

# MEDICAL OFFICE BUILDING

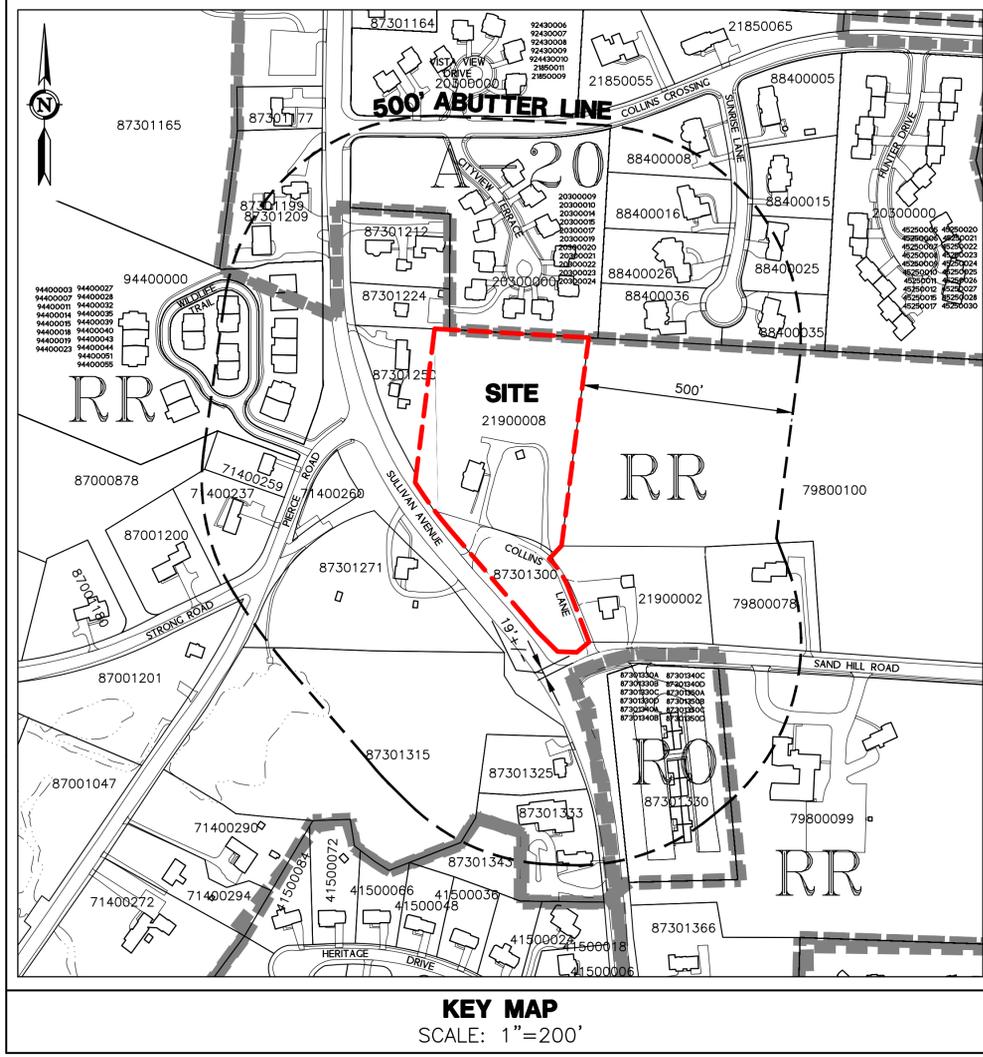
## SPECIAL EXCEPTION APPLICATION

1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE)  
SOUTH WINDSOR ~ CT  
GIS PIN: 21900008, 87301300

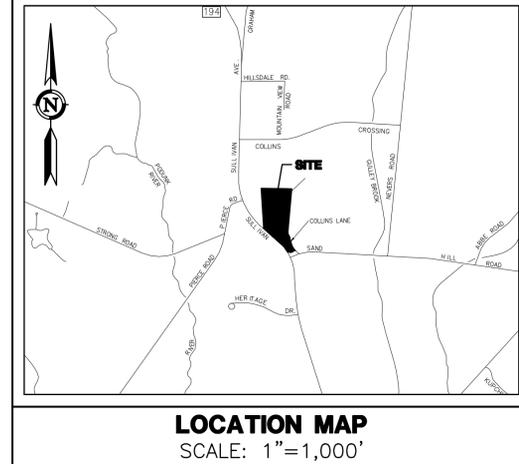
### N/F 500' ABUTTERS

Parcel ID	Site Address	Owner Name
20300000	COLLINS CROSSING	NA
20300009	9 CITYVIEW TERRACE	SANSOM FREDERICK W & LOUISE A
20300010	10 CITYVIEW TERRACE	NAPOLITANO FRANK & JANE
20300014	14 CITYVIEW TERRACE	SAMSEL THERESA G L/U
20300015	15 CITYVIEW TERRACE	SEXTON MARINA V & JOHN FRANKS
20300017	17 CITYVIEW TERRACE	LEGRON RONALD E & BLANCHE D
20300019	19 CITYVIEW TERRACE	CLARK JAMES H
20300020	20 CITYVIEW TERRACE	SCHLINGER MARILYN S
20300021	21 CITYVIEW TERRACE	HOBBY DAVID A & JANET B
20300022	22 CITYVIEW TERRACE	BURNHAM JUDY
20300023	23 CITYVIEW TERRACE	ALMEDIA ANA
20300024	24 CITYVIEW TERRACE	MACK SANDRA L &
21850009	9 COLLINS CROSSING	KOENIG MARY
21850011	11 COLLINS CROSSING	KOENIG MARY
21900002	2 COLLINS LANE	TAYLOR THOMAS & SARAH
21900008	8 COLLINS LANE	4 ELEMENTS VITALITY INSTITUTE LLC
71400237	237 PIERCE ROAD	SCHEIDING DAVID R & MARGARET E
71400259	259 PIERCE ROAD	NGUYEN THAI & THAI ANNE
71400260	260 PIERCE ROAD	SOUTH WINDSOR TOWN OF
79800018	78 SAND HILL ROAD	HALLE RAYMOND W
79800099	99 SAND HILL ROAD	PARISH OF ST PETERS CHURCH
79800100	100 SAND HILL ROAD	SOUTH WINDSOR TOWN OF
87000878	878 STRONG ROAD	MCDONALD BONNIE
87301199	1199 SULLIVAN AVENUE	MITCHELL JOHN J ESTATE OF
87301209	1209 SULLIVAN AVENUE	MITCHELL JOHN J SR ESTATE OF
87301212	1212 SULLIVAN AVENUE	BARBY DIRK &
87301224	1224 SULLIVAN AVENUE	JOHANNES NOLA C
87301250	1250 SULLIVAN AVENUE	LEDDEN NELSON & OHEMAA A
87301271	1271 SULLIVAN AVENUE	SCALORA SEBASTIANO F
87301300	1300 SULLIVAN AVENUE	4 ELEMENTS VITALITY INSTITUTE LLC
87301315	1315 SULLIVAN AVENUE	CONN WATER COMPANY
87301325	1325 SULLIVAN AVENUE	RHINO PROPERTIES LLC
87301333	1333 SULLIVAN AVENUE	SOUTH WINDSOR CHLD DEV CTR
87301343	1343 SULLIVAN AVENUE	IPSO FACTO LLC
88400008	8 SUNRISE LANE	SYED JASMINE RASHEED & UMA SALMA
88400015	15 SUNRISE LANE	CHINSKY MARY BETH TR
88400016	16 SUNRISE LANE	HANCOCK MARTIN J & BARBARA ANN
88400025	25 SUNRISE LANE	SUDAGAR MAHESWARAN & TORRES INVESTMENT FIRM LLC
88400026	26 SUNRISE LANE	BOSH NANNETTE L
88400035	35 SUNRISE LANE	GOVINDJIBALA SHANTANU
88400036	36 SUNRISE LANE	BOSH NANNETTE L
92430006	6 VISTA VIEW DRIVE	THRALL TAMMY J & BRADLEY A
92430007	7 VISTA VIEW DRIVE	HARNEY CHRISTINE A
92430008	8 VISTA VIEW DRIVE	NEVILLE RICHARD E & PATRICIA A
92430008	8 VISTA VIEW DRIVE	NEVILLE RICHARD E & PATRICIA A
92430009	9 VISTA VIEW DRIVE	PERCEAU RAYMOND P & CAROL A
92430010	10 VISTA VIEW DRIVE	CLEMENTINO IRINE T
94400000	SRD 9440	NA

94400003	3 WILDLIFE TRAIL	GIBBONS SHANNON R
94400007	7 WILDLIFE TRAIL	BARBOUR LIVING TRUST
94400011	11 WILDLIFE TRAIL	EMERSON CAROLYN V
94400014	14 WILDLIFE TRAIL	PUTASKI TERRY & KAREN
94400015	15 WILDLIFE TRAIL	TRUDEAU M LUCILLE
94400018	18 WILDLIFE TRAIL	BECKER THOMAS J
94400019	19 WILDLIFE TRAIL	PISTOA FILomenA
94400023	23 WILDLIFE TRAIL	MICHAEL JAMES P & KATHLEEN M
94400027	27 WILDLIFE TRAIL	DACOSTA ELISE
94400028	28 WILDLIFE TRAIL	GRIGORIAN MICHELE
94400032	32 WILDLIFE TRAIL	GIEZ PAMELA S
94400035	35 WILDLIFE TRAIL	DUMONT RL & JM LIVING TRUST
94400039	39 WILDLIFE TRAIL	MITCHELL MATTHEW D
94400040	40 WILDLIFE TRAIL	BURKE PAULA J TR
94400043	43 WILDLIFE TRAIL	O'CONNOR TERESA S REV TR
94400044	44 WILDLIFE TRAIL	MILLER KRISTINE R
94400051	51 WILDLIFE TRAIL	COBETZ FRANK W &
94400055	55 WILDLIFE TRAIL	VALACER STASIA M
87301330A	1330 SULLIVAN AVENUE #A	JSH REALTY LLC
87301330B	1330 SULLIVAN AVENUE #B	JSH REALTY LLC
87301330C	1330 SULLIVAN AVENUE #C	1330 SULLIVAN AVENUE LLC
87301330D	1330 SULLIVAN AVENUE #D	CALABRESSE LORI
87301340A	1340 SULLIVAN AVENUE #A	BAD DOG PROPERTIES LLC
87301340B	1340 SULLIVAN AVENUE #B	BAD DOG PROPERTIES LLC
87301340C	1340 SULLIVAN AVENUE #C	BLUJOU PROPERTIES LLC
87301340D	1340 SULLIVAN AVENUE #D	BLUJOU PROPERTIES LLC
87301350A	1350 SULLIVAN AVENUE #A	CONNECT PROPERTIES LLC
87301350B	1350 SULLIVAN AVENUE #B	CONNECT PROPERTIES LLC
87301350C	1350 SULLIVAN AVENUE #C	SC REALTY LLC
87301350D	1350 SULLIVAN AVENUE #D	SC REALTY LLC



KEY MAP  
SCALE: 1"=200'



LOCATION MAP  
SCALE: 1"=1,000'

### SHEET INDEX

Code	Title	Count
C-T1	TITLE SHEET	1 of 16
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### PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
MEDICAL OFFICE	4 SP/1,000 GSF	3,800 GSF	N/A	15.2
TOTAL				15.2

### RESERVE PARKING REQUIREMENTS

USE	FORMULA	PROPOSED AREA	PROPOSED EMPLOYEES	REQUIRED
MEDICAL OFFICE ADDITION (PHASE 2)	4 SP/1,000 GSF	1,800 GSF	N/A	7.2
BARN (PHASE 3)	1 SP/250 GSF	1,008 GSF	N/A	4.0
TOTAL				11.2

TOTAL PARKING REQUIRED: 15.2 + 11.2 = 26.4 SPACES

### PARKING PROVIDED

LOCATION	QUANTITY
AUTO PARKING	20
RESERVE PARKING	8
TOTAL	28

**PARKING NOTES:**  
\* PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLE 6.4.3B  
ADDITIONALLY, PER THE TOWN OF SOUTH WINDSOR ZONING REGULATIONS TABLES 6.4.10A AND 6.4.10B, A PORTION OF THE PASSENGER VEHICLE PARKING SPACES SHALL BE PROVIDED AS LEVEL 2 EV INSTALLED AND LEVEL 2 EV READY.  
10% OF PROPOSED SPACES ARE REQUIRED TO BE LEVEL 2 EV READY, 2 LEVEL 2 EV READY SPACES ARE REQUIRED (20 SPACES X .10 = 2).  
7% OF EV READY SPACES ARE REQUIRED TO BE INSTALLED, (20 X .07 = 1.4).  
THEREFORE, 2 LEVEL 2 EV INSTALLED SPACES ARE PROVIDED.  
IN ADDITION, FOR 20 PROPOSED PARKING SPACES 1 SPACE IS REQUIRED TO BE VAN ACCESSIBLE RESTRICTED TO EV CHARGING AND 1 SPACE RESTRICTED TO EV CHARGING AND HANDICAPPED PARKING.

### ZONING TABLE

ZONE: RURAL RESIDENTIAL (RR)/OFFICE CONVERSION OVERLAY (OCO)

ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
LOT AREA	40,000 SF	208,758 SF (4.792 AC)	208,758 SF (4.792 AC)
LOT FRONTAGE	175'	526.85'	SAME
LOT DEPTH	200'	359'	SAME
FRONT YARD	50'	85.3'	SAME
SIDE YARD	20'	112.8'	SAME
REAR YARD	50'	303.1'	SAME
BUILDING HEIGHT	30'/2.5 STORIES	EXISTING HOUSE	SAME
LOT COVERAGE	15%	1.2%	SAME*
IMPERVIOUS COVERAGE	40%**	6.7%	9.7%***

\* PROPOSED BUILDING ADDITION AND BARN (FUTURE PHASES) WILL INCREASE LOT COVERAGE TO 2.1%  
\*\* MAXIMUM IMPERVIOUS COVERAGE IN THE OFFICE CONVERSION OVERLAY ZONE IS 40%  
\*\*\* PROPOSED BUILDING ADDITION AND BARN (FUTURE PHASES) AND RESERVE PARKING WILL INCREASE IMPERVIOUS COVERAGE TO 12.1%

**CIVIL ENGINEER,  
LANDSCAPE ARCHITECT  
& LAND SURVEYOR:**



**CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS  
PLANNERS / LANDSCAPE ARCHITECTS**

21 Jeffrey Drive Phone: 860-291-8755  
P.O. Box 1167 Fax: 860-291-8757  
South Windsor, CT 06074 www.designprofessionalsinc.com

**PRELIMINARY  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE FOR PLANNING PURPOSES ONLY INTENDED TO SECURE REGULATORY APPROVALS. ONLY FINAL PLANS STAMPED APPROVED BY THE TOWN SHALL BE USED FOR CONSTRUCTION PURPOSES.

**GENERAL NOTES:**  
• THESE PLANS ARE INVALID UNLESS THEY BEAR THE SEAL OR STAMP, AND ORIGINAL SIGNATURE OF THE PROFESSIONAL ENGINEER, LAND SURVEYOR, OR LANDSCAPE ARCHITECT.  
• REPRODUCTION TECHNIQUES USED IN THE PRODUCTION OF THIS PLAN CAN STRETCH OR SHRINK THE PAPER. SCALING OF THIS DRAWING MAY BE INACCURATE. CONTACT DPI IF ADDITIONAL INFORMATION IS REQUIRED.  
• THESE PLANS AND OTHER ITEMS PREPARED BY DESIGN PROFESSIONALS, INC. (DPI) ARE INSTRUMENTS OF SERVICE AND REMAIN ITS PROPERTY. THE USE OF THESE ITEMS BY DPI'S CLIENT IS SUBJECT TO THE TERMS SET FORTH IN THE AGREEMENT BETWEEN CLIENT AND DPI. REPRODUCTION AND/OR USE OF THESE ITEMS BY OTHERS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF DPI.

