

# PROPOSED RETAIL BUILDING AT THE PROMENADE SHOPS AT EVERGREEN WALK

## INLAND WETLANDS, WATERCOURSES, AND CONSERVATION APPLICATION

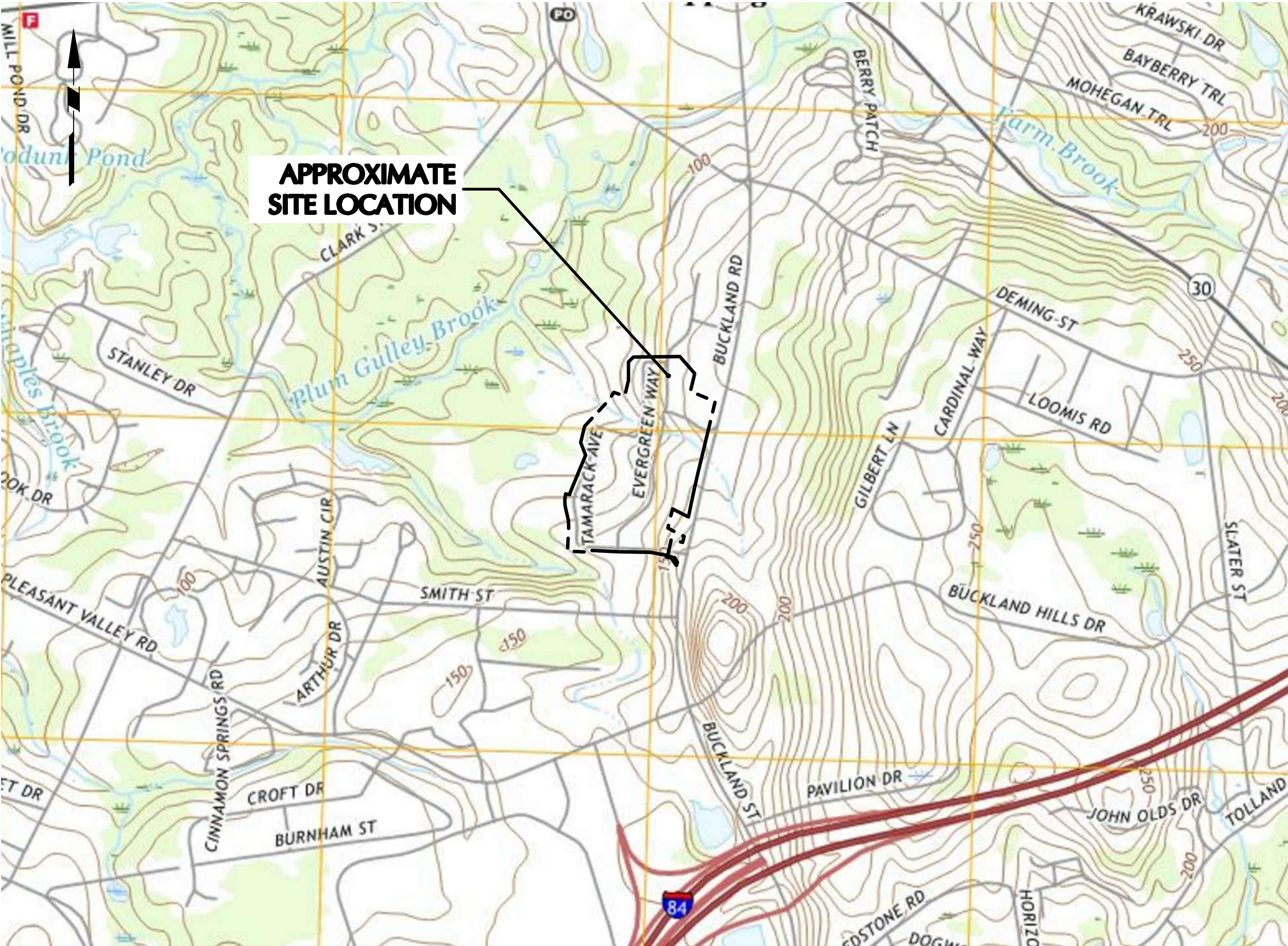
### 801 EVERGREEN WAY

### MAP 27, BLOCK 15, UNIT 2

### TOWN OF SOUTH WINDSOR, HARTFORD COUNTY, CONNECTICUT

#### DRAWING INDEX

NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS001	COVER SHEET	04/06/2021	
VL101	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
VL102	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
VL103	ALTA/NSPS LAND TITLE SURVEY	02/08/2021	03/17/2021
CS002	MASTER LEGEND & NOTES	04/06/2021	
CS101	SITE PLAN	04/06/2021	
CS501	SITE DETAILS I	04/06/2021	
CS502	SITE DETAILS II	04/06/2021	
CS503	SITE DETAILS III	04/06/2021	
CG101	GRADING & DRAINAGE PLAN	04/06/2021	
CG501	GRADING & DRAINAGE DETAILS I	04/06/2021	
CG502	GRADING & DRAINAGE DETAILS II	04/06/2021	
CUT01	UTILITY PLAN	04/06/2021	
CUS01	UTILITY DETAILS I	04/06/2021	
CUS02	UTILITY DETAILS II	04/06/2021	
CE101	SOIL EROSION AND SEDIMENT CONTROL PLAN	04/06/2021	
CE501	SOIL EROSION AND SEDIMENT CONTROL DETAILS I	04/06/2021	
CE502	SOIL EROSION AND SEDIMENT CONTROL DETAILS II	04/06/2021	
LP101	LANDSCAPE PLANTING PLAN	04/06/2021	
LP501	PLANTING DETAILS	04/06/2021	
LL101	LIGHTING SITE PLAN	04/06/2021	
LL501	LIGHTING NOTES AND DETAILS	04/06/2021	



MAP REFERENCE: USGS MANCHESTER QUADRANGLE (7.5-MINUTE SERIES)

#### LOCATION MAP

SCALE: 1" = 1000'

RELEASE DATES	
DATE	ISSUED FOR
04/06/2021	INLAND WETLANDS AGENCY/CONSERVATION COMMISSION SUBMISSION

APPLICANT  
CHARTER REALTY & DEVELOPMENT CORP.  
C/O KAREN JOHNSON  
75 HOLLY HILL LANE, SUITE 305  
GREENWICH, CT 06830  
(617) 431-1091

OWNER  
EVERGREEN WALK LIFESTYLE CENTER, LLC  
C/O MYLES OSMOFF  
501 EVERGREEN WAY, SUITE 503  
SOUTH WINDSOR, CT 06074

LAND SURVEYOR, CIVIL ENGINEER,  
LANDSCAPE ARCHITECT  
LANGAN ENGINEERING &  
ENVIRONMENTAL SERVICES, INC  
C/O DAVID GAGNON  
555 LONG WHARF DRIVE  
NEW HAVEN, CT 06511  
(203) 562-5771

SOIL SCIENTIST  
ALL-POINTS TECHNOLOGY  
CORPORATION  
C/O DEAN GUSTAFSON  
567 VAUXHALL STREET EXTENSION  
SUITE 311 WATERFORD, CT 06385  
(860) 552-2033

#### ABUTTING PROPERTY OWNERS

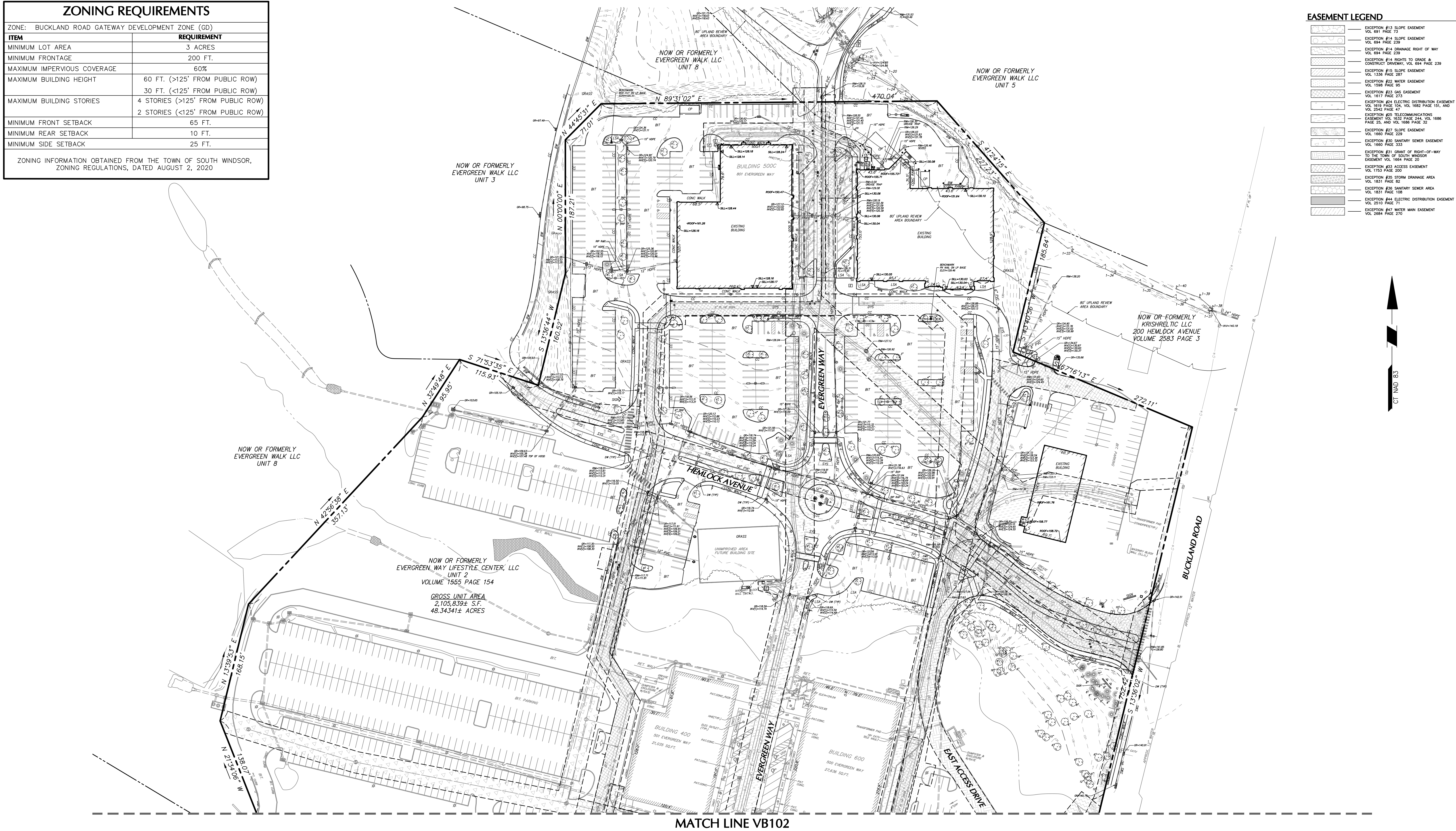
MAP	BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
20	40	0494	HOOD MARK J	494 CLARK STREET
20	40	0716	859 CLARK ST LLC	716 CLARK STREET
27	60	0075	BD ASSET CO 2 LLC	75 DEMING STREET
83	70	0302	HO-NG HIU HUNG & NG WEI-QUAN	302 SMITH STREET
15	30	0235	EVERGREEN WALK LLC	235 BUCKLAND ROAD
15	30	0179	CURRENT RESIDENT	179 BUCKLAND ROAD
15	30	0079	SOUTH WINDSOR TOWN OF	79 BUCKLAND ROAD
15	30	0325	SOUTH WINDSOR TOWN OF	325 BUCKLAND ROAD
15	30	0095	SOUTH WINDSOR TOWN OF	95 BUCKLAND ROAD
49	39	0101	LARSON BURTON L & JOAN D	101 KEBALO LANE
49	39	0102	CASCOONE CAROL M	102 KEBALO LANE
49	39	0103	BERNETICH JOHN J & RACHEL	103 KEBALO LANE
49	39	0104	TULEJA DONALD T TR	104 KEBALO LANE
49	39	0201	PINEO DANNE TM	201 KEBALO LANE
49	39	0202	REID DEBRA M TR	202 KEBALO LANE
49	39	0203	GANTNER AMY	203 KEBALO LANE
49	39	0204	ARCELL STEVEN A	204 KEBALO LANE
49	39	0301	MOYNIHAN MARGARET M	301 KEBALO LANE
49	39	0302	BUNNELL RICHARD C & MARY E	302 KEBALO LANE
49	39	0303	ORTON FRANK D IV	303 KEBALO LANE
49	39	0304	ALLISON NANCY	304 KEBALO LANE
49	39	0501	RUDYK VERA	501 KEBALO LANE
49	39	0502	HARRINGTON CORDELIA T	502 KEBALO LANE
49	39	0503	STANLEY ROBERT F TR	503 KEBALO LANE
49	39	0601	GOWING ROBERTA J	601 KEBALO LANE
49	39	0602	GRAICERSTEIN RITA	602 KEBALO LANE
49	39	0603	ANDREWS FREDERICK C	603 KEBALO LANE
49	39	0604	TAMARKIN KARIN W	604 KEBALO LANE
49	39	0701	LEDBETTER WAYNE A & MARVA	701 KEBALO LANE
49	39	0702	PERRIN JANE F	702 KEBALO LANE
49	39	0703	RYAN RICHARD IRREVOCABLE TRUST L/U	703 KEBALO LANE
49	39	0704	SINCLAIR ANN W	704 KEBALO LANE
49	39	0705	SIBICKY ALEXANDER G & JOANNE W	705 KEBALO LANE
49	39	0706	SIMMONS DONALD R & LINDA M	706 KEBALO LANE
49	39	0000	CURRENT RESIDENT	KEBALO LANE
31	30	0101	CURRENT RESIDENT	101 EVERGREEN WAY
31	30	0201	CURRENT RESIDENT	201 EVERGREEN WAY
31	30	0301	CURRENT RESIDENT	301 EVERGREEN WAY
31	30	0401	CURRENT RESIDENT	401 EVERGREEN WAY
31	30	0501	CURRENT RESIDENT	501 EVERGREEN WAY
31	30	0601	CURRENT RESIDENT	601 EVERGREEN WAY
31	30	0801	CURRENT RESIDENT	801 EVERGREEN WAY
31	30	0800	CURRENT RESIDENT	800 EVERGREEN WAY
41	35	0100	CURRENT RESIDENT	100 HEMLOCK AVENUE
31	30	0500	CURRENT RESIDENT	500 EVERGREEN WAY
31	30	0400	CURRENT RESIDENT	400 EVERGREEN WAY
31	30	0300	CURRENT RESIDENT	300 EVERGREEN WAY
31	30	0200	CURRENT RESIDENT	200 EVERGREEN WAY
31	30	0100	CURRENT RESIDENT	100 EVERGREEN WAY
17	85	0100	REALTY INCOME PROPERTIES 21 LLC	100 CEDAR AVENUE
89	30	2800	EVERGEEN MEDICAL ASSOCIATES LLC	2800 TAMARACK AVENUE
89	30	0035	BUCKLAND ROAD RETAIL LLC	35 TAMARACK AVENUE
31	30	0000	EVERGEEN WALK LIFESTYLE CENTER LLC	EVERGREEN WAY
89	30	2400	EVERGREEN MEDICAL ASSOCIATES II LLC	2400 TAMARACK AVENUE
83	70	0244	BRIN PETER J & JENNIFER J	244 SMITH STREET
31	30	0000	CURRENT RESIDENT	EVERGREEN WALK
49	39	0000	CURRENT RESIDENT	KEBALO LANE
17	85	0100	CURRENT RESIDENT	100 CEDAR AVENUE
54	65	1000	RHD SOUTH WINDSOR LLC	1000 LONGLEAF LANE
54	65	1200	RHD SOUTH WINDSOR LLC	1200 LONGLEAF AVENUE
89	39	2701	AGM PROPERTIES LLC	2701 TAMARACK AVENUE
03	20	0050	SOUTH WINDSOR DEVELOPERS LLC	50 ANDREWS WAY
41	35	0900	CURRENT RESIDENT	900 HEMLOCK AVENUE
41	35	0900	EVERGREEN CROSSING RETIREMENT	900 HEMLOCK AVENUE
31	30	1000	CD-HRA (WINDSOR) LLC	1000 EVERGREEN WAY
83	70	0190	KF REALTY LLC	190 SMITH STREET
81	77	0010	COLCHESTER PROPERTIES LLC	10 SEDONA CIRCLE
83	70	0340	FRASER BRENDA J & BRUCE D	340 SMITH STREET
15	30	0151	EVERGREEN WALK LLC	151 BUCKLAND ROAD
20	40	0610	DUPRE BEVAN L	610 CLARK STREET
27	60	0083	TOSTARELLI STEPHANIE LAUREN	83 DEMING STREET
27	60	0047	SOUCY ARTHUR LIONEL TR	47 DEMING STREET
83	70	0260	EVERGREEN WALK LLC	260 SMITH STREET
83	70	0314	314 SMITH STREET ASSOCIATES LLC	314 SMITH STREET
83	70	0332	HAYES ROBERT J & BEVERLY E TRSTEEES	332 SMITH STREET
20	40	0500	HOOD MARK J	500 CLARK STREET
15	30	0251	EVERGREEN WALK LLC	251 BUCKLAND ROAD
27	60	0087	GAINES MICHELLE L & JASON A	67 DEMING STREET
83	70	0140	JACQUES JEAN MARC	140 SMITH STREET
41	35	0200	KRISHNARETHI LLC	200 HEMLOCK AVENUE
20	40	0580	SMITH SHIRLEY W	580 CLARK STREET
27	60	0043	SOUCY ARTHUR L & KATE C	43 DEMING STREET

