blackhaw Viburnum	Cont.	#5	FULL & DENSE
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
SS	87	Panicum virgatum 'Northwind'	Northwind Switch Grass	Cont.	#3	
SS	9	Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem	Cont.	#1	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
ED	5	Echinacea purpurea 'Doubledecker'	Doubledecker Purple Coneflower	Cont.	#1	
PM	7	Pycnanthemum muticum	Blunt Mountainmint	Cont.	#1	
RD	11	Rudbeckia hirta 'Denver Daisy'	Denver Daisy Black-eyed Susan	Cont.	#1	
SE	11	Stachys monieri	Betony	Cont.	#1	

PLANTING NOTES

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
2. SEED ALL DISTURBED AREAS TO LAWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL, AS SPECIFIED, FOR ALL LAWN AREAS. AS NOTED ON THE DETAILS, SUBGRADE BENEATH PROPOSED LAWN AREAS SHALL BE LOOSENEED OR SCARIFIED TO A MINIMUM DEPTH OF 24 INCHES.
3. ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
4. THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF SHREDDED BARK MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS. NO DYED MULCH.
5. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
6. PLANT SPECIES MAY BE ADJUSTED BASED ON AVAILABILITY AT TIME OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
7. ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNHEALTHY CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
8. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SICK OR DEAD PLANTS, RESETTING PLANTS TO PROPER GRADE OR UPRIGHT (PLUMB) POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
9. WHERE A SIZE RANGE IS SPECIFIED AT LEAST 50% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
10. CONTRACTOR TO REMOVE TREE STAKES AFTER ONE GROWING SEASON.
11. TAKE NOTE TO PROTECT ROOT ZONES OF EXISTING TREES ROOT ZONES DURING CONSTRUCTION AS SHOWN ON PLANS.

LANDSCAPING TABLE - RESTAURANT		
	REQUIRED	PROPOSED
INTERIOR LANDSCAPING (SECTION 6.4.6A)	10% OF OVERALL PARKING SF (66,885 SF X 10%= 6,688.5 SQ FT)	10,255 SF
INTERIOR REQUIRED TREES (SECTION 6.4.6A)	1 TREE PER 10 SPACES (191 SPACES/10= 19.2 TREES)	38 INTERIOR TREES



DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD
TOWN COMMENTS	09/18/2023	LCD

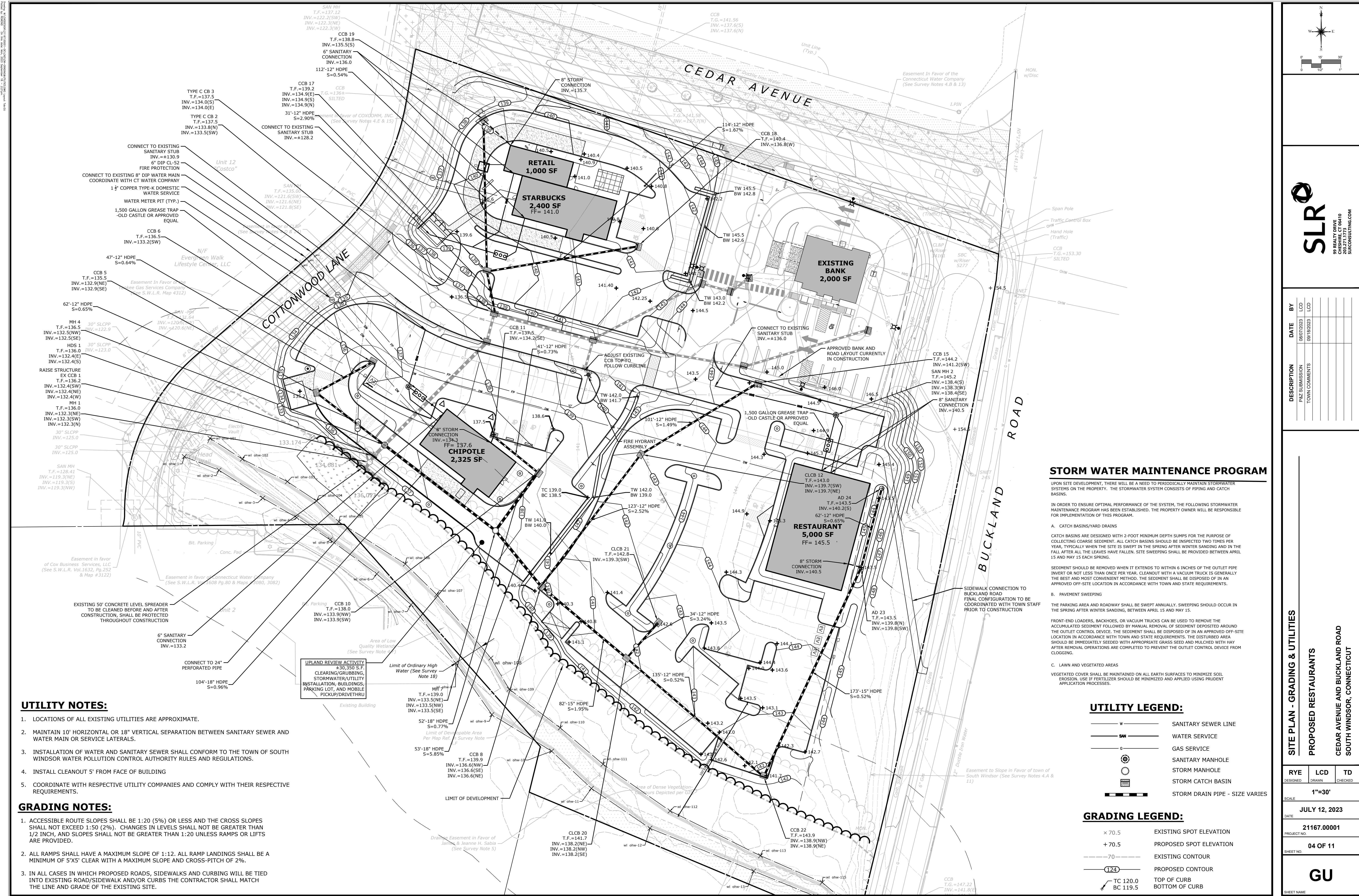
SITE PLAN - LAYOUT & LANDSCAPING

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD

SOUTH WINDSOR, CONNECTICUT

RYE	LCD	TD
DESIGNED	DRAWN	CHECKED
SCALE		
1"=30'		
DATE		
JULY 12, 2023		
PROJECT NO.		
21167.00001		
SHEET NO.		
03 OF 11		
SHEET NAME		
LA-1		



SLR

99 REALTY DRIVE
263271773
SIRCONSULTING.COM

DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD
TOWN COMMENTS	09/16/2023	LCD

SITE PLAN - GRADING & UTILITIES

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	LCD	TD
DESIGNED	DRAWN	CHECKED

SCALE: 1"=30'

DATE: JULY 12, 2023

PROJECT NO.: 21167.00001

SHEET NO.: 04 OF 11

GU

SHEET NAME

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EROSION CONTROL NOTES
CONTRACTOR RESPONSIBILITIES

1. SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER. A LOG OF SUCH INSPECTIONS SHALL BE MAINTAINED AT THE SITE.
2. THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MODIFIED BY THE CONTRACTOR AT THE DIRECTION OF THE ENGINEER AND THE TOWN'S DESIGNATED REPRESENTATIVE AS NECESSITATED BY CHANGING SITE CONDITIONS
3. INSPECTION OF THE SITE FOR EROSION SHALL CONTINUE FOR A PERIOD OF THREE MONTHS AFTER COMPLETION WHEN RAINFALLS OF ONE INCH OR MORE OCCUR.
4. ALL DEWATERING WASTE WATERS SHALL BE DISCHARGED IN A MANNER WHICH MINIMIZES THE DISCOLORATION OF THE RECEIVING WATERS.
5. THE SITE SHOULD BE KEPT CLEAN OF LOOSE DEBRIS, LITTER, AND BUILDING MATERIALS.
6. A COPY OF ALL PLANS AND REVISIONS, AND THE SEDIMENT AND EROSION CONTROL PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
7. ALL CATCH BASIN SUMPS SHOULD BE INSPECTED AFTER CONSTRUCTION COMPLETION AND SEDIMENT REMOVED. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED LOCATION.

EROSION CONTROL LEGEND

- CE

CONSTRUCTION ENTRANCE
- SF

SEDIMENT FILTER FENCE
- SW

STRAW WATTLE
- STK

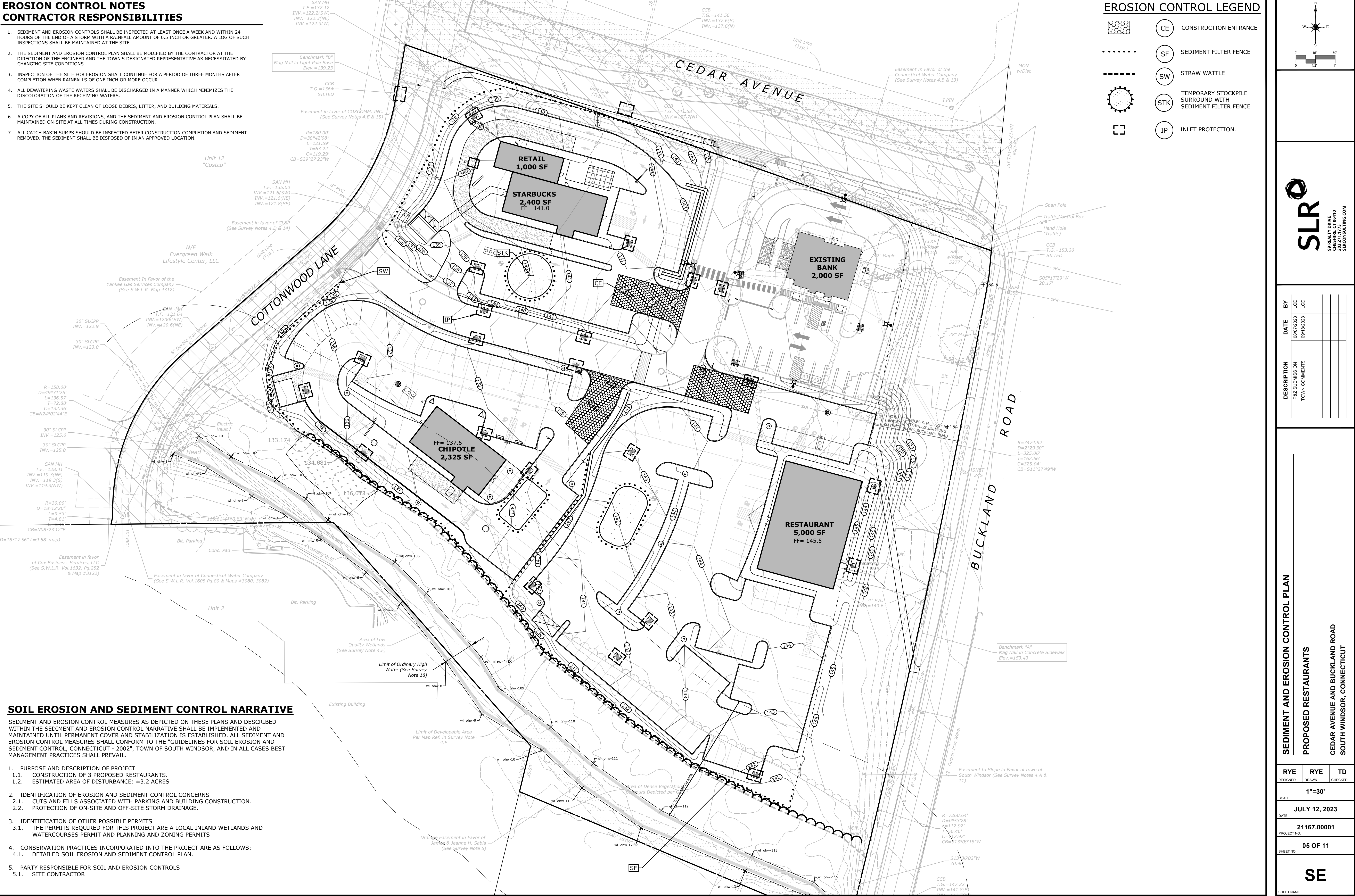
TEMPORARY STOCKPILE SURROUND WITH SEDIMENT FILTER FENCE
- IP

INLET PROTECTION.

SOIL EROSION AND SEDIMENT CONTROL NARRATIVE

SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002", TOWN OF SOUTH WINDSOR, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

1. PURPOSE AND DESCRIPTION OF PROJECT
 - 1.1. CONSTRUCTION OF 3 PROPOSED RESTAURANTS.
 - 1.2. ESTIMATED AREA OF DISTURBANCE: ±3.2 ACRES
2. IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS
 - 2.1. CUTS AND FILLS ASSOCIATED WITH PARKING AND BUILDING CONSTRUCTION.
 - 2.2. PROTECTION OF ON-SITE AND OFF-SITE STORM DRAINAGE.
3. IDENTIFICATION OF OTHER POSSIBLE PERMITS
 - 3.1. THE PERMITS REQUIRED FOR THIS PROJECT ARE A LOCAL INLAND WETLANDS AND WATERCOURSES PERMIT AND PLANNING AND ZONING PERMITS
4. CONSERVATION PRACTICES INCORPORATED INTO THE PROJECT ARE AS FOLLOWS:
 - 4.1. DETAILED SOIL EROSION AND SEDIMENT CONTROL PLAN.
5. PARTY RESPONSIBLE FOR SOIL AND EROSION CONTROLS
 - 5.1. SITE CONTRACTOR



99 REALTY DRIVE
SOUTH WINDSOR, CT 06080
203.271.1773
SLRCONSULTING.COM

DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD
TOWN COMMENTS	09/18/2023	LCD

SEDIMENT AND EROSION CONTROL PLAN

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED

1"=30'

JULY 12, 2023

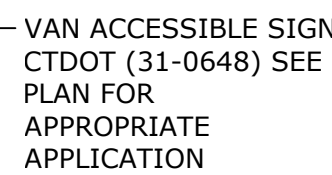
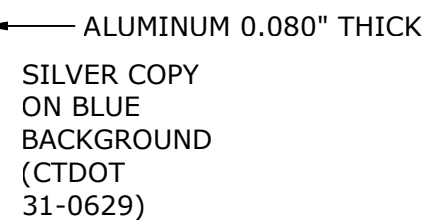
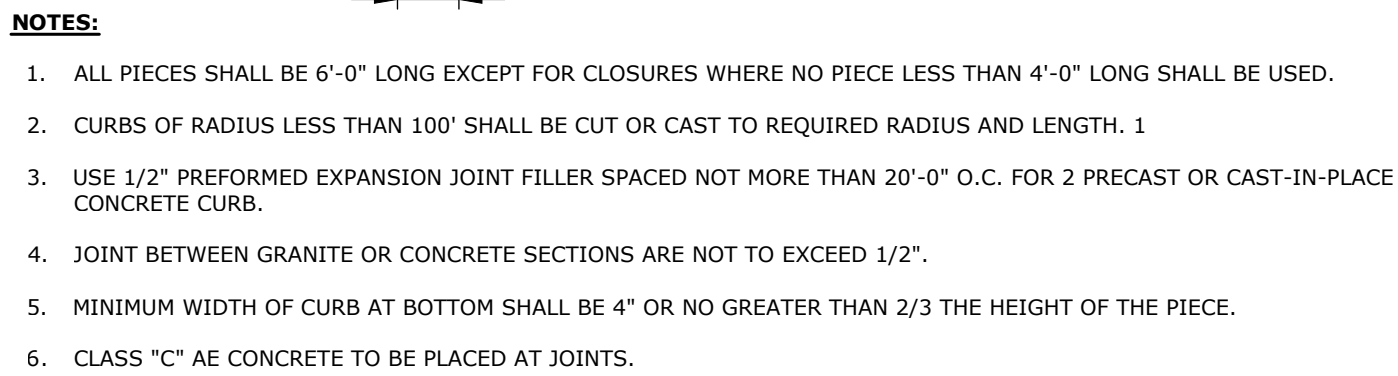
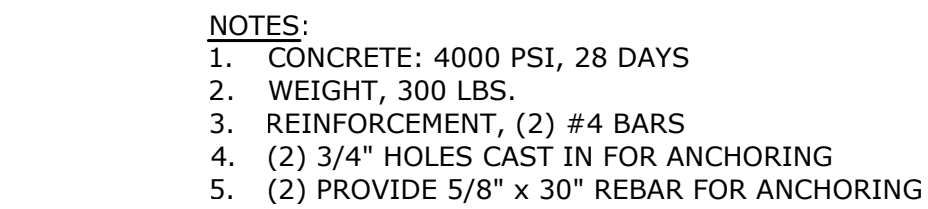
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NOTE:
1. REFER TO SHEET C1.10 FOR LOCATIONS.