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PREPARED FOR:  
 Dr. Vasanth Kalkiyam  
 162 Cornerstone Drive  
 South Windsor, CT 06074

PROJECT NO.:  
 21/24  
 DATE: 8/27/24  
 DRAWN BY: CMM  
 CHECKED BY: CMM  
 IN CHARGE: CMM  
 CREATED BY: JAC

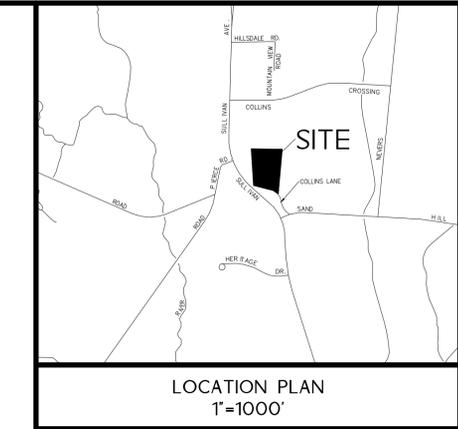
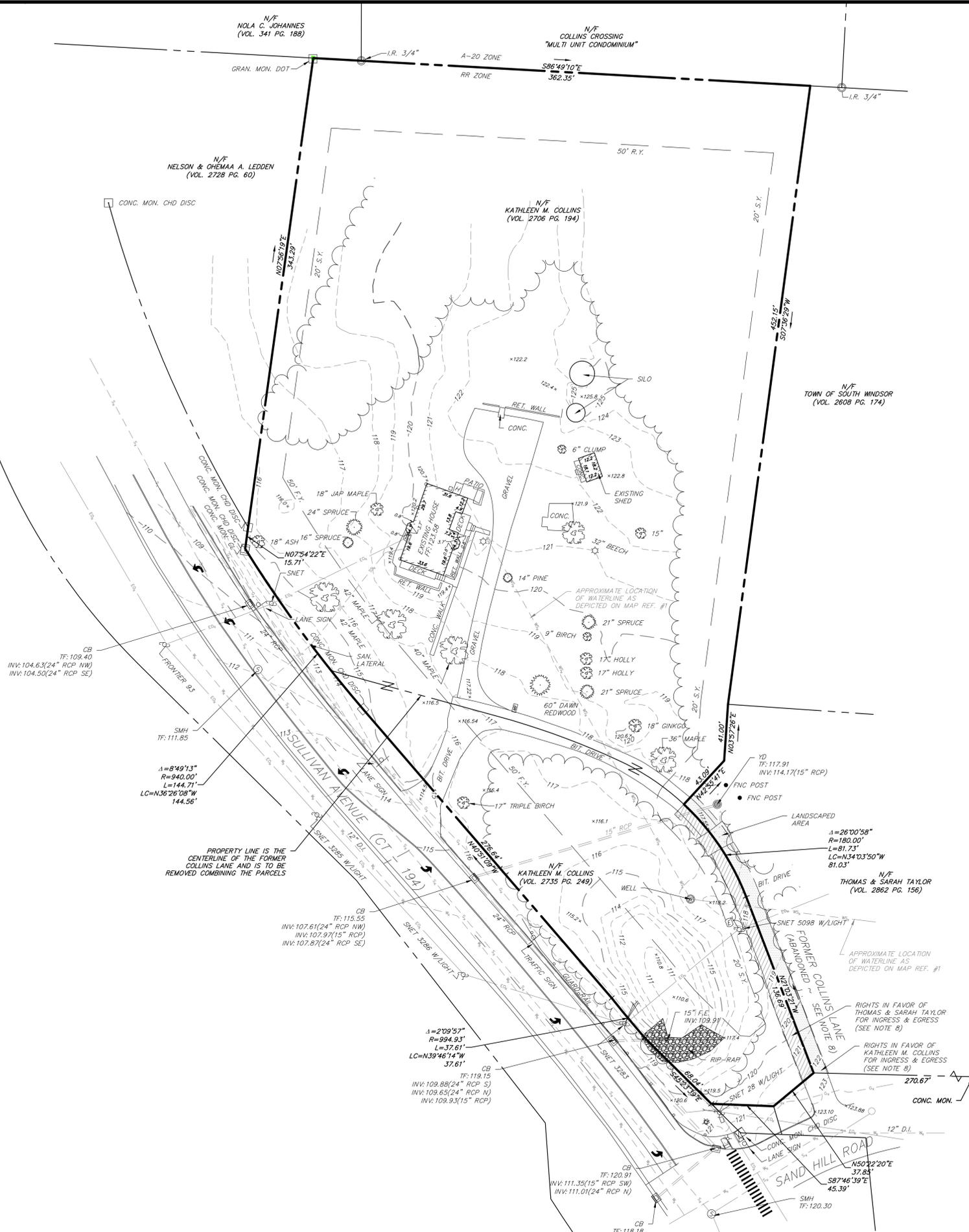
**MEDICAL OFFICE  
BUILDING**  
 1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE)  
 SOUTH WINDSOR, CONNECTICUT

REVISIONS  
 NO. DATE BY

**TITLE SHEET**  
 SHEET  
**C-T1**  
 SHEET 1 OF 16

**LEGEND**

EXISTING	DESCRIPTION
BORINGS	
TP	BORING / TEST PIT LOCATION
COMMUNICATION	
OC	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
OC	APPROX. UNDERGROUND COMMUNICATION LINES
CONTROL POINTS	
BENCHMARK	BENCHMARK
DOMESTIC WATER	
WM	APPROX. WATER MAIN
WS	APPROX. WATER SERVICE
WV	WATER VALVE
FD	FIRE HYDRANT
LIGHTING	
PL	POLE MOUNTED LIGHT
NATURAL GAS	
GV	GAS VALVE
GM	APPROX. GAS MAIN
GS	APPROX. GAS SERVICE LINE
POWER	
EL	ELECTRICAL LINES, OVERHEAD
EU	APPROX. ELECTRICAL LINES, UNDERGROUND
UP	UTILITY POLE
UPL	UTILITY POLE WITH LIGHT
UT	UTILITY POLE WITH TRANSFORMER
PROPERTY	
PL	PROPERTY LINE
EL	EASEMENT LINE
IR	IRON PIPE
IR	IRON ROD
MO	MONUMENT
ROADS	
GR	GUARD RAIL
SI	SIGN
SITE FEATURES	
EW	EDGE OF WATER
BWF	BARBED WIRE FENCE
CLF	CHAIN LINK FENCE
RF	RAIL FENCE
SF	STOCKADE FENCE
WF	WIRE FENCE
SW	STONE WALL
T	TREE
TL	TREE LINE
SANITARY SEWER	
SS	APPROX. SANITARY SEWER MAIN
SS	APPROX. SANITARY SEWER SERVICE LINE
SMH	SANITARY SEWER MANHOLE
SC	SEWER CLEAN OUT
STORM SEWER	
SD	APPROX. STORM DRAIN PIPE
SDM	STORM DRAIN MANHOLE
CI	CURB INLET
CB	CATCH BASIN
TOPOGRAPHY	
95	CONTOUR
X61.95	SPOT ELEVATION
WETLANDS	
W	WETLANDS LINE



- NOTES:**
- PROPERTY IS IN THE RR ZONE.
  - TOTAL COMBINED PARCELS CONTAINS 208,758 SQUARE FEET OR 4.792 ACRES.
  - HORIZONTAL DATUM IS BASED ON NAD83. VERTICAL DATUM IS BASED ON NAVD83.
  - PROPERTY DOES NOT FALL WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD ZONE AS DEPICTED ON: "FIRM FLOOD INSURANCE RATE MAP NUMBER 0903030383" TOWN OF SOUTH WINDSOR CONNECTICUT HARTFORD COUNTY EFFECTIVE DATE: 9/26/2008 FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION.
  - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION: 1-800-922-4455 OR WWW.CBYD.COM.
  - THERE ARE NO WETLANDS ON THE PROPERTY PER A SITE INSPECTION BY GEORGE T. LOGAN OF REMA ECOLOGICAL SERVICES, LLC ON OCTOBER 9, 2023.
  - PER THE TOWN OF SOUTH WINDSOR TOWN COUNCIL MEETING DATED SEPTEMBER 18, 2023 THE TOWN COUNCIL VOTED TO ABANDON COLLINS LANE. SUBJECT TO RIGHTS IN FAVOR OF KATHLEEN M. COLLINS & THOMAS & SARAH TAYLOR FOR INGRESS EGRESS AND ANY RIGHTS IN FAVOR OF UTILITY COMPANIES FOR MAINTENANCE OF EXISTING SERVICES.
  - EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT TO MAINTAIN 18" RCP AND R.C. CULVERT END & RIP RAP SPLASH PAD. (SEE MAP REF. #4)
  - EASEMENT TO SLOPE IN FAVOR OF THE STATE OF CONNECTICUT. (SEE MAP REF. #4)
  - PARCELS ARE TO BE COMBINED.

- MAP REFERENCES:**
- TOWN OF SOUTH WINDSOR MAP SHOWING LAND ACQUIRED FROM PORTER A. COLLINS ET AL BY THE STATE OF CONNECTICUT ROUTE 194 SHEET 1 OF 1 DATE: MAY 1977 SCALE: 1"=40' PREPARED BY KARL F. CRAWFORD TRANSPORTATION CHIEF ENGINEER - BUREAU OF HIGHWAYS
  - BOUNDARY SURVEY ZONE CHANGE MAP, INDEPENDENT RESURVEY PREPARED FOR COLLINS CROSSING, L.L.C. SULLIVAN AVENUE & NEVERS ROAD SOUTH WINDSOR - CONNECTICUT DATE: MAR. 26, 1996 SCALE: 1"=40 FT. SHEET 1 AND 2 OF 2 PREPARED BY DESIGN PROFESSIONALS, INC.
  - CONVEYANCE MAP INDEPENDENT RESURVEY PREPARED FOR: COLLINS CROSSING, LLC SULLIVAN AVENUE & NEVERS ROAD SOUTH WINDSOR, CT DATE: OCT. 3, 1996 SCALE 1"=40 FT. PREPARED BY DESIGN PROFESSIONALS, INC.
  - STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP TOWN OF SOUTH WINDSOR EAST WINDSOR HILL - WAPPING ROAD FROM WAPPING CENTER NORTHERLY ABOUT 7,600 FEET SCALE 1"=40' DATE: JANUARY 17, 1991 SHEET 2A OF 3.
  - PROPERTY AND TOPOGRAPHIC SURVEY SAND HILL ROAD, SOUTH WINDSOR, CONNECTICUT PREPARED FOR TOWN OF SOUTH WINDSOR SCALE: 1"=10' SEPT. 1965.
  - PARCEL OF ADDITIONAL LAND TO BE ACQUIRED FROM ASHER P. & PORTER A. COLLINS BY THE TOWN OF SOUTH WINDSOR SCALE: 1"=40' DATE: APRIL 2009 URS CORPORATION A/S SHEET 1 OF 3.

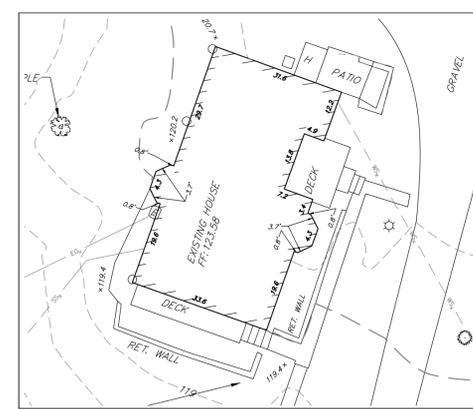
**SURVEY NOTES:**

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-308b-1 THRU 20-308b-20 AND THE "STANDARDS SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.

- TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS RELATIVE TO PROPERTY LINES.
- THIS IS AN INDEPENDENT RESURVEY BASED ON MAP REFERENCE #1.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS. VERTICAL ACCURACY MEETS CLASS V-2 STANDARDS. TOPOGRAPHICAL ACCURACY MEETS CLASS 1-2 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S.  
LIC. NO. 12327



HOUSE DETAIL  
SCALE: 1"=20'

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CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS  
GIS ANALYSTS / LANDSCAPE ARCHITECTS

PREPARED FOR:  
**Dr. Vasanth Kankaryam**  
162 Cornerstone Drive  
South Windsor, CT 06074

**COLLINS PROPERTY**  
8 COLLINS LANE  
SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY

**PROPERTY & TOPOGRAPHIC SURVEY**

SCALE: 0 20' 40' 80'  
1"=40'

SHEET  
**V-1**



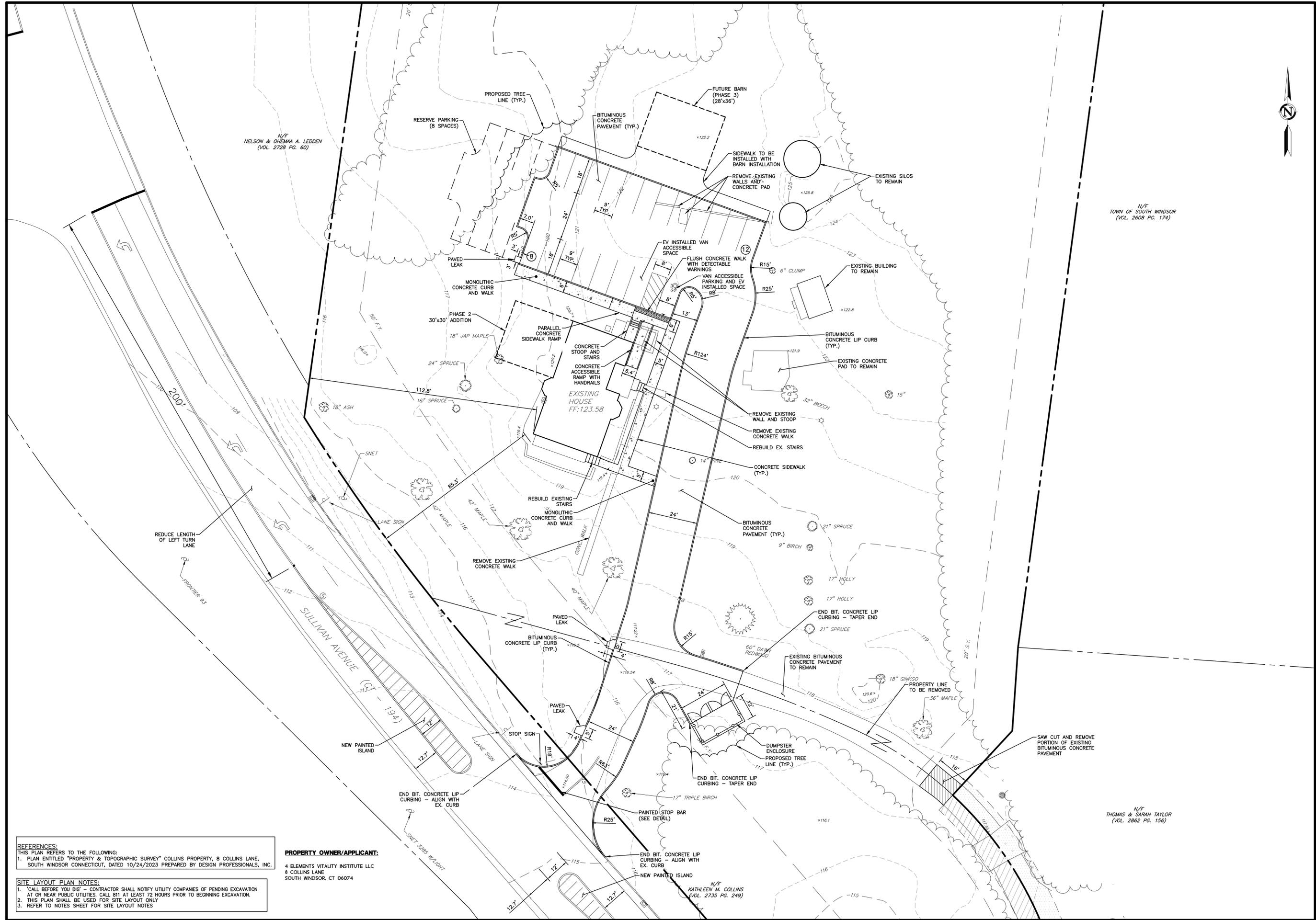
**REFERENCES:**  
 THIS PLAN REFERS TO THE FOLLOWING:  
 1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

**TRAFFIC PLAN NOTES:**  
 1. TRAFFIC IMPROVEMENTS AS SHOWN ON THIS PLAN HAVE BEEN DESIGNED BY REAL ENGINEERING INC. AND PREPARED BY DESIGN PROFESSIONALS INC. AS DIRECTED.

**PROPERTY OWNER/APPLICANT:**  
 4 ELEMENTS VITALITY INSTITUTE LLC  
 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074



<p><b>TRAFFIC PLAN</b></p> <p>SCALE: 0 20' 40' 80'</p> <p>T = 40'</p>		<p>NO. DATE</p> <p>REVISIONS</p>	<p>BY</p>	<p><b>MEDICAL OFFICE BUILDING</b></p> <p>1300 SULLIVAN AVENUE                  (FORMERLY 8 COLLINS LANE)                  SOUTH WINDSOR, CONNECTICUT</p>	<p>PREPARED FOR:</p> <p>Dr. Vasanth Kalikaryam                  162 Cornerstone Drive                  South Windsor, CT 06074</p>	<p>PROJECT NO. 21</p> <p>DATE 3/27/24</p> <p>DESIGN BY: [Signature]</p> <p>CHECK BY: [Signature]</p> <p>DATE 3/27/24</p>	<p>DESIGN PROFESSIONALS</p> <p>CIVIL &amp; TRAFFIC ENGINEERS / LAND SURVEYORS                  PLANNERS / LANDSCAPE ARCHITECTS</p> <p>21 JEFFREY DRIVE                  P.O. BOX 167                  SOUTH WINDSOR, CT 06074                  860-291-8295                  860-291-8257 - F                  www.designprofessionals.com</p>



N/F  
NELSON & OHEMAA A. LEDDEN  
(VOL. 2728 PG. 60)

N/F  
TOWN OF SOUTH WINDSOR  
(VOL. 2808 PG. 174)

N/F  
THOMAS & SARAH TAYLOR  
(VOL. 2862 PG. 156)

**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

**PROPERTY OWNER/APPLICANT:**  
4 ELEMENTS VITALITY INSTITUTE LLC  
8 COLLINS LANE  
SOUTH WINDSOR, CT 06074

**SITE LAYOUT PLAN NOTES:**  
1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR SITE LAYOUT ONLY  
3. REFER TO NOTES SHEET FOR SITE LAYOUT NOTES

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**design professionals**  
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PLANNERS / LANDSCAPE ARCHITECTS

**PREPARED FOR:**  
Dr. Vasanth Kalkiyam  
162 Cornerstone Drive  
South Windsor, CT 06074

PROJECT NO.	1955
DATE	3/27/24
DESIGNER	BY
CHECK	BY
DATE	
SCALE	AS SHOWN

**MEDICAL OFFICE BUILDING**  
1300 SULLIVAN AVENUE  
(FORMERLY 8 COLLINS LANE)  
SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY

**SITE PLAN**

SCALE: 0' 10' 20' 40'  
1" = 20'

SHEET  
**C-SP2**  
SHEET 4 OF 16

TEST PTS AND PERCOLATION TEST  
 1300 SULLIVAN AVENUE (FORMERLY COLLINS LANE), SOUTH WINDSOR  
 DATE: 3/21/24

Test Pt. A  
 0'-17" Topsoil  
 17'-40" Brown fine sandy loam  
 40'-42" Fine brown silt  
 42'-78" Red brown coarse gravel

Mottles: None  
 GW: None  
 Roots: None

Test Pt. B  
 0'-12" Topsoil  
 12'-30" Brown fine sandy loam  
 30'-51" Gray brown silty sand  
 51'-80" Red sand with small stone

Mottles: 33"  
 GW: None  
 Roots: 30"

Percolation Test  
 Depth of Hole: 16"  
 EG to Top of Hole: 18"

Pre-soak: 2:51

Time	Interval (mins)	Depth (in.) from ref. point	Perc. Rate (min/in.)
3:01	0	2.5"	
3:04	3	7.5"	0.6
3:07	3	11"	0.86
3:10	3	13.5"	1.2
3:15	5	16"	2

Average Perc Rate: 1.17 min/in.