LANGAN

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

ZONING REQUIREMENTS	
ZONE: BUCKLAND ROAD GATEWAY DEVELOPMENT ZONE (GD)	
ITEM	REQUIREMENT
MINIMUM LOT AREA	3 ACRES
MINIMUM FRONTAGE	200 FT.
MAXIMUM IMPERVIOUS COVERAGE	60%
MAXIMUM BUILDING HEIGHT	60 FT. (>125' FROM PUBLIC ROW) 30 FT. (<125' FROM PUBLIC ROW)
MAXIMUM BUILDING STORIES	4 STORIES (>125' FROM PUBLIC ROW) 2 STORIES (<125' FROM PUBLIC ROW)
MINIMUM FRONT SETBACK	65 FT.
MINIMUM REAR SETBACK	10 FT.
MINIMUM SIDE SETBACK	25 FT.
ZONING INFORMATION OBTAINED FROM THE TOWN OF SOUTH WINDSOR, ZONING REGULATIONS, DATED AUGUST 2, 2020	

EASEMENT LEGEND	
	EXCEPTION #13 SLOPE EASEMENT VOL. 691 PAGE 73
	EXCEPTION #14 SLOPE EASEMENT VOL. 694 PAGE 239
	EXCEPTION #14 DRAINAGE RIGHT OF WAY VOL. 694 PAGE 239
	EXCEPTION #14 RIGHTS TO GRADE & CONSTRUCT DRIVEWAY, VOL. 694 PAGE 239
	EXCEPTION #15 SLOPE EASEMENT VOL. 1336 PAGE 287
	EXCEPTION #22 WATER EASEMENT VOL. 1396 PAGE 95
	EXCEPTION #23 GAS EASEMENT VOL. 1617 PAGE 273
	EXCEPTION #24 ELECTRIC DISTRIBUTION EASEMENT VOL. 1619 PAGE 104, VOL. 1660 PAGE 151, AND VOL. 2542 PAGE 47
	EXCEPTION #25 TELECOMMUNICATIONS EASEMENT VOL. 1632 PAGE 244, VOL. 1686 PAGE 25, AND VOL. 1686 PAGE 35
	EXCEPTION #27 SLOPE EASEMENT VOL. 1660 PAGE 229
	EXCEPTION #30 SANITARY SEWER EASEMENT VOL. 1660 PAGE 333
	EXCEPTION #31 GRANT OF RIGHT-OF-WAY TO THE TOWN OF SOUTH WINDSOR EASEMENT VOL. 1664 PAGE 20
	EXCEPTION #33 ACCESS EASEMENT VOL. 1753 PAGE 200
	EXCEPTION #35 STORM DRAINAGE AREA VOL. 1831 PAGE 92
	EXCEPTION #36 SANITARY SEWER AREA VOL. 1831 PAGE 108
	EXCEPTION #44 ELECTRIC DISTRIBUTION EASEMENT VOL. 2510 PAGE 71
	EXCEPTION #47 WATER MAIN EASEMENT VOL. 2684 PAGE 270



THIS IS TO CERTIFY TO

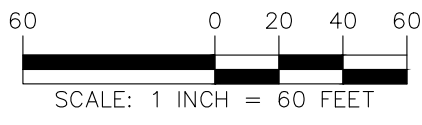
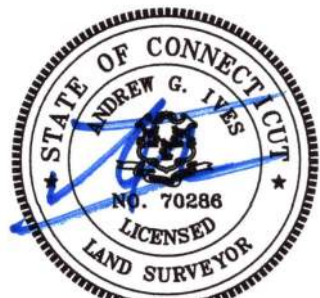
THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 7(a), 8, 11, 13, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 15, 2021.

DATE OF MAP: MARCH 17, 2021

ANDREW G. IVES, P.L.S. #70286

3/17/2021

DATE



Date	Description	No.
3/17/21	WETLAND FLAG LOCATIONS	1
REVISIONS		

**LANGAN**

Langan CT, Inc.  
555 Long Wharf Drive  
New Haven, CT 06511

T: 203.562.5771 F: 203.789.6142 www.langan.com

Project

**EVERGREEN WALK LIFESTYLE CENTER, LLC**

UNIT 2

SOUTH WINDSOR

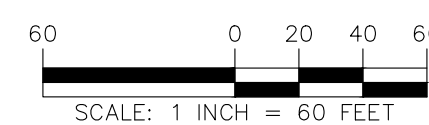
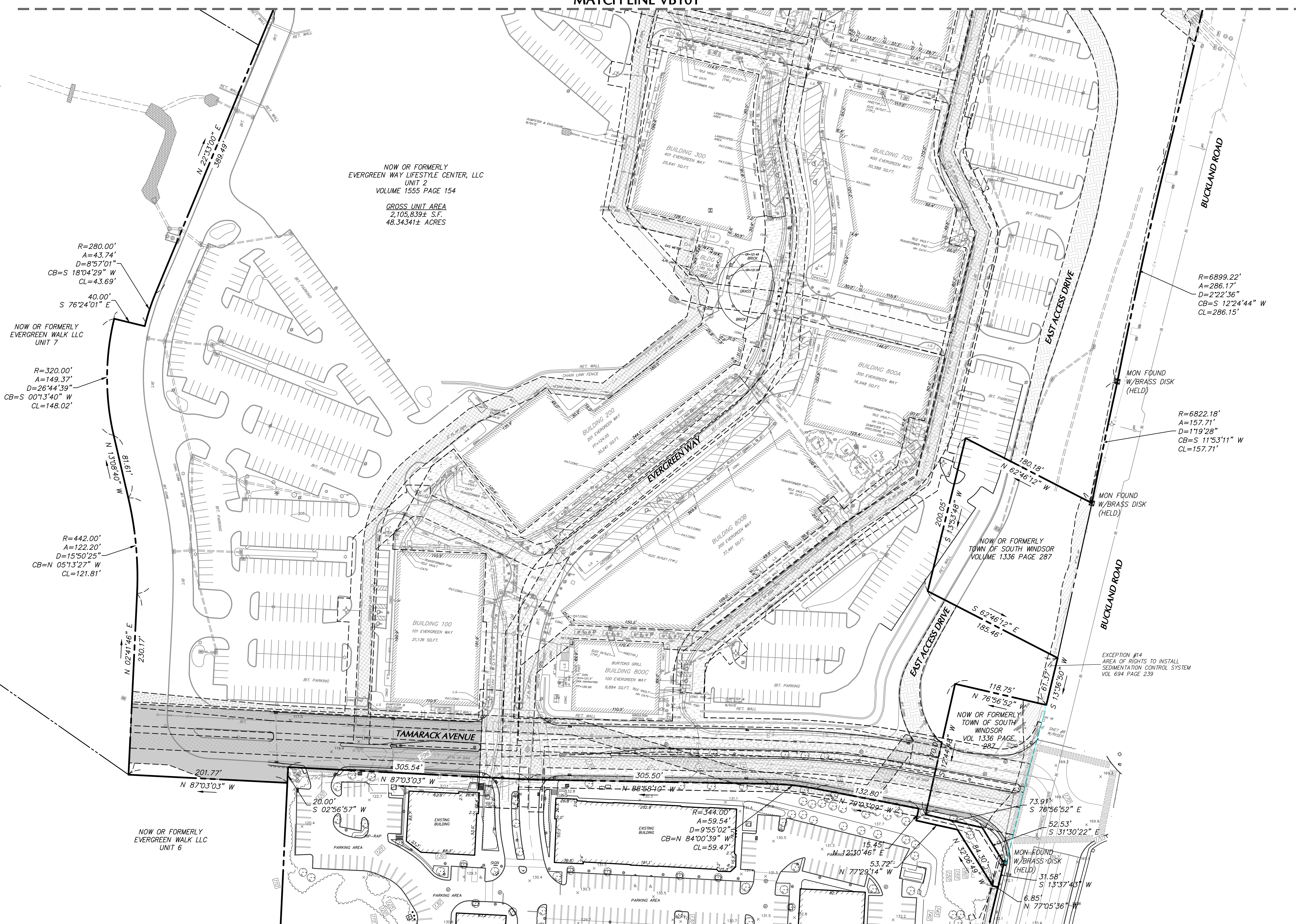
Drawing Title

**ALTA/NSPS LAND TITLE SURVEY**

Project No.	140222801	Drawing No.	VL101
Date	FEBRUARY 8, 2021		
Drawn By	JRL		
Checked By	AGI	Sheet	1 of 3

	EXCEPTION #13 SLOPE EASEMENT VOL. 681 PAGE 75
	EXCEPTION #14 SLOPE EASEMENT VOL. 694 PAGE 239
	EXCEPTION #14 DRAINAGE RIGHT OF WAY VOL. 694 PAGE 239
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	EXCEPTION #15 SLOPE EASEMENT VOL. 1336 PAGE 287
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	EXCEPTION #33 ACCESS EASEMENT VOL. 1753 PAGE 200
	EXCEPTION #35 STORM DRAINAGE AREA VOL. 1831 PAGE 82
	EXCEPTION #36 SANITARY SEWER AREA VOL. 1831 PAGE 103
	EXCEPTION #44 ELECTRIC DISTRIBUTION EASEMENT VOL. 2510 PAGE 71
	EXCEPTION #47 WATER MAIN EASEMENT VOL. 2584 PAGE 270

CT NAD 83



3/17/21	WETLAND FLAG LOCATIONS	1
Date	Description	No
REVISIONS		

T: 203.562.5771 F: 203.789.6142 [www.langan.com](http://www.langan.com)

SOUTH WINDSOR

CONNECTICUT

# ALTA/NSPS LAND TITLE SURVEY

AGI

VL102

Sheet 2 of 3



# GENERAL NOTES

1. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM PLAN TITLED "ALTA/NSPS LAND TITLE SURVEY" BY LANGAN, CT, DATED 02-08-2021.
2. THE SITE LIES IN ZONE X (UNSHADED) AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NUMBERED 090030C0383F EFFECTIVE SEPTEMBER 26, 2008.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING CAL BEFORE YOU DIG (WWW.CBYD.COM), PRIOR TO PERFORMING EXCAVATION TEST HOLES, TEST BORINGS, AND WHATEVER ADDITIONAL INVESTIGATION IS NECESSARY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
4. ALL IMPROVEMENTS CONSTRUCTED IN THE TOWN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO TOWN OF SOUTH WINDSOR STANDARD DETAILS. IN THE ABSENCE OF LOCAL DETAILS & REGULATIONS AND WORK IN THE STATE RIGHT-OF-WAY SHALL COMPLY WITH THE MOST UP TO DATE VERSION OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
5. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
6. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND CONNECTICUT DEPARTMENT OF TRANSPORTATION REGULATIONS.
7. CONTRACTOR SHALL PREVENT DUST, SEDIMENT AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS, ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED.
8. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.
9. ABBREVIATIONS:  
ARCH. = ARCHITECTURAL  
CONC. = CONCRETE  
INV = INVERT  
EX = EXISTING  
HDPE = HIGH DENSITY POLYETHYLENE PIPE  
PR. = PROPOSED  
R&D = REMOVE & DISPOSE  
R&R = REMOVE & REPLACE  
TYP. = TYPICAL  
SWL = SINGLE WHITE LINE  
SYL = SINGLE YELLOW LINE  
BW = BOTTOM OF WALL  
HP = HIGHPOINT  
GR = TOP OF GRADE  
RIM = TOP OF RIM  
INV = INVERT  
SAN MH = SANITARY SEWER MANHOLE  
FFE = FINISHED FLOOR ELEVATION  
C.C. = CART CORRAL  
R.O.W = RIGHT OF WAY  
CO = CLEAN OUT  
DIP = DUCTILE IRON PIPE  
PVC = POLYVINYL CHLORIDE PIPE  
OCS = OUTLET CONTROL STRUCTURE  
RCP = REINFORCED CONCRETE PIPE  
LF = LINEAR FEET  
RL = ROOF LEADER  
TC = TOP OF CURB  
BC = BOTTOM OF CURB  
TW = TOP OF WALL  
MH = MANHOLE  
LA = LANDSCAPED AREA  
N.T.S. = NOT TO SCALE  
LF = LINEAR FEET  
CB = CATCH BASIN  
FES = FLAIED END SECTION  
YD = YARD DRAIN
10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON IS TAKEN FROM DESIGN PLANS, AS-BUILT SKETCHES, EXISTING UTILITY COMPANY RECORDS, AND OTHER SOURCES OF INFORMATION AND IS NOT TO BE CONSIDERED AS AN ACCURATE "AS-BUILT" SURVEY AND IS SUBJECT TO SUCH CORRECTIONS THAT A MORE ACCURATE SURVEY MAY DISCLOSE.
11. THE EXISTING UTILITIES INDICATED HEREON MAY NOT BE LOCATED AS SHOWN. IN ADDITION, OTHER UTILITIES NOT SHOWN HEREON MAY BE PRESENT. ANY DISCREPANCIES DISCOVERED DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
12. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS/DETAILS OF THE UTILITY COMPANY HAVING AUTHORITY OVER THE PROPOSED WORK. ALL PROPOSED UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ORDINANCES/REQUIREMENTS GOVERNING THE PROPOSED WORK.
13. ANY UTILITY EASEMENTS REQUIRED BY ANY OF THE VARIOUS UTILITY COMPANIES SHALL BE OBTAINED, EXECUTED, AND RECORDED PRIOR TO ANY OF THE AFFECTED UTILITY WORK BEING PERFORMED.
14. ALL PROPOSED UTILITIES WILL BE LOCATED UNDERGROUND.
15. ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SIZING ALL DRAINAGE STRUCTURES AND SUBMITTING SHOP DRAWINGS TO ENGINEER FOR REVIEW.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
18. ALL PAVEMENT MARKINGS SHALL BE EPOXY RESIN PAINT.
19. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
20. CONCRETE JOINTS ON SITE ARE TO BE FILLED WITH 3" ISOLATION JOINT FILLER, TO INCLUDE CONCRETE PAVEMENTS, MONOLITHIC CURBING, AND MONOLITHIC SIDEWALKS.
21. BOTTOM AND TOP OF RETAINING WALL ELEVATION SPOT SHOTS REPRESENT THE BASE OF THE WALL AT FINISHED GROUND LEVEL AND THE TOP OF THE FACE OF THE WALL RESPECTIVELY.
22. SPOT SHOTS ALONG CURB LINES REPRESENT THE BASE OF THE CURB UNLESS NOTED OTHERWISE.
23. ALL ON-SITE CONCRETE TO BE 4,500 PSI WITH 5% TO 7% AIR ENTRAPMENT UNLESS OTHERWISE NOTED.
24. TRANSFORMERS, HVAC UNITS, DUMPSTER AND SIMILAR SITE INSTALLATIONS MUST BE APPROPRIATELY SCREENED TO THE SATISFACTION OF THE PLANNING DEPARTMENT.
25. CONTRACTOR TO REMOVE ALL AGRICULTURAL PLASTIC SHEERING, IRRIGATION TUBING AND SIMILAR MATERIAL FROM THE SITE AND DISPOSE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS. CONTRACTOR TO REMOVE EXISTING BERMS AND SMALL PILES OF MATERIAL FROM EDGES OF FIELDS AND GRAD TO BLEND SMOOTHLY INTO ADJACENT TOPOGRAPHY.

# UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" @ 1-800-922-4455 FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS THAT DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE, AND ALL OTHER UTILITIES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION OF AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
6. LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR THE PROPER UTILITY COMPANY PROVIDING SERVICE.
7. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL PAT AND TIE-IN FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
8. DIMENSIONS SHOWN ARE TO THE CENTERLINE OF PIPE OR FITTING.
9. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
10. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.

ELECTRIC, TELEPHONE, & GAS:

11. CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH THE APPROPRIATE UTILITY COMPANIES.
12. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 30 INCHES OF COVER FOR ALL UNDERGROUND ELECTRIC, TELEPHONE AND GAS UTILITIES.