NOTES:

1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE ROUTE SHOULD NOT EXCEED 20:1.
2. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABRUPT GRADE CHANGES.
3. ALL RAMPS SHALL BE CONSTRUCTED OF CLASS "C" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS ARTICLE M.03.01.
4. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP, THE CURBING AND ACCESSIBLE ROUTES SHALL BE STABLE, FIRM AND SLIP RESISTANT IN COMPLIANCE WITH ADAAG SECTION 4.5.
5. DIAGONAL SIDEWALK RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.
6. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION/CONTRACTION JOINT OR DUMMY JOINT. 12:1 MAY NOT BE ACHIEVABLE DUE TO SIDEWALK GROUND, IN CONCRECTION JOINTS, A MINIMUM 12:1 MAY BE USED IF THE RAMP IS TO BE USED. REMOVAL SHALL NOT BE FURTHER THAN 6" FROM THE PROPOSED RAMP UNLESS DIRECTED BY THE ENGINEER. SAW CUT REQUIRED FOR DUMMY JOINTS SHALL BE INCLUDED IN THE COST OF "CONCRETE SIDEWALK".
7. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' UNLESS OTHERWISE NOTED.
8. RAISED ISLANDS IN MARKED CROSSINGS SHALL HAVE SIDEWALK RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 15' LONG BETWEEN THE RAMPS. IF THIS CAN NOT BE ACHIEVED, THE RAISED ISLAND SHALL BE CUT THROUGH LEVEL WITH THE GROUNDWAY AS SHOWN ON THE PLAN OR AS DIRECTED BY THE ENGINEER.
9. SIDEWALK RAMPS SHALL BE CONSTRUCTED AND PAID FOR UNDER THE ITEM "CONCRETE SIDEWALK", INCLUDING CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP AND DETECTABLE WARNING STRIPS.
10. CURBING WITHIN THE LIMITS OF THE NEW SIDEWALK RAMP SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF FORM 814A SECTIONS 8.11 AND 8.13.
11. HANDICAP RAMPS CONFORMING WITH CONNECTICUT GENERAL STATUTES, SEC. 7-118a, SHALL BE INCORPORATED IN ALL PROPOSED SIDEWALKS AT ALL STREET INTERSECTIONS, AND AT ALL OTHER LOCATIONS WHERE THE SIDEWALK OF A DRIVEWAY OR OTHER FACILITY TAKES PRECEDENCE OVER THE GRADE OF THE PROPOSED SIDEWALK.
12. TRANSITION TO FULL HEIGHT CURB. INSTALL STONE CURBING IF ADJACENT CURBING IS STONE. INSTALL CONCRETE CURBING IF ADJACENT CURBING IS CONCRETE OR BITUMINOUS.
13. INSTALL THE EDGE OF THE DETECTABLE WARNING 6" FROM THE EDGE OF ROAD.
14. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID, IN THE DIRECTION OF PEDESTRIAN TRAVEL.



NOTES:

1. PROVIDE SHOP DRAWINGS FOR APPROVAL
2. ALL EXPOSED CONCRETE TO RECEIVE A RUBBED FINISH (TYP.)



1. UNLESS OTHERWISE DIRECTED SHREDDED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.



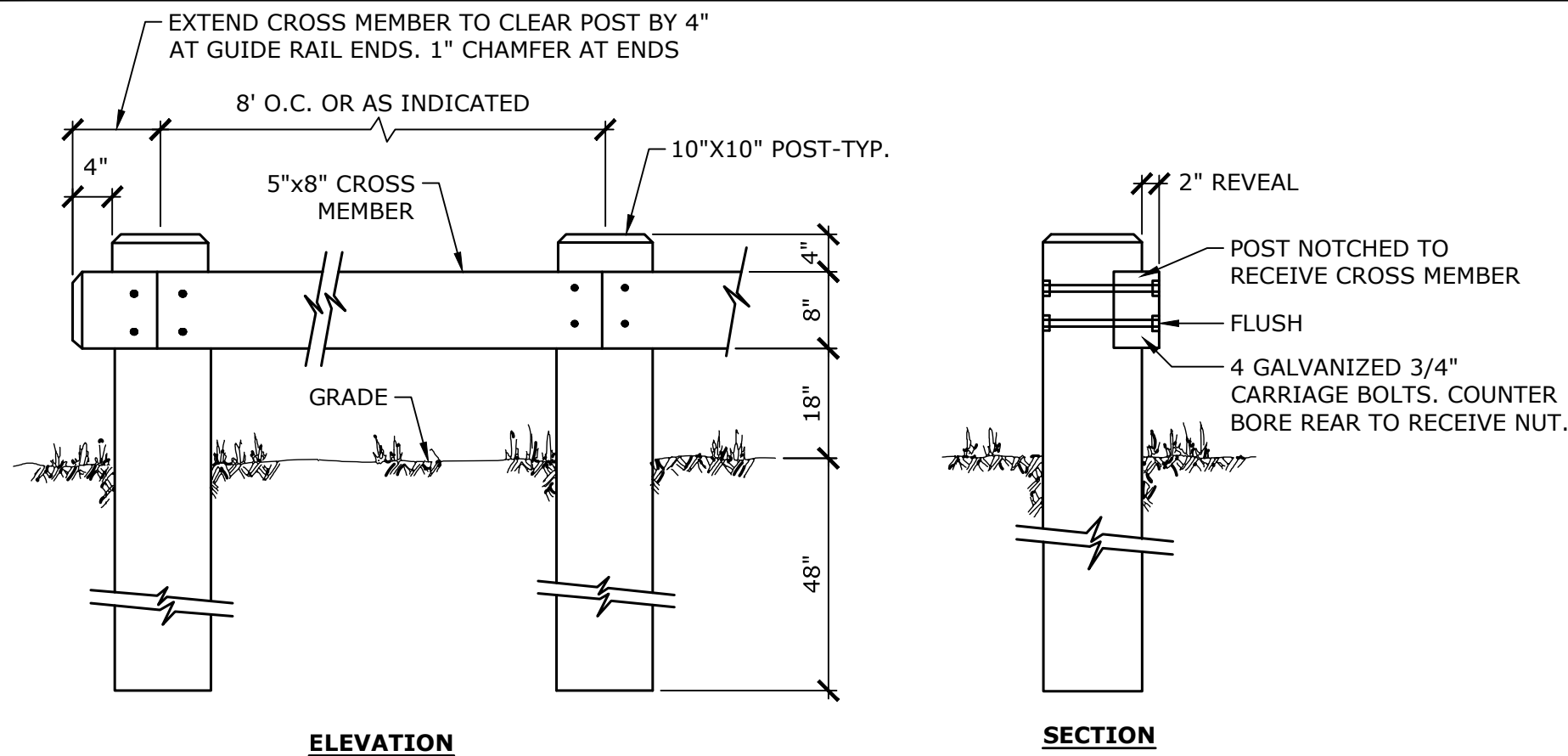
SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
SCALE		
JULY 12, 2023		
DATE		
21167.00001		
PROJECT NO.		
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SHEET NO.		
SD-1		
SHEET NAME		

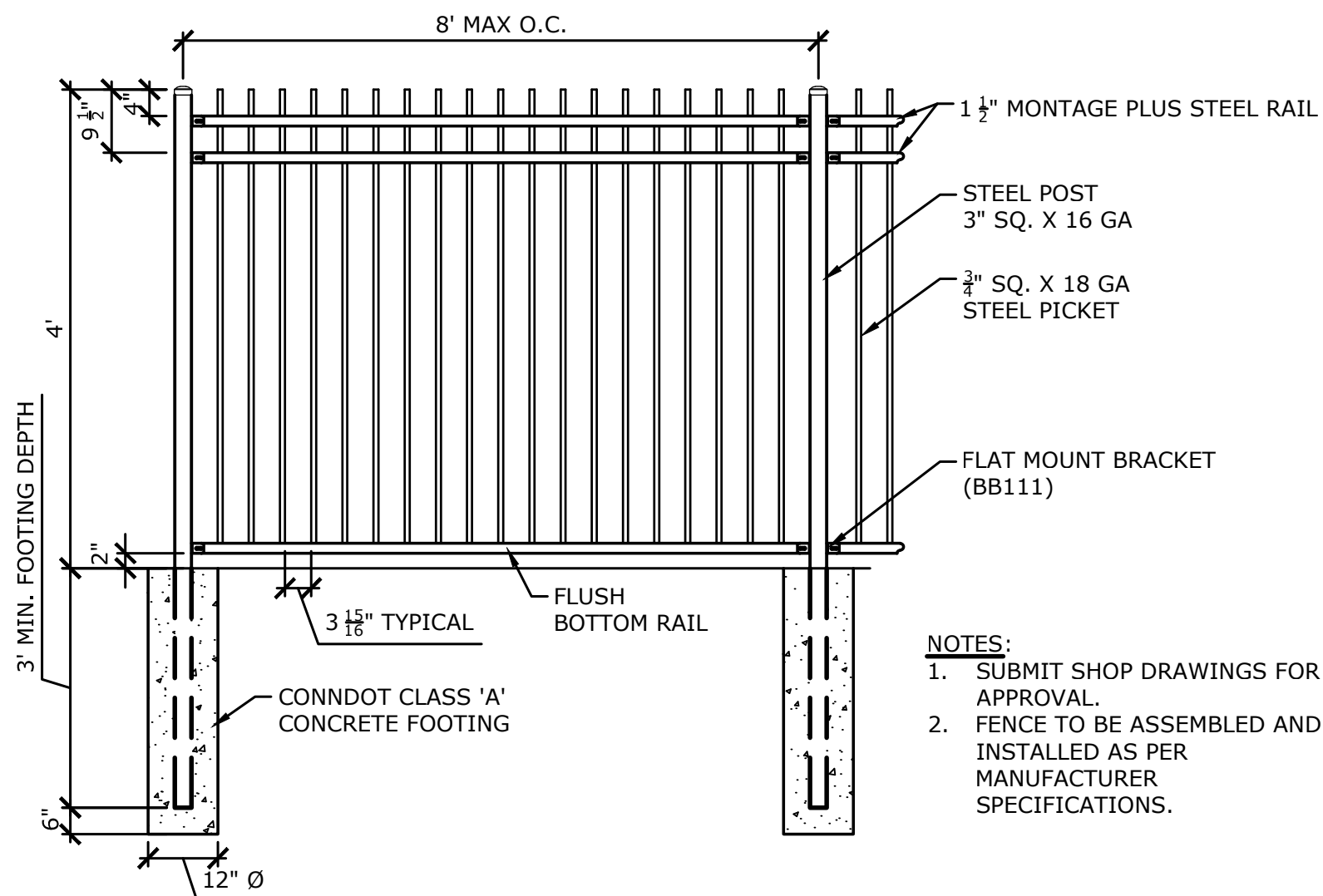
NOTES: 1. ALL RAIL AND POST LUMBER SHALL BE COMMERCIAL GRADE, NO. 1 DENSE, (Fb=10.3 Fpo) OR BETTER, CONFORMING TO NOMINAL SIZES AND DIMENSIONS SHOWN AND TO AASHTO SPECIFICATION M168. ALL TIMBER SHALL BE TREATED WITH A PRESSURE IMPREGNATED PRESERVATIVE IN ACCORDANCE WITH AASHTO SPECIFICATION M133. 2. BOLTS SHALL BE 3/4" DIAM., ASTM 307, WITH APPROPRIATE NUTS AND WASHERS (ALL HOT DIPPED GALVANIZED) 3. BACKFILL AROUND EACH POST WITH SUITABLE NATIVE MATERIAL IN 1' LIFTS 4. CONTRACTOR TO PROVIDE 90°, 45° OR END POSTS WHERE REQUIRED. 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ENTIRE SYSTEM.



- NOTES:
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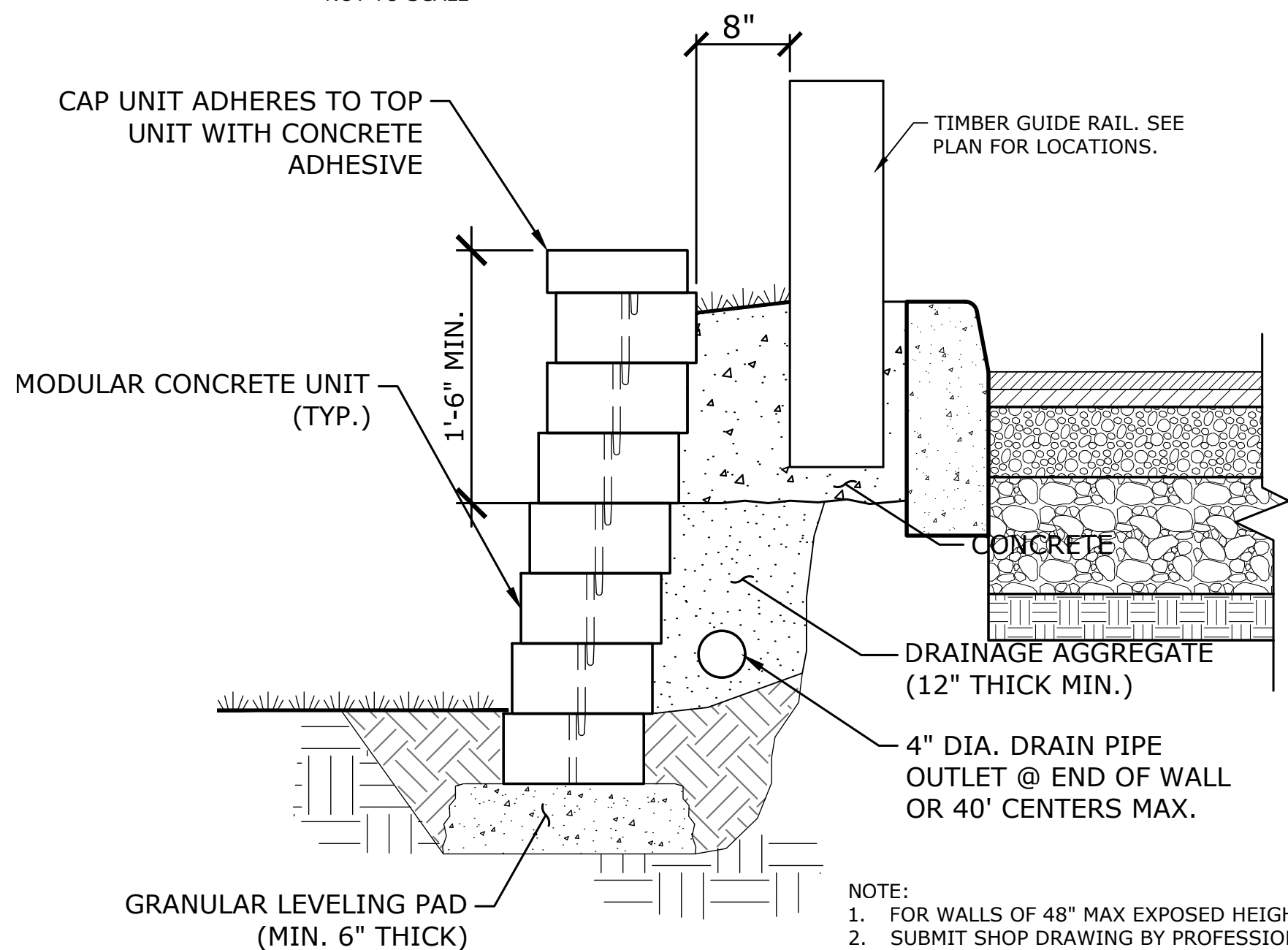
TIMBER GUIDE RAIL