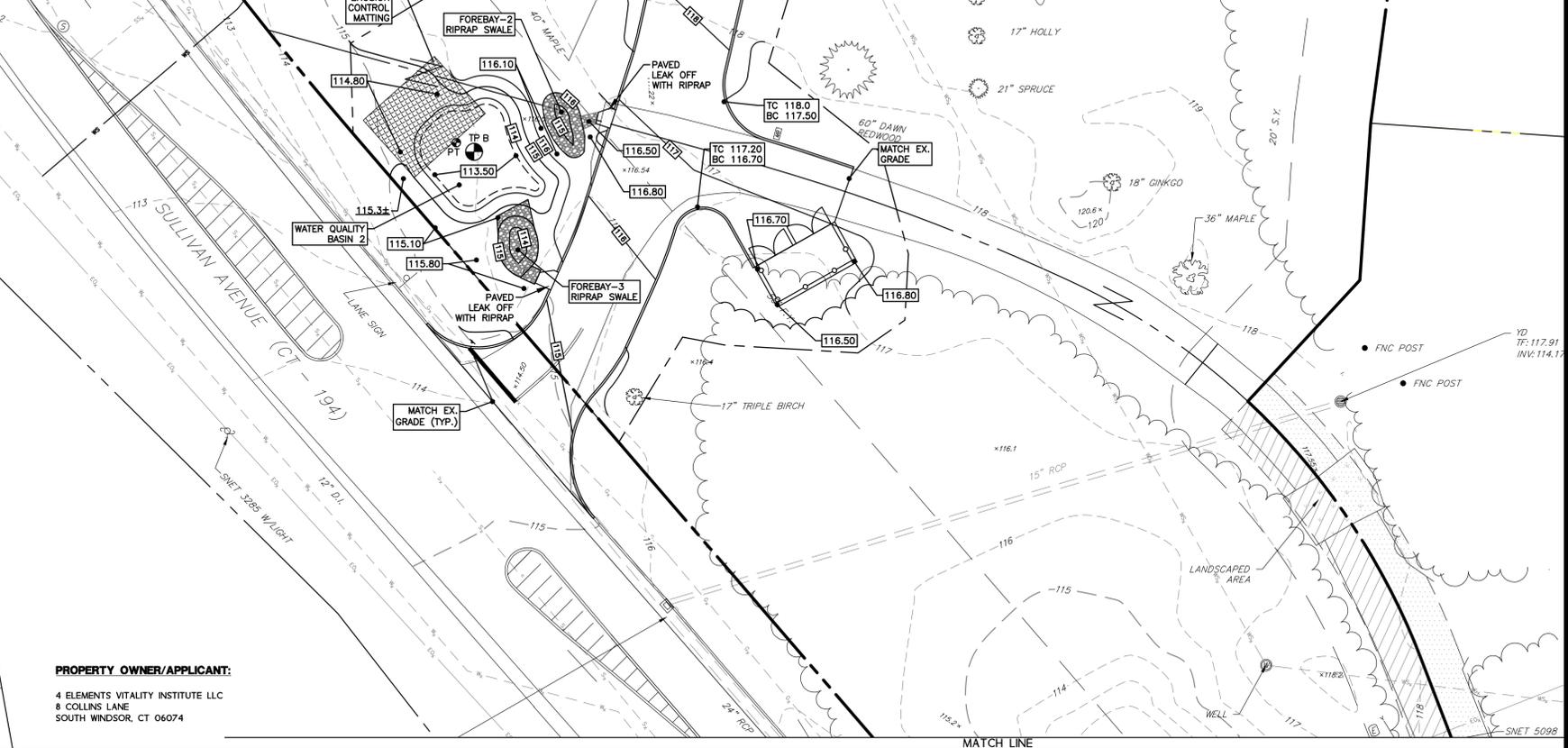
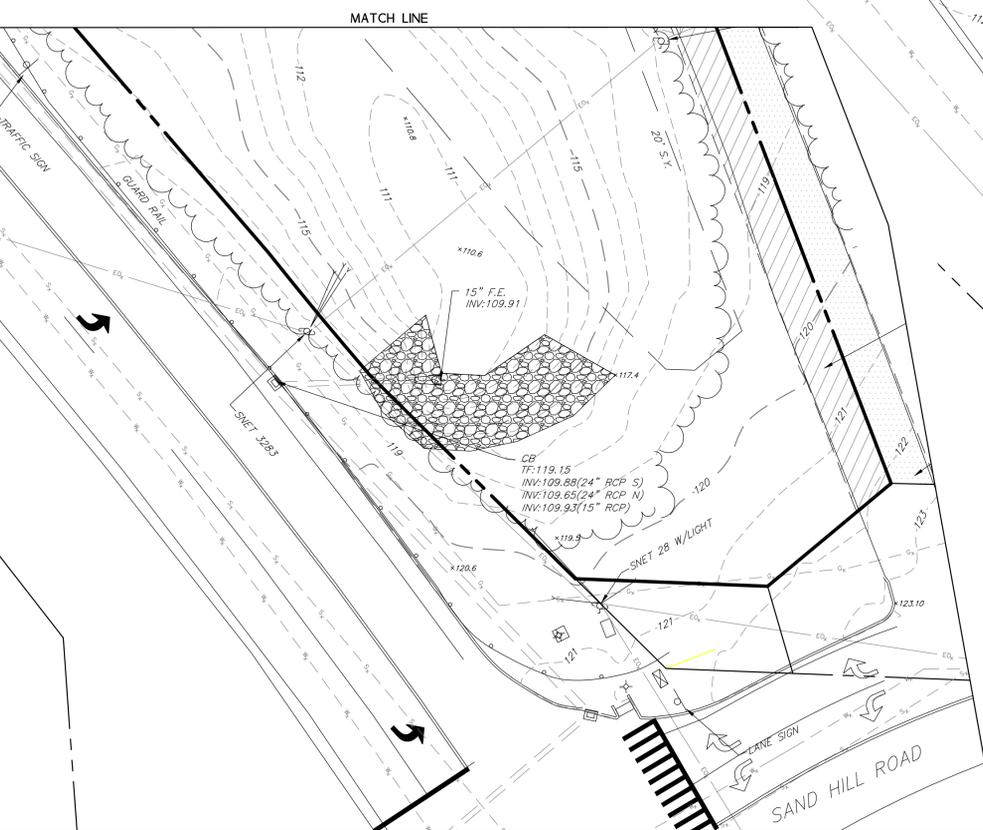
Test Pts and Perc Test observed by James J. Luccak, P.E.

REFERENCES:

- THIS PLAN REFERS TO THE FOLLOWING:  
 1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

GRADING PLAN NOTES:

- "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.
- ALL PROPOSED PAVEMENT SPOT ELEVATIONS INDICATE TOP OF PAVEMENT. TOP OF CURB ELEVATIONS SHALL BE SIX INCHES ABOVE THE ADJACENT PAVEMENT ELEVATION UNLESS NOTED OTHERWISE.
- THIS PLAN SHALL BE USED FOR GRADING & DRAINAGE PURPOSES ONLY.
- REFER TO NOTES SHEET FOR GRADING & DRAINAGE NOTES.



PROPERTY OWNER/APPLICANT:  
 4 ELEMENTS VITALITY INSTITUTE LLC  
 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074

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PREPARED FOR:  
 Dr. Vasanth Kalkreyam  
 162 Cornerstone Drive  
 South Windsor, CT 06074

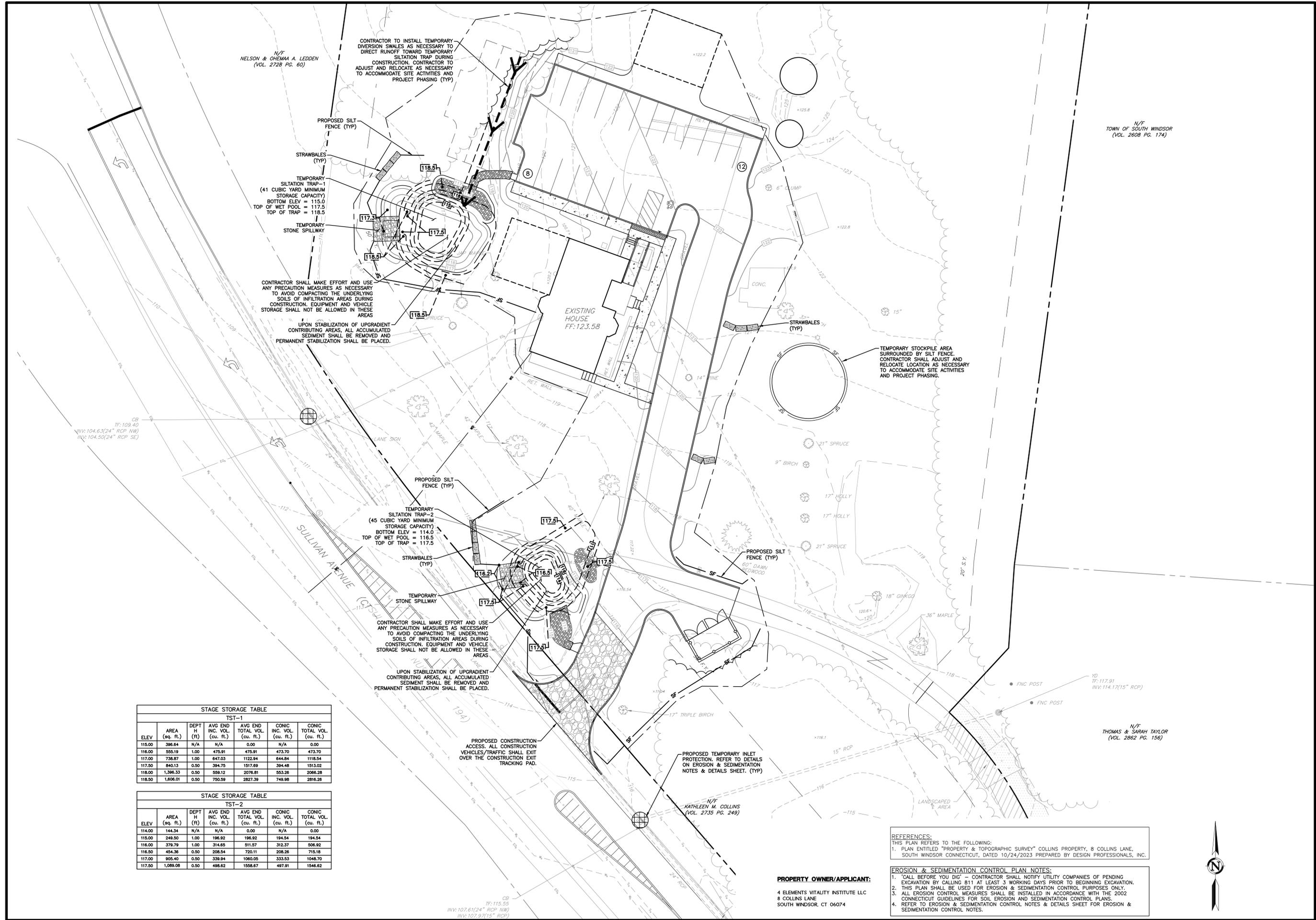
PROJECT NO.: 06074  
 DATE: 3/27/24  
 DRAWN BY: JAC  
 CHECKED BY: JAC

**MEDICAL OFFICE BUILDING**  
 1300 SULLIVAN AVENUE  
 (FORMERLY 8 COLLINS LANE)  
 SOUTH WINDSOR, CONNECTICUT

NO. DATE BY REVISIONS

GRADING, DRAINAGE AND UTILITIES PLAN  
 SCALE: 0' = 20'  
 1" = 20'

SHEET  
**C-GD1**  
 SHEET 5 OF 16



**STAGE STORAGE TABLE**  
TST-1

ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
115.00	396.64	N/A	N/A	0.00	N/A	0.00
116.00	355.19	1.00	475.91	475.91	475.70	475.70
117.00	728.87	1.00	847.03	1122.94	844.84	1118.54
117.50	840.13	0.50	394.75	1517.69	394.48	1513.02
118.00	1,396.33	0.50	559.12	2076.81	553.28	2066.28
118.50	1,606.01	0.50	750.59	2827.39	749.98	2816.26

**STAGE STORAGE TABLE**  
TST-2

ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
114.00	144.34	N/A	N/A	0.00	N/A	0.00
115.00	249.50	1.00	196.92	196.92	194.54	194.54
116.00	379.79	1.00	314.65	511.57	312.37	506.92
116.50	454.36	0.50	208.54	720.11	208.26	716.18
117.00	905.40	0.50	339.94	1060.05	333.53	1046.70
117.50	1,089.08	0.50	498.62	1558.67	497.91	1546.62

**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

**EROSION & SEDIMENTATION CONTROL PLAN NOTES:**  
1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION BY CALLING 811 AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR EROSION & SEDIMENTATION CONTROL PURPOSES ONLY.  
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLANS.  
4. REFER TO EROSION & SEDIMENTATION CONTROL NOTES & DETAILS SHEET FOR EROSION & SEDIMENTATION CONTROL NOTES.

**PROPERTY OWNER/APPLICANT:**  
4 ELEMENTS VITALITY INSTITUTE LLC  
8 COLLINS LANE  
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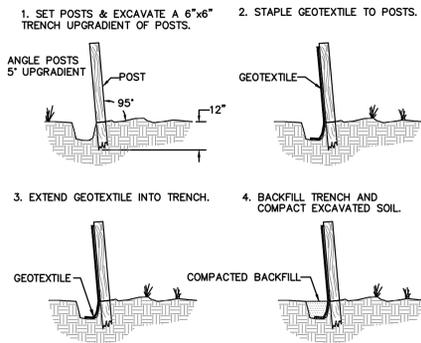
**PREPARED FOR:**  
Dr. Vasanth Kalkeryam  
162 Cornerstone Drive  
South Windsor, CT 06074

**PROJECT NO.:** 24-00074  
**DATE:** 3/27/24  
**DESIGN BY:** [Blank]  
**CHKD BY:** [Blank]  
**APP'D BY:** [Blank]

**MEDICAL OFFICE BUILDING**  
1300 SULLIVAN AVENUE  
(FORMERLY 8 COLLINS LANE)  
SOUTH WINDSOR, CONNECTICUT

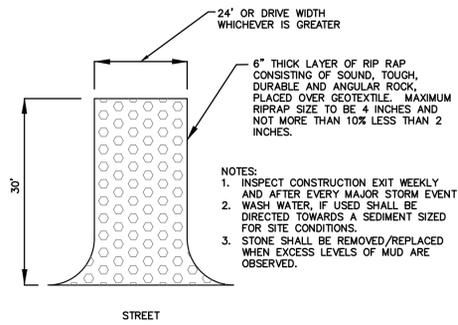
**EROSION & SEDIMENTATION CONTROL PLAN**  
SCALE: 1" = 20'  
T = 20'

**SHEET**  
**C-ES1**  
SHEET 6 OF 16



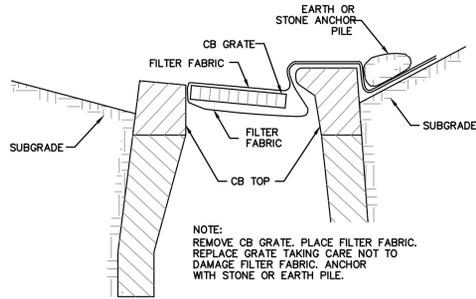
**SILT FENCE**

N.T.S.



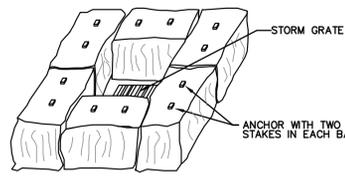
**CONSTRUCTION ACCESS**

N.T.S.



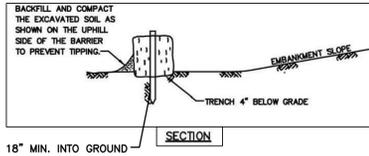
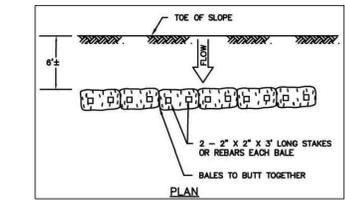
**CATCH BASIN GRATE SEDIMENTATION CONTROL**

N.T.S.