WATER & SANITARY:

13. ALL SANITARY & WATER INSTALLATION TO MEET THE METROPOLITAN DISTRICT (MDC) AND TOWN OF SOUTH WINDSOR STANDARDS.
14. ALL SANITARY SEWER PIPE TO BE PUSH-JOINT POLYVINYL CHLORIDE (PVC) PIPE SDR-35. ALL JOINTS BETWEEN PVC PIPE SECTIONS AND BETWEEN PIPE AND PRECAST MANHOLES SHALL HAVE WATER-TIGHT RUBBER GASKET CONNECTIONS. ALL PVC PIPES AND FITTINGS SHALL COMPLY WITH ASTM D3034-93. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST METHOD.
15. WHERE THE SANITARY SEWER LINE PASSES LESS THAN 18" BELOW THE WATER LINE, PROVIDE CONCRETE ENCASEMENT, THE LENGTH OF THE ENCASEMENT TO BE INCREASED TO THE NEAREST JOINT.
16. WHERE THE SANITARY SEWER LINE PASSES ABOVE THE WATER LINES, ENCASE SEWER IN 6" THICK CONCRETE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE FOR THE PIPE BEING USED FOR THE SAME DISTANCE.
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4.5 FEET OF COVER FOR ALL WATER DISTRIBUTION PIPING.
18. ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600.
19. ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651.
20. GRAVITY PIPING SHALL BE INSTALLED FROM DOWNSTREAM TO UPSTREAM, "IN THE DRY", WHEN THE CONTRACTOR IS ENCOURAGED TO BEGIN WORK AT THE MOST DOWNSTREAM POINT IN THE SYSTEM, ESPECIALLY WHEN THE NEW WORK WILL CONNECT TO AN EXISTING UTILITY DOWNSTREAM. IF THE CONTRACTOR CHOOSES NOT TO START AT THE FURTHEST DOWNSTREAM LOCATION, THEN HE IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, ELEVATION, AND INVERT OF THE EXISTING UTILITY PRIOR TO STARTING ANY WORK AND VERIFYING THAT THE EXISTING LOCATION AND INVERT ALLOWS FOR THE CONSTRUCTION OF THE PROPOSED SYSTEM AS DESIGNED.

# ACCESSIBILITY NOTES

1. WALKWAYS ALONG ACCESSIBLE ROUTES NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE.
2. ALL ADA PARKING SPACES AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ADA EGRESSES SHALL BE FLUSH WITH ADJOINING MATERIAL UNLESS NOTED OTHERWISE.
4. ALL CURB RAMPS SHALL NOT EXCEED 1:12 RUNNING SLOPE OR 2% CROSS SLOPE.
5. CONTRACTOR SHALL CONFIRM FIELD CONDITIONS ARE CONSISTENT WITH CONSTRUCTION DOCUMENTS AND NOTIFY LANGAN, CT OF ANY COMPLIANCE ISSUES PRIOR TO CONSTRUCTION.

	EXISTING	PROPOSED
PROPERTY LINE	---	=====
SETBACK LINE	---	-----
WETLAND LIMITS		-----▲-----
ZONE LINE		=====
BUILDING LINE	//////	=====
DOOR LOCATION	▽	▼ □
LOADING BAY DOOR LOCATION		□
6" CURB LINE	=====	=====
12" CONCRETE CURB LINE	=====	=====
TRAFFIC SIGN	—V—	▼ • 59
STEEL BOLLARD		59
PARKING ROW COUNT		59
CONCRETE		=====
LANDSCAPE AREA		LA
8' CHAIN LINK FENCE		=====
RETAINING WALL		=====
STORMWATER MANAGEMENT FEATURE		=====
STORM PIPE	=====	=====
STORM CURBED CATCH BASIN	■	■
STORM CURBLESS CATCH BASIN		■
STORM TRENCH DRAIN		=====
STORM YARD DRAIN		●
STORM MANHOLE		●
CONTOUR	137	135
SPOT ELEVATION	X192.54	X135.19
INLET PROTECTION	▨	●
SILT FENCE		●
FIBER ROLL		●
CONSTRUCTION FENCE		●
LIMIT OF DISTURBANCE		LOD LOD
DIRECTION OF TRAVEL ARROW		← ↻
PAVEMENT MARKING	=====	=====
GRAVITY SANITARY LINE		=====
SANITARY FORCE MAIN		=====
CLEANOUT		UFM c.o.
WATER LINE	W*	W
FIRE SERVICE LOOP	UFW*	UFW
UNDERGROUND TELECOMMUNICATIONS	E*	UT
UNDERGROUND ELECTRIC	G*	E
UNDERGROUND GAS		G
TRANSFORMER		T
HYDRANT		⊕
SANITARY MANHOLE		●
WATER VALVE		⊗
SAWCUT		-----
HEAVY DUTY BITUMINOUS CONCRETE		=====

SIGN LEGEND	
 30" x 30" (FOR ONE LANE) 36" x 36" (FOR 2 LANES) MUTCD: R1-1	 12" x 18" MUTCD: R7-8
 12" x 18" SIGN AND 12" x 6" PLACARD MUTCD: R7-8p	 30" x 30" MUTCD: R5-1 DO NOT MOUNT ON BACK OF STOP SIGN
 12" x 36" MUTCD: R6-1	 30" x 30" MUTCD: W12-1
	 30" x 30" SIGN AND 12" x 24" PLACARD MUTCD: W11-2 AND W16-7(L OR R)

# GRADING & DRAINAGE NOTES

1. THE SITE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE SITE CONTRACTOR MUST CONTACT "CALL-BEFORE-YOU-DIG" (800-922-4455) FOR THE LOCATION AND MARKING OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
4. CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
5. ALL EXISTING STORM DRAINAGE PIPING AND STRUCTURES LOCATED WITHIN THE PROJECT SITE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
6. ALL REQUIRED STORM LATERALS SERVICING THE PROPOSED BUILDING SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF THE FOUNDATION. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF LATERALS TO THE BUILDING SHALL BE MADE BY THE BUILDING CONTRACTOR.
7. SITE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZES OF THE DRAINAGE STRUCTURES.
8. SITE CONTRACTOR TO INSTALL SILT SACK/INLET PROTECTION ON ALL EXISTING AND PROPOSED INLETS BEFORE COMMENCING CONSTRUCTION.
9. BASINS UTILIZED AS SEDIMENT BASINS DURING CONSTRUCTION SHALL BE CLEANED AFTER THE COMPLETION OF CONSTRUCTION TO ENSURE PROPER FUNCTIONALITY.
10. CONTRACTOR TO CLEAN ENTIRE DRAINAGE SYSTEM, WHICH INCLUDES BUT IS NOT LIMITED TO PIPES, STRUCTURES, AND BASINS, OF SEDIMENT PRIOR TO PROJECT COMPLETION.

# CONTRACTOR NOTES

1. THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER. ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OMISSIONS DEPICTED ON THESE DRAWINGS IN PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS IN DOCUMENTS, THE CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS IF/SH/DEE DEEMS NECESSARY, PROVIDED THEY ARE CONDUCTED WITHIN THE TIME FRAME OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK. SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN IF/SH/DEE DEEMS NECESSARY, PROVIDE A WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET. THESE SPECIFICATIONS AND REQUIREMENTS, INCLUDING ANY GOVERNING LOCAL, STATE, FEDERAL AND INDUSTRY STANDARDS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

# DEMOLITION NOTES

GENERAL:

1. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING "CALL BEFORE YOU DIG," EXCAVATING THE HOLES, AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
4. THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
6. THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED PERMITS.
8. CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.

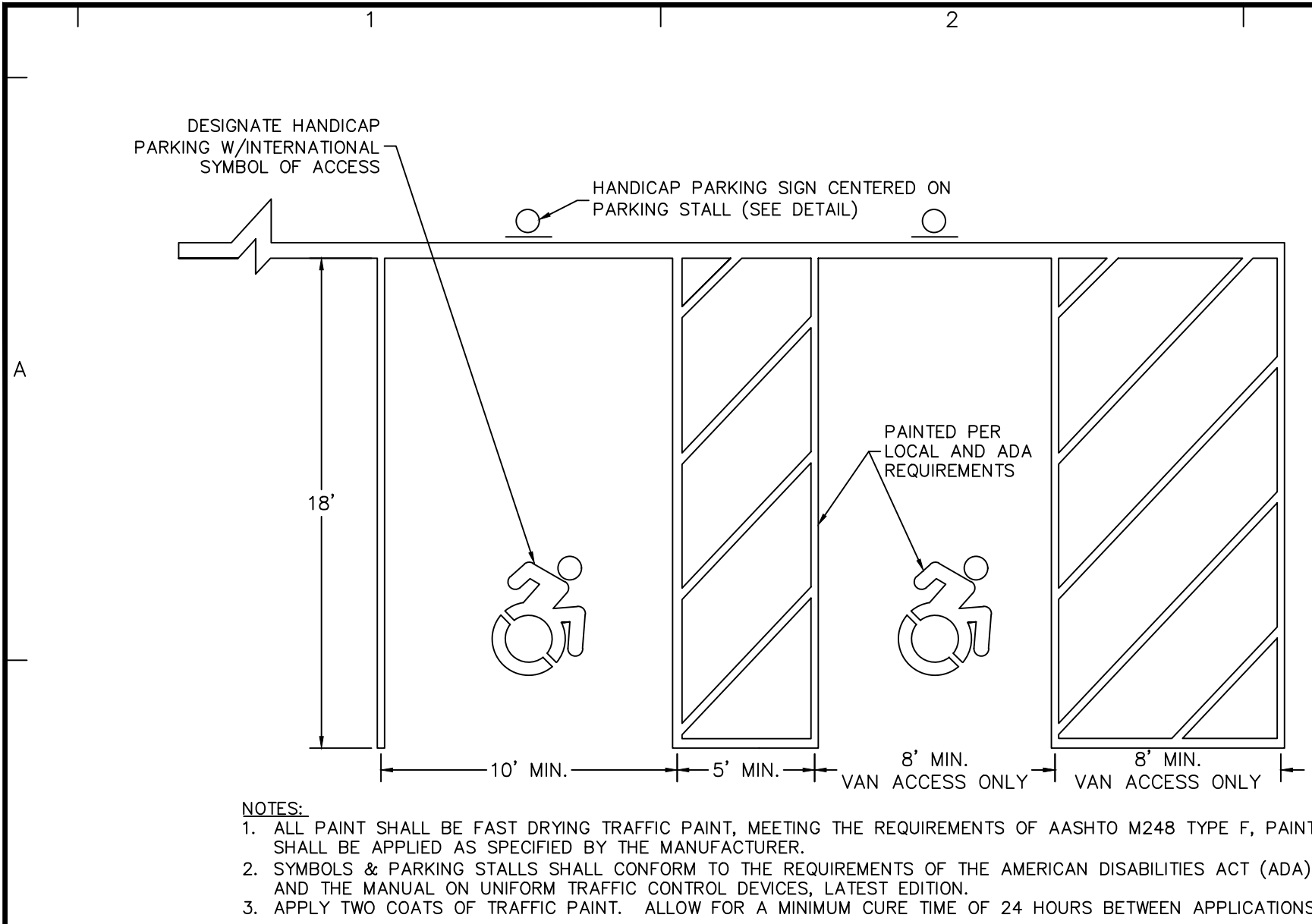
DEMOLITION:

9. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
10. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE, & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

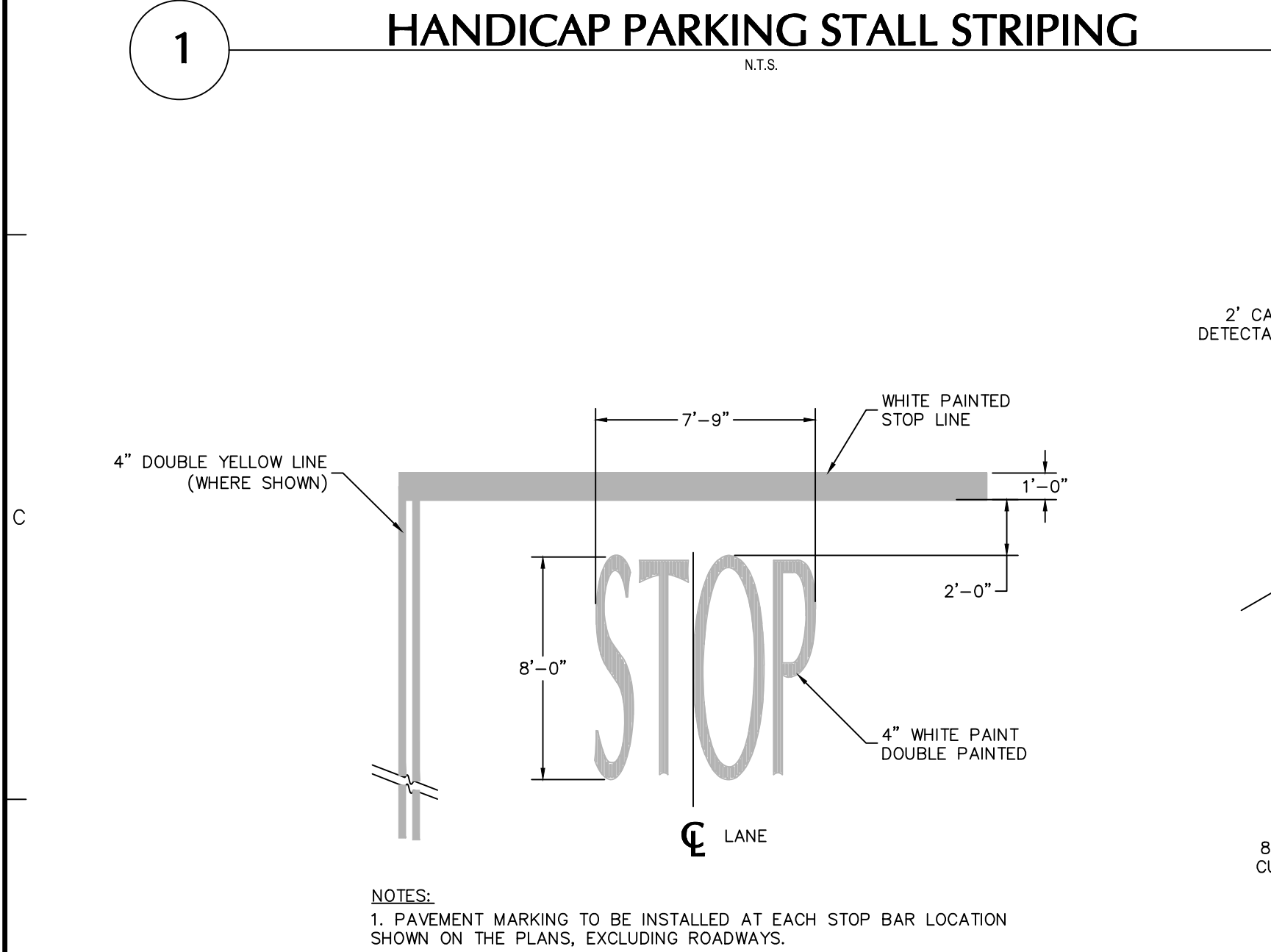
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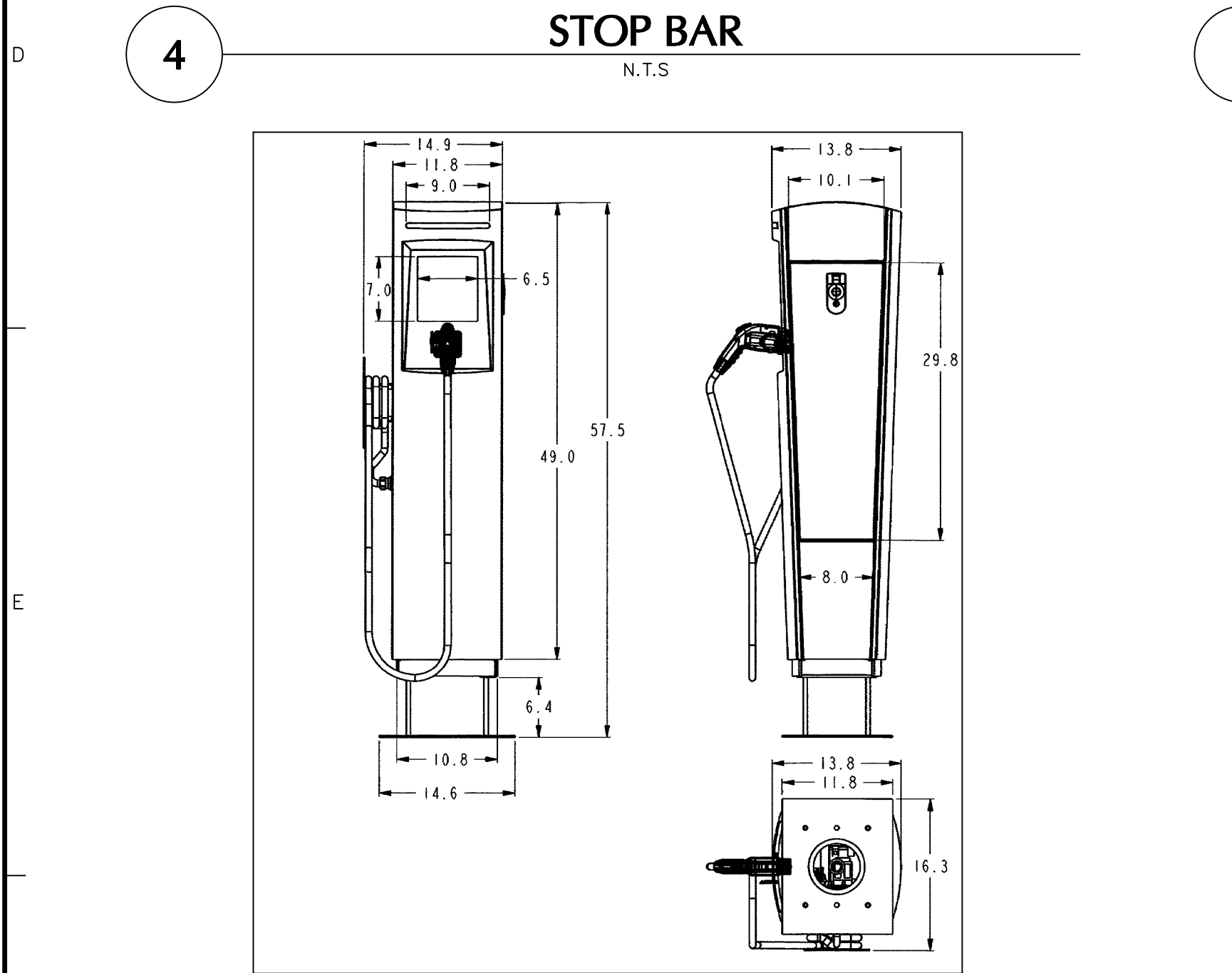