NOT TO SCALE



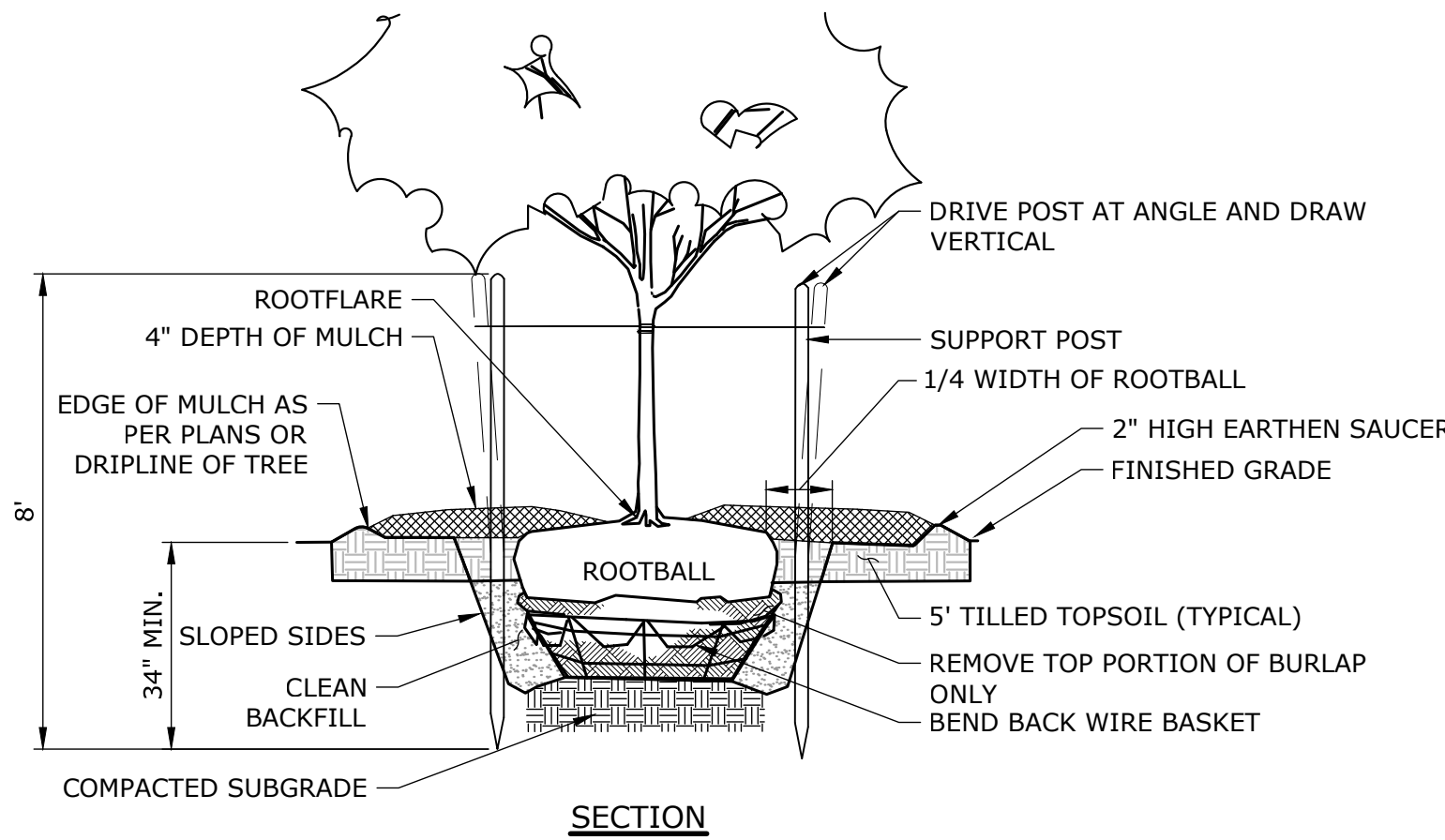
ORNAMENTAL FENCE

NOT TO SCALE



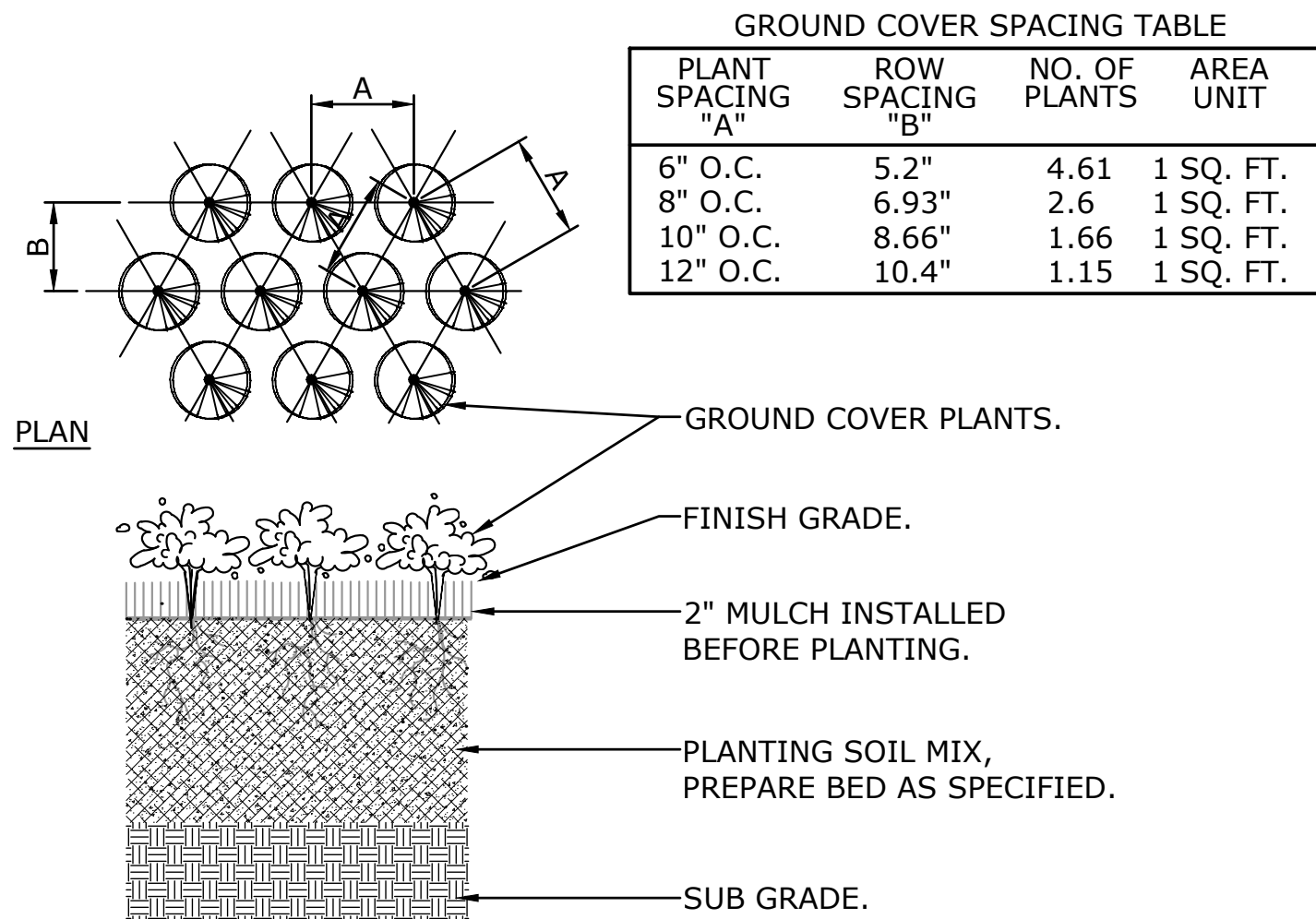
UNREINFORCED RETAINING WALL

NOT TO SCALE



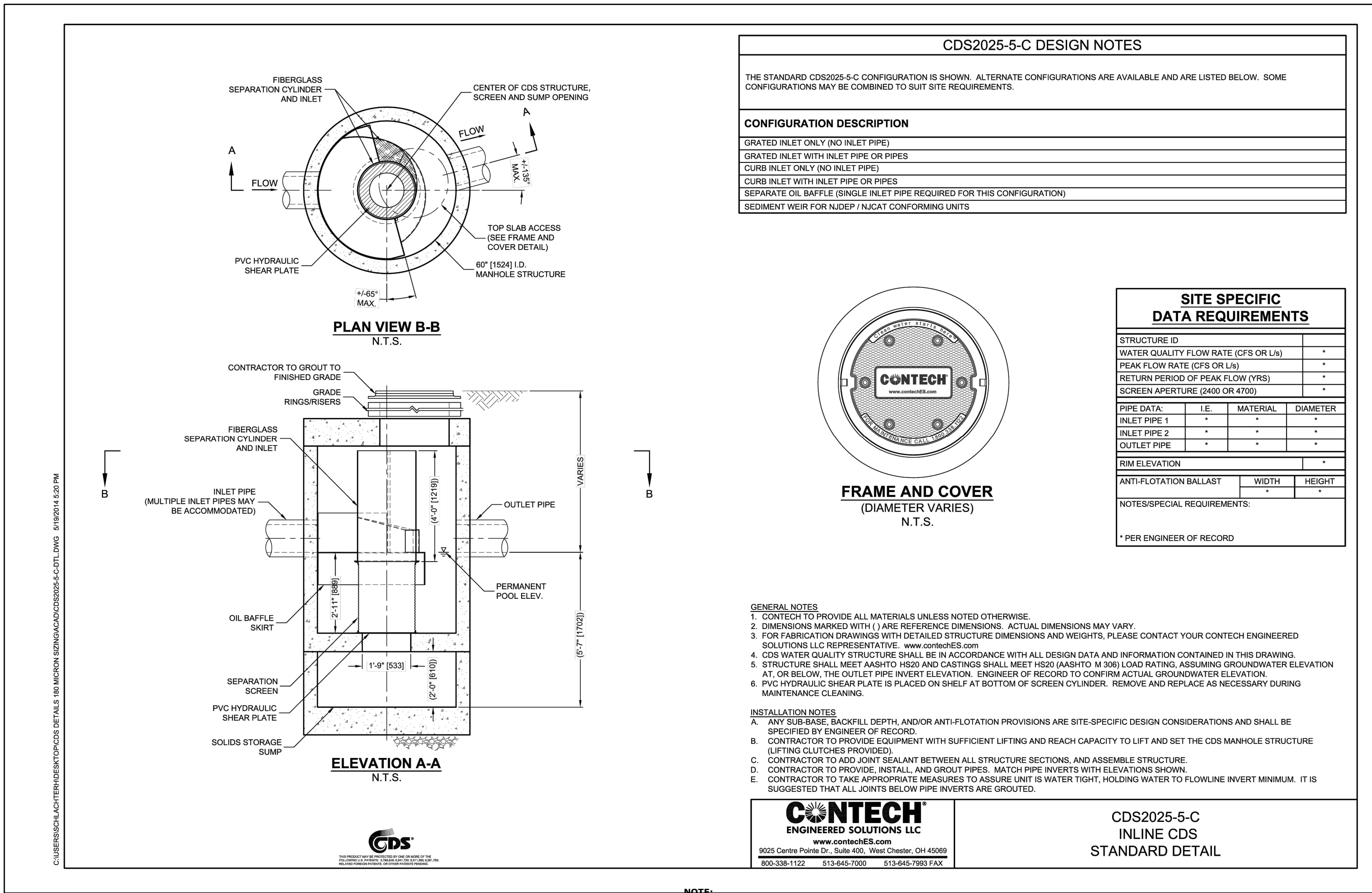
TREE PLANTING

NOT TO SCALE



GROUND COVER/PERENNIAL PLANTING

NOT TO SCALE



EXISTING HYDRODYNAMIC SEPARATOR