**STRAW BALE INSTALLATION AT CATCH BASINS**

N.T.S.



- NOTES:**
- HAYBALES SHALL BE MAINTAINED AND/OR REPLACED AS REQUIRED OR AS DIRECTED BY THE ENGINEER.
  - PLACE HAYBALES SUCH THAT TWINE OR BINDING WIRE IS PARALLEL TO THE EXISTING GROUND.

**STRAW BALES FOR EROSION CONTROL**

N.T.S.

**CONSTRUCTION SEQUENCE:**

1. INITIAL CONSTRUCTION ACCESS AT DRIVEWAYS OR OTHER LOCATIONS AS SHOWN ON PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO ADJUTING PAVED SURFACES. ADD STONE OR INCREASE THE LENGTH AS CONDITIONS DEMAND.
2. STAKE-OUT THE LIMITS OF CLEARING AND GRUBBING. INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LIMITS OF CLEARING AND GRUBBING. CONTRACTOR TO CONDUCT ALL CONSTRUCTION ACTIVITIES WITHIN LIMITS SHOWN ON PLAN.
3. CONSTRUCT TEMPORARY SEDIMENT BASINS AND/OR TRAPS AS SHOWN ON THE PLANS.
4. REMOVE TOPSOIL FROM AREAS OF DISTURBANCE AND STOCKPILE. POSSIBLE STOCKPILE LOCATIONS ARE SHOWN ON THE SITE PLANS. HOWEVER, LOCATIONS SHALL BE DETERMINED BY CONTRACTOR WITH APPROVAL BY THE ENGINEER & LOCAL AUTHORITY HAVING JURISDICTION. RING SOIL STOCKPILES WITH A ROW OF SILT FENCE.
5. ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS. SEED WITHIN 7 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL." (IF DRAINING TO IMPAIRED WATER: ESTABLISH VEGETATION ON ALL DISTURBED SOIL THAT WILL REMAIN EXPOSED FOR LONGER THAN 14 DAYS. SEED WITHIN 3 DAYS AFTER THE SUSPENSION OF GRADING WORK WITH A TEMPORARY SEED MIXTURE PER SECTION 5-3 "VEGETATIVE SOIL COVER" OF THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.")
6. CREATE TEMPORARY DIVERSION SWALES AS REQUIRED.
7. ANY DEWATERING ACTIVITIES SHALL BE PUMPED TO TEMPORARY SILLATION BASINS AT THE TOP OF THE SLOPE. PUMPED DISCHARGE MUST UTILIZE SILT-SAC OR APPROVED EQUAL. MONITOR TO ENSURE DISCHARGE FROM BASIN IS NOT CAUSING EROSION DOWNSTREAM.
8. INSTALL STORM DRAINAGE SYSTEM. PROTECT CATCHBASINS AND CULVERT INLETS/OUTLETS WITH INLET PROTECTION AS SHOWN IN THE DETAILS.
9. INSTALL PAVEMENT, SIDEWALKS, CURBING, TOPSOIL, GRASS SEED, AND MULCH.
10. AFTER STABILIZATION OF UPGRADING CONTRIBUTING AREAS TO THE TEMPORARY SEDIMENT BASINS AND/OR TRAPS, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND PERMANENT STABILIZATION SHALL BE PLACED.
11. MINOR ADJUSTMENTS TO THE EXCAVATION LIMITS MAY BE WARRANTED WITH APPROVAL OF LOCAL AUTHORITY HAVING JURISDICTION TO ALLOW FOR PRESERVATION OF EXISTING VEGETATION.
12. ALL EROSION CONTROL DEVICES SHALL REMAIN FUNCTIONAL AND IN PLACE THROUGHOUT THE CONSTRUCTION EFFORT UNTIL THE SITE IS FULLY STABILIZED WITH VEGETATION.

**STORM DRAINAGE SYSTEM MAINTENANCE AND OPERATION:**

THE FOLLOWING MAINTENANCE SHALL BE REQUIRED TO ENSURE EFFICIENT OPERATION OF THE STORM DRAINAGE SYSTEM, INFILTRATION BASINS, AND SEDIMENT FOREBAYS THE MAINTENANCE SCHEDULE IS INTENDED TO BE A GUIDE. AN INSPECTION OF ALL STORM DRAINAGE COMPONENTS IS REQUIRED FOLLOWING LARGE STORM EVENTS (0.5 INCHES OR GREATER) THAT COULD CAUSE THE DEPOSITION OF EXCESS DEBRIS.

PIPE OUTLET LOCATIONS: PIPE OUTLETS AND ASSOCIATED RIPRAP SHALL BE INSPECTED ANNUALLY AND CLEANED OF SILT AND/OR DEBRIS. RIPRAP SHALL BE RE-SHAPED AND REPLENISHED AS REQUIRED.

PAVEMENT SWEEPING: PAVEMENT AREAS SHALL BE SWEEPED AT LEAST TWICE PER YEAR. ONCE IN THE SPRING SHORTLY AFTER THE END OF THE SNOW SEASON, AND IN THE FALL AFTER THE LEAVES HAVE FALLEN. DURING CONSTRUCTION KEEP PAVEMENT FREE OF SEDIMENTS TO REDUCE THE TRANSFER OF SEDIMENTS OFFSITE.

SEDIMENT FOREBAYS: SHALL BE INSPECTED BIENNIALY. ALL LARGE WOODY NON LANDSCAPE GROWTH THAT MAY AFFECT THE FLOW OF WATER OR THE STABILITY OF THE BASIN SHALL BE REMOVED. RIPRAP SHALL BE RE-ARRANGED AND ADDED TO AS REQUIRED. ANY EROSION OR OTHER PROBLEMS THAT MAY AFFECT THE PROPER OPERATION OF THE BASIN SHALL BE REPAIRED PROMPTLY. ACCUMULATED SEDIMENT SHALL BE REMOVED.

WATER QUALITY BASINS: SHALL BE INSPECTED TWICE PER YEAR. ALL WOODY, NON LANDSCAPE GROWTH SHALL BE REMOVED. ANY EROSION/RILLS NOTED WITHIN THE BASIN SHALL BE REPAIRED TO PROVIDE STABILIZED SURFACES. ANY EROSION OR OTHER NOTED DEFICIENCIES THAT WOULD AFFECT THE OPERATION OF THE BASIN OR CAUSE RESOURCE AREA IMPACTS SHALL BE REMEDIATED IMMEDIATELY. THE BASIN SHALL BE MONITORED TO ASSURE PROPER DEWATERING/EMPTYING OF STORMWATER. BASIN SHALL COMPLETELY DEWATER/EMPTY WITH 72 HOURS AFTER A STORM EVENT. IF STANDING WATER IS OBSERVED AFTER THIS 72 HOUR PERIOD, THE BOTTOM OF BASIN SHALL BE EXCAVATED TO THE UPPER LAYER OF THE FILTER FABRIC/SUB-DRAIN, AND REPLACE WITH 4" OF LOAM AND SEED.

**EROSION & SEDIMENTATION CONTROL MAINTENANCE AND INSPECTION PROGRAM (WEEKLY CONSTRUCTION REPORTS):**

PER RECOMMENDATIONS MADE IN THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN, THE CONTRACTOR SHALL MAINTAIN WEEKLY REPORTS ON THE CONDITION OF ALL EROSION CONTROL MEASURES AND MAKE THEM AVAILABLE UPON REQUEST OF OWNER, LOCAL AUTHORITY HAVING JURISDICTION, OR ENGINEER. IN THE EVENT OF A MAJOR RAINSTORM, (0.5 INCHES OR GREATER) REPORTS SHALL BE PREPARED WITHIN 24 HOURS OF SAID EVENT.

**EROSION & SEDIMENTATION CONTROL NARRATIVE**

1. PRIOR TO THE START OF CONSTRUCTION, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THESE PLANS.
2. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS. THIS RESPONSIBILITY INCLUDES IMPLEMENTATION AS WELL AS MAINTENANCE. ANY PROPOSED CHANGES TO THIS PLAN MUST BE APPROVED BY THE ENGINEER AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION.
3. CONSTRUCTION ACCESS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER OPERATION. STONE SHALL BE ADDED OR REPLACED AS REQUIRED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADJACENT ROADWAYS, (BOTH PUBLIC & COMPLETED PORTIONS OF THE PROJECT) FREE FROM ACCUMULATED DUST AND DIRT. STREETS SHALL BE SWEEPED CLEAN AT ALL TIMES.
5. AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, SHALL BE STABILIZATION WITH FINAL VEGETATION WITHIN 7 DAYS. AREAS TO BE LEFT BARE FOR MORE THAN 30 DAYS SHALL BE TREATED WITH AIR DRIED WOOD CHIP MULCH (6 CYDS / 1000 S.F.) OR SEEDED WITH PERENNIAL RYE-GRASS UNTIL FINAL GRADING AND STABILIZATION TAKES PLACE. WINTER STABILIZATION SHALL INCLUDE MULCH/STRAW OR HAY APPLIED AT THE SAME RATE WITH A TACKIFIER PER RECOMMENDATIONS MADE IN THE 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
6. ALL DISTURBED SLOPES EXCEEDING A 3:1 SLOPE SHALL IMMEDIATELY RECEIVE MULCH AND TEMPORARY SEEDING IN ACCORDANCE WITH THE FOLLOWING APPLICATION RATES:  
 MULCH: STRAW 90# / 1000 S.F.  
 TEMPORARY SEEDING: PERENNIAL RYEGRASS 1.0# / 1000 S.F.
7. CONTRACTOR SHALL CLEAN CATCHBASIN SUMPS, DIVERSION SWALES, & TEMPORARY SETTLING SUMPS AS REQUIRED DURING CONSTRUCTION.
8. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL MANAGE STORMWATER RUNOFF SO THAT NO DIRECT DISCHARGE OF RUNOFF CONTAINING SUSPENDED PARTICLES, FLOWS INTO RECEIVING WATERS. RUNOFF SHALL BE DIRECTED INTO TEMPORARY SEDIMENT SUMPS AND TREATED.
9. AT NO TIME DURING THE CONSTRUCTION EFFORT SHALL THERE BE ANY OPEN AND DISTURBED AREA GREATER THAN 5 ACRES WITHOUT SILT FENCE PERIMETER OF SET AREA.
10. AFTER ALL SITE WORK IS COMPLETED, INCLUDING THE SPREADING OF TOPSOIL AND SEEDING, THE CONTRACTOR SHALL CLEAN ANY SILT OR DEBRIS FROM ALL STORM DRAINAGE STRUCTURES AND CULVERTS.
11. AT ALL TIMES DURING THE CONSTRUCTION EFFORT, THE CONTRACTOR SHALL HAVE AVAILABLE THE

**PROJECT CONTACT INFO:**

Dr. VASANTH KAINARYAM  
860-469-5646

**PROPERTY OWNER/APPLICANT:**

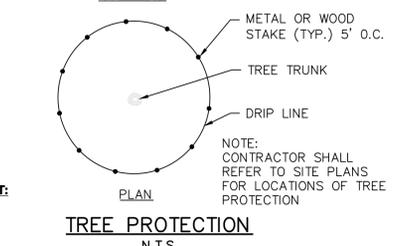
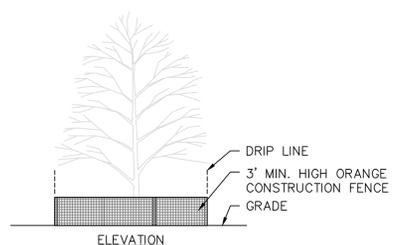
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SOUTH WINDSOR, CT 06074

12. THE DEVELOPER SHALL ENSURE THAT CONSTRUCTION ACTIVITIES COMPLY WITH THE NOISE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
13. THE CONTRACTOR SHALL EXCAVATE A PIT TO BE DESIGNATED AS A WASHOUT AREA FOR CONCRETE, PAINT, AND OTHER MATERIALS. THE AREA SHALL BE CLEARLY FLAGGED AND CONSTRUCTED TO BE ENTIRELY SELF-CONTAINED. THIS AREA SHALL BE OUTSIDE OF ANY BUFFERS AND AT LEAST 50 FEET FROM ANY STREAM, WETLAND, OR OTHER SENSITIVE SOURCE. DUMPING OF LIQUID WASTES IN STORM SEWERS IS PROHIBITED. THE WASHOUT AREA SHALL BE INSPECTED AT LEAST ONCE A WEEK TO ENSURE STRUCTURAL INTEGRITY, ADEQUATE HOLDING CAPACITY, AND TO CHECK FOR LEAKS AND OVERFLOWS. ACCUMULATED DEBRIS SHOULD BE REMOVED ONCE THE WASHOUT AREA REACHES HALF WAY FULL OR IS DEEMED NECESSARY TO AVOID OVERFLOWS. REMOVE AND DISPOSE OF HARDENED CONCRETE WASTE CONSISTENT WITH PRACTICES DEVELOPED FOR THE WASTE DISPOSAL.
14. THE CONTRACTOR SHALL DESIGNATE A WASTE DISPOSAL AREA FOR TEMPORARY STORAGE OF MATERIALS TO BE REMOVED FROM THE SITE. THE DESIGNATED WASTE AREA SHALL BE SELECTED AS TO MINIMIZE TRUCK TRAVEL THROUGH THE SITE. THE AREA WILL NOT DRAIN DIRECTLY TO ADJACENT WETLANDS. PICKUPS SHALL BE SCHEDULED REGULARLY TO PREVENT THE CONTAINERS FROM OVERFLOWING. SPILLS SHALL BE CLEANED UP IMMEDIATELY. DEFECTIVE CONTAINERS THAT MAY CAUSE LEAKS OR SPILLS WILL BE IDENTIFIED THROUGH REGULAR INSPECTION. ANY FOUND TO BE DEFECTIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY. ANY STOCKPILES OF MATERIALS SHOULD BE CONFINED TO THE DESIGNATED AREA AS DEFINED BY THE CONTRACTOR.
15. ALL CHEMICAL AND PETROLEUM PRODUCT CONTAINERS STORED ON THE SITE (EXCLUDING THOSE CONTAINED WITHIN VEHICLES AND EQUIPMENT) SHALL BE PROVIDED WITH IMPERMEABLE CONTAINMENT WHICH WILL HOLD AT LEAST 110% OF THE VOLUME OF THE LARGEST CONTAINER, OR 10% OF THE TOTAL VOLUME OF ALL CONTAINERS IN THE AREA, WHICHEVER IS LARGER, WITHOUT OVERFLOW FROM THE CONTAINMENT AREA. ALL CHEMICALS AND THEIR CONTAINERS SHALL BE STORED UNDER A ROOFED AREA EXCEPT FOR THOSE CHEMICALS STORED IN CONTAINERS OF 100 GALLON CAPACITY OR MORE, IN WHICH CASE A ROOF IS NOT REQUIRED. DOUBLE-WALLED TANKS SATISFY THIS REQUIREMENT.
16. CONTRACTOR SHALL COORDINATE WITH THE PROPER AGENCIES FOR RELOCATION OF ANY UTILITIES OR SIGNS.
17. IF REQUIRED, AN APPROVED EROSION CONTROL BOND SHALL BE PREPARED BEFORE THE START OF ANY CONSTRUCTION ACTIVITY.
18. FROZEN MATERIAL SHALL NOT BE USED FOR FILL NOR SHALL FILL BE PLACED OR COMPACTED ON FROZEN GROUND.

ESTIMATED CONSTRUCTION START DATE - SUMMER 2024  
ESTIMATED COMPLETION DATE - SUMMER 2025

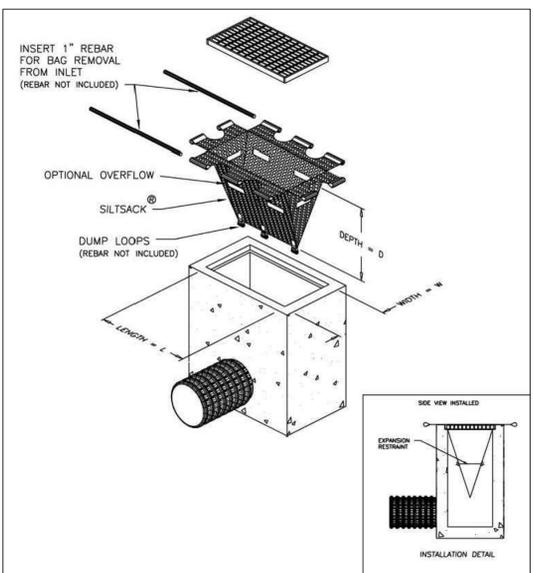
**CONSTRUCTION DUST CONTROL NOTES**

- IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST, SUCH AS ROCK CRUSHERS, USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE. PUMPING FROM STREAMS, POND AND SIMILAR WATERBODIES MAY REQUIRE APPROVAL FROM THE MUNICIPAL INLAND WETLAND AGENCY.
- IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE DUST MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES. GEOTEXTILE SILT FENCES OR HAY BALES. PLAN ON STABILIZING SLOPES EARLY. MULCH FOR SEED WILL REQUIRE ANCHORING WHEN USED.
- CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL. WHEN CONSIDERING THE USE OF CALCIUM CHLORIDE, BE AWARE OF THE FOLLOWING: THE RECEIVING SOIL'S PERMEABILITY SO AS TO PREVENT GROUNDWATER CONTAMINATION; THE TUNING OF THE APPLICATION TO RAINFALL TO PREVENT WASHING OF SALTS INTO SENSITIVE AREAS SUCH AS WETLANDS AND WATERCOURSES; AND PROXIMITY TO SENSITIVE AREAS SUCH AS WATERCOURSES, PONDS, ESTABLISHED OR SOON TO BE ESTABLISHED AREA OF PLANTINGS, WHERE SALTS COULD IMPAIR OR DESTROY PLANT AND ANIMAL LIFE. ADDITIONALLY, SOME MATERIALS USED FOR DUST CONTROL MAY BE RENDERED INEFFECTIVE BY DEGRADED WATER QUALITY IF IT IS USED FOR MIXING.
- CONSIDER USING DUST CONTROL MEASURES ONLY AFTER IT IS DETERMINED THAT OTHER MEASURES FOR SOIL STABILIZATION CANNOT BE PRACTICALLY APPLIED.
- USE MECHANICAL SWEEPING ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE AS A RESULT OF TRUCK TRAFFIC, PAVEMENT SAW CUTTING SPILLAGE, AND WIND OR WATER DEPOSITION FROM ADJACENT DISTURBED AREAS. SWEEP DAILY IN HEAVILY TRAFFICKED AREAS.
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP.
- NON-ASPHALTIC SOIL TACKIFIER CONSISTS OF AN EMULSIFIED LIQUID SOIL STABILIZER OF ORGANIC, INORGANIC OR MINERAL ORIGIN, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: MODIFIED RESINS, CALCIUM CHLORIDE, COMPLEX SURFACTANT, COPOLYMERS OR HIGH GRADE LATEX ACRYLICS. THE SOLUTIONS SHALL BE NONASPHALTIC, NONTOXIC TO HUMAN, ANIMAL AND PLANT LIFE, NONCORROSIVE AND NONFLAMMABLE. MATERIALS USED SHALL MEET LOCAL, STATE AND FEDERAL GUIDELINES FOR INTENDED USE. ALL MATERIALS ARE TO BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND ALL SAFETY GUIDELINES SHALL BE FOLLOWED IN STORING, HANDLING AND APPLYING MATERIALS.
- REPEAT APPLICATION OF DUST CONTROL MEASURES WHEN FUGITIVE DUST BECOMES EVIDENT.