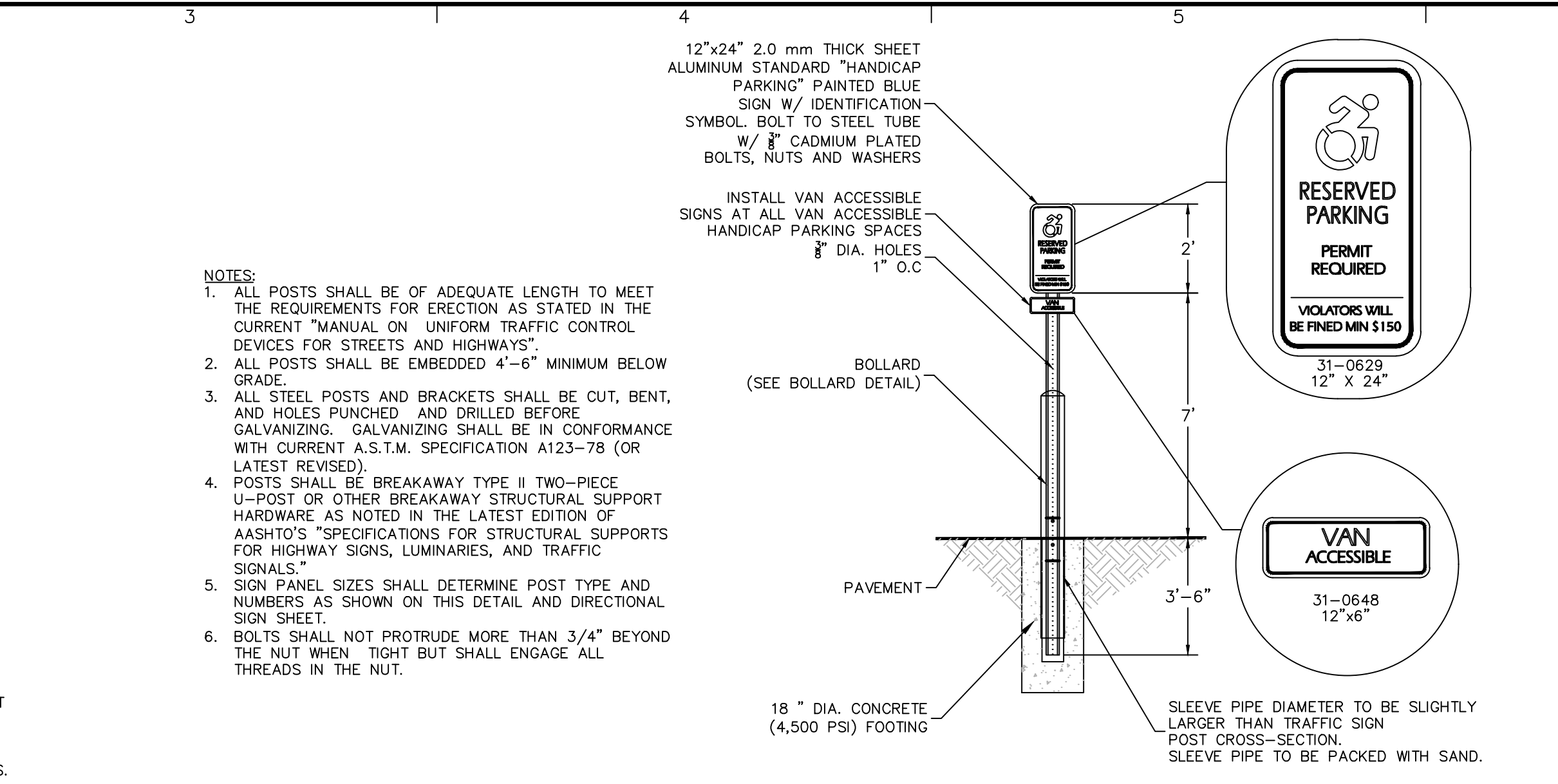
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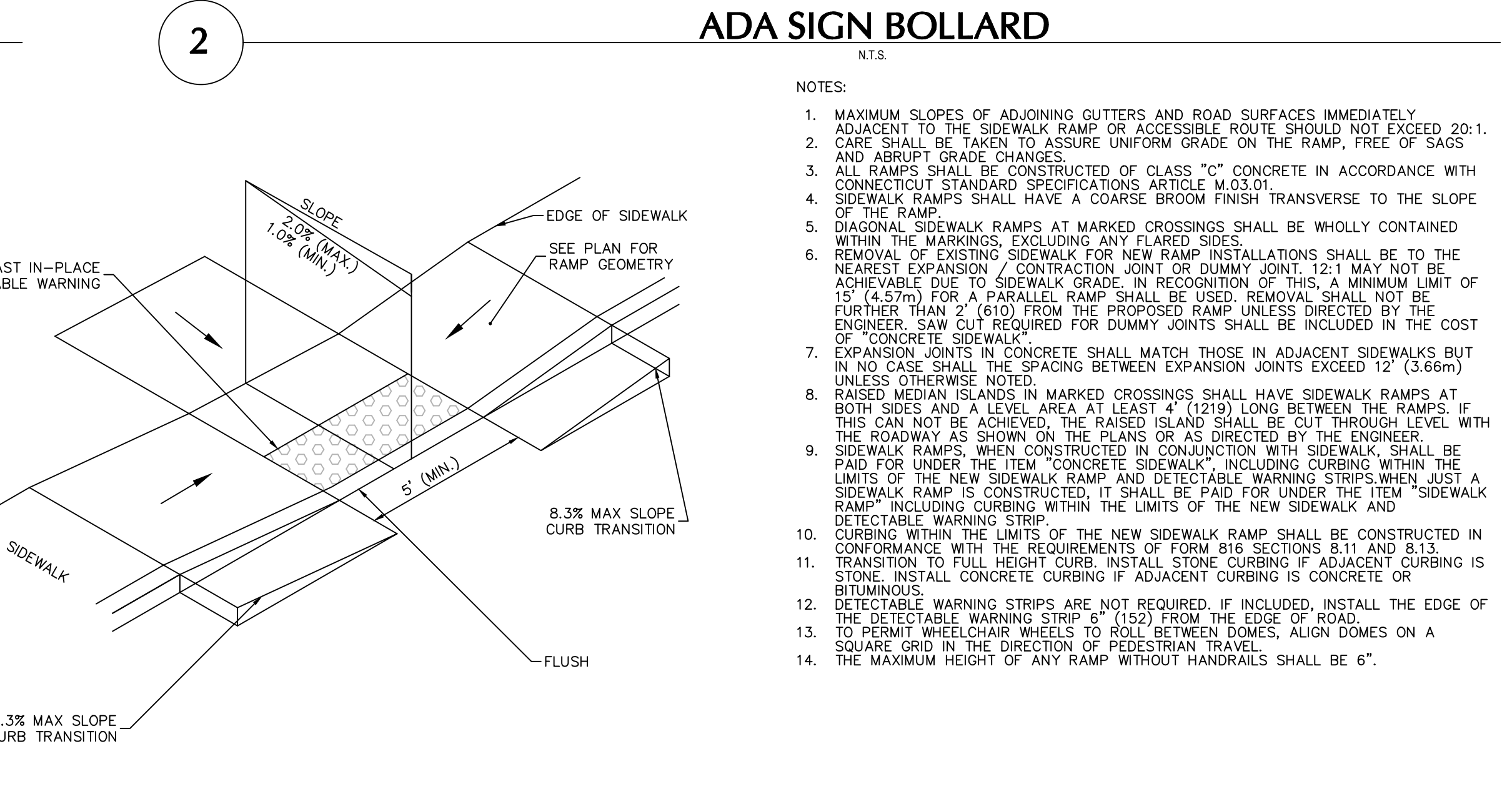
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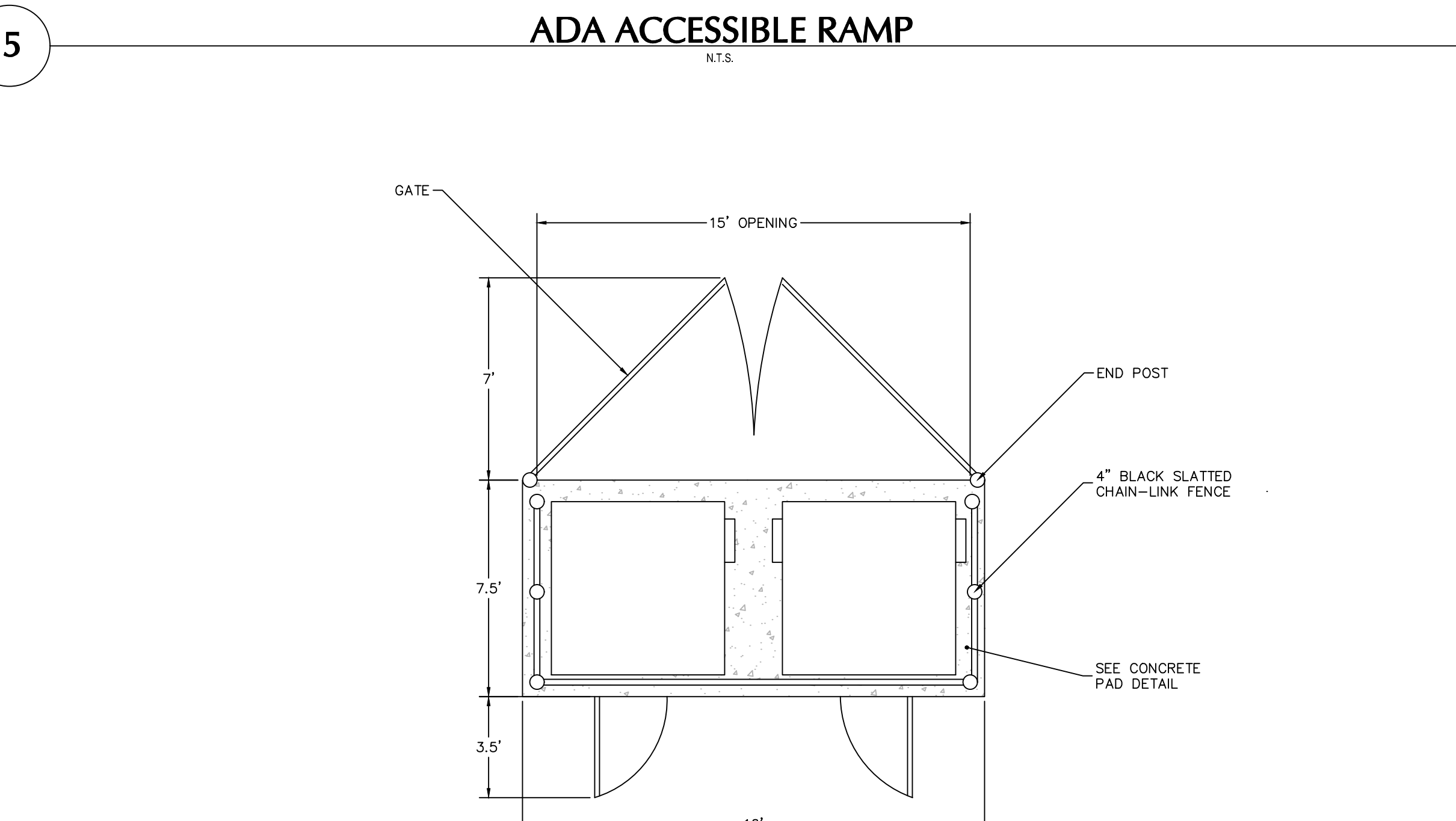
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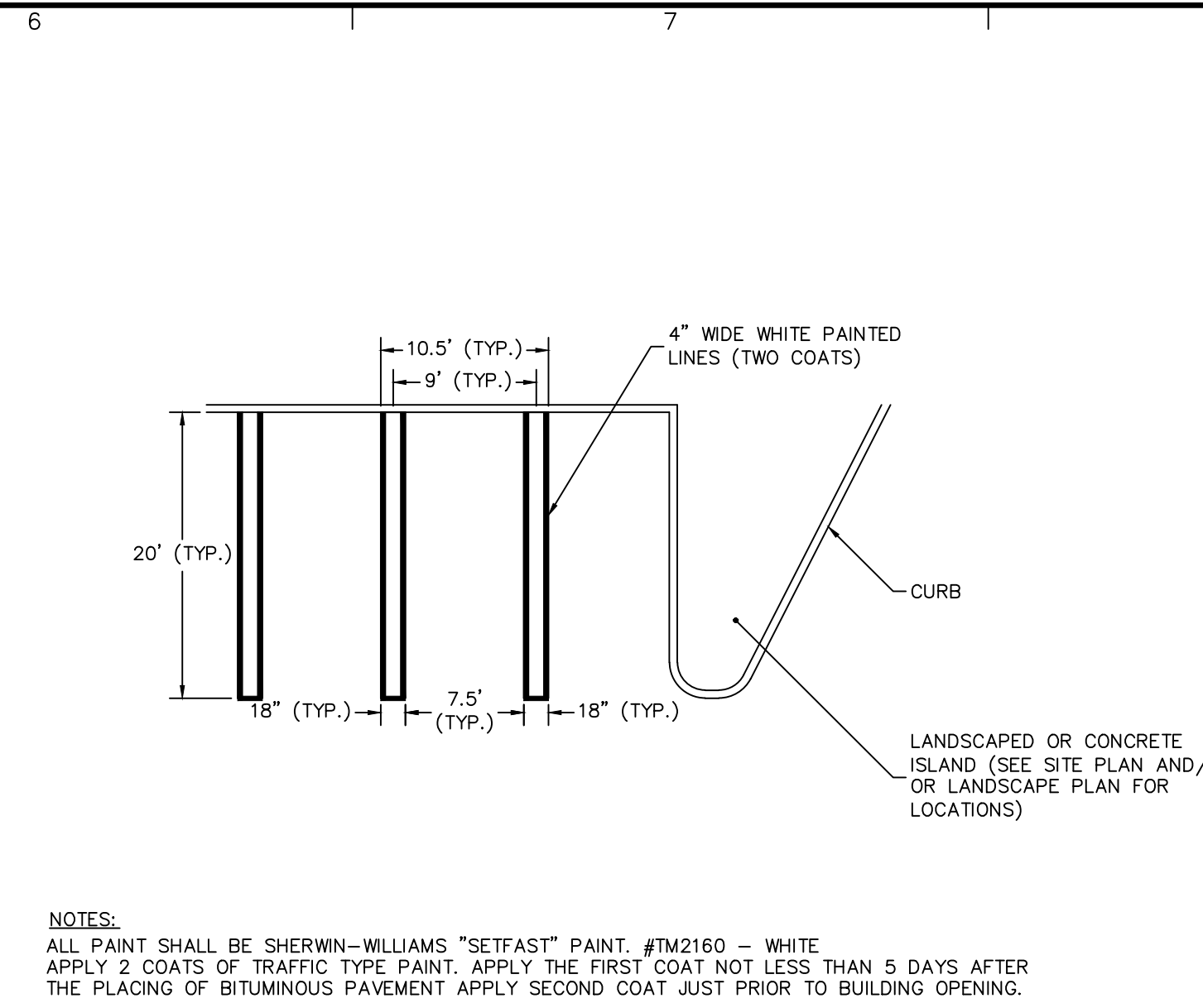
2 ADA SIGN BOLLARD