NOT TO SCALE

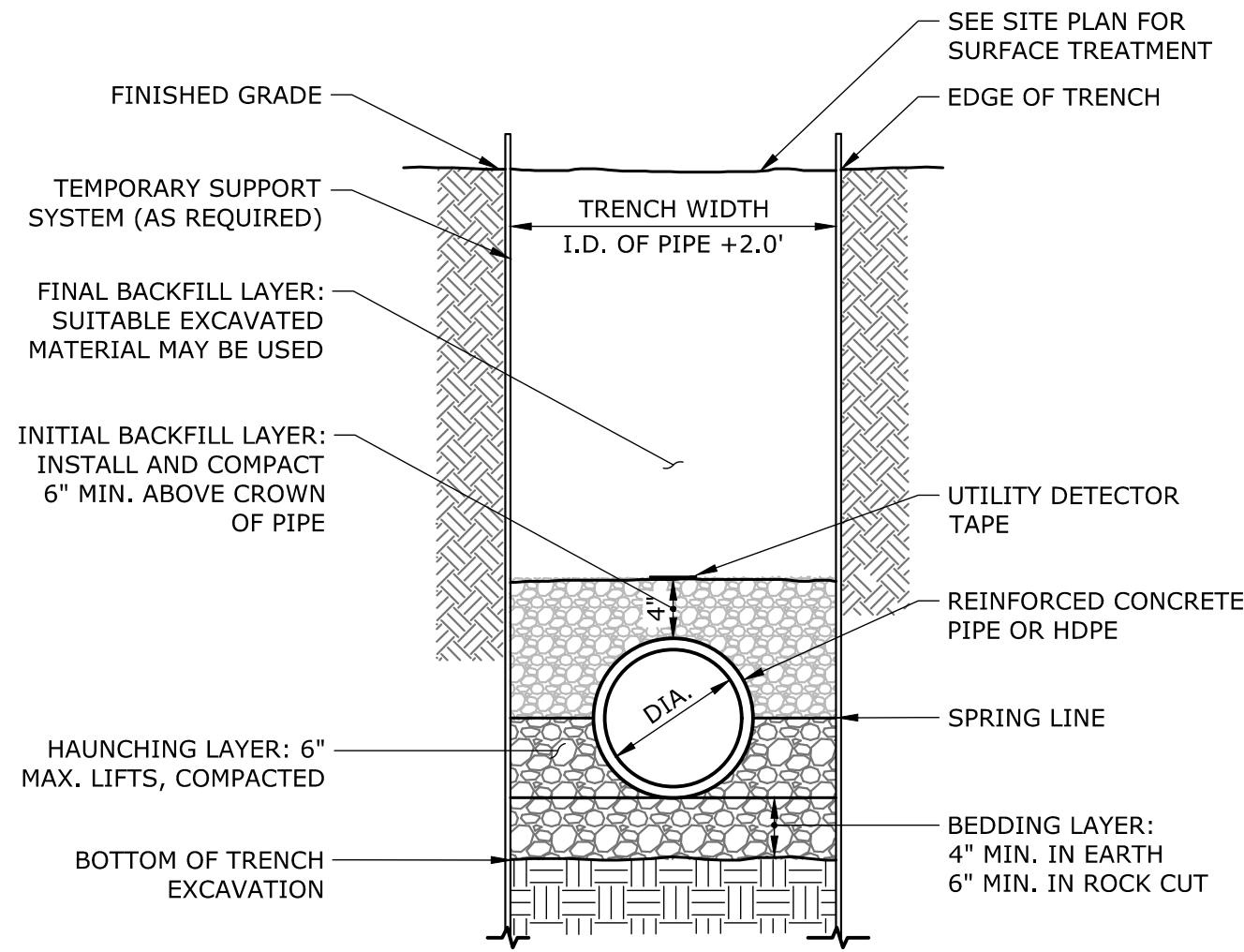
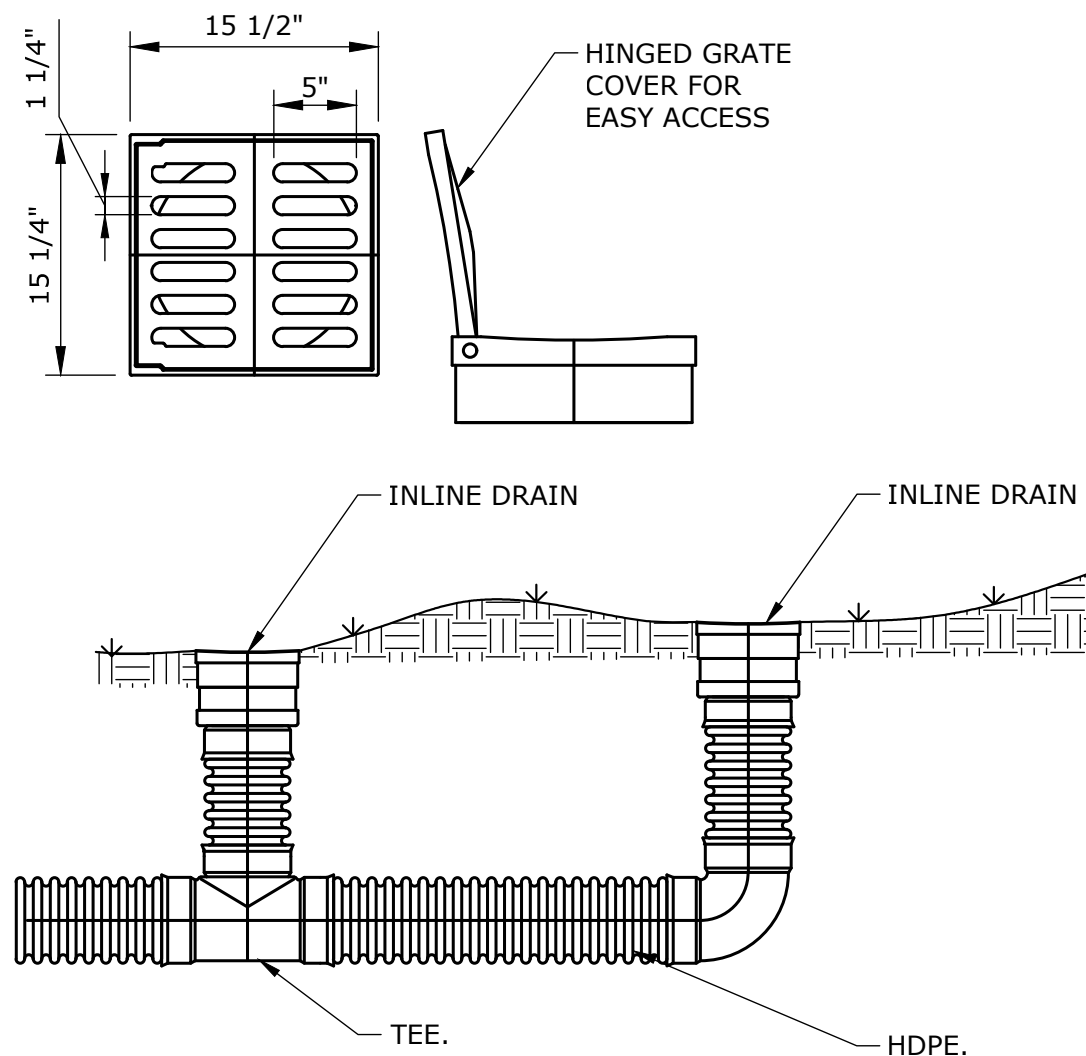
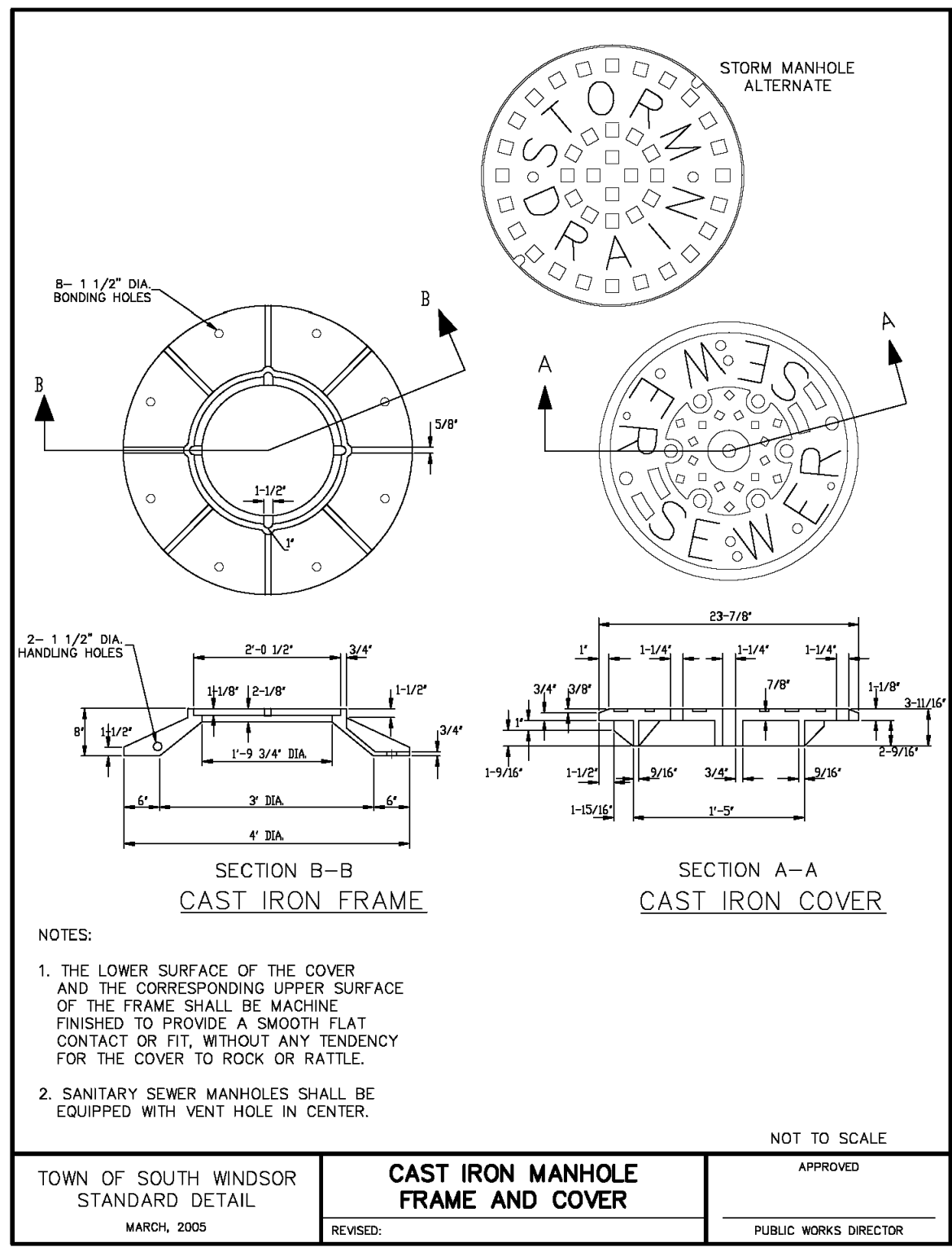
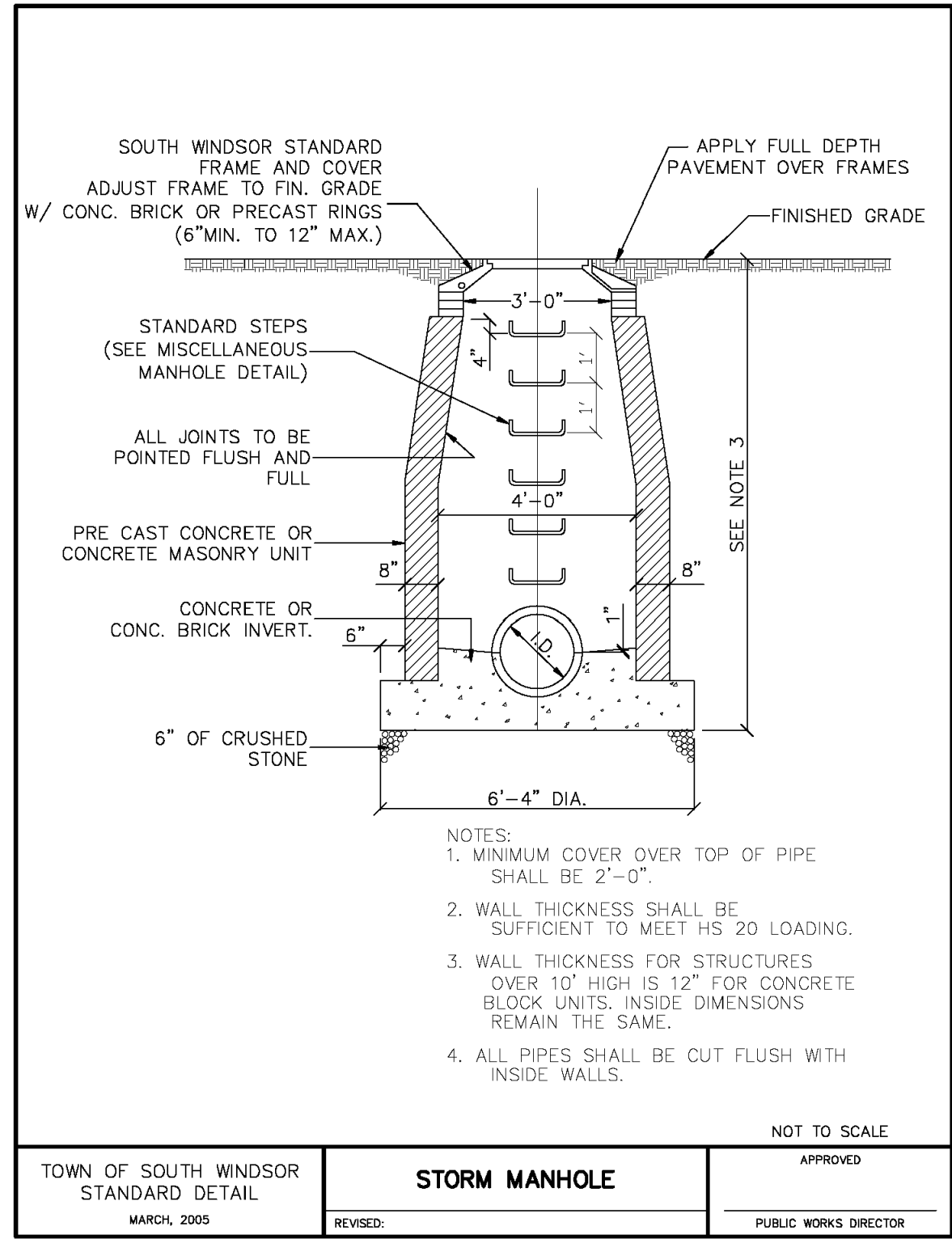
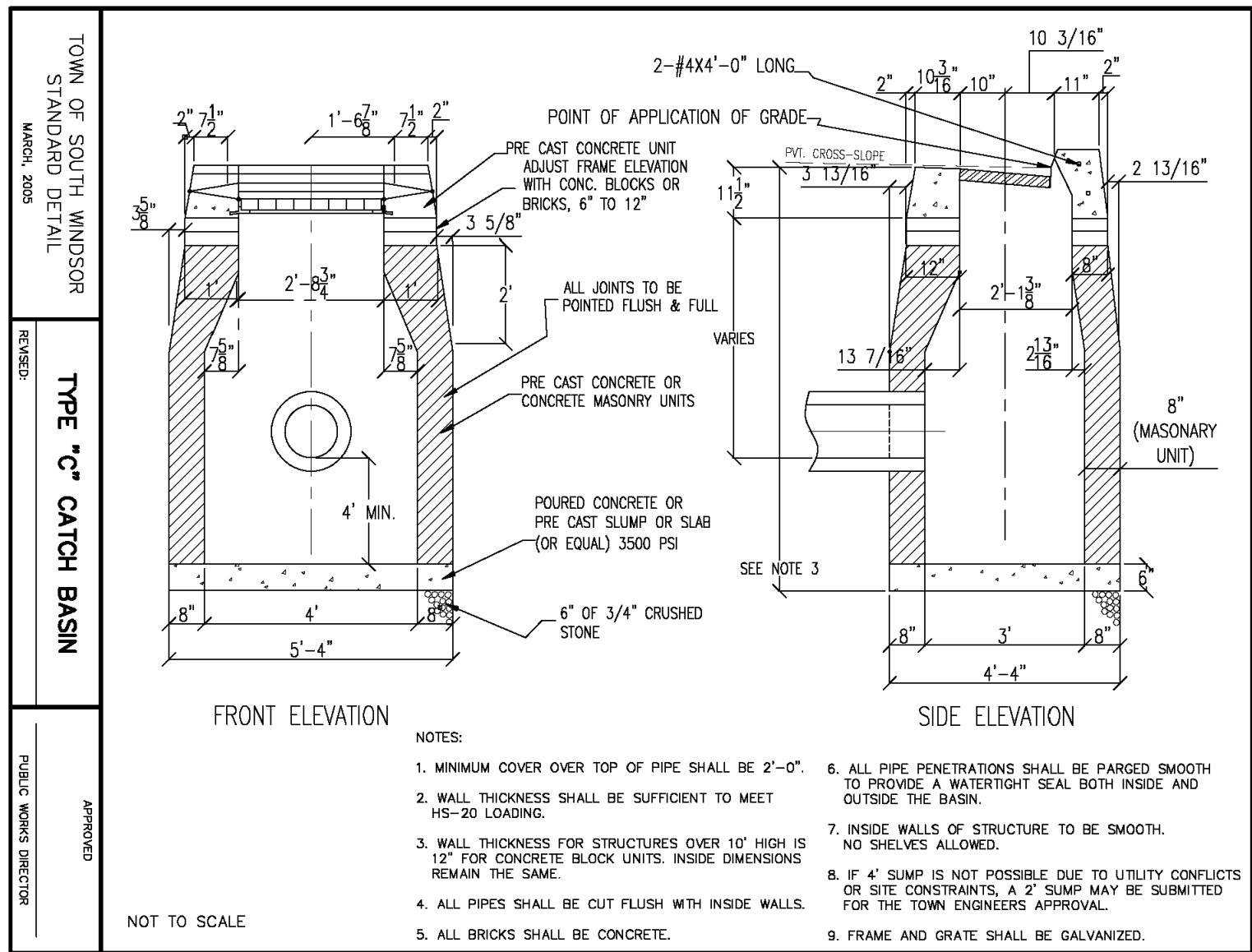
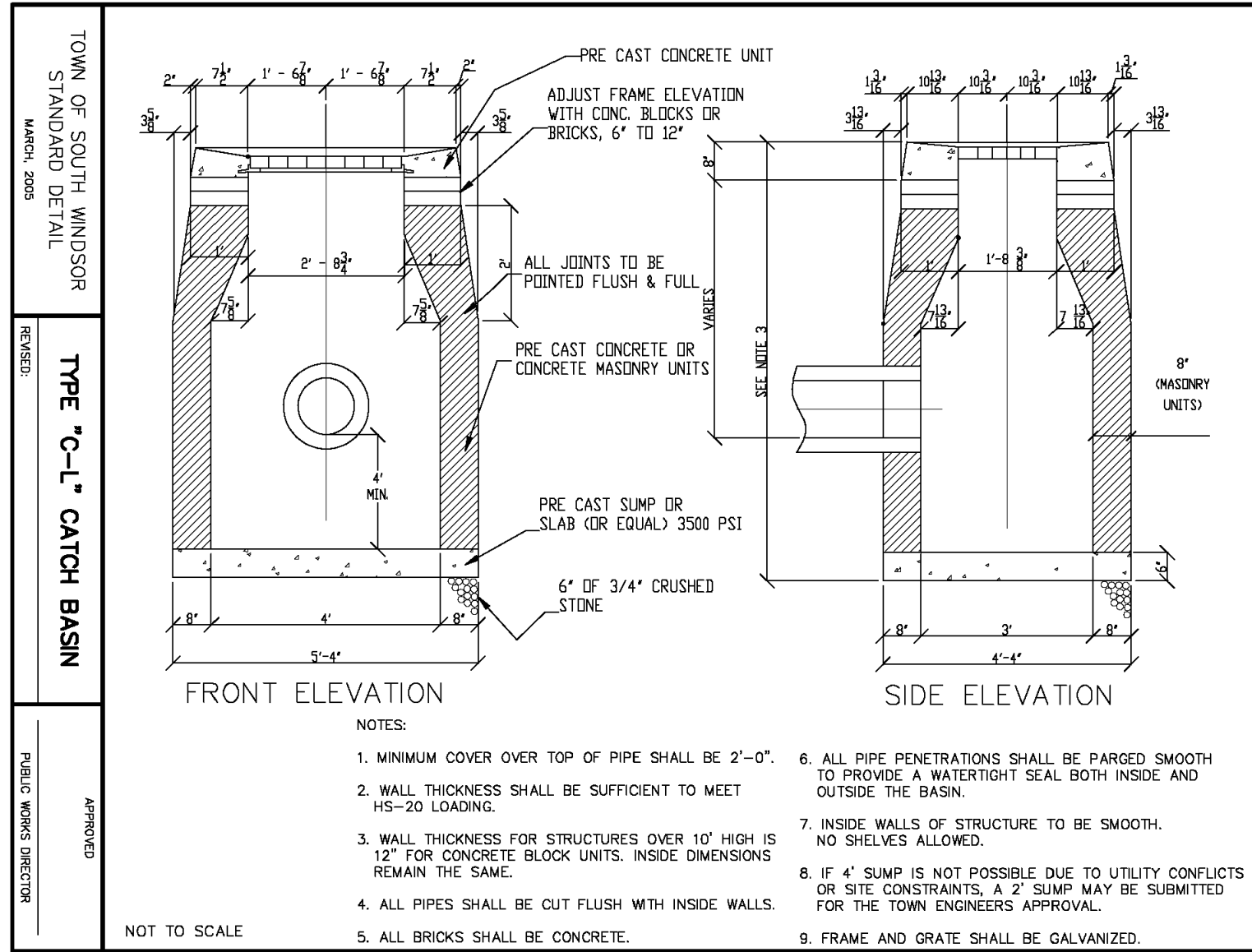
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DESCRIPTION	DATE	BY