**TREE PROTECTION**

N.T.S.



**CURB-LESS INLET PROTECTION DETAIL**

N.T.S.

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PREPARED FOR:  
Dr. Vasanth Kainaryam  
162 Cornerstone Drive  
South Windsor, CT 06074

PROJECT NO.:  
3/27/24  
DATE:  
3/27/24  
DRAWN BY:  
CHKD BY:  
SCALE:  
DATE:  
BY:

**MEDICAL OFFICE BUILDING**  
1300 SULLIVAN AVENUE  
(FORMERLY 8 COLLINS LANE)  
SOUTH WINDSOR, CONNECTICUT

NO. DATE REVISIONS

**EROSION & SEDIMENTATION NOTES & DETAILS**

SHEET  
**C-ES2**  
SHEET 7 OF 16

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**LANDSCAPE PLANTING SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES
<b>DECIDUOUS TREES</b>						
ACFR	1	Acer x. freemanii 'Jeffers' Red'	Autumn Blaze Maple	2" cal.	B&B	PLANT AS SHOWN
GLTR	2	Gleditsia triacanthos var. 'Inermis' 'Skyline'	Skyline Honeylocust	2" cal.	B&B	PLANT AS SHOWN
<b>EVERGREEN TREES</b>						
THON	27	Thuja occidentalis 'Nigra'	Dark American Arborvitae	6"-8' ht.	B&B	PLANT AS SHOWN
<b>SHRUBS</b>						
ICGL	6	Ilex crenata 'Green Lustre'	Green Lustre Japanese Holly	No. 3	CONT.	PLANT AS SHOWN
KLLA	53	Kalmia latifolia	Mt. Laurel	No. 3	CONT.	PANT AS SHOWN
RHMA	55	Rhododendron maximum	Rosebay Rhododendron	No. 3	CONT.	PLANT AS SHOWN
TAME	2	Taxus x media 'Densiformis'	Dense Spreading Yew	No. 3	CONT.	PLANT AS SHOWN
<b>PERENNIALS</b>						
HEHR	15	Hemerocallis 'Happy Returns'	Happy Returns Daylily	No. 1	CONT.	2' O.C.
RFGO	5	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-eyed Susan	No. 1	CONT.	3' O.C.
SEAF	5	Sedum spectabile 'Autumn Fire'	Autumn Fire Stonecrop	No. 1	CONT.	2' O.C.

**LANDSCAPING NOTES:**

- PER ZONING REGULATION TABLE 6.4.6A PARKING AREAS WITH FEWER THAN 30 PARKING SPACES REQUIRE 5% OF THE INTERIOR PARKING AREA TO BE LANDSCAPED AND ONE TREE FOR EACH 10 PARKING SPACES. 2 TREES ARE REQUIRED PER THE 20 PARKING SPACES PROPOSED. 3 TREES ARE PROVIDED AND 7.4% OF THE PARKING AREA IS LANDSCAPED.
- REFER TO SHEET C-LS2 FOR SEED MIXES.

**REFERENCES:**  
 THIS PLAN REFERS TO THE FOLLOWING:  
 1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

**LANDSCAPE PLAN NOTES:**  
 1. "CALL BEFORE YOU DIG" - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
 2. THIS PLAN SHALL BE USED FOR LANDSCAPING ONLY  
 3. REFER TO NOTES SHEET FOR LANDSCAPING AND SEEDING NOTES

**PROPERTY OWNER/APPLICANT:**  
 4 ELEMENTS VITALITY INSTITUTE LLC  
 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074

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PREPARED FOR:  
 Dr. Vasanth Kalkiyam  
 162 Cornerstone Drive  
 South Windsor, CT 06074

PROJECT NO.:  
 DATE:  
 3/27/24

MEDICAL OFFICE BUILDING  
 1300 SULLIVAN AVENUE  
 (FORMERLY 8 COLLINS LANE)  
 SOUTH WINDSOR, CONNECTICUT

SCALE: 0 20' 40' 80'  
 T = 40'

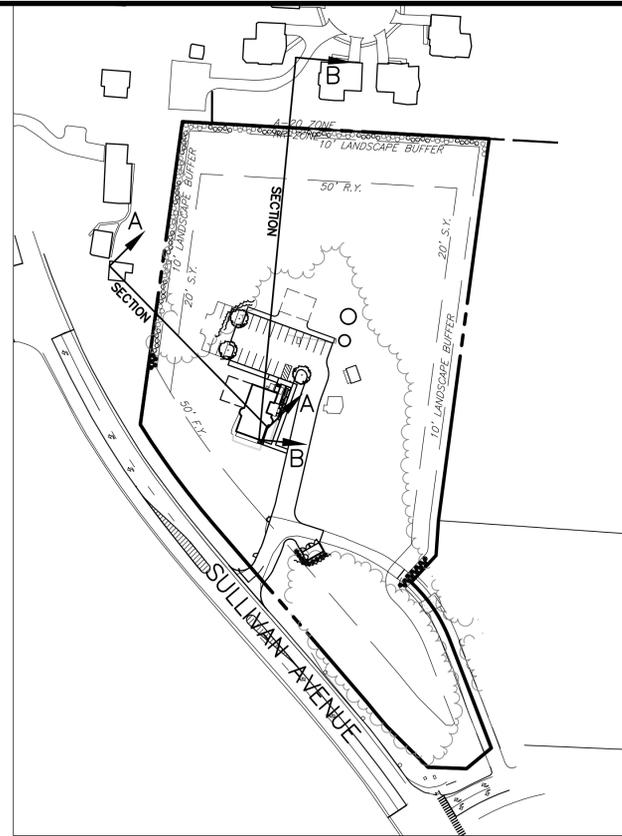
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NO. DATE BY

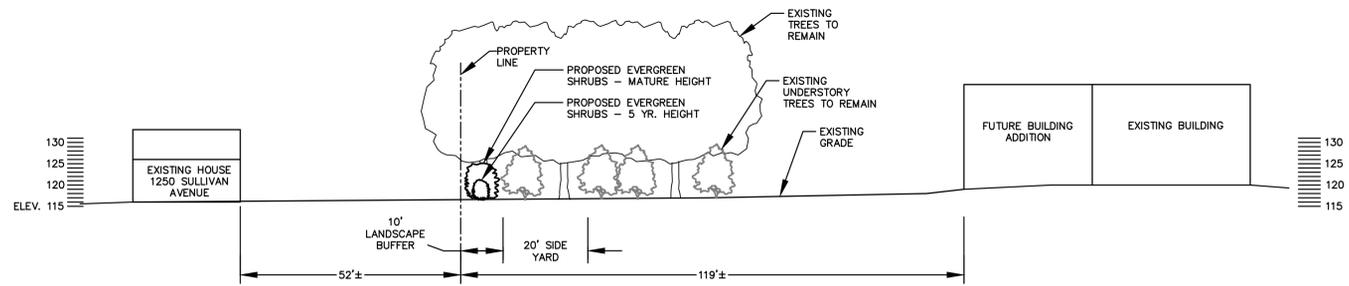
LANDSCAPE PLAN

SHEET  
**C-LS1**  
 SHEET 8 OF 16

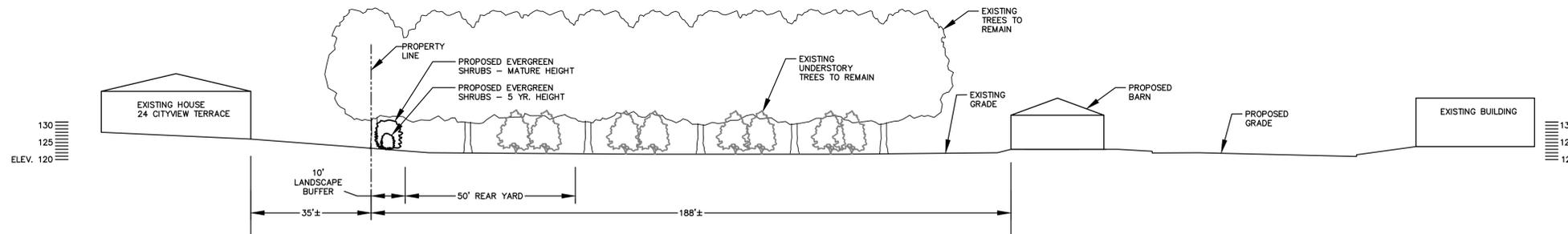




1 KEY PLAN 1" = 100'



2 LANDSCAPE BUFFER CROSS SECTION A-A 1" = 20'



3 LANDSCAPE BUFFER CROSS SECTION B-B 1" = 20'

PROPERTY OWNER/APPLICANT:  
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 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074

File: C:\jdb\5195\Landscapes\Arch\5195 LS-LT Planning Layout\_10 C-LS3 Sections Plotred 3/28/2024 8:36 AM Last Saved 3/27/2024 5:21 PM Last Saved By: ghemartin

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 CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS  
 PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:  
 Dr. Vasanth Kalikaryam  
 162 Cornerstone Drive  
 South Windsor, CT 06074

PROJECT NO.:  
 24-0074

DATE:  
 3/27/24

DESIGN BY:  
 CMM

CHECKED BY:  
 CMM

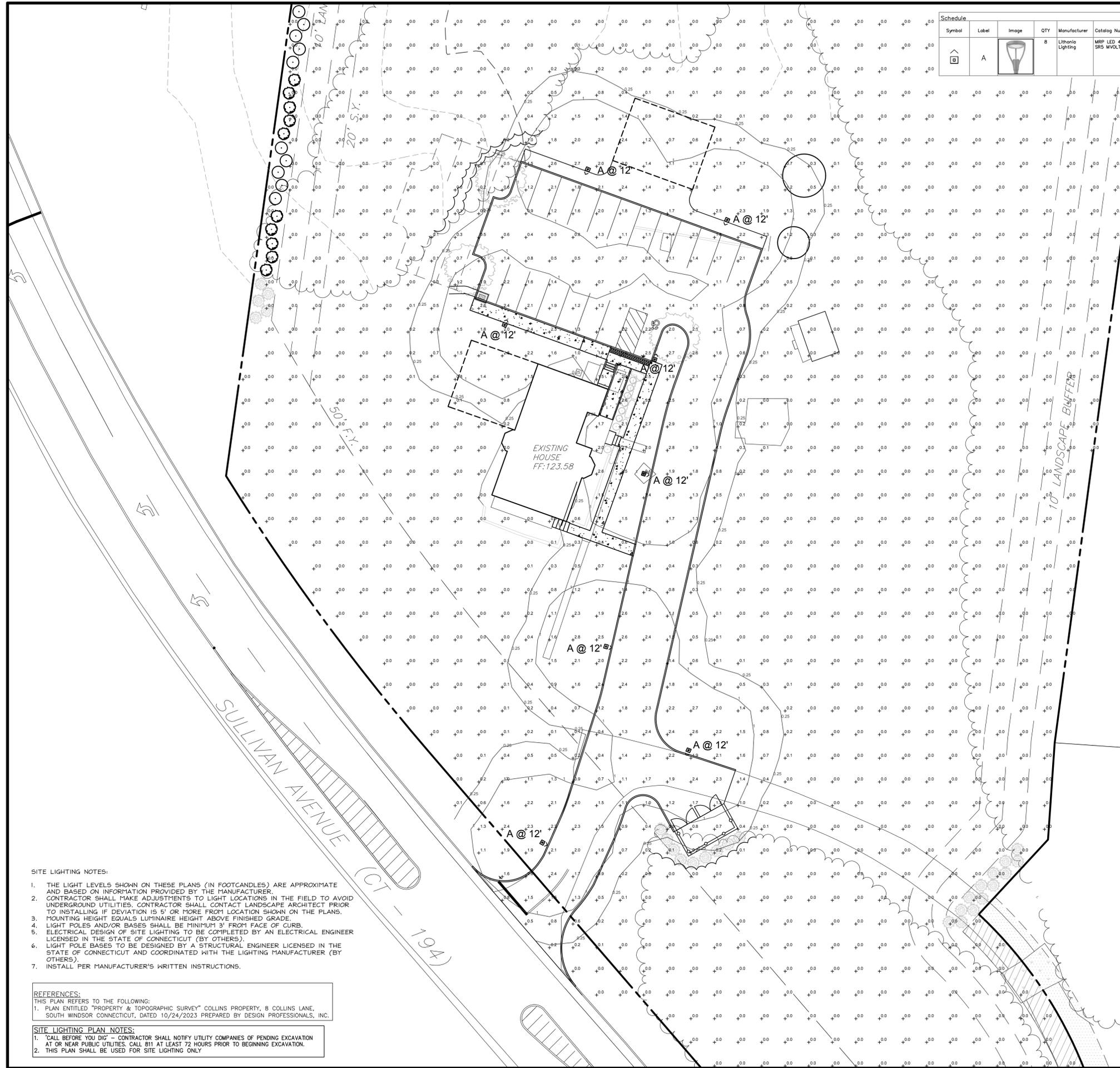
APPROVED BY:  
 JAC

**MEDICAL OFFICE BUILDING**  
 1300 SULLIVAN AVENUE  
 (FORMERLY 8 COLLINS LANE)  
 SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY

**LANDSCAPE SECTIONS**

SHEET  
**C-LS3**  
 SHEET 10 OF 16



Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LF	Wattage	Efficiency	Distribution	Mounting Height
A			8	Lithonia Lighting	MRP LED 42C 530 40K SRS MVOLT	MRP POST TOP LIGHT 42 LED 530 mA DRIVE CURRENT 40K COLOR TEMP TYPE 5 DISTRIBUTION	LED	1	MRP_LED_42C_530_40K_SR_5_MVOLT.dwg	6959	0.92	75	100%	TYPE IV, SHORT, BIG BAYING: B3 - U1 - G3	12'

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1	+	0.2 fc	3.7 fc	0.0 fc	N/A	N/A



### MRP LED LED Area Luminaire

**Specifications**

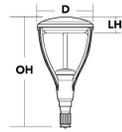
EPA: 1.125 ft<sup>2</sup> (0.105 m<sup>2</sup>)

Luminaire Height: 6-3/8" (163.0mm)

Overall Height: 32" (813.0mm)

Diameter: 18" (457.0mm)

Weight (max): 37.5 lbs (17 kg)



Catalog Number	
Notes	
Type	

**Capable Luminaire**

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL# controls marked by a shaded background. DTL# equipped luminaires meet the A+ specification for luminaire to photocell interoperability!
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.  
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam: Link to DTL DLL](#)

#### Ordering Information

Series	LEDs	Drive current	Color Temperature	Distribution	Voltage	Mounting
MRP LED	42C 42LEDs (bare emitters)	350 350mA	30K 3000K	SRS Type II	MVOLT1 277V	Shipped included
		530 530mA	40K 4000K	SRS Type III	208V 347V	(blank) 5" Ø round pole
		700 700mA	50K 5000K	SRS Type IV	208V 480V	Shipped separately
		1000 1000mA (A)		SRS Type V	240V	MRPFS 3" Ø round pole adapter

Control options	Other options	Finish options
<b>Shipped installed</b> PER NEMA twist lock receptacle only (control ordered separately) PERS Five wire receptacle only (control ordered separately) PER Seven wire receptacle only (control ordered separately)	PNM1D03 Part: night, dim till dawn* PNM1D03 Part: night, dim 5 hrs* PNM1D03 Part: night, dim 6 hrs* PNM1D03 Part: night, dim 7 hrs*	SF Single face (120, 277, 347V)* DF Double face (208, 240, 480V)* D0BK0 Dark bronze D0BK1 Black D0AL0 Natural aluminum D0WH0 White D0BK2 Textured dark bronze D0BK3 Textured black D0AL2 Textured natural aluminum D0WH2 Textured white

**LITHONIA** One Lithonia Way • Cary, Georgia 30013 • Phone: 800-705-5ERV (5378) • [www.lithonia.com](http://www.lithonia.com) MRP-LED Rev. 10/2019

- SITE LIGHTING NOTES:**
- THE LIGHT LEVELS SHOWN ON THESE PLANS (IN FOOTCANDLES) ARE APPROXIMATE AND BASED ON INFORMATION PROVIDED BY THE MANUFACTURER.
  - CONTRACTOR SHALL MAKE ADJUSTMENTS TO LIGHT LOCATIONS IN THE FIELD TO AVOID UNDERGROUND UTILITIES. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLING IF DEVIATION IS 5' OR MORE FROM LOCATION SHOWN ON THE PLANS.
  - MOUNTING HEIGHT EQUALS LUMINAIRE HEIGHT ABOVE FINISHED GRADE.
  - LIGHT POLES AND/OR BASES SHALL BE MINIMUM 3' FROM FACE OF CURB.
  - ELECTRICAL DESIGN OF SITE LIGHTING TO BE COMPLETED BY AN ELECTRICAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT (BY OTHERS).
  - LIGHT POLE BASES TO BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT AND COORDINATED WITH THE LIGHTING MANUFACTURER (BY OTHERS).
  - INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

**REFERENCES:**  
THIS PLAN REFERS TO THE FOLLOWING:  
1. PLAN ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY" COLLINS PROPERTY, 8 COLLINS LANE, SOUTH WINDSOR CONNECTICUT, DATED 10/24/2023 PREPARED BY DESIGN PROFESSIONALS, INC.