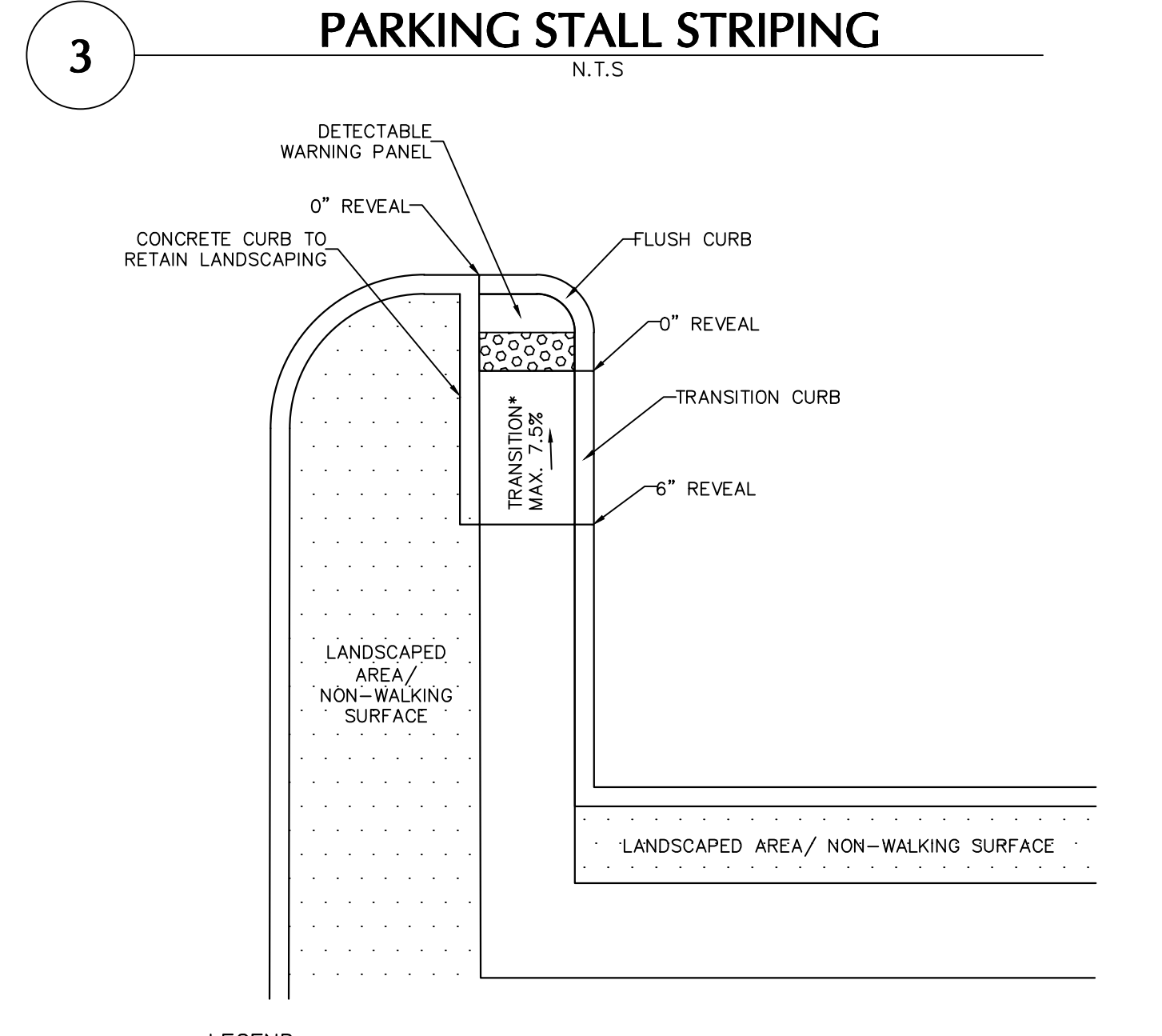
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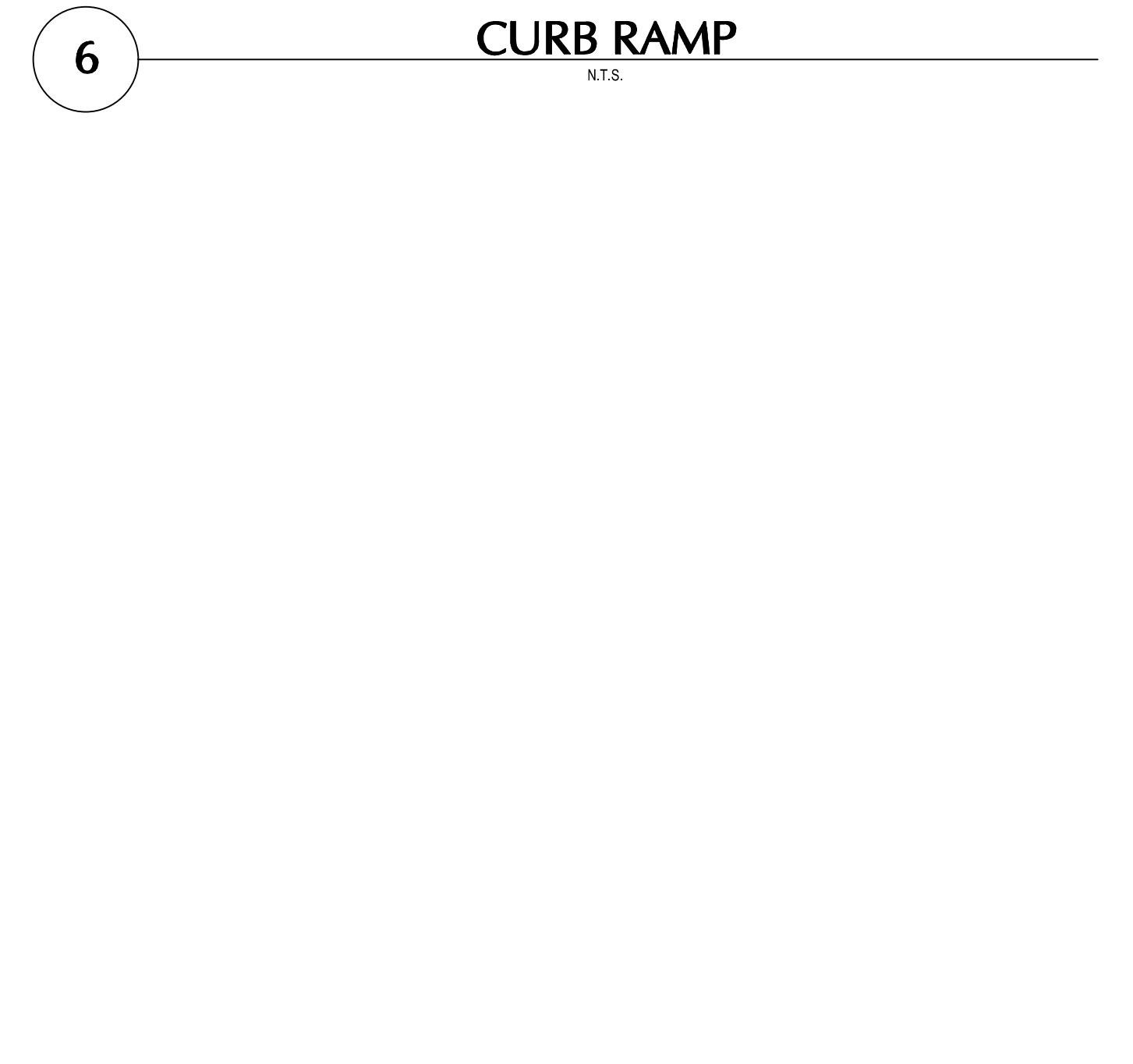
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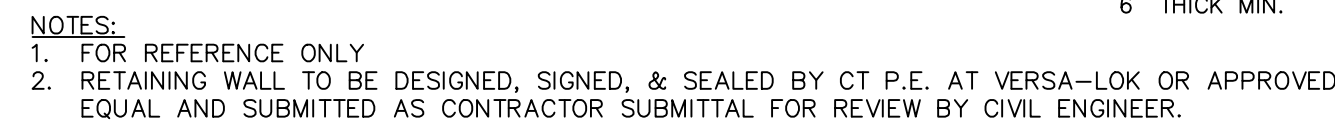
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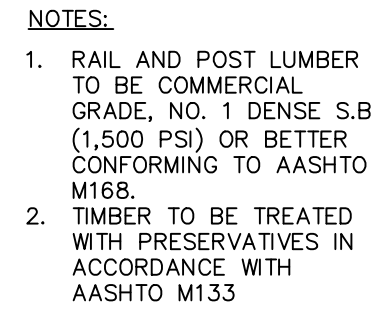
6 CURB RAMP



Date	Description	No.
Revisions		
		
<b>LANGAN</b>		
Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511		
T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b>		
MAP NO. 27, BLOCK No. 15, UNIT No. 2		
801 EVERGREEN WAY		
SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title		
<b>SITE DETAILS II</b>		
Project No.	Drawing No.	
140222801	<b>CS502</b>	
Date		
04/06/2021		
Drawn By		
IJAB		
Checked By		
DTG		



N.T.S



N.T.S

Date	Description	No.
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## Revisions



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Langan CT, Inc.  
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New Haven, CT 06511

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Project

## DEVELOPMENT AT EVERGREEN WALK

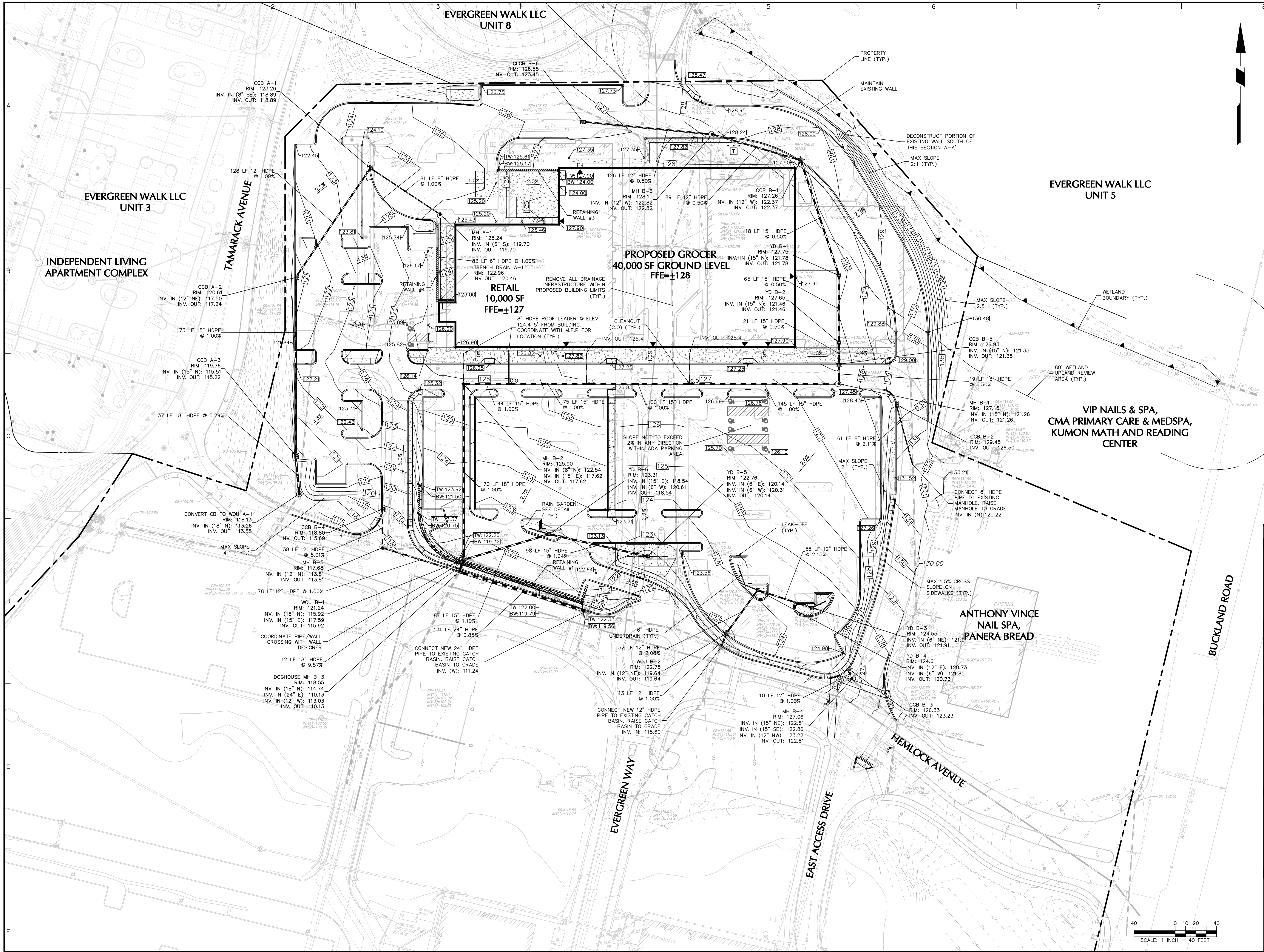
MAP NO. 27, BLOCK No. 15, UNIT No. 2  
801 EVERGREEN WAY  
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