SITE DETAILS
PROPOSED RESTAURANTS
CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
JULY 12, 2023		
21167.00001		
PROJECT NO.		
08 OF 11		
SHEET NO.		
SD-2		
SHEET NAME		

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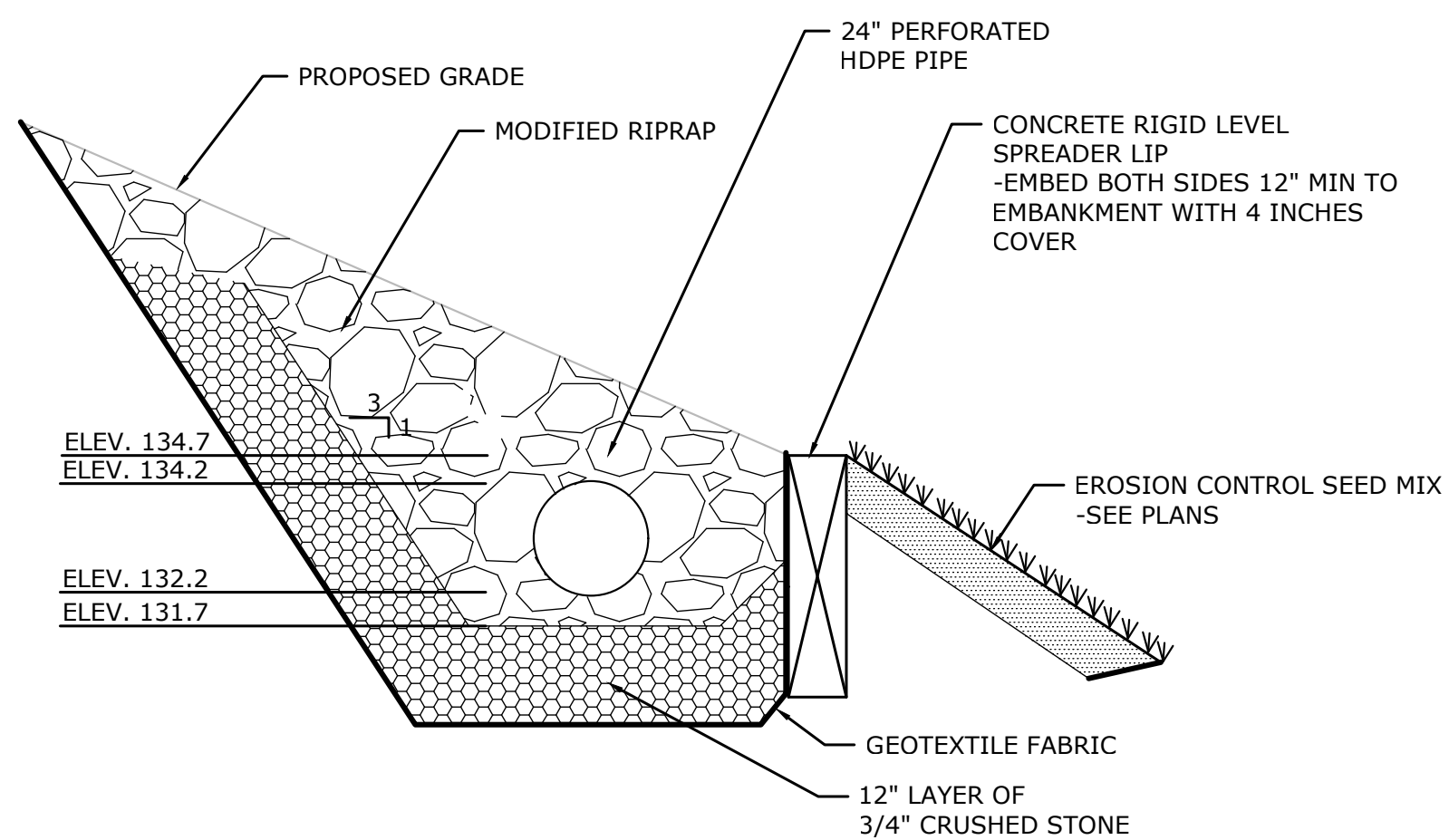


STORM DRAINAGE TRENCH

NOT TO SCALE

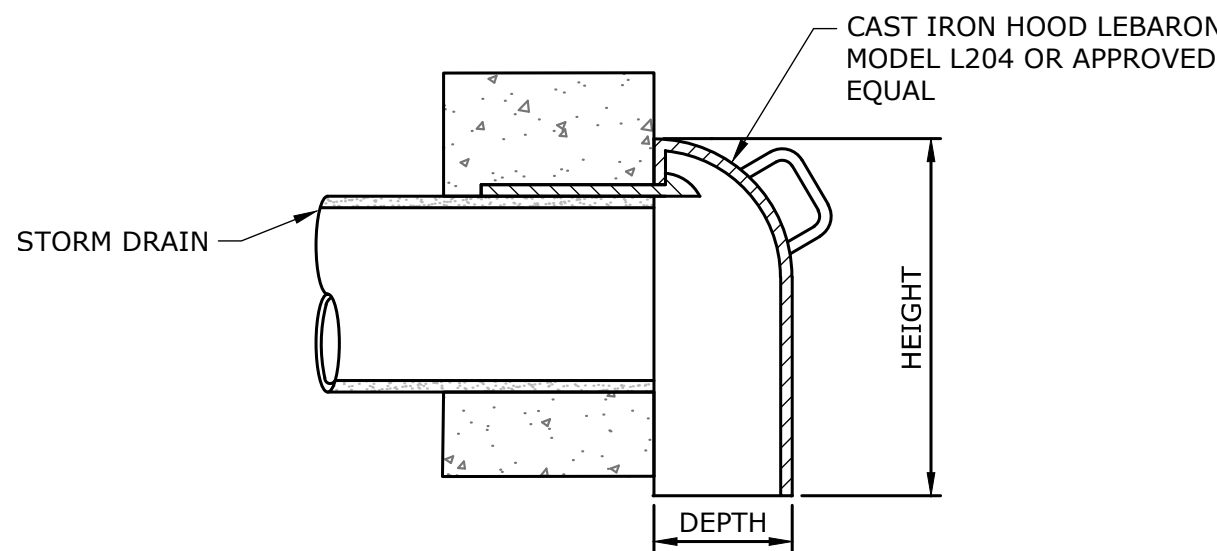
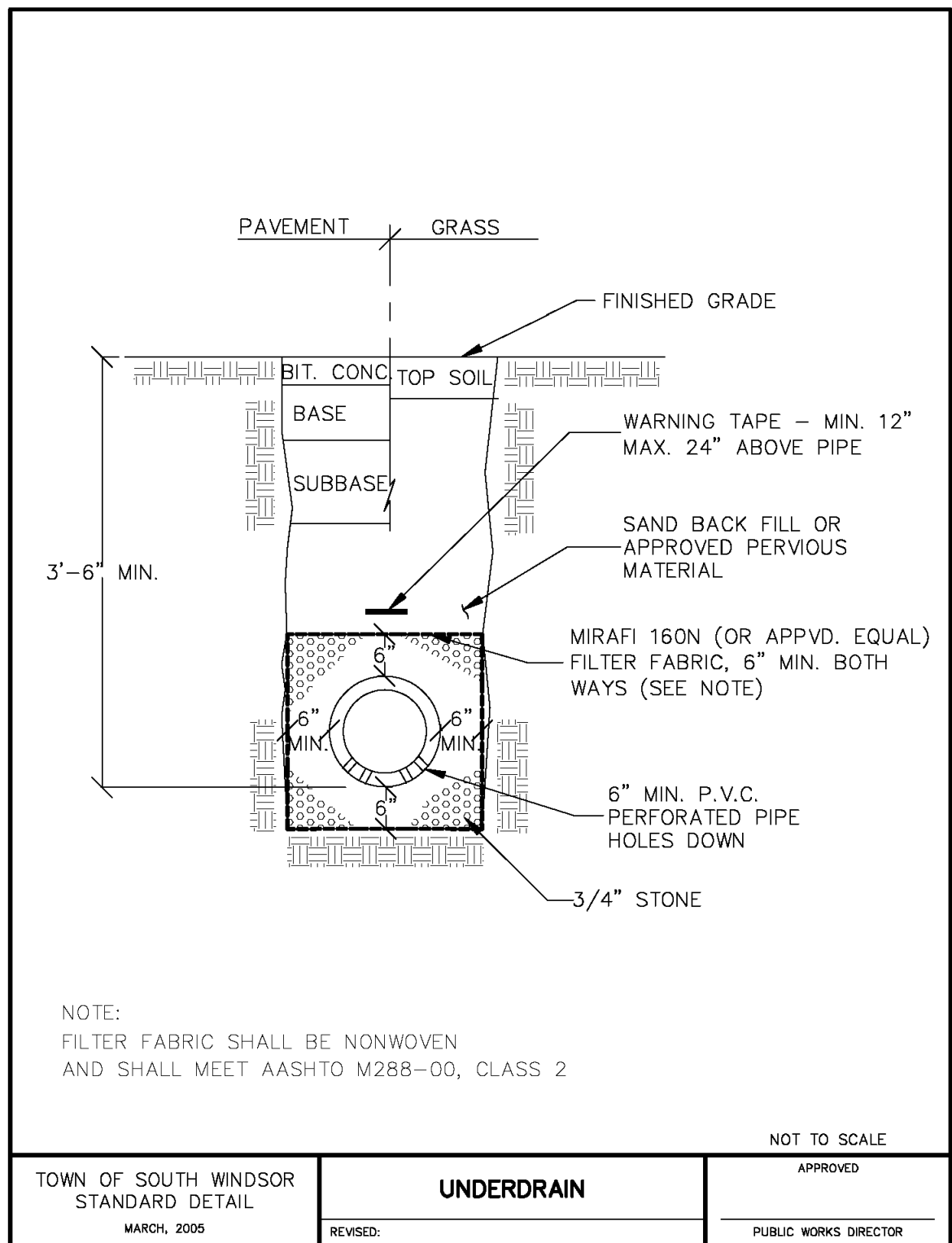
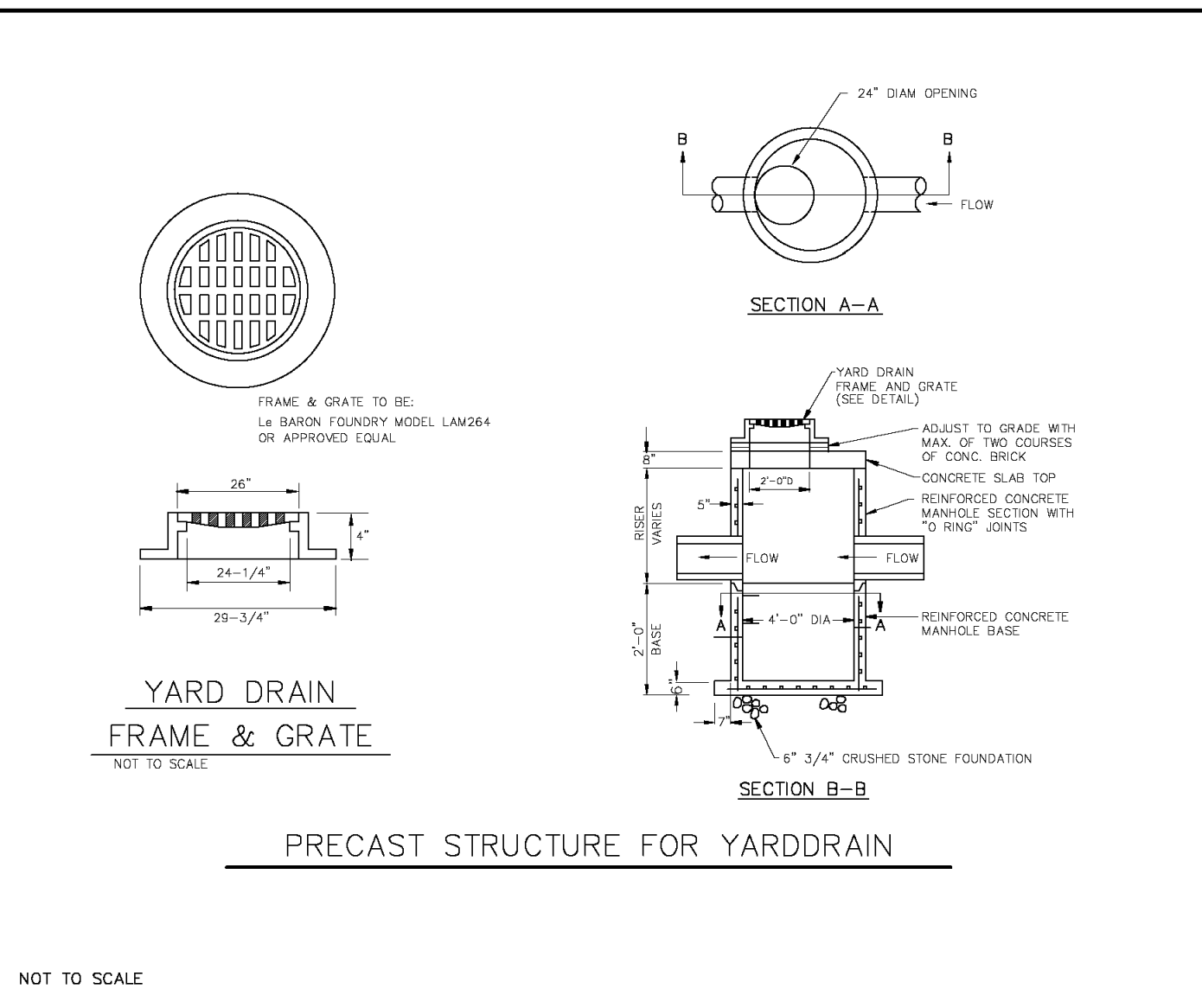
AREA DRAIN AND GRATE

NOT TO SCALE



EXISTING RIPRAP LEVEL SPREADER

NOT TO SCALE



HOODED CATCH BASIN TRAP

NOT TO SCALE



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DESCRIPTION	DATE	BY
P&Z SUBMISSION	08/07/2023	LCD
TOWN COMMENTS	09/16/2023	LCD

SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD

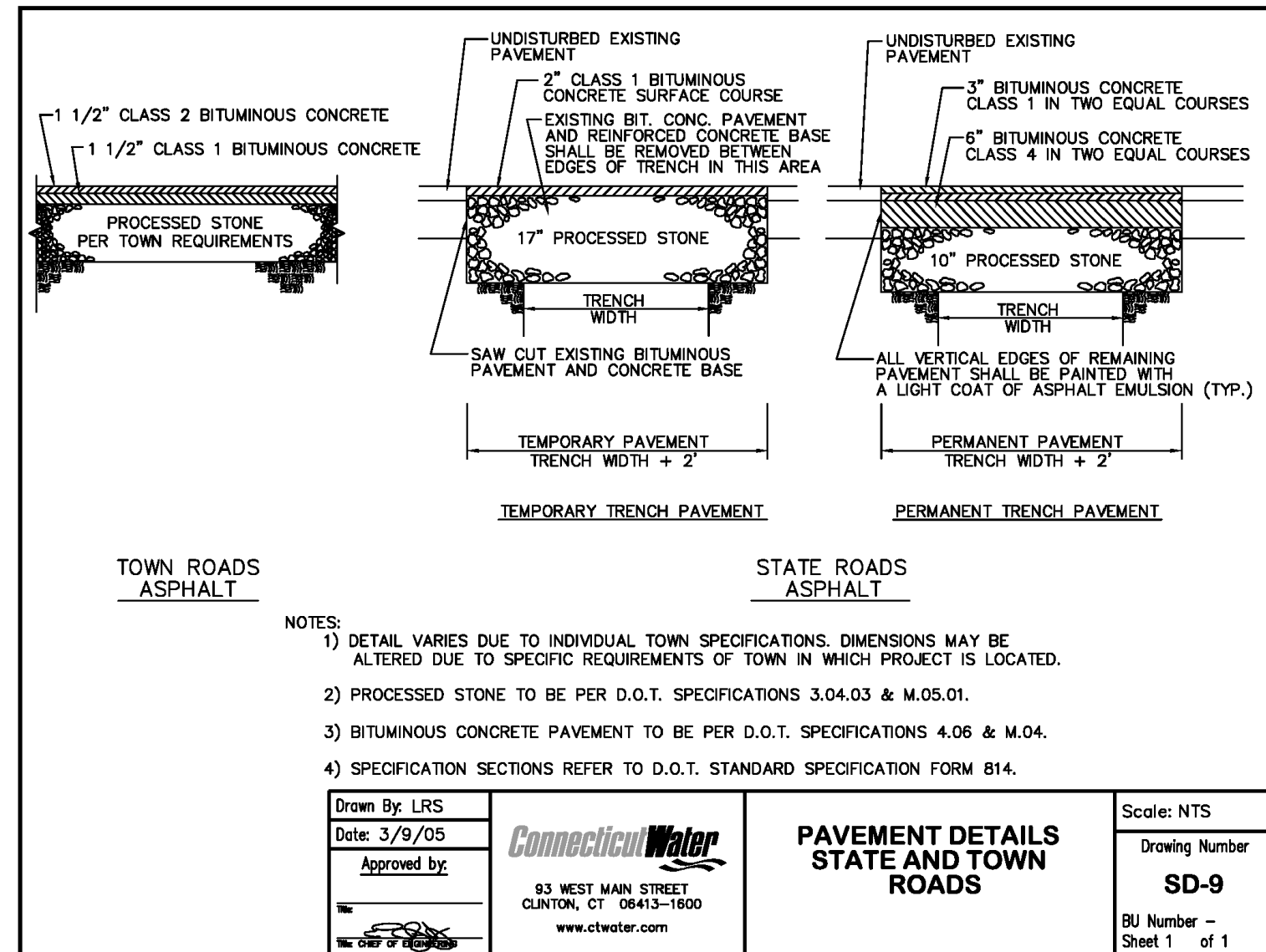
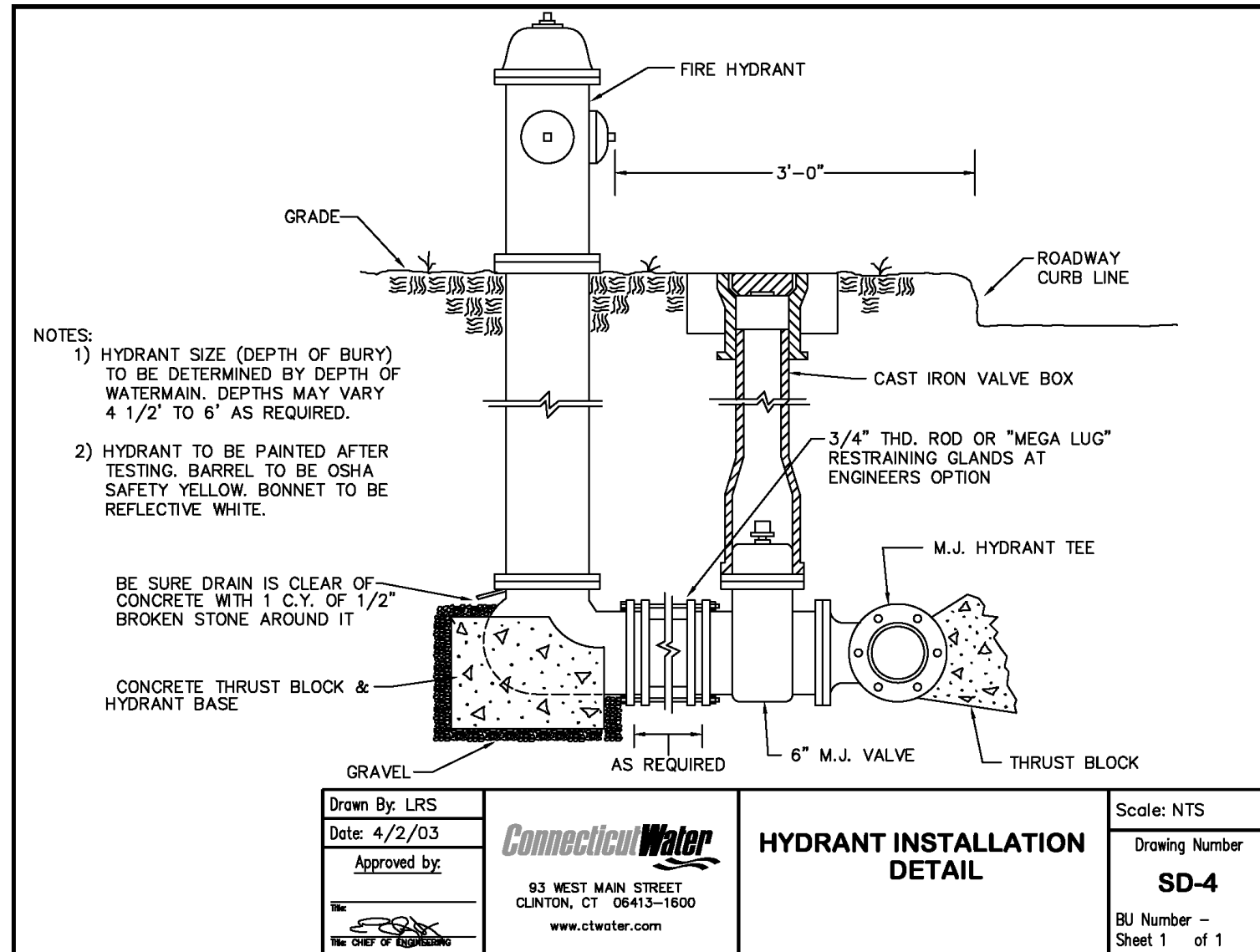
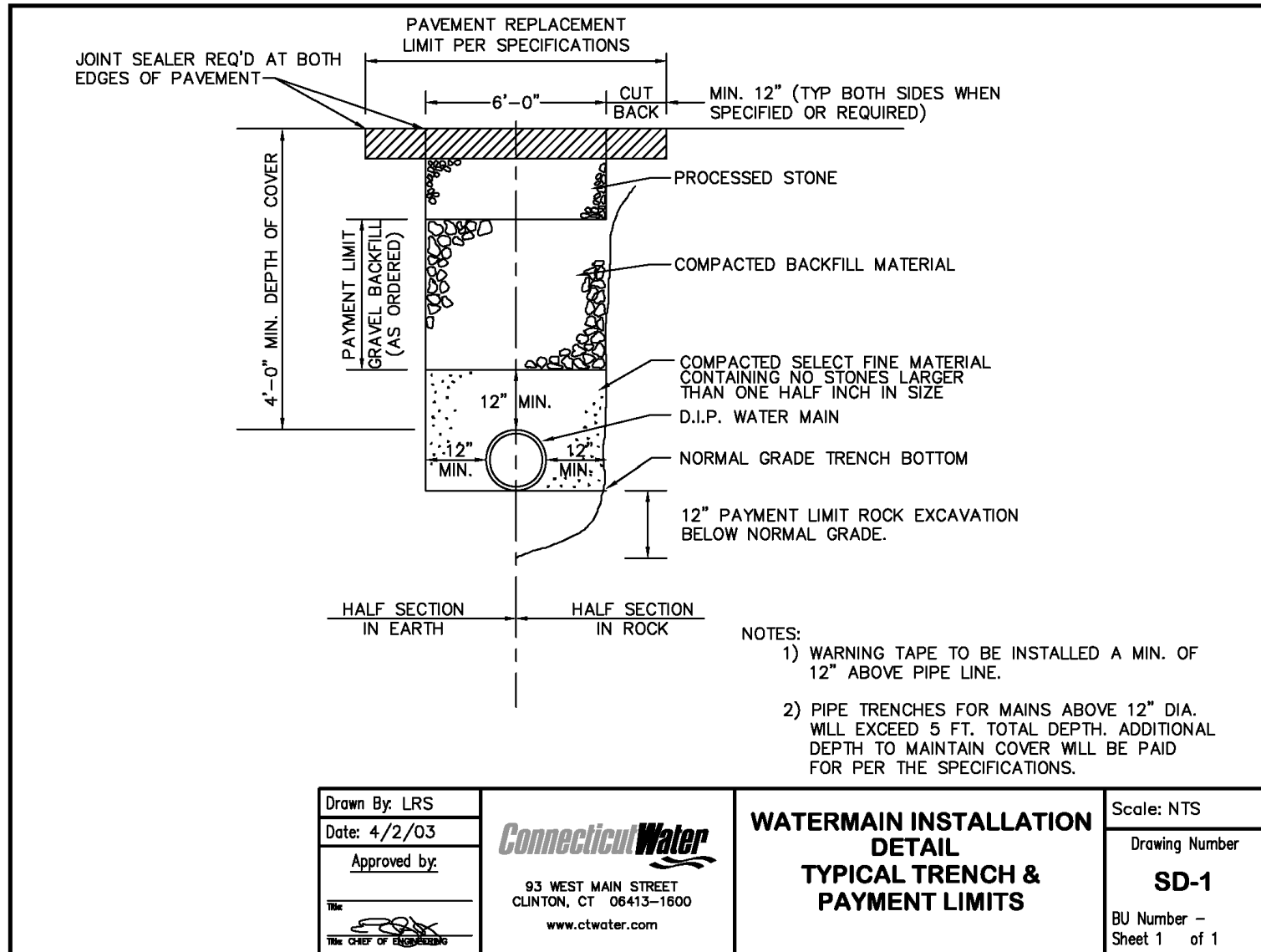
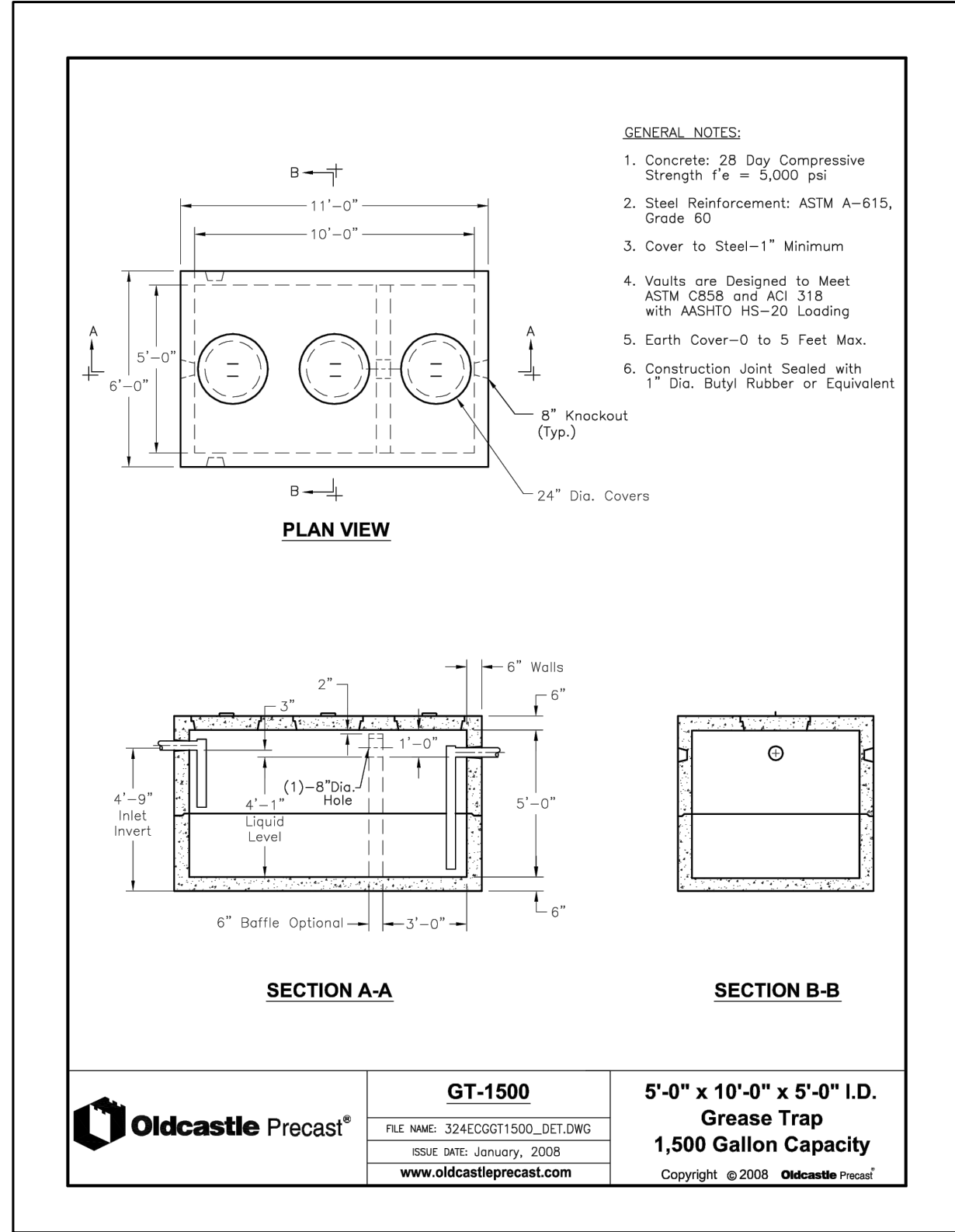
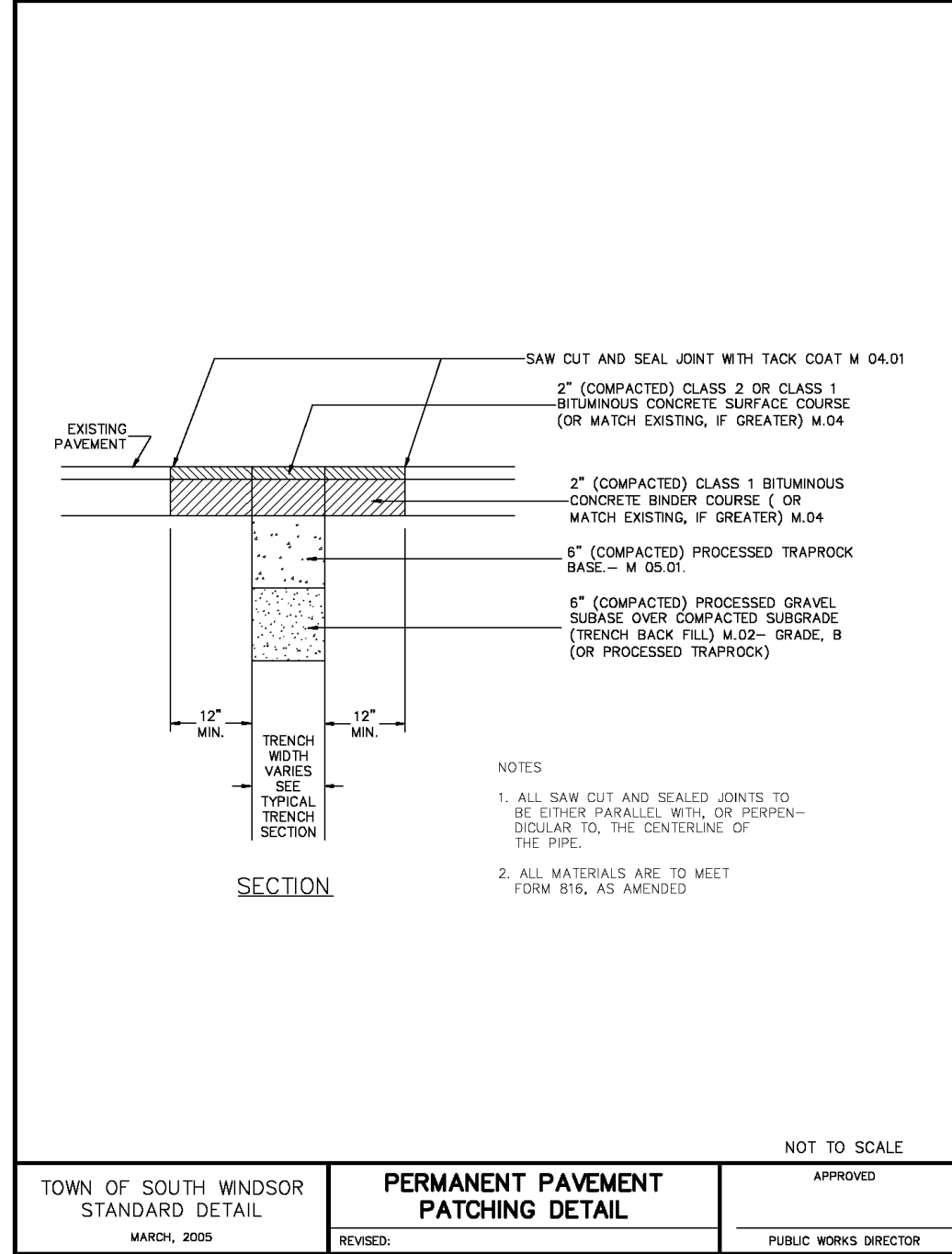
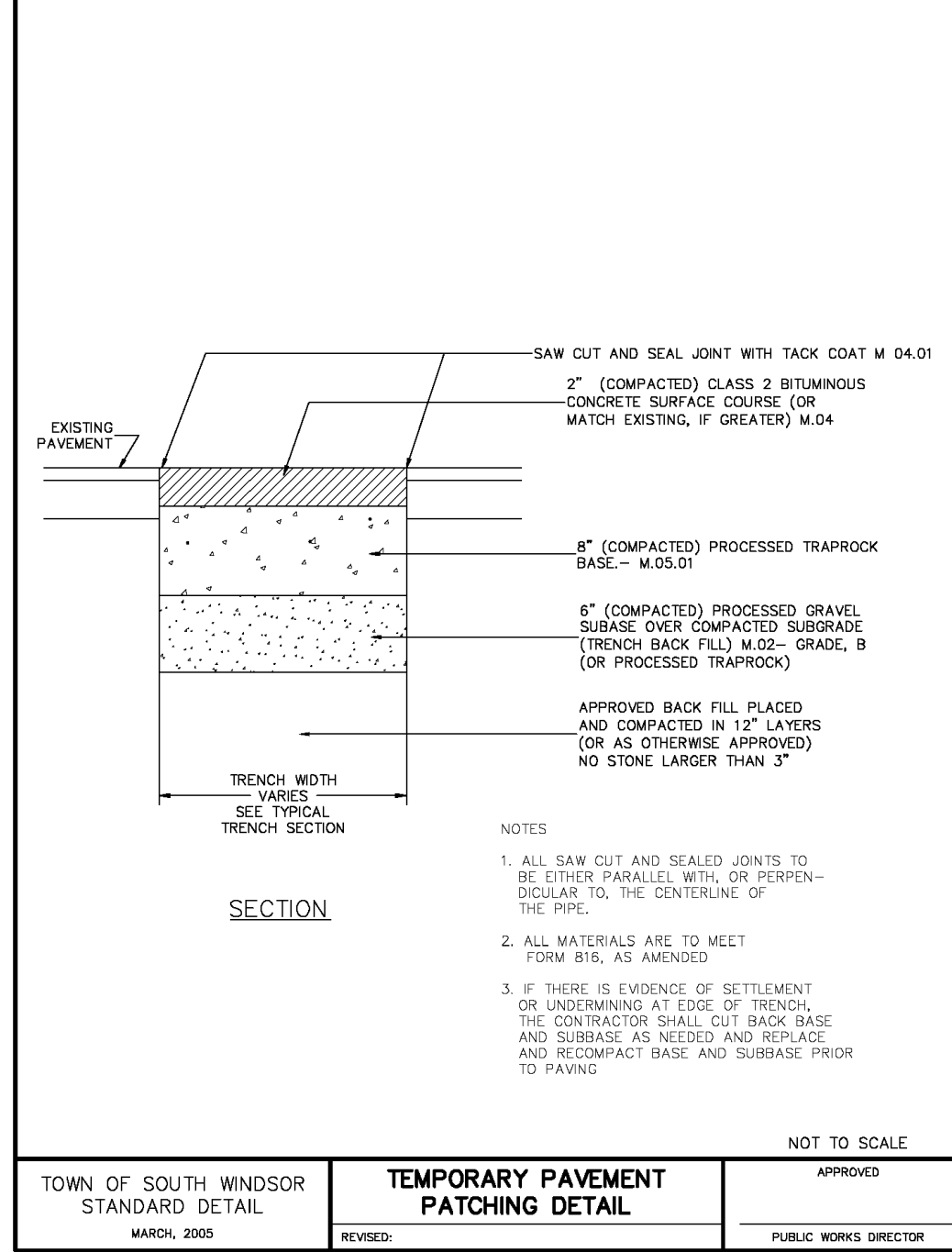
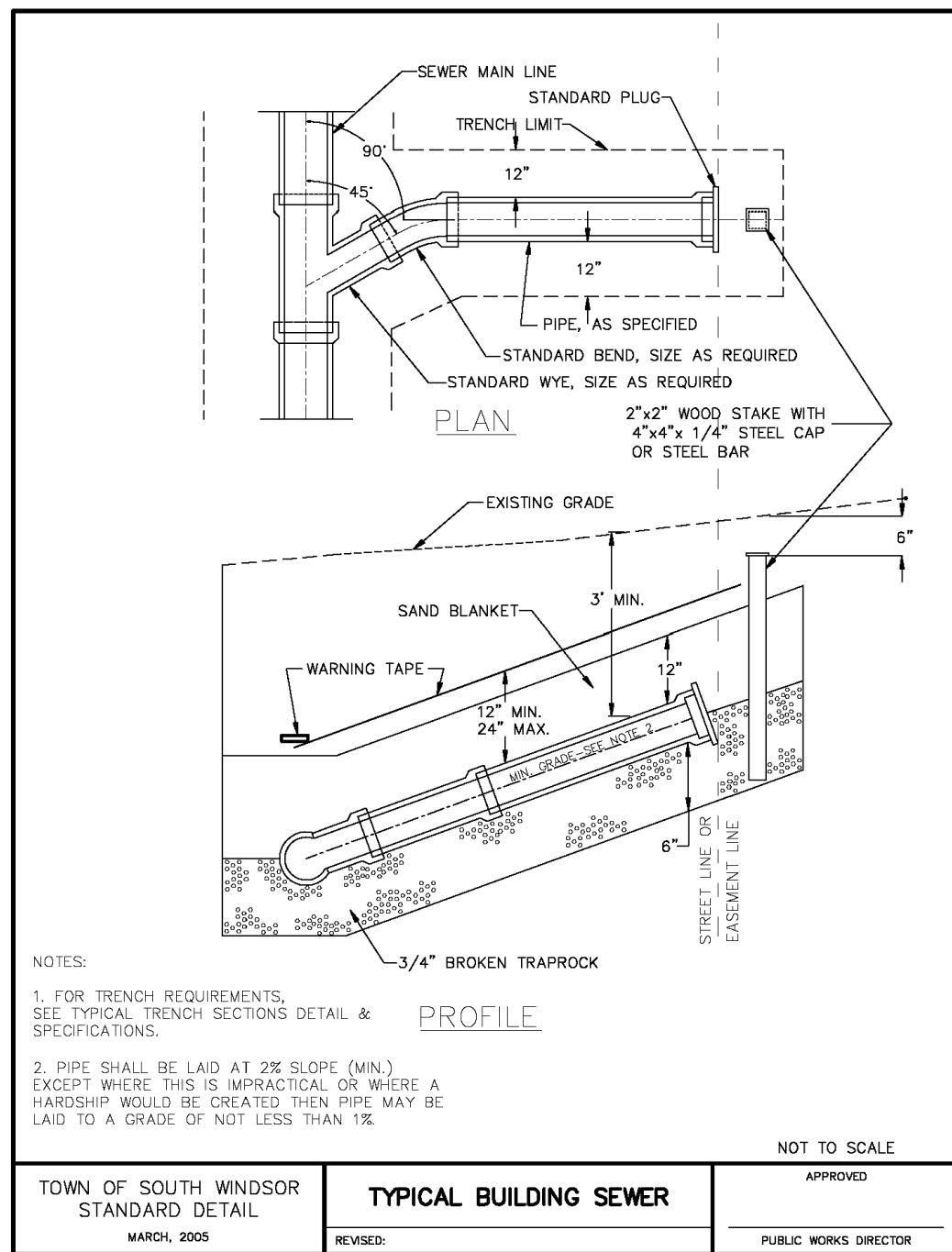
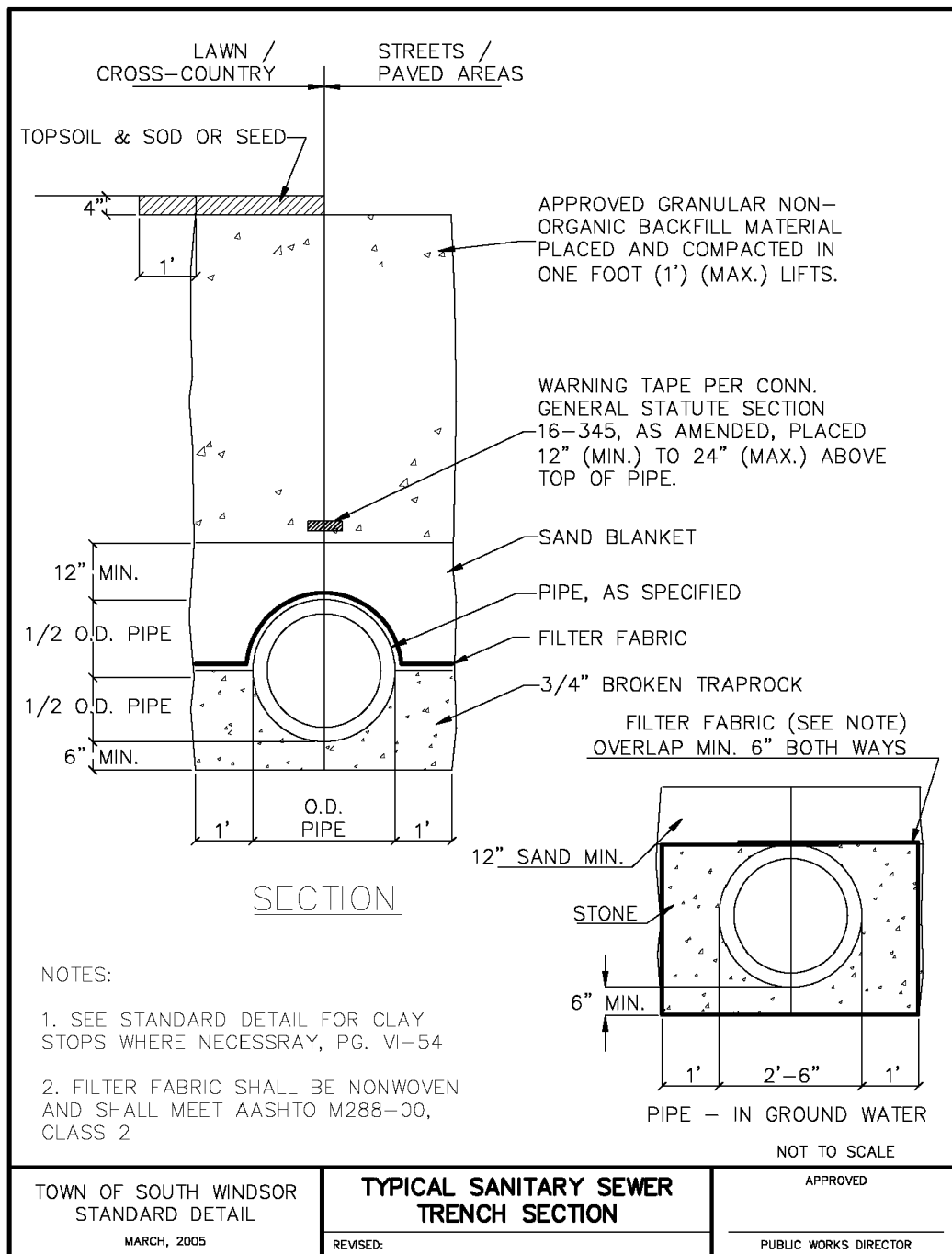
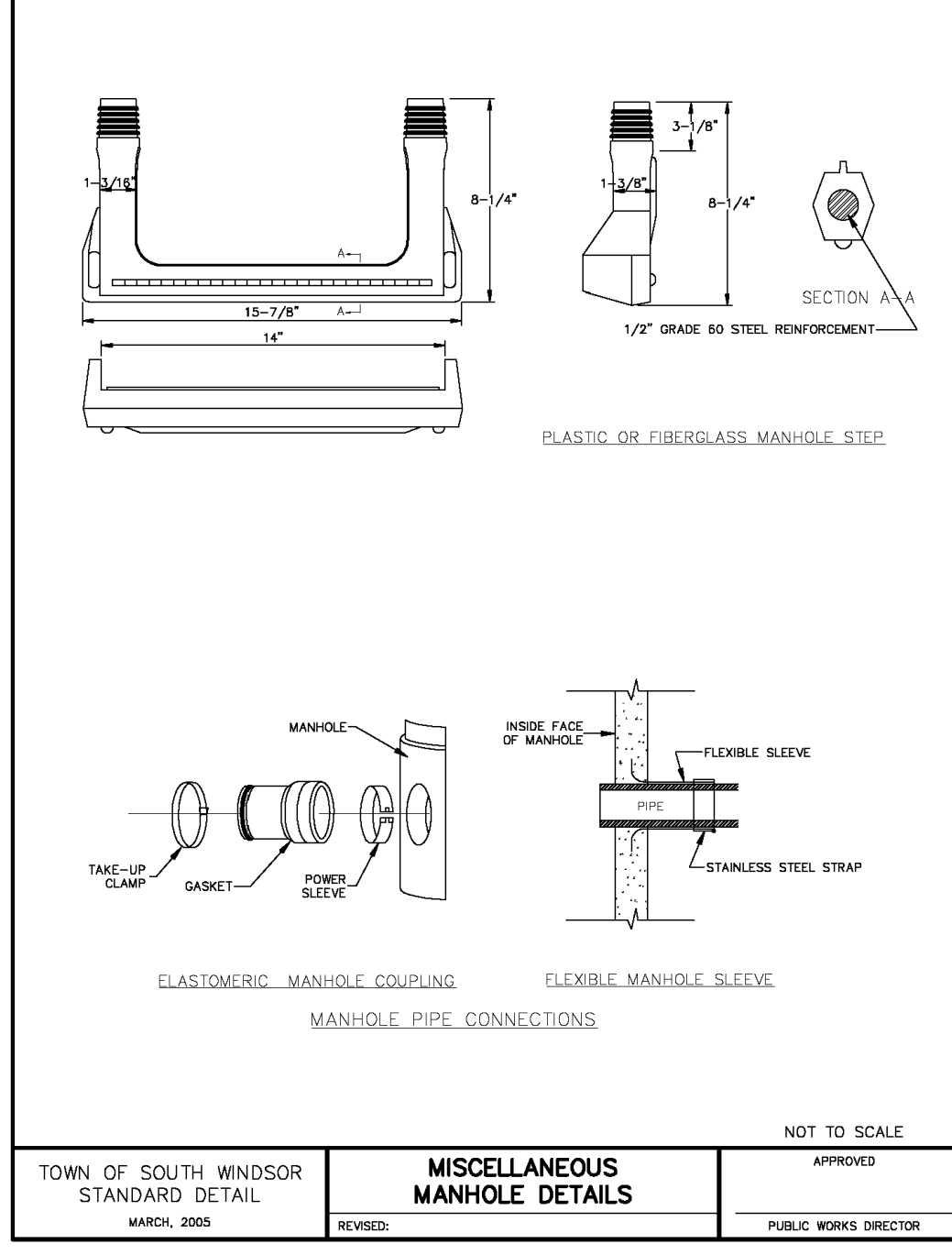