**SITE LIGHTING PLAN NOTES:**  
1. 'CALL BEFORE YOU DIG' - CONTRACTOR SHALL NOTIFY UTILITY COMPANIES OF PENDING EXCAVATION AT OR NEAR PUBLIC UTILITIES. CALL 811 AT LEAST 72 HOURS PRIOR TO BEGINNING EXCAVATION.  
2. THIS PLAN SHALL BE USED FOR SITE LIGHTING ONLY

**PROPERTY OWNER/APPLICANT:**  
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8 COLLINS LANE  
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PLANNERS / LANDSCAPE ARCHITECTS

**PREPARED FOR:**  
Dr. Vasanth Kalkiyam  
162 Cornerstone Drive  
South Windsor, CT 06074

**PROJECT NO.:** 24-0007  
**DATE:** 3/27/24  
**DESIGN BY:** JAM  
**CHECK BY:** JAM  
**DATE:** 3/27/24

**MEDICAL OFFICE BUILDING**  
1300 SULLIVAN AVENUE  
(FORMERLY 8 COLLINS LANE)  
SOUTH WINDSOR, CONNECTICUT

**REVISIONS**

NO.	DATE	BY

**SITE LIGHTING PLAN**

SCALE: 0' 10' 20' 40'  
1" = 20'

SHEET 11 OF 16

**CONSTRUCTION NOTES:**

- At least two full business days prior to starting any site activity or demolition, the contractor shall contact the applicable state utility location service by dialing 811 or submitting an online ticket request. The utilities shall be marked in all areas of proposed disturbance.
- It is the contractor's responsibility to review all construction contract documents associated with the project scope of work, including, but not limited to, all drawings and specifications, architectural plans, boundary and topographic survey, wetlands assessment and reports, geotechnical reports, environmental reports, and approval conditions, prior to the commencement of construction. Should the contractor find conflict and/or discrepancy between the documents relative to the plans, specifications, reports, or the relative or applicable codes, regulations, laws, rules, statutes and/or ordinances, it is the contractor's sole responsibility to notify the Engineer, in writing, of said conflict and/or discrepancy prior to the start of construction.
- The contractor shall be responsible for adhering to any conditions of approval placed on the project by the authorities having jurisdiction.
- The contractor must comply, to the fullest extent, with the latest Occupational Health and Safety (OSHA) standards and regulations, and/or any other agency with jurisdiction for construction activities. The contractor is solely responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with work on the Project. The Engineer will not be responsible for the contractor's safety, schedules, or failure to carry out its work in accordance with the contract documents. The Engineer will not have control over or charge of acts or omissions of the contractor, subcontractors, or their agents or employees, or of any persons performing portions of work on the Project.
- Contractor must notify the Engineer in writing if there are any questions concerning the accuracy or intent of these plans or related specifications. If such notification is given, no demolition or site activity may begin until such time that the Engineer provides a written response to some.
- Contractor shall adhere to and is responsible for compliance with all details, notes, plans and specifications contained herein. It is the responsibility of the contractor to ensure that all work performed by their subcontractors is in full compliance with these requirements.
- The contractor shall confirm that they are in receipt of the current version of the referenced documents prior to the commencement of any work.
- Prior to commencing work, the contractor shall review and correlate all consultants plans and specifications including the entire site plan and the latest architectural plans (including, but not limited to, structural, mechanical, electrical, plumbing, and fire suppression plans, where applicable), in particular for building utility connection locations, grease trap requirements/ details, door access, and exterior grading. Contractor must immediately notify the Architect and the Engineer, in writing, of any conflicts, discrepancies or ambiguities which exist, and receive a written resolution prior to commencing construction.
- Prior to commencing work, contractor is required to secure all necessary and/or required permits and approvals for the construction of the project, including, but not limited to, demolition work, and all off site material sources and disposal facilities. Copies of all permits and approvals shall be maintained on site throughout the duration of the project. The contractor shall thoroughly review and understand all permits and permit conditions prior to fabrication of any materials or products to be used as part of the project.
- The contractor is responsible for independently verifying all existing onsite utilities within and adjacent to the limits of the project activities. Underground utility, structure and facility locations depicted and noted on the plans have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parol testimony, and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to the Engineer.
- The contractor is responsible for ensuring the installation of all improvements comply with all requirements of utility companies with jurisdiction and/or control of the site.
- Locations of all existing and proposed services are approximate. Final utility service sizes and locations, including, but not limited to, the relocation and/or installation of utility poles, or the relocation and/or installation of transformers, are at the sole discretion of the respective utility companies.
- Prior to commencement of any work, the contractor shall independently coordinate and confirm with the appropriate utility companies to finalize all utility services and/or relocations to ensure no conflict with the design plans and that proper depths can be achieved. All discrepancies must immediately be reported to the Engineer in writing. Should a conflict arise due to the final designs of the utility company, the contractor shall notify the Engineer in writing and await a written resolution prior to proceeding with further utility installations.
- Prior to commencing construction, the contractor shall field verify all existing conditions, topographic information, utility invert elevations, and proposed layout dimensions, and must immediately notify the Engineer in writing if actual site conditions differ or are in conflict with the proposed work. No extra compensation will be paid to the contractor for work which has to be redone or repaired due to dimensions or grades shown incorrectly on these plans unless the contractor receives written permission from Owner/developer giving authorization to proceed with such additional work.
- Where utilities are proposed to cross/traverse existing underground utilities, the elevations of the existing utilities shall be verified in the field prior to construction by excavating a test pit at the proposed utility crossing point. Should the field verified existing utility be in conflict with the proposed site designs, the contractor shall notify the Engineer in writing and shall not proceed with said utility construction until further direction is given from the Engineer.
- At least 72 hours prior to starting any site activity or demolition, the contractor shall notify, at a minimum, the building official, municipal engineer, department of public works, planning and zoning commission, the Engineer, and local inland wetland commission, as applicable. The contractor shall also attend a pre-construction meeting with the local municipality, if required, prior to commencing any site activity or demolition.
- Prior to starting any site activity or demolition, the contractor shall implement the soil erosion and sediment control measures as noted on the plans. Refer to the Erosion and Sedimentation Control Notes.
- The demolition plan or existing features designated to be removed are intended to provide only general information regarding items to be demolished and/or removed. The contractor shall review all site plans (and architectural drawings as applicable) to assure that all demolition activities and incidental work necessary for the construction of the new site improvements are completed.
- The contractor shall protect and maintain the operation and service of all active utilities and systems that are not being removed during all construction activities. Should a temporary interruption of utility services be required as part of the proposed construction activities, the contractor shall coordinate with appropriate utility companies and the affected end users to minimize impact and service interruption.

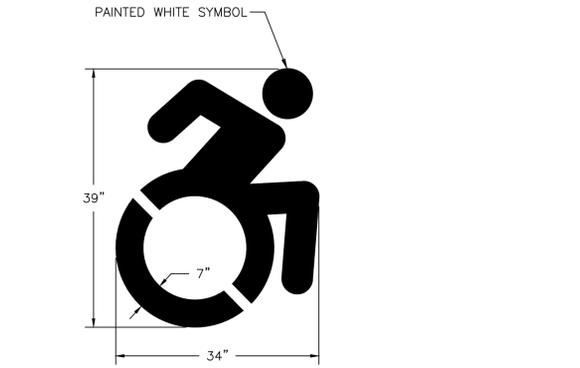
- The contractor shall arrange for and coordinate with the appropriate utility companies for all services that require temporary or permanent termination for the project, whether shown on the site plans or not. Termination of utilities shall be performed in compliance with all local, state and/or federal regulations.
- Contractor must prepare record drawings depicting the location of existing utilities that are capped, abandoned in place, or relocated and provide to the Owner and the Engineer of record.
- Should hazardous material be discovered/encountered, which was not anticipated/addressed in the project plans and specifications, cease all work immediately and notify Owner and Engineer regarding the discovery of same. Do not continue work in the area until written instructions are received from an environmental professional.
- The contractor is responsible for preventing movement, settlement, damage, or collapse of existing structures, and any other improvements that are to remain. If any existing structures that are to remain are damaged during construction, repairs shall be made using new product/materials resulting in a pre-damage condition, or better. Contractor is responsible for all repair costs. Contractor shall document all existing damage and to notify the Owner prior to the start of construction.
- The use of explosives, if required, must comply with all local, state and federal regulations. The contractor shall obtain all permits that are required by the federal, state and local governments, and shall also be responsible for all notification, inspection, monitoring or testing as may be required.
- All debris from removal operations must be removed from the site at the time of excavation. Stockpiling of demolition debris will not be permitted. Debris shall not be burned or buried on site. All demolition materials to be disposed of, including, but not limited to, stumps, limbs, and brush, shall be done in accordance with all municipal, county, state, and federal laws and applicable codes. The contractor must maintain records of all disposal activities.
- The contractor is responsible for repairing all damage to any existing utilities during construction, at its own expense.
- All new utilities/services, including electric, telephone, cable tv, etc. are to be installed underground unless noted otherwise on the plans. The contractor shall be responsible for installing all new utilities/services in accordance with the utility/service provider's written installation specifications and standards.
- All earthwork activities must be performed in accordance with these plans and specifications and the recommendations set forth in the geotechnical report completed for this project. In the absence of a geotechnical report, all earthwork activities must comply with the standard state Department of Transportation (DOT) specifications (latest edition) and any amendments or revisions thereto. All earthwork activities must comply all applicable requirements, rules, statutes, laws, ordinances and codes for the jurisdictions where the work is being performed.
- All materials and work shall conform to the state Department of Transportation standard specifications (latest edition, and any amendments or revisions thereto), unless otherwise specified in these plans.
- The contractor is responsible for removing and replacing unsuitable materials with suitable materials. All excavated or filled areas must be properly compacted. Moisture content at time of placement must be submitted in a compaction report prepared by a qualified geotechnical engineer, licensed in the state where the work is performed, verifying that all filled areas and subgrade areas within the building pad area and areas to be paved have been compacted in accordance with these plans, specifications and the recommendations. Subbase material for building pads, sidewalks, curb, or asphalt must be free of organics and other unsuitable materials. Should subbase be deemed unsuitable by Owner/developer or Owner/developer's representative, subbase is to be removed and filled with suitable material and properly compacted at the contractor's expense. All fill, compaction, and backfill materials required for utility installation must be coordinated with the applicable utility company specifications. The Engineer shall have no liability or responsibility for or as related to fill, compaction, backfill, or the balancing of earthwork.
- Pavement must be saw cut into straight lines and must extend to the full depth of the existing pavement, except for edge of butt joints.
- The tops of existing manholes, inlet structures, and sanitary cleanout tops must be adjusted as necessary, to match proposed grades.
- Where retaining walls (whether or not they meet the jurisdictional definition) are identified on plans, elevations identified herein are for the exposed portion of the wall. Wall footing/foundation elevations are not identified herein and are to be set/determined by the contractor based on final structural design shop drawings prepared by an appropriate professional licensed in the state where the construction occurs.
- Unless indicated otherwise or required by the authority having jurisdiction, all pipes shall be as follows:
  - Reinforced Concrete pipe (RCP) shall meet the requirements of AASHTO M 170 Class IV with silt tight joints.
  - RCP Class V pipe shall be used in paved areas with less than 1 ft. of cover or in locations noted on the plans.
  - High-Density Polyethylene pipe (HDPE) shall conform to AASHTO M 294, Type S (smooth interior with angular corrugations) with gaskets for silt tight joints.
  - Polyvinyl chloride (PVC) pipe for roof drain connections shall be SDR 35 gasket pipe. Polyvinyl Chloride (PVC) pipe for sanitary sewer pipe shall be SDR 35 gasket pipe.
- Storm sewer pipe lengths indicated are approximate and measured to the inside of inlet and/or manhole structure. Sanitary sewer pipe lengths indicated are approximate and measured to center of inlet and/or manhole structure to center of structure.
- Stormwater roof drain locations are approximate and are based on preliminary architectural plans. Contractor is responsible for reviewing and coordinating the final architectural plans to verify final locations and sizes of all roof drains.
- Sewers crossing streams and/or location within 10 feet of the stream embankment, or where site conditions so indicate, must be constructed of steel, reinforced concrete, ductile iron or other suitable material. Sewers conveying sanitary flow, combined sanitary and stormwater flow or industrial flow must be separated from water mains by a distance of at least 10 feet horizontally. If such lateral separations are not possible, the pipes must be in separate trenches with the sewer at least 18 inches below the bottom of the water main, or such other separation as approved by the agency with jurisdiction over same. Where appropriate separation from a water main is not possible, the sewer must be encased in concrete, or constructed of ductile iron pipe using mechanical or slip-on joints for a distance of at least 10 feet on either side of the crossing. In addition, one full length of sewer pipe should be located so both joints will be as far from the water line as possible. Where a water main crosses under a sewer, adequate structural support for the sewer must be provided.

- Contractor's price for water service must include all fees, costs and appurtenances required by the utility to provide full and complete working service.
- Contractor must contact the applicable water company to confirm the proper water meter and vault prior to commencing construction. Water main and water service piping shall be installed in accordance with the requirements and specifications of the water authority having jurisdiction. In the absence of such specifications, water main piping must ductile iron (DI) minimum Class 54. All work and materials must comply with the applicable American Water Works Association (AWWA) standards in effect at the time of the service application.
- The contractor shall ensure that all work located in existing pavement be repaired in accordance with municipal, county and/or DOT details as applicable. Contractor is responsible to coordinate the permitting, inspection and approval of completed work with the agency having jurisdiction over the proposed work.
- Where sump pumps are installed, all discharges must be connected to the storm sewer or discharged to an approved location.
- For single and multi-family residential projects, spot elevation(s) adjacent to the buildings are schematic for non-specific building footprints. Grades must be adjusted based on final architectural plans and shall provide a minimum of six (6) inches below top of foundation/concrete and/or six (6) inches below the façade treatment, whichever is lower, and must provide positive drainage away from the structure (minimum of 2%). All areas shall be graded to preclude ponding adjacent to buildings, and on or adjacent to walks/driveways leading to the buildings. All construction, including grading, must comply with all applicable building codes, local, state and federal requirements, regulations and ordinances.
- Contractor shall maintain and control traffic on and offsite in conformance with the current Federal Highway Administration (FHWA) 'Manual on Uniform Traffic Control Devices' (MUTCD), and the federal, state, and local regulations for all aspects of demolition and site work. If a Maintenance of Traffic Plan is required for work that affects public travel either on or offsite, the contractor shall be responsible for the cost and implementation of said plan.
- All temporary and permanent onsite and offsite signage and pavement markings shall conform to MUTCD, ADA, state DOT, and/or local approval requirements.
- Contractor shall prevent the emission of dust, sediment, and debris from the site, and shall be responsible for corrective measures such as street sweeping, and clean-up work as deemed necessary by the Engineer or the authority having jurisdiction.
- All concrete must be air entrained with a minimum compressive strength of 4,000 psi at 28 days unless otherwise specified on the plans, details and/or geotechnical report.
- The Engineer will review contractor submittals which the contractor is required to submit, but only for the sole purpose of checking for general conformance with the intent of the design and contract documents. The Engineer is not responsible for any deviations from the construction documents unless contractor received explicit direction to do so, in writing, from the Engineer. The contractor remains responsible for details and accuracy, for confirming and correlating all quantities and dimensions, and for techniques of assembly and/or fabrication processes.
- All dimensions are to face of curb, edge of pavement, or edge of building, unless noted otherwise.
- The contractor shall install and/or construct all aspects of the project in strict compliance with and accordance with manufacturer's written installation standards, recommendations and specifications.