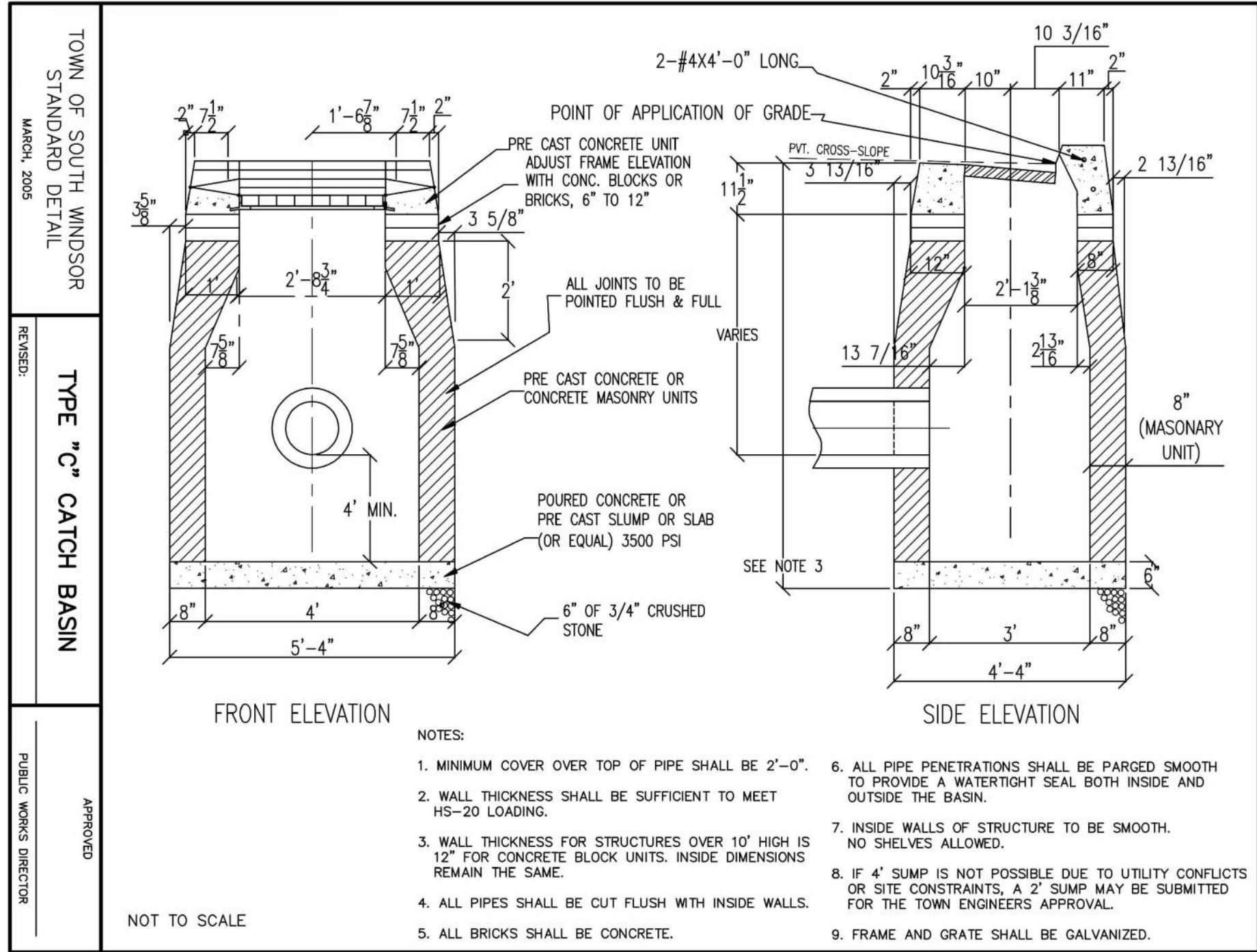
Drawing Title

## SITE DETAILS III

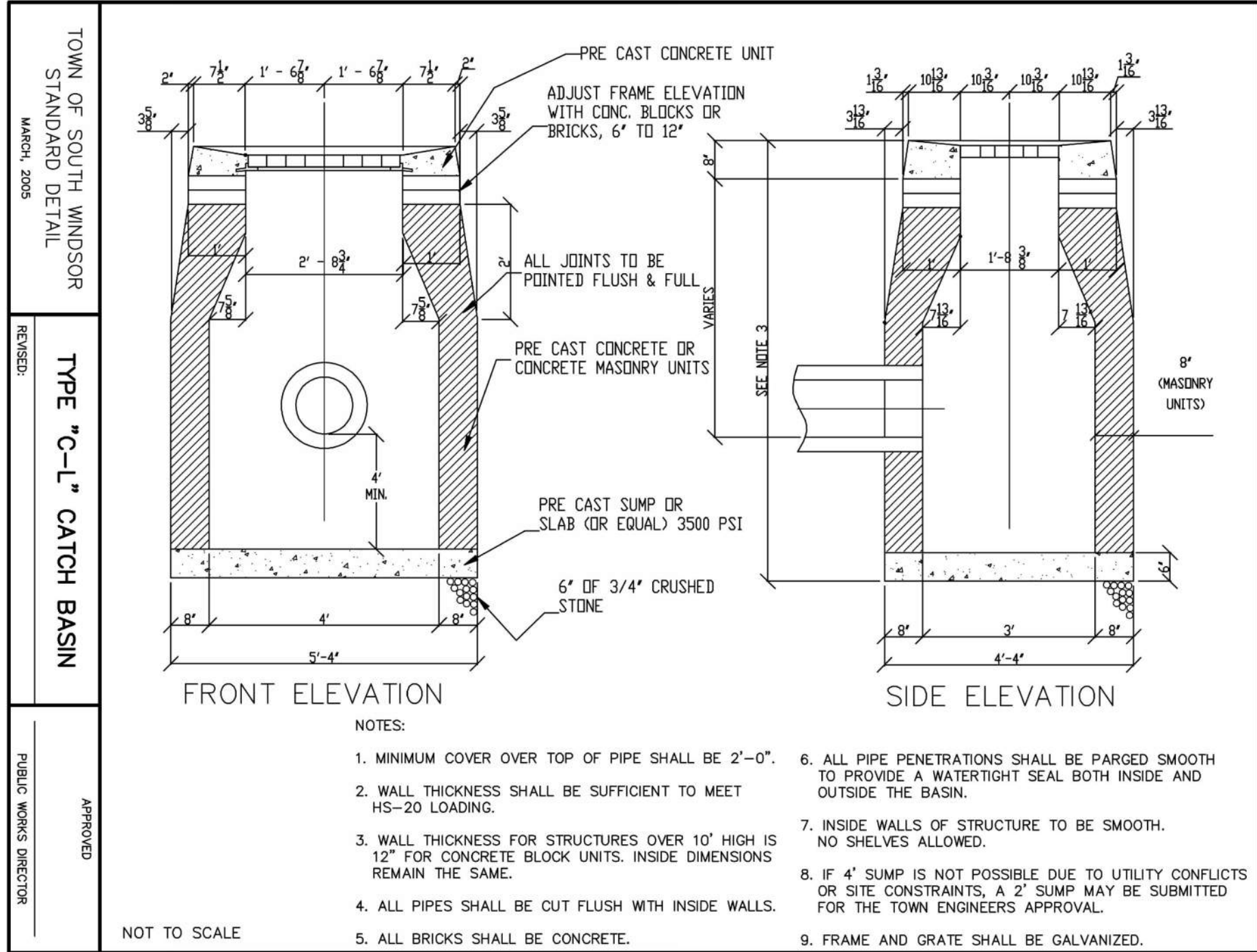
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04/06/2021	
Drawn By	
MCP	
Checked By	
HES	



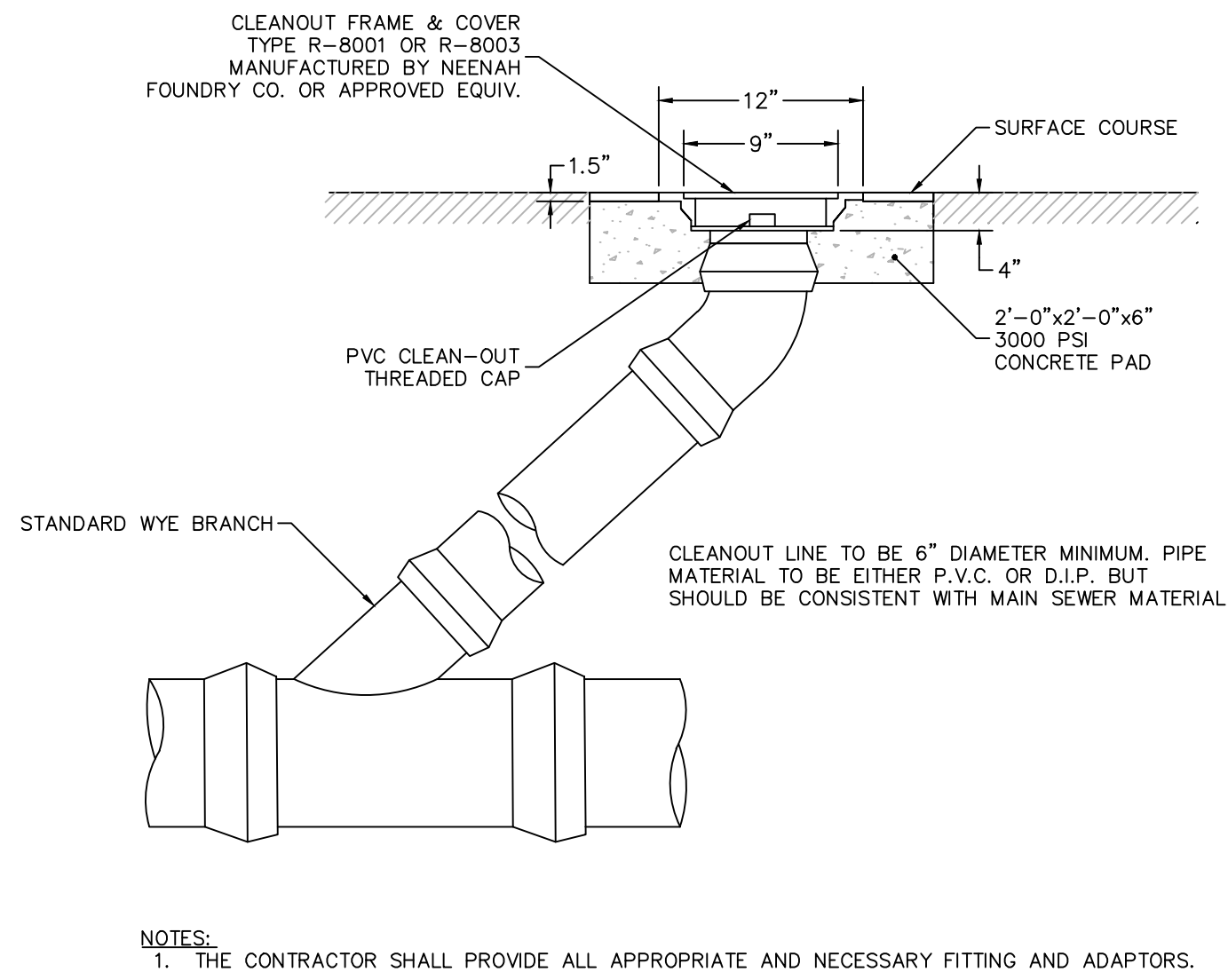
Date	Description	No.
Revisions		
		
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Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT Drawing Title		
<b>GRADING &amp; DRAINAGE PLAN</b>		
Project No. <b>140222801</b>		<b>CG101</b>
Date <b>04/06/2021</b>		
Drawn By <b>HES</b>		
Checked By <b>JEL</b>		



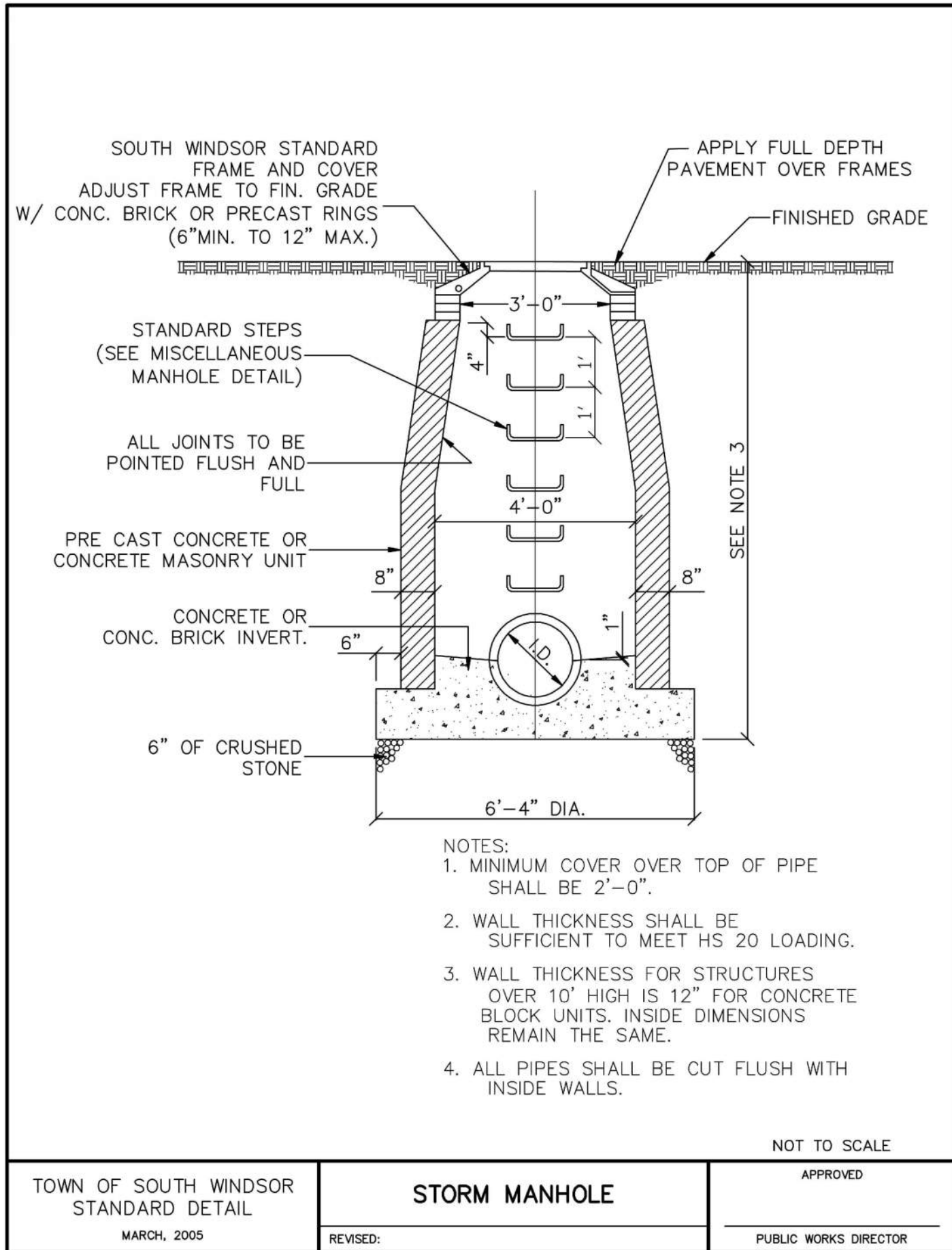
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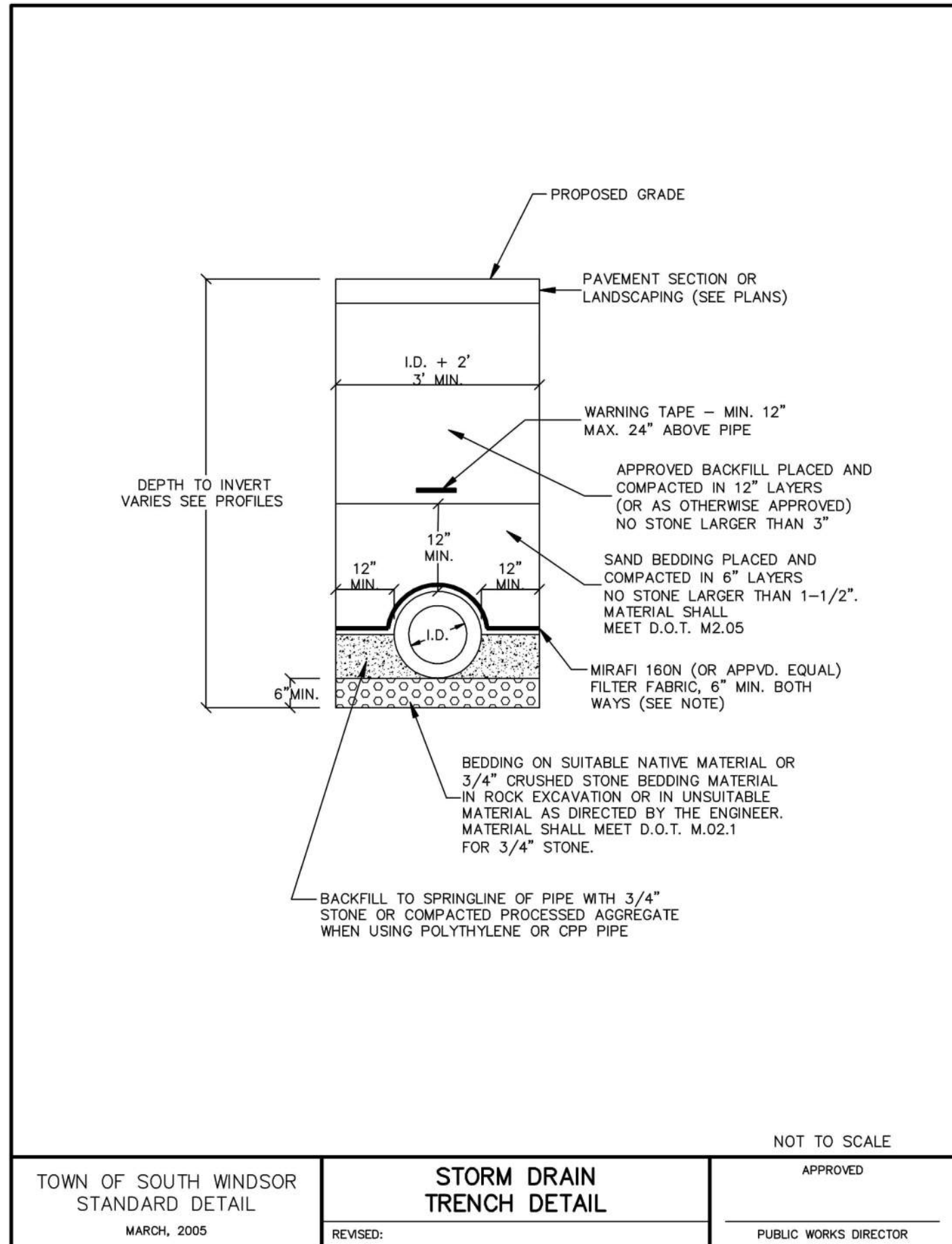
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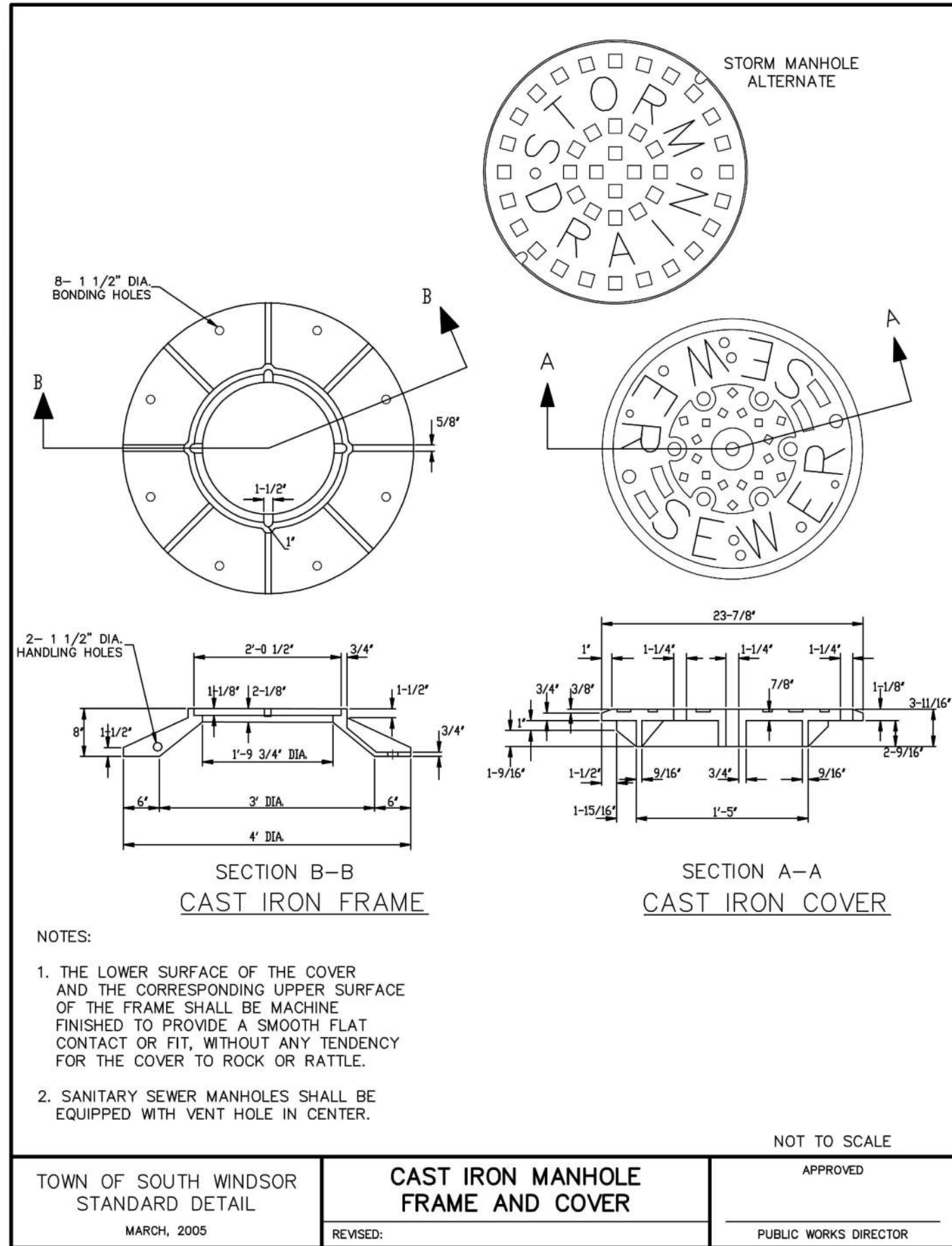
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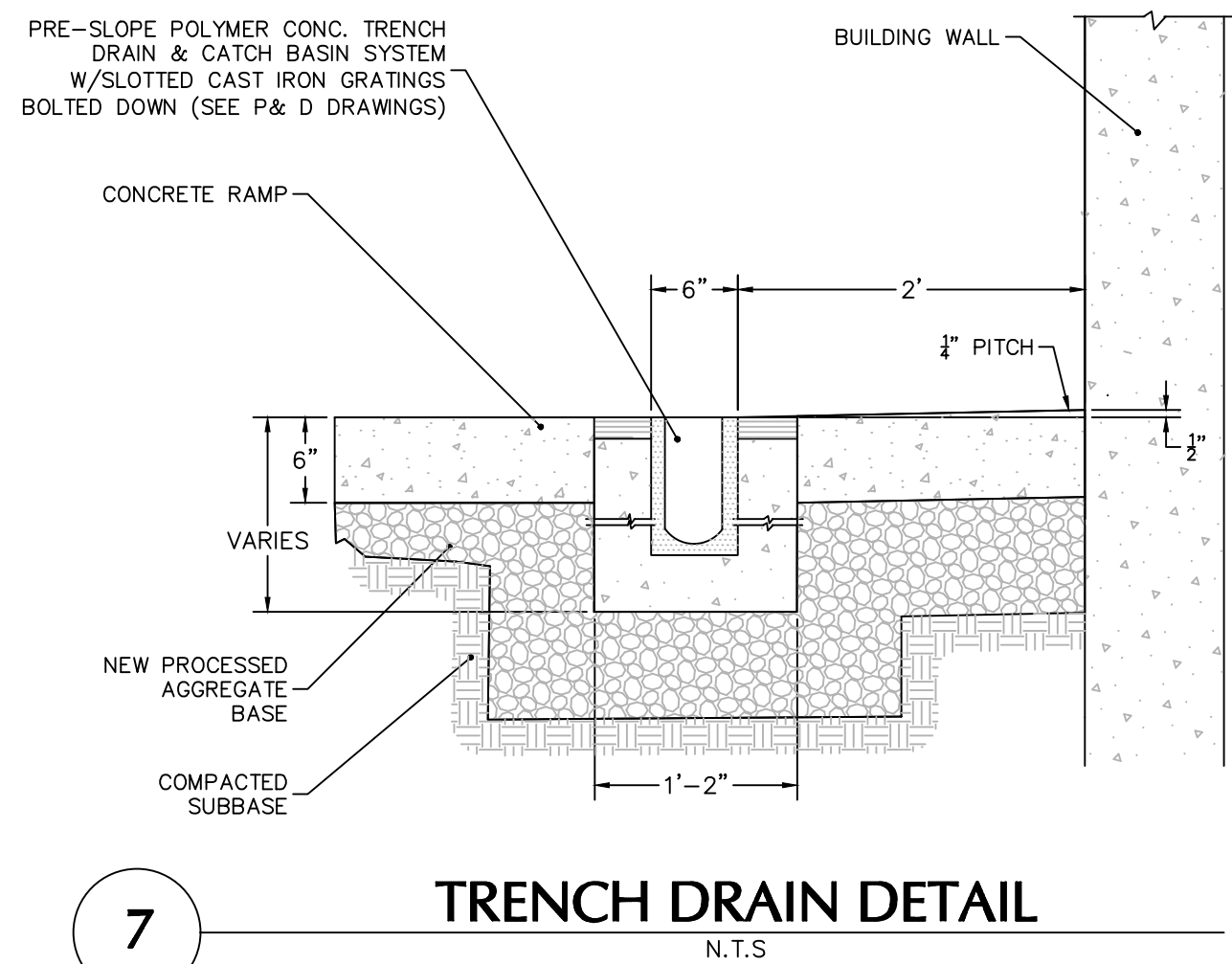
4 STORM MANHOLE  
N.T.S