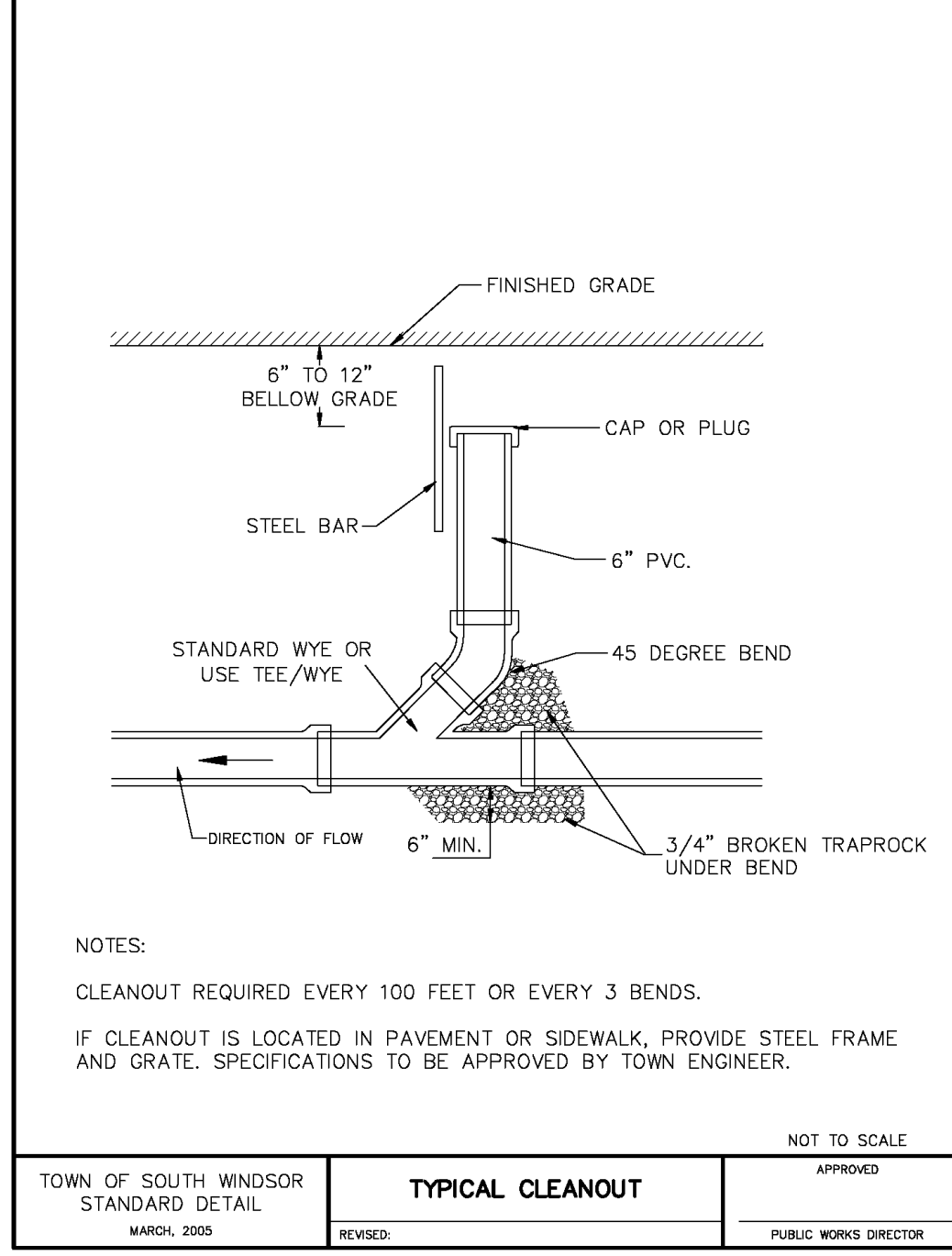
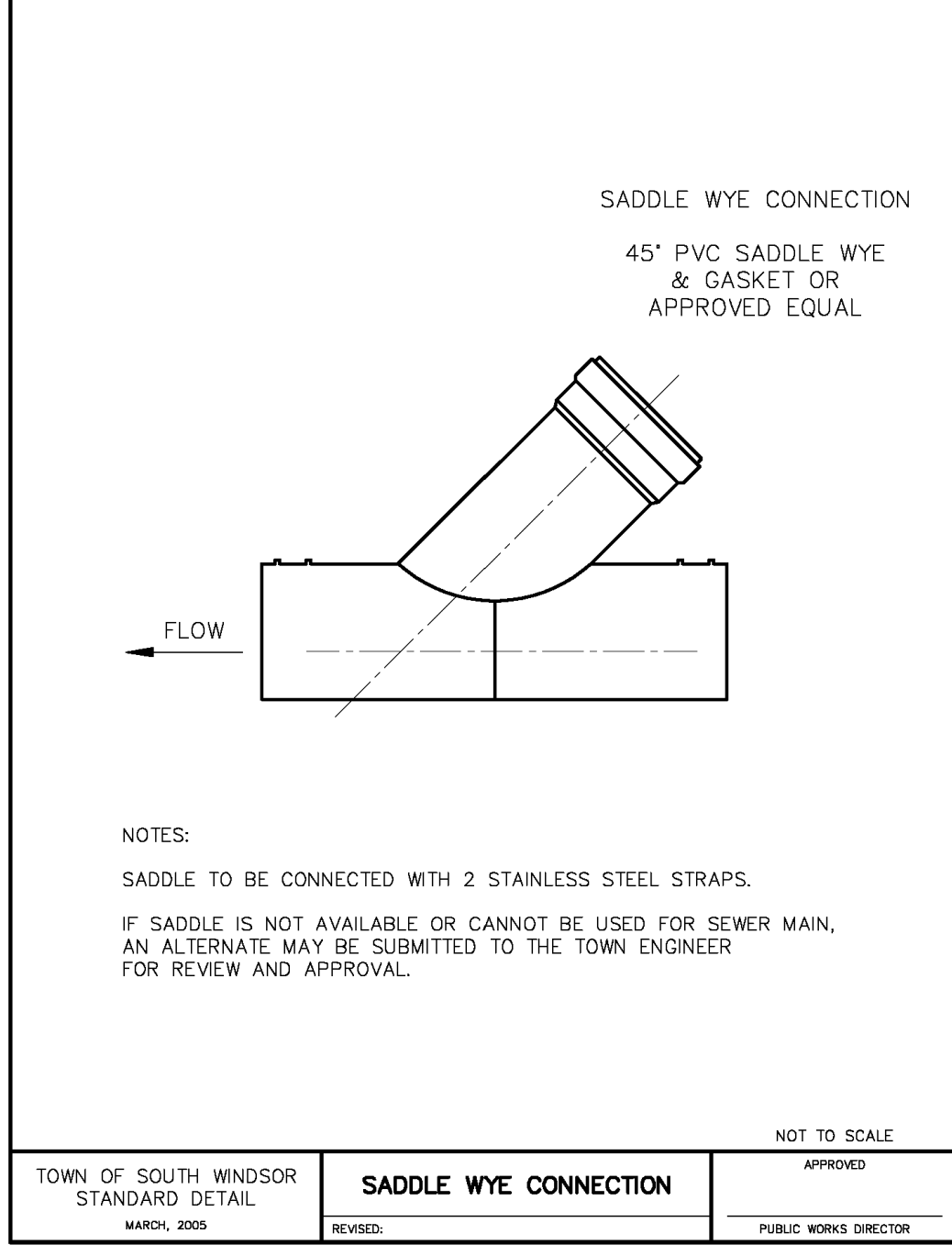
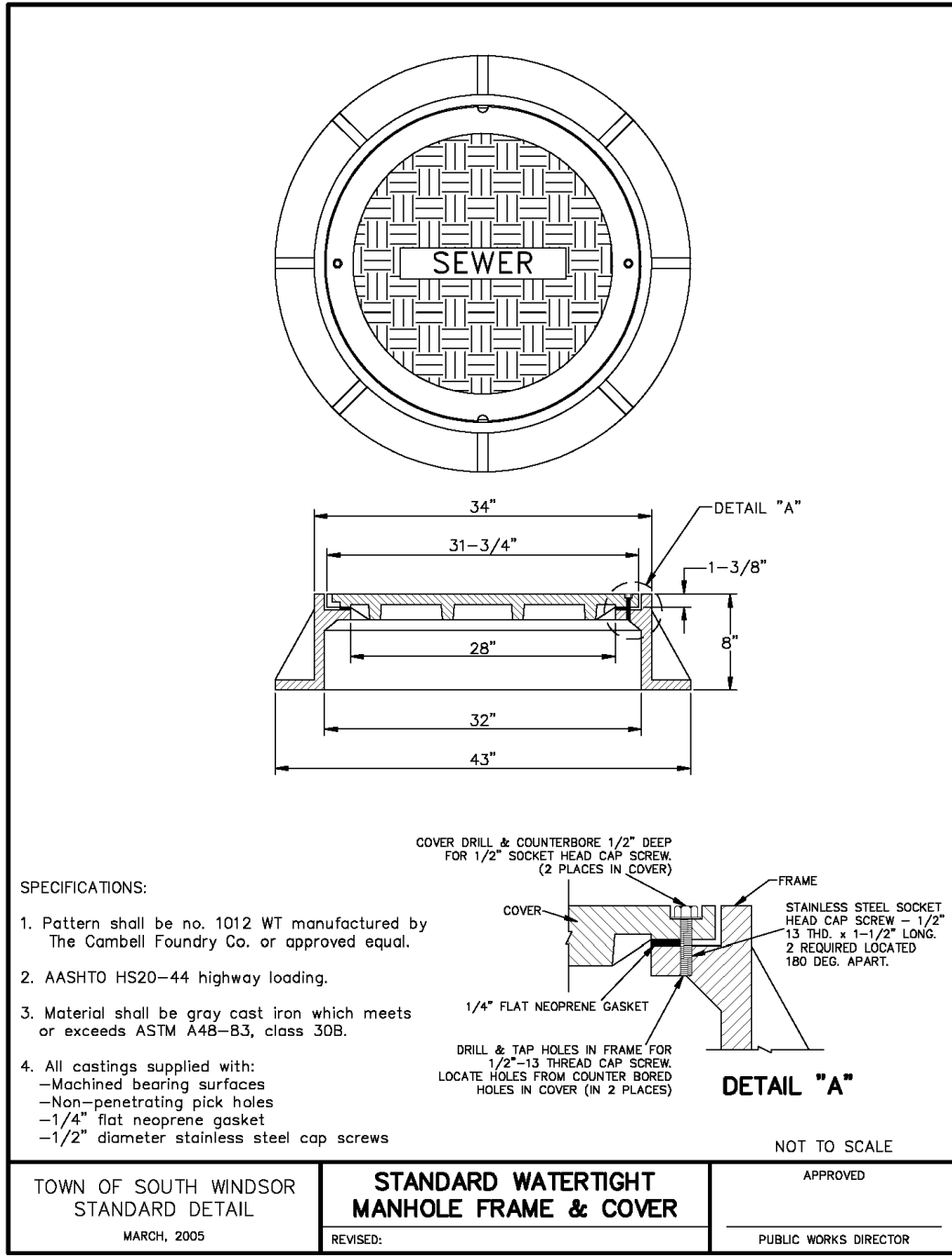
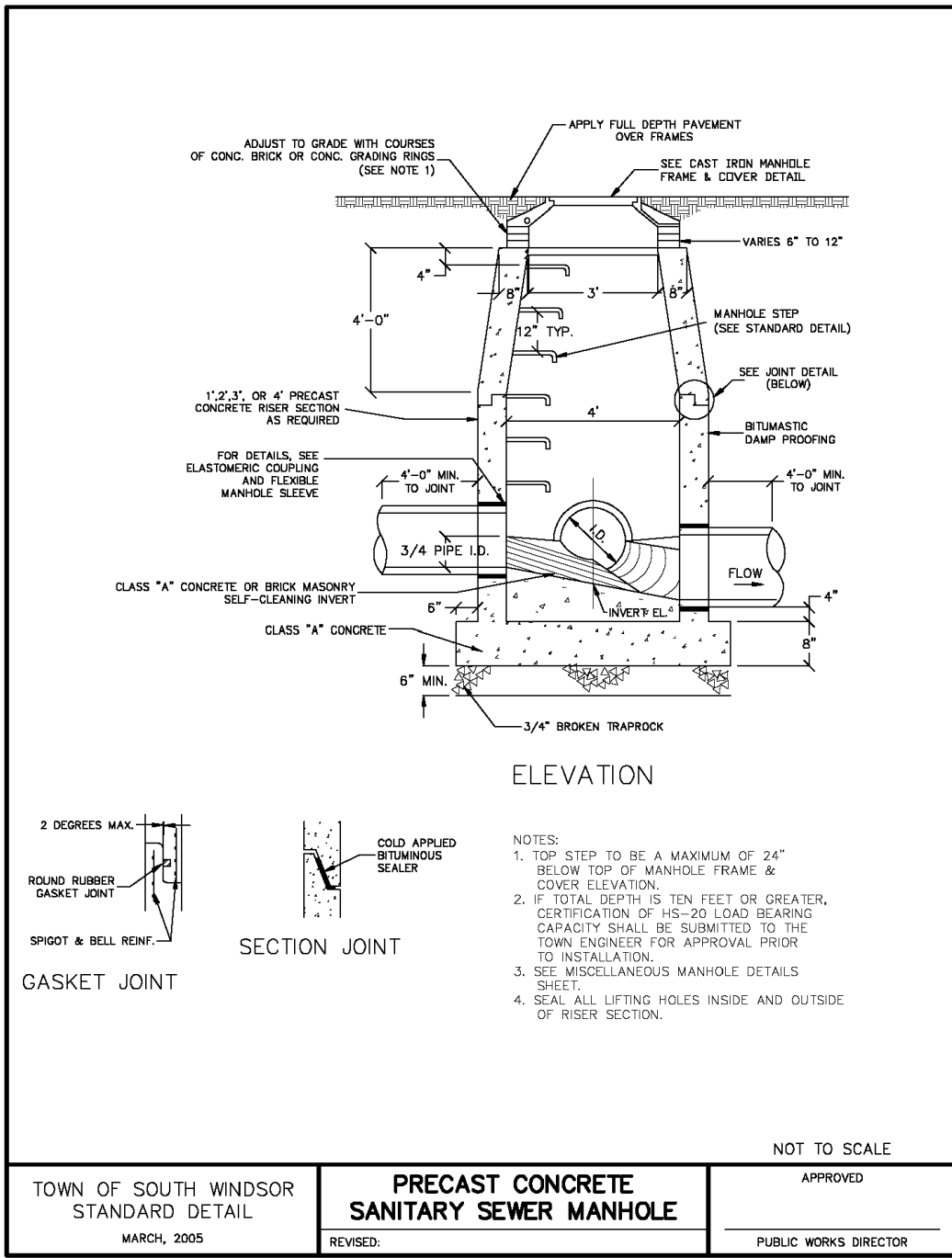
SOUTH WINDSOR, CONNECTICUT

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DESIGNED	DRAWN	CHECKED
AS NOTED		
JULY 12, 2023		
21167.00001		
PROJECT NO.		
09 OF 11		
SHEET NO.		

SD-3

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NOTES: 1. SEE STANDARD DETAIL FOR CLAY STOPS WHERE NECESSARY, PG. VI-54
2. FILTER FABRIC SHALL BE NONWOVEN AND SHALL MEET AASHTO M288-00, CLASS 2



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DESCRIPTION	DATE	BY

SITE DETAILS

PROPOSED RESTAURANTS

CEDAR AVENUE AND BUCKLAND ROAD
SOUTH WINDSOR, CONNECTICUT

RYE	RYE	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
JULY 12, 2023		
DATE		
21167.00001		
PROJECT NO.		
10 OF 11		
SHEET NO.		
SD-4		
SHEET NAME		