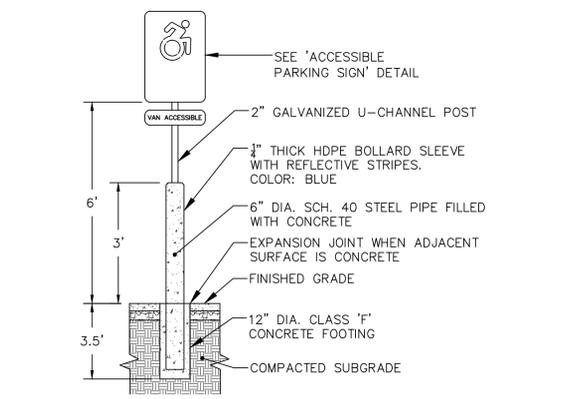
**AMERICANS WITH DISABILITY ACT NOTES TO CONTRACTOR:**

- The contractor shall review the proposed construction with the local building official prior to the start of construction. Contractors shall be precise in the construction of Americans with Disabilities Act (ADA) accessible parking, components, and accessible routes for the project. These components shall comply with all applicable state and local accessibility laws and regulations and the current ADA regulations and construction standards. These components include, but are not limited to the following:
- Parking spaces and parking aisles shall not exceed a 1:50 (nominally 2.0%) slope in any direction.
  - Accessible routes shall be a minimum of 36" wide (unobstructed). Handrails and car overhangs may not obstruct these areas. Longitudinal slopes (direction of travel) shall not exceed 1:20 (5.0%) and shall have a cross slope no greater than 1:50 (2.0%).
  - Accessible routes exceeding 1:20 (5.0%) shall be considered a "ramp". Maximum slopes of a ramp shall be 1:12 (8.3%) in the direction of travel, and a cross slope of 1:50 (2.0%). Ramps shall have maximum rise of thirty (30) inches, shall be equipped with hand rails on both sides, and landings at the top and bottom of the ramp. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing.
  - A landing shall be provided at the exterior of all doors and at each end of ramps. Landings shall not exceed 1:50 (2.0%) in any direction and have positive drainage away from the landing and/or building. The landing shall be no less than 60 inches long unless permitted otherwise per the ADA regulations.
  - Curb ramps— shall not exceed a 1:12 (8.3%) slope for a maximum length of six (6) feet or a maximum rise of six (6) inches.
  - The contractor shall verify all existing elevations shown on the plan in areas of existing doorways, accessible routes or other areas where re-construction is proposed. The contractor shall immediately notify the Owner and Engineer in writing if any of the proposed work intended to meet ADA requirements is incapable of doing so, or if there is any ambiguity regarding which design components are intended to meet ADA requirements. The contractor shall not commence the work in the affected area until receiving written resolution from Engineer.

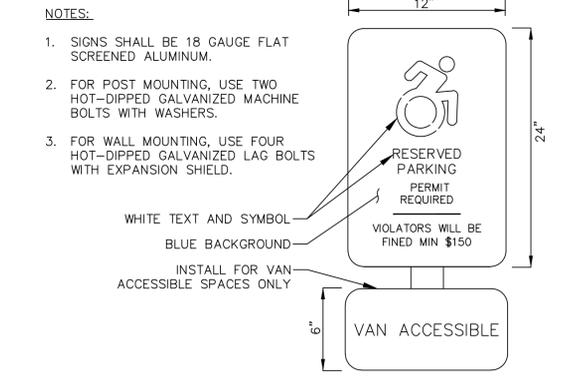
LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	BORING / TEST PIT LOCATION	
	UNDERGROUND COMMUNICATION LINES	C
	WATER MAIN	W
	WATER SERVICE	WS
	FIRE SERVICE LINE	F
	NON-POTABLE WATER LINE	NPW
	WATER VALVE / FIRE HYDRANT	
	MAIN LIQUID FUEL LINE	LF
	LIQUID FUEL SERVICE LINE	LFSS
	LIQUID FUEL LINE, ABANDONED	
	IRRIGATION LINES	I
	POLE / GROUND MOUNTED LIGHT	
	GAS MAIN	G
	GAS SERVICE LINE	GS
	ELECTRICAL LINES, OVERHEAD	EO
	ELECTRICAL LINES, UNDERGROUND	EU
	UTILITY POLE	
	PROPERTY LINE	
	EASEMENT LINE	
	IRON PIPE	
	IRON ROD	
	MONUMENT	
	GUARD RAIL	
	SILT FENCE	SF
	4" DOUBLE SOLID YELLOW LINE	DSYL
	4" SINGLE SOLID WHITE LINE	SSWL
	BIT CONC. LIP CURB	BCLC
	PRECAST CONCRETE CURB	PCC
	STORM DRAIN PIPE	
	ROOF LEADER	RL
	UNDERDRAIN	UD
	STORM DRAIN MANHOLE	
	CURB INLET	
	CATCH BASIN	
	YARD DRAIN	
	CONTOUR	
	SPOT ELEVATION	
	RAMP	R
	LANDSCAPE AREA	LSA



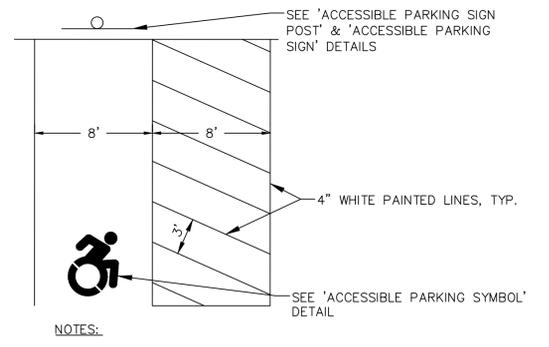
**1 ACCESSIBLE PARKING SYMBOL** Not to Scale



**2 ACCESSIBLE PARKING SIGN POST** Not to Scale



**3 ACCESSIBLE PARKING SIGN** Not to Scale

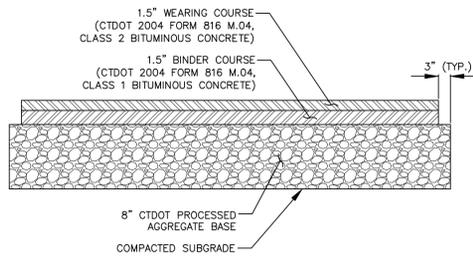


**4 VAN ACCESSIBLE PARKING SPACE** Not to Scale

**PROPERTY OWNER/APPLICANT:**  
 4 ELEMENTS VITALITY INSTITUTE LLC  
 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074

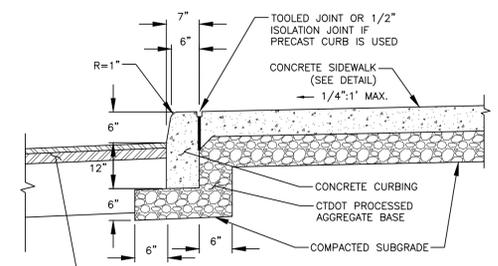
File: C:\jsh\19159\Engineering\AutoCAD\19159\_Detailed.dwg Layout: 10\_C-D1 ADA\_Parking Plotmed: 3/27/2024 2:34 PM Last Saved: 3/15/2024 4:57 PM  
 File: C:\jsh\19159\Engineering\AutoCAD\19159\_Detailed.dwg Layout: 10\_C-D1 ADA\_Parking Plotmed: 3/27/2024 2:34 PM Last Saved: 3/15/2024 4:57 PM

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 CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS / PLANNERS / LANDSCAPE ARCHITECTS  
 PREPARED FOR: Dr. Vasanth Kalkeryam, 162 Cornerstone Drive, South Windsor, CT 06074  
 PROJECT NO.: 19159, DATE: 3/27/24, DRAWN BY: JAW, CHECKED BY: JAW, CREAMED BY: JAW  
**MEDICAL OFFICE BUILDING**  
 1300 SULLIVAN AVENUE (FORMERLY 8 COLLINS LANE) SOUTH WINDSOR, CONNECTICUT  
 REVISIONS: NO., DATE, BY  
**NOTES, LEGEND, & DETAILS**  
 SHEET C-D1  
 SHEET 12 OF 16



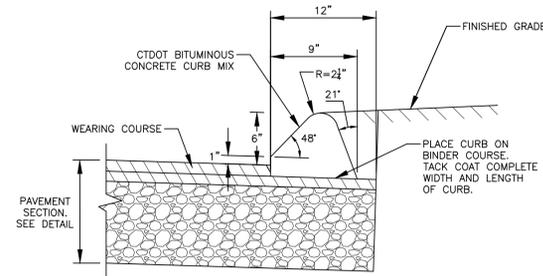
**NOTES:**  
 1. DETAIL IS PREPARED FOR PLANNING PURPOSES ONLY. IN THE ABSENCE OF A GEOTECHNICAL REPORT, CONTRACTOR SHALL COORDINATE WITH OWNER AND DEVELOPER TO OBTAIN OR DETERMINE IF GEOTECHNICAL PAVEMENT AND SECTION DESIGNS ARE REQUIRED.

**1 BITUMINOUS CONCRETE PAVEMENT SECTION - STANDARD DUTY**  
 Not to Scale



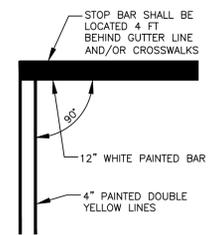
**NOTES:**  
 1. CONCRETE PAVEMENT SHALL BE 4,000-PSI, AIR-ENTRAINED, CTDOT CLASS "F".  
 2. PROVIDE LIGHT BROOM FINISH WITH 2" SMOOTH SURFACE ON EACH SIDE OF ALL JOINTS.

**2 MONOLITHIC CONCRETE CURB & WALK**  
 Not to Scale

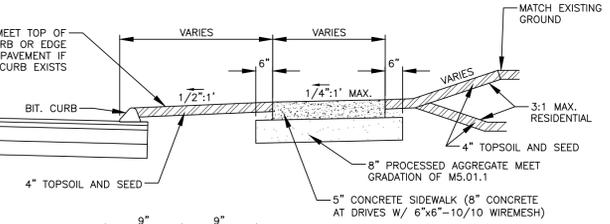
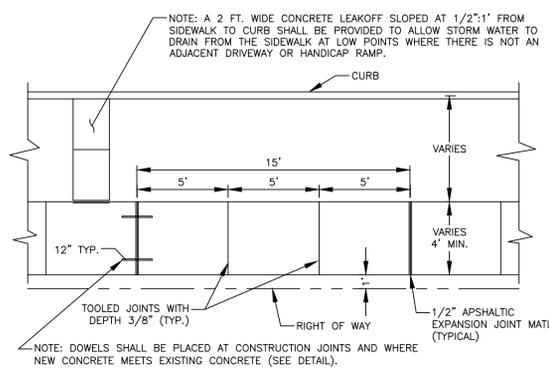


**NOTE:**  
 BITUMINOUS CONCRETE CURBING SHALL BE INSTALLED PER CTDOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION, LATEST EDITION.

**3 BITUMINOUS CONCRETE LIP CURB**  
 Not to Scale

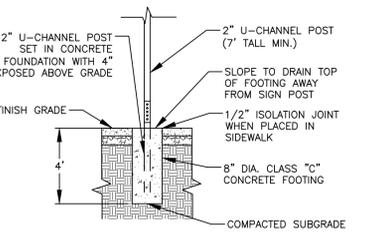


**4 PAINTED STOP BAR**  
 Not to Scale



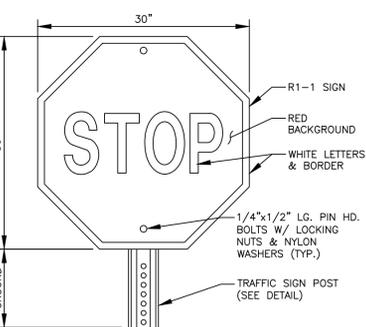
**NOTES:**  
 1. ALL CONCRETE FOR SIDEWALKS SHALL BE CLASS "F". MEET CONNECTICUT D.O.T. SPECIFICATIONS. REFER TO FORM 817.  
 2. CONCRETE SURFACE TO BE SCORED AT 5 FOOT INTERVALS.  
 3. EXPANSION JOINTS SHALL BE INSTALLED EVERY 15 FEET.  
 4. PROVIDE LIGHT BROOMED FINISH PERPENDICULAR TO TRAVEL PATH.

**5 CONCRETE SIDEWALK**  
 Not to Scale

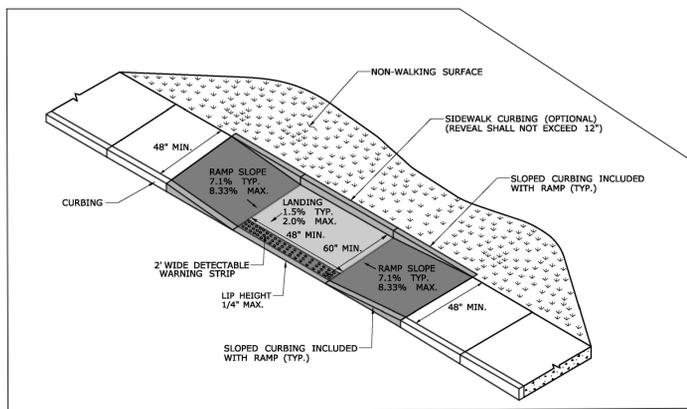


**NOTES:**  
 1. SUPPORTS SHALL BE METAL GALVANIZED STEEL POSTS (4 LB. / FT.) WITH BREAKAWAY COUPLING SYSTEM.  
 2. USE TWO HOT-DIPPED GALVANIZED MACHINE BOLTS WITH WASHERS FOR POST CONNECTION.  
 3. CONCRETE FOOTING SHALL EXTEND MINIMUM 4" BELOW BOTTOM OF POST.  
 4. SIGN HEIGHT SHALL CONFORM TO MUTCD STANDARDS UNLESS NOTED OTHERWISE ON THE PLANS.  
 5. MAINTAIN 12" SETBACK FROM CURB OR SIDEWALK.

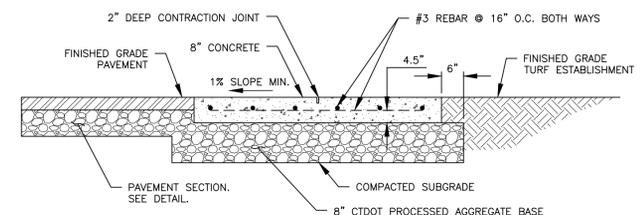
**6 TRAFFIC SIGN POST**  
 Not to Scale



**7 STOP SIGN**  
 Not to Scale

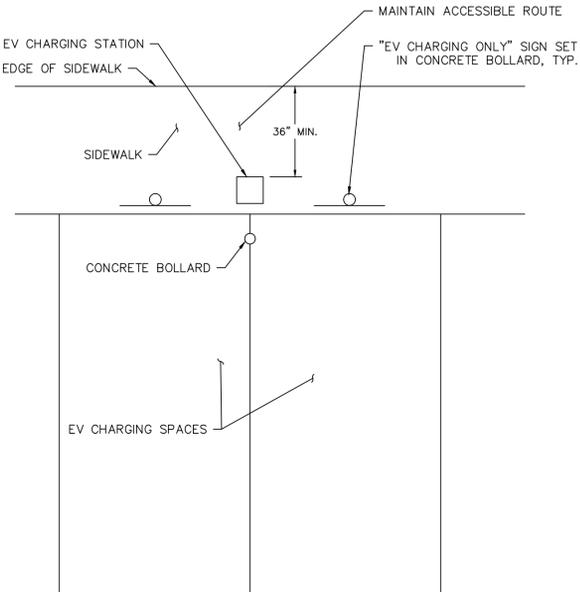


**8 PARALLEL CONCRETE SIDEWALK RAMP**  
 Not to Scale



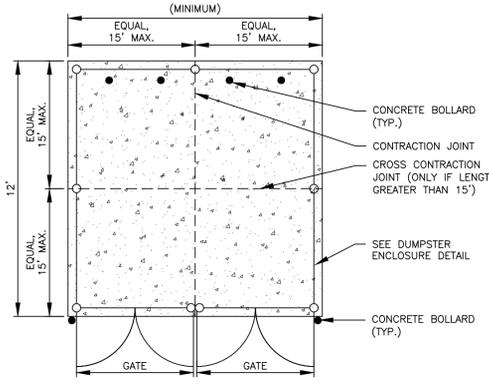
**NOTES:**  
 3. CONCRETE PAVEMENT SHALL BE 4,000-PSI, AIR-ENTRAINED, CTDOT CLASS "F".  
 4. PROVIDE LIGHT BROOM FINISH WITH 2" SMOOTH SURFACE ALONG EDGES AND ON EACH SIDE OF ALL JOINTS.  
 5. MAINTAIN MINIMUM OF 3" BETWEEN REBAR AND TOP, BOTTOM, AND SIDES OF CONCRETE.  
 6. SEE SITE PLANS FOR LAYOUT AND DIMENSIONS.

**9 DUMPSTER PAD SECTION**  
 Not to Scale

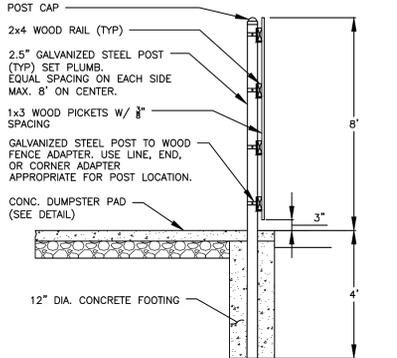


**NOTES:**  
 1. ALIGN CHARGING STATION WITH STRIPE IN BETWEEN STANDARD PARKING SPACES.  
 2. LOCATE CHARGING STATIONS FOR ACCESSIBLE SPACES TO MAINTAIN ACCESSIBLE ROUTE, INCLUDING HATCHED AREA NEXT TO PARKING. THIS INCLUDES WHEN CHARGING CORDS ARE EXTENDED AND CHARGING VEHICLES IN ACCESSIBLE PARKING SPACES.