5 STORM PIPE-BEDDING DETAIL  
N.T.S



6 MANHOLE FRAME & COVER  
N.T.S



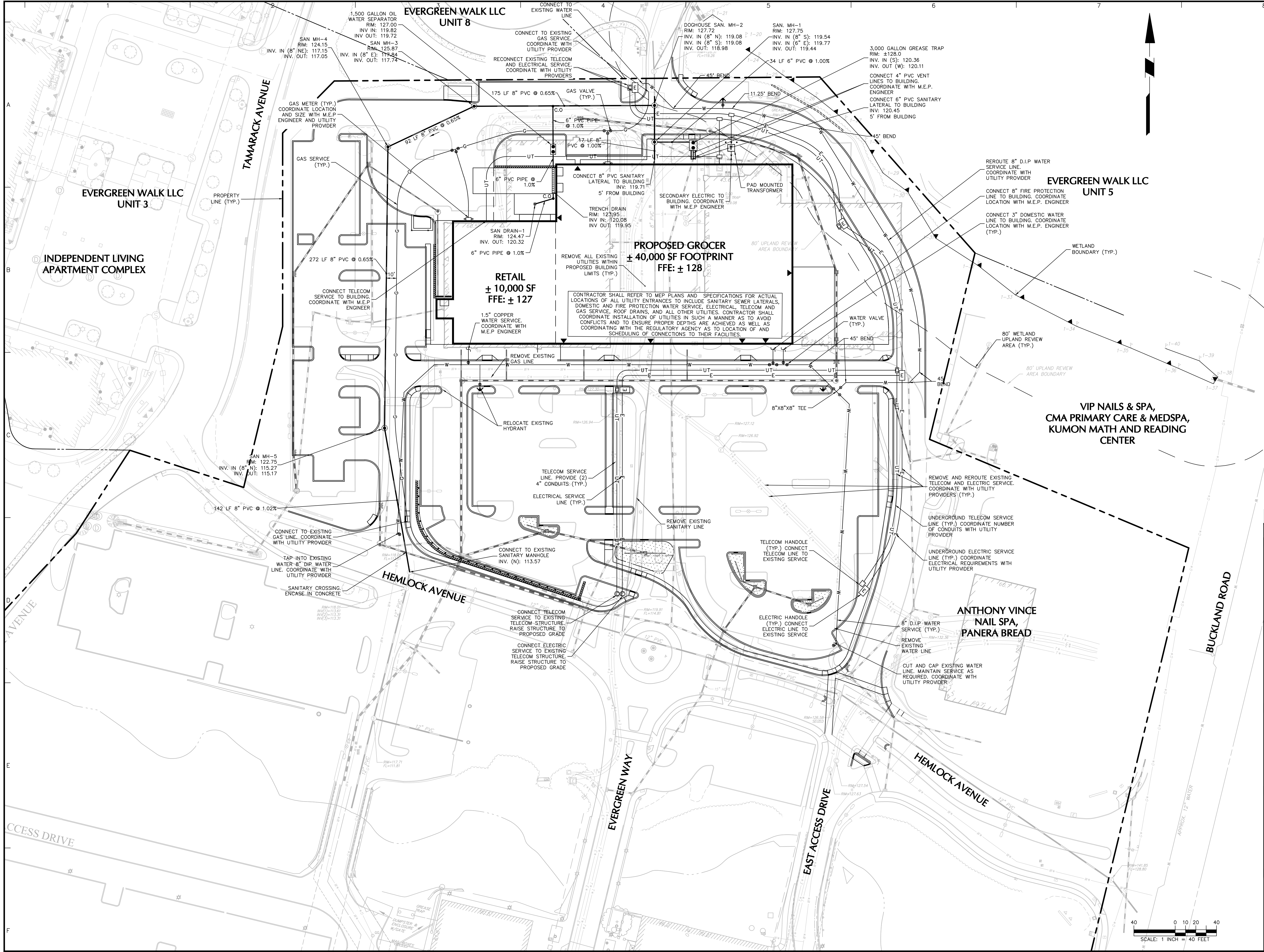
7 TRENCH DRAIN DETAIL  
N.T.S

Date	Description	No.
Revisions		
		
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Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY		CONNECTICUT
Drawing Title		
<b>GRADING &amp; DRAINAGE DETAILS</b> I		
Project No.		Drawing No.
140222801		<b>CG501</b>
Date		
04/06/2021		
Drawn By		
IJA		DTG
Checked By		

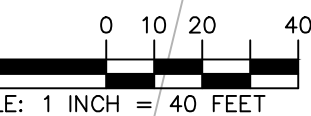


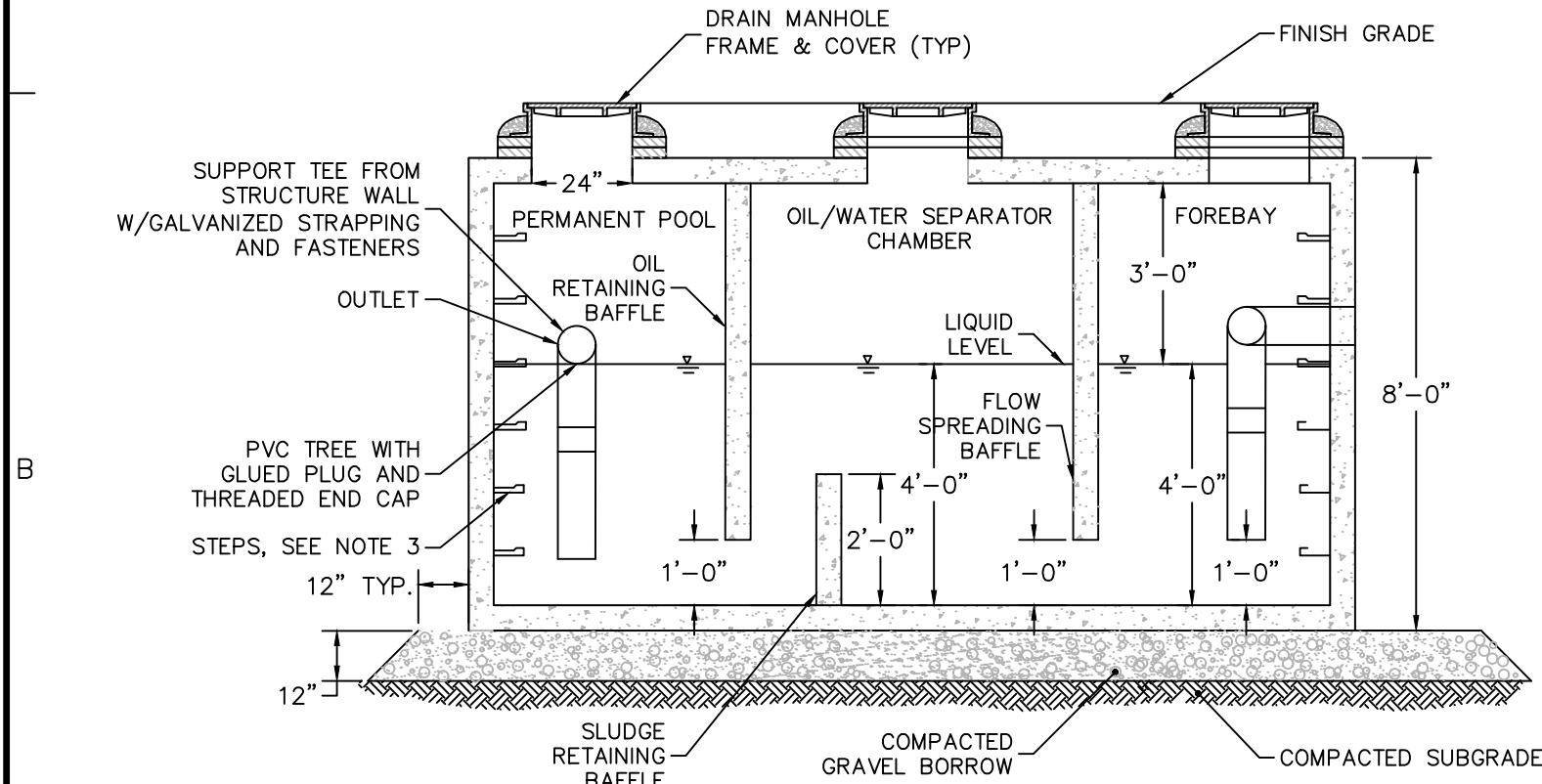
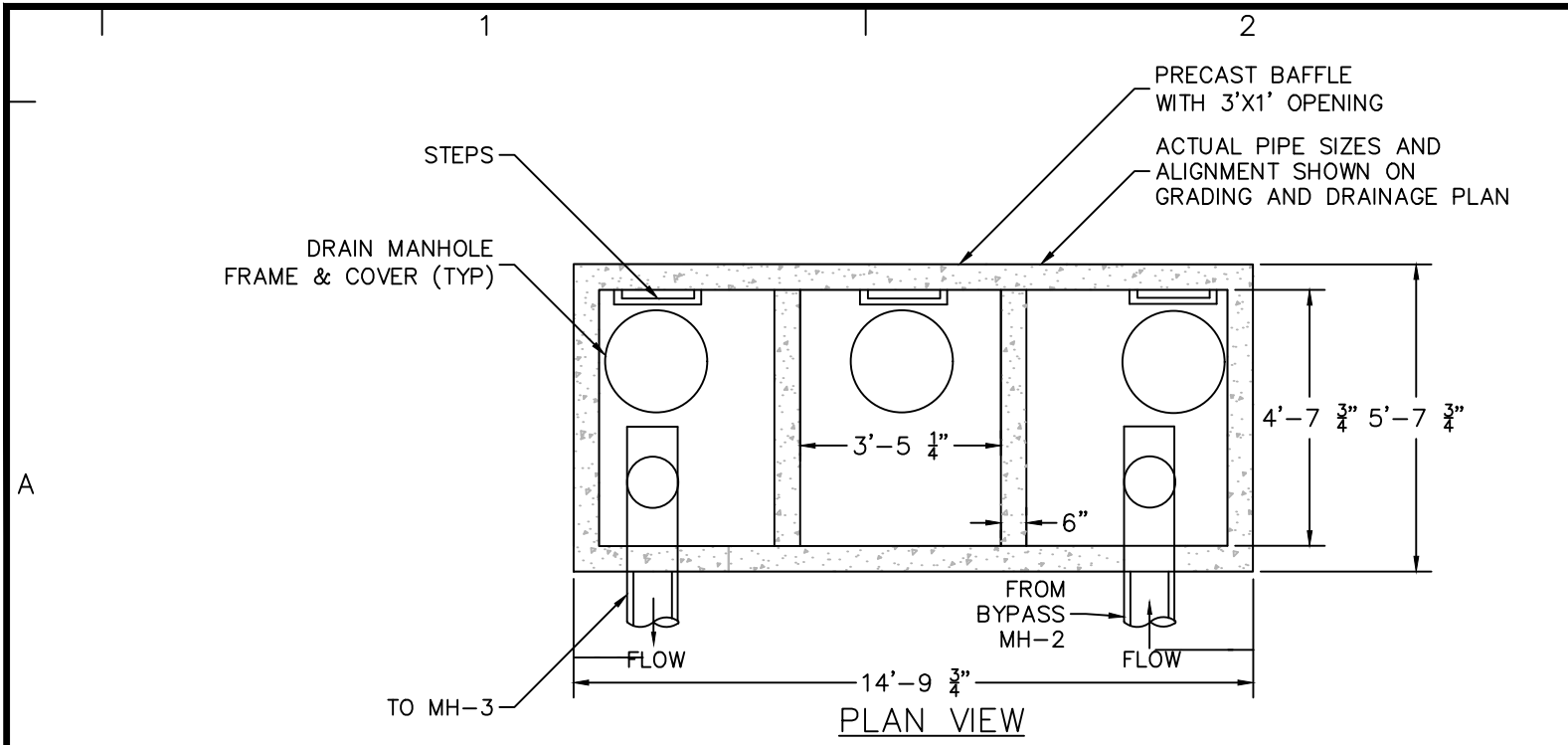
CDS3035-6-C  
 INLINE CDS  
 STANDARD DETAIL