**10 EV CHARGING STATION LAYOUT**  
 Not to Scale

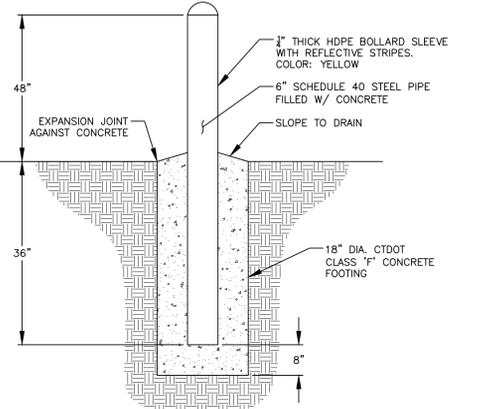


**11 DUMPSTER PAD PLAN**  
 Not to Scale



**NOTES:**  
 1. FINISH SIDE TO FACE AWAY FROM DUMPSTER PAD.  
 2. ALL FASTENERS TO BE HOT-DIPPED GALVANIZED.  
 3. ALL WOOD TO BE SPRUCE OR PRESSURE TREATED.

**12 DUMPSTER ENCLOSURE SECTION**  
 Not to Scale



**13 CONCRETE BOLLARD**  
 Not to Scale

**PROPERTY OWNER/APPLICANT:**  
 4 ELEMENTS VITALITY INSTITUTE LLC  
 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074

File: C:\jsh\5195\Engineering\AutoCAD\5195\Drawings Layout\_13 C-D2 Plotted: 3/28/2024 8:59 AM Last Saved: 3/27/2024 2:39 PM Last Saved By: ghemartin

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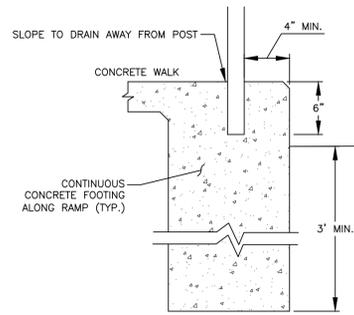
PREPARED FOR:  
 Dr. Vasanth Kalikayam  
 162 Cornerstone Drive  
 South Windsor, CT 06074

PROJECT NO.:  
 DATE:  
 DRAWN BY:  
 CHECKED BY:  
 IN CHARGE:  
 SCALE:

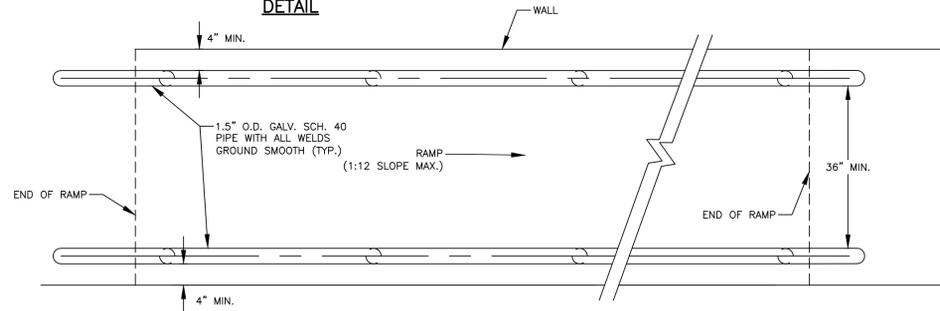
**MEDICAL OFFICE BUILDING**  
 1300 SULLIVAN AVENUE  
 (FORMERLY 8 COLLINS LANE)  
 SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY

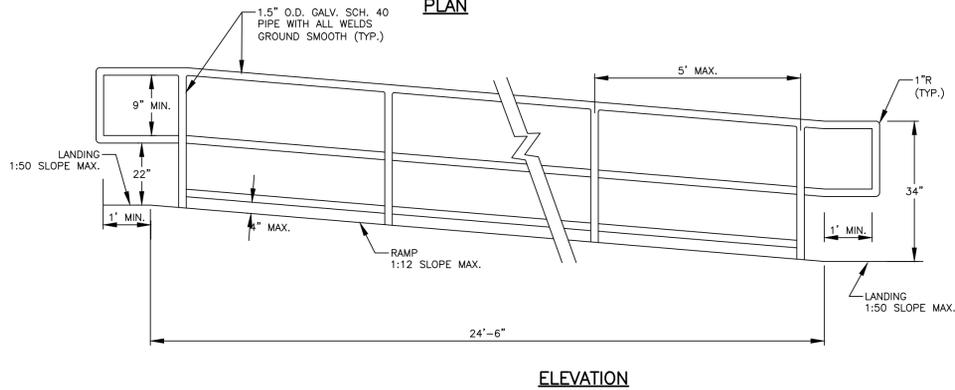
**DETAILS**  
 SHEET  
**C-D2**  
 SHEET 13 OF 16



**POST FOOTING DETAIL**



**PLAN**



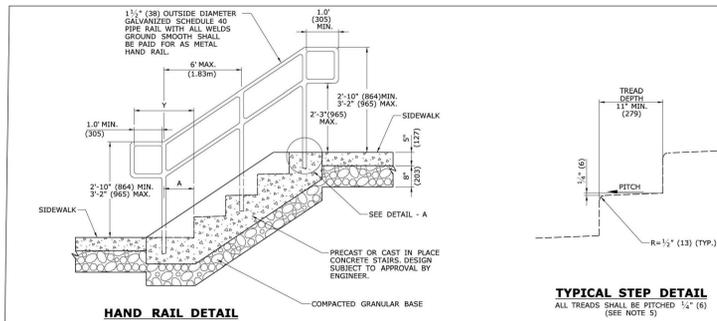
**ELEVATION**

**1 ACCESSIBLE RAMP WITH HANDRAILS**

Not to Scale

**NOTES:**

1. COMPONENTS SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS, THE CURRENT ADA REGULATIONS, GUIDELINES, AND CONSTRUCTION STANDARDS, AND APPROPRIATE BUILDING CODES.
2. DETAIL IS FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND DETAILS OF COMPLETE HANDRAIL SYSTEM FOR APPROVAL PRIOR TO FABRICATION.



**HAND RAIL DETAIL**

**TYPICAL STEP DETAIL**

**DETAIL A POST HOLE AT LANDINGS**

**GENERAL NOTES:**

1. A HAND RAIL IS REQUIRED ON BOTH SIDES OF STEPS WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE HIGHEST WALKING SURFACE AND THE LOWEST WALKING SURFACE IS GREATER THAN 30" (762).
2. POSTS SHALL BE NO MORE THAN 6" (152.4) APART.
3. THE RAILING BASE CONNECTIONS SHALL BE DESIGNED TO PROVIDE STRENGTH FOR A 25.8 KILO (57.4 LB) FORCE APPLIED IN ANY LOCATION OR DIRECTION ON THE RAIL.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STEEL POSTS AND HANDRAIL ELEMENTS INCLUDING A LAYOUT FOR REVIEW AND APPROVAL.
5. ALL STEPS SHALL HAVE UNIFORM RISER HEIGHTS AND UNIFORM TREAD DEPTHS. RISERS SHALL BE A MINIMUM OF 4" (102) HIGH TO A MAXIMUM OF 7" (178) HIGH. TREADS SHALL BE A MINIMUM OF 11" (279) DEEP MEASURED FROM RISER TO RISER.
6. THESE DETAILS WERE DEVELOPED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) HANDBOOK DATED 1998 AND 2000.

STEPS CONFORMING TO 1 1/2:1 SLOPE							
HEIGHT	LENGTH	NUMBER OF RISERS	VOLUME OF STEPS (CU.YDS.)	HEIGHT	LENGTH	NUMBER OF RISERS	VOLUME OF STEPS (CU.YDS.)
0'-8"	2'-5 1/2"	1	0.474 (0.436)	6'-0"	10'-5 1/2"	9	2.554 (2.316)
1'-4"	3'-5 1/2"	2	0.718 (0.671)	6'-6"	11'-5 1/2"	10	2.831 (2.551)
2'-0"	4'-5 1/2"	3	0.962 (0.906)	7'-4"	12'-5 1/2"	11	3.098 (2.788)
2'-6"	5'-5 1/2"	4	1.229 (1.141)	8'-0"	13'-5 1/2"	12	3.365 (3.021)
3'-2"	6'-5 1/2"	5	1.496 (1.375)	8'-6"	14'-5 1/2"	13	3.632 (3.250)
3'-8"	7'-5 1/2"	6	1.763 (1.611)	9'-4"	15'-5 1/2"	14	3.899 (3.481)
4'-4"	8'-5 1/2"	7	2.030 (1.846)	10'-0"	16'-5 1/2"	15	4.166 (3.750)
5'-0"	9'-5 1/2"	8	2.297 (2.081)	10'-8"	17'-5 1/2"	16	4.433 (3.965)

ADD 0.244 CU.YDS. (0.18 CU.MS.) FOR EACH ADDITIONAL RISER

**STEPS WITH 1 1/2 : 1 SIDEWALL SLOPE**

**2 CONCRETE STAIRS WITH HANDRAILS**

Not to Scale



**REAR ELEVATION**



**FRONT ELEVATION**

**NOTE:**

1. PROPOSED BARN SHALL BE STATESMAN STYLE BUILDING AS PROVIDED BY KLOTHER FARMS.

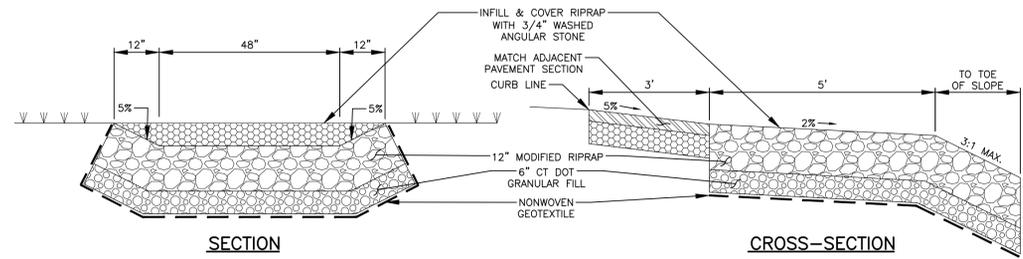
**3 PROPOSED BARN ELEVATIONS**

Not to Scale

**PROPERTY OWNER/APPLICANT:**

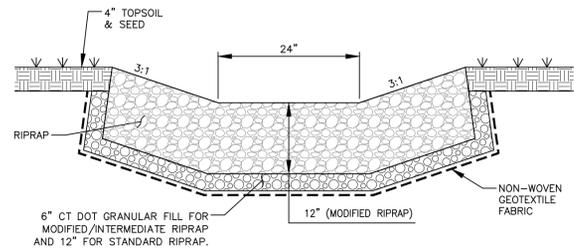
4 ELEMENTS VITALITY INSTITUTE LLC  
8 COLLINS LANE  
SOUTH WINDSOR, CT 06074

NO.	DATE	REVISIONS



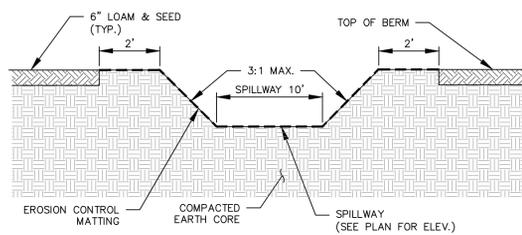
1 PAVED LEAK OFF

Not to Scale

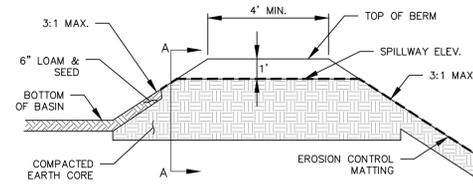


2 RIPRAP SWALE

Not to Scale



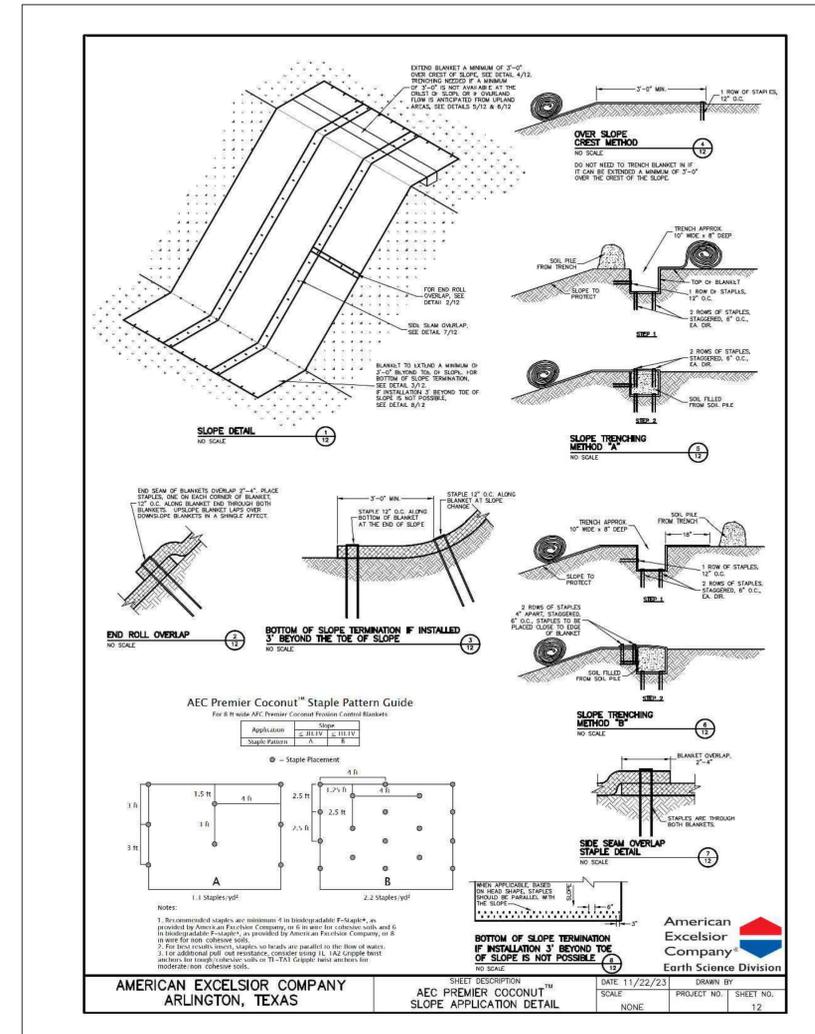
SECTION A-A



CROSS SECTION

3 WATER QUALITY INFILTRATION BASIN SPILLWAY

Not to Scale



AEC Premier Coconut™ Staple Pattern Guide

For 8 ft wide AEC Premier Coconut Frosion Control Blankets

Application: S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ

Notes:

1. Recommended staples are minimum 4 in biodegradable F-8 staples, as provided by American Excelsior Company, or 6 in wire iron cohesion nails, and 6 in biodegradable P-staples, as provided by American Excelsior Company, or 6 in wire iron cohesion nails.
2. The biodegradable staples and nails are available in this size or larger.
3. For additional pull out resistance, consider using 1/2 in (1/2) copper twist anchors for biodegradable staples or 1/2 in (1/2) galvanized steel anchors for wire iron cohesion nails.

AMERICAN EXCELSIOR COMPANY  
ARLINGTON, TEXAS

SHEET DESCRIPTION  
AEC PREMIER COCONUT™  
SLOPE APPLICATION DETAIL

DATE: 11/22/23  
SCALE: NONE  
PROJECT NO.:  
DRAWN BY:  
SHEET NO.: 12

PROPERTY OWNER/APPLICANT:

4 ELEMENTS VITALITY INSTITUTE LLC  
8 COLLINS LANE  
SOUTH WINDSOR, CT 06074

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CIVIL & TRAFFIC ENGINEERS / LAND SURVEYORS  
PLANNERS / LANDSCAPE ARCHITECTS

PREPARED FOR:  
Dr. Vasanth Kankaryam  
162 Cornerstone Drive  
South Windsor, CT 06074

PROJECT NO.: 5195  
DATE: 7/27/24  
DRAWN BY: CHAM  
CHECKED BY: AKC

**MEDICAL OFFICE BUILDING**  
1300 SULLIVAN AVENUE  
(FORMERLY 8 COLLINS LANE)  
SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS

BY: \_\_\_\_\_

**DETAILS**

SHEET  
**C-D4**  
SHEET 15 OF 16



1 FRONT ELEVATION

Not to Scale



2 REAR ELEVATION

Not to Scale



3 WEST ELEVATION

Not to Scale



4 EAST ELEVATION

Not to Scale

**PROPERTY OWNER/APPLICANT:**  
 4 ELEMENTS VITALITY INSTITUTE LLC  
 8 COLLINS LANE  
 SOUTH WINDSOR, CT 06074

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**PREPARED FOR:**  
 Dr. Vasanth Kalkiyam  
 162 Cornerstone Drive  
 South Windsor, CT 06074

**PROJECT NO.:** 06074  
**DATE:** 3/27/24  
**DESIGN BY:** [Blank]  
**CHECKED BY:** [Blank]

**MEDICAL OFFICE BUILDING**  
 1300 SULLIVAN AVENUE  
 (FORMERLY 8 COLLINS LANE)  
 SOUTH WINDSOR, CONNECTICUT

NO.	DATE	REVISIONS	BY

**EXISTING ELEVATIONS**

SHEET  
**C-A1**  
 SHEET 16 OF 16