N.T.S



Date	Description	No.
Revisions		
		
<b>LANGAN</b>		
Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project <b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR HARTFORD COUNTY CONNECTICUT		
Drawing Title <b>UTILITY PLAN</b>		
Project No. <b>140222801</b>		<b>CU101</b>
Date <b>04/06/2021</b>		
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Checked By <b>JEL</b>		

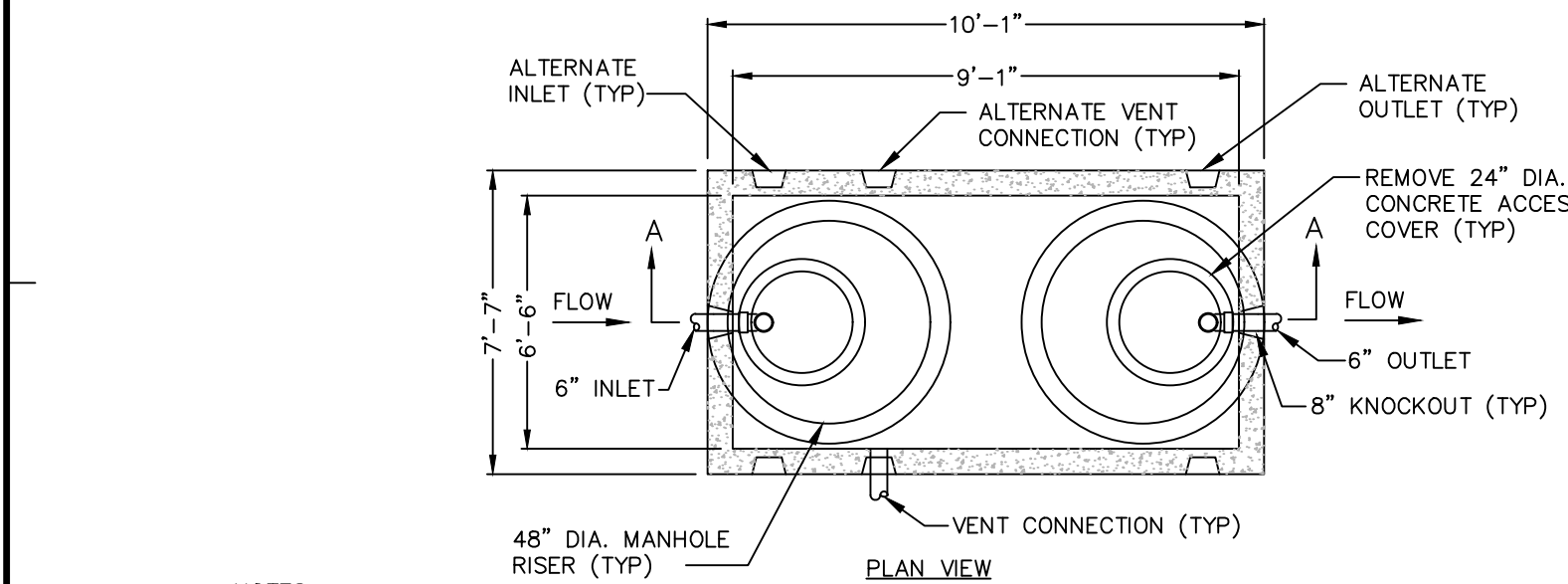
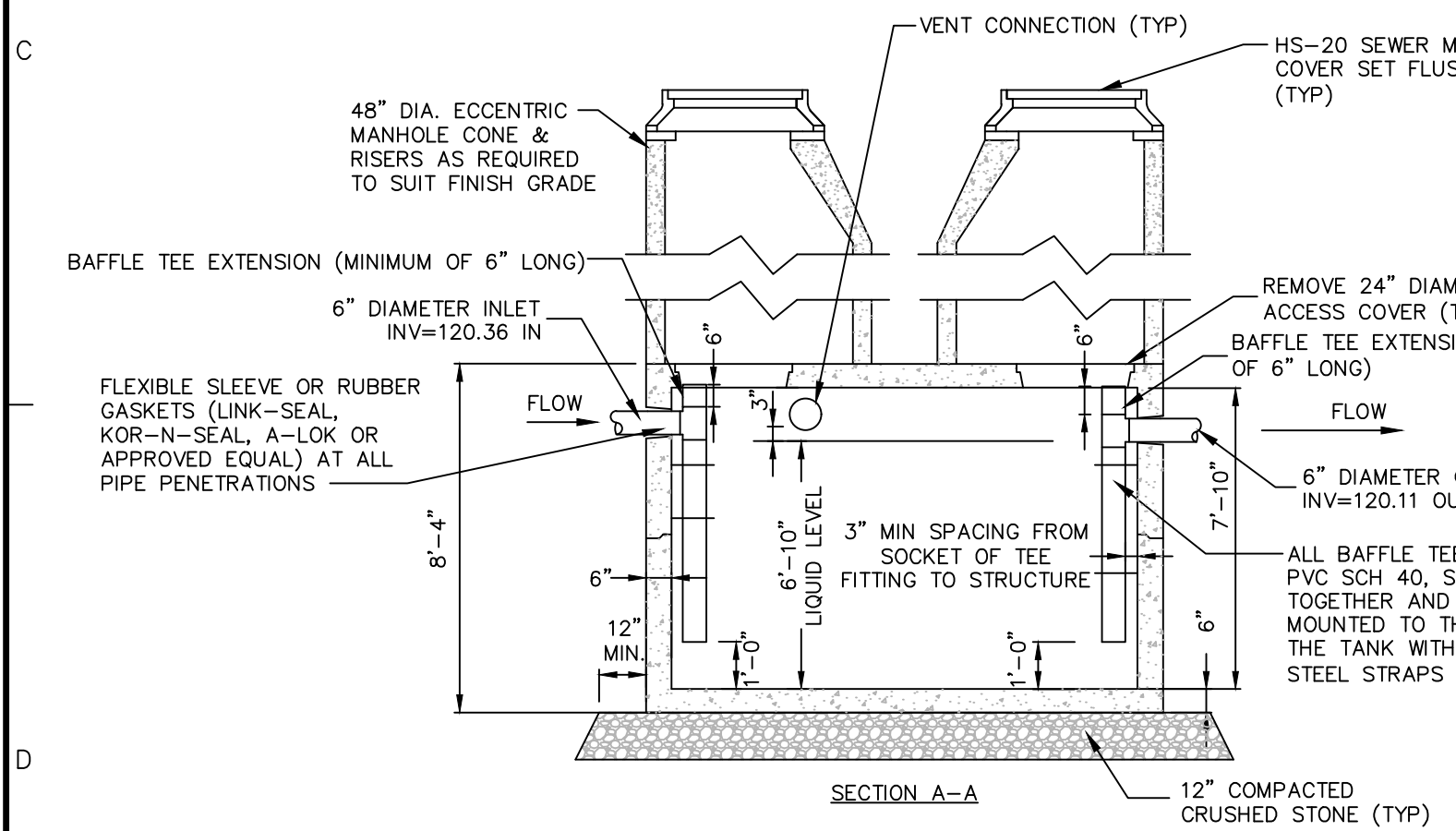




NOTES:  
1. OIL/WATER SEPARATOR SHALL BE A STANDARD PRECAST SEAL CONNECTION IN PIPING WITH NON-SHRINK GROUT. BY DRAINAGE CALCULATIONS AND EXISTING FIELD CONDITIONS. RUBBER. OF THE STRUCTURE FOR EACH MANHOLE. SEPTIC TANK WITH PRECAST BAFFLES AS SHOWN.  
2. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.  
3. MANHOLE STEPS SHALL BE INSTALLED AT 12\"/>

## OIL WATER SEPERATOR

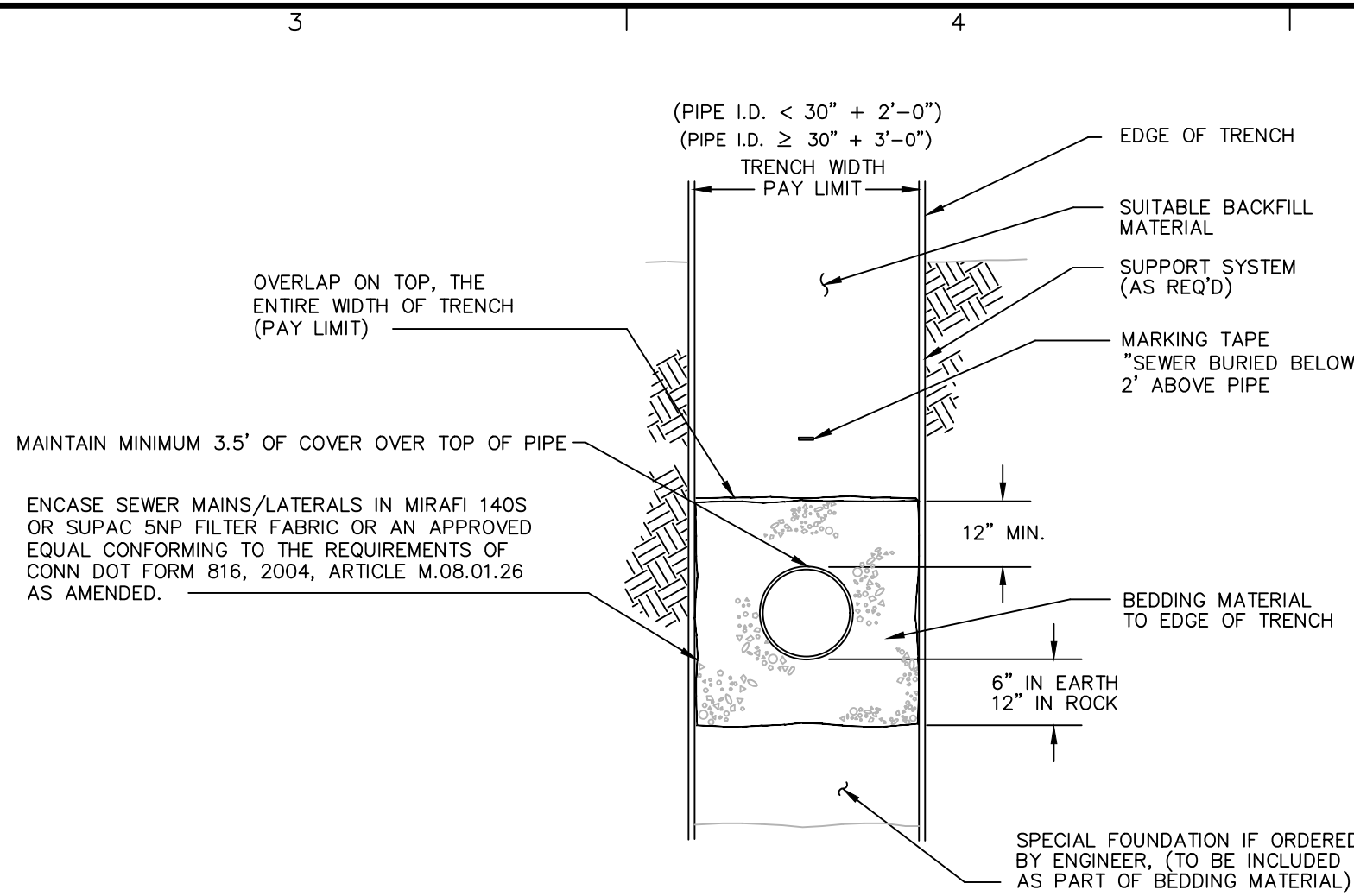
N.T.S



NOTES:  
1. MANHOLE FRAME AND COVERS SHALL BE OF HEAVY DUTY DESIGN, GRAY IRON CASTING, AND SHALL HAVE THE WORD "SEWER" PLAINLY CAST INTO THE CENTER OF EACH OTHER IN 3 IN (MIN. HEIGHT) LETTERS.  
2. ALL COMPONENTS, TANK, RISERS, MANHOLE FRAMES, & COVERS SHALL BE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING.  
3. ALL BAFFLE TEES SHALL BE PVC, AND FASTENED WITH STAINLESS STEEL HARDWARE.  
4. ALL BAFFLE TEES SHALL BE PROVIDED WITH EXTENSIONS (MINIMUM OF 6\"/>

## 3000 GALLON GREASE TRAP - FOR REFERENCE ONLY

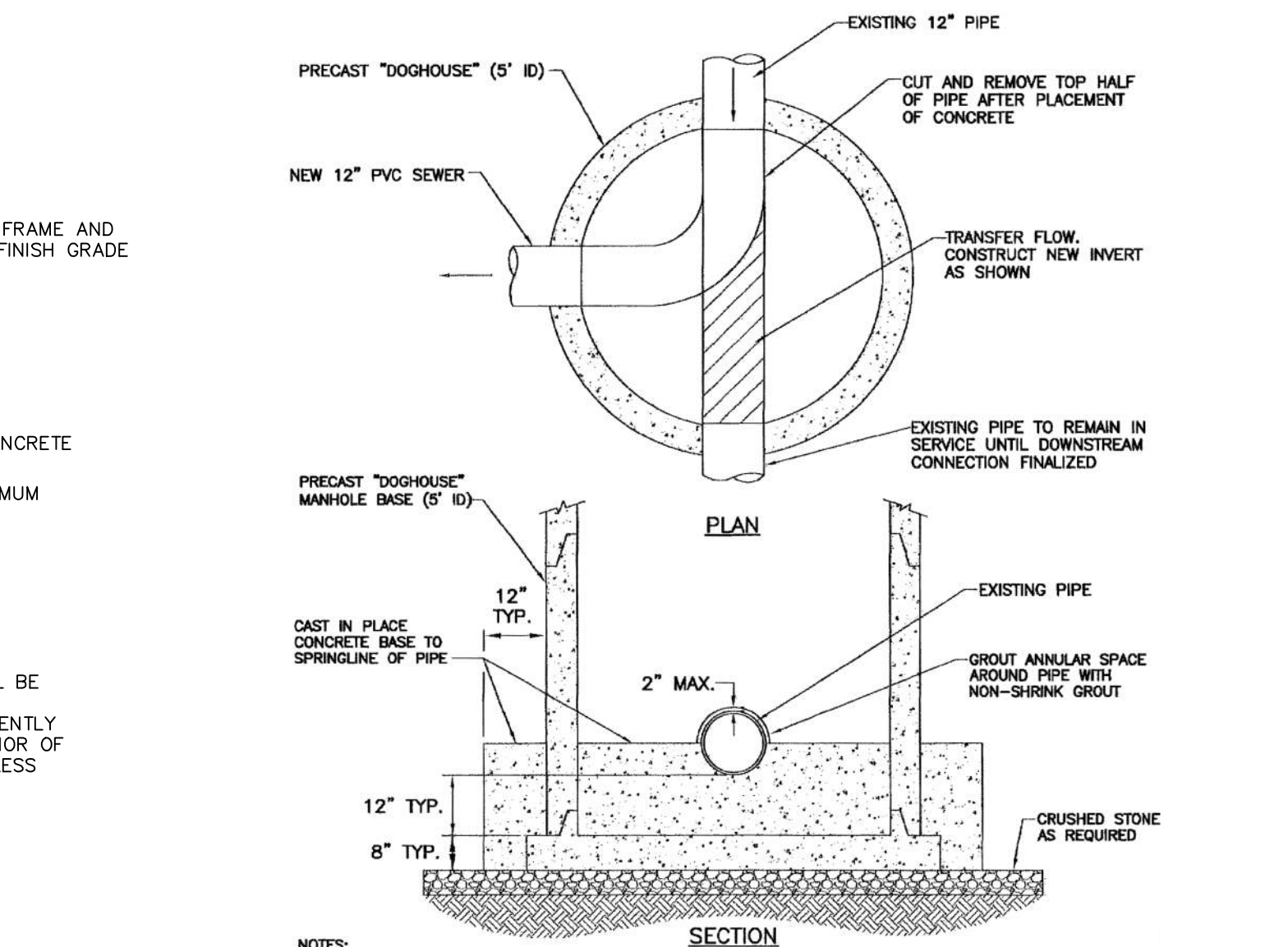
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## SANITARY TRENCH

N.T.S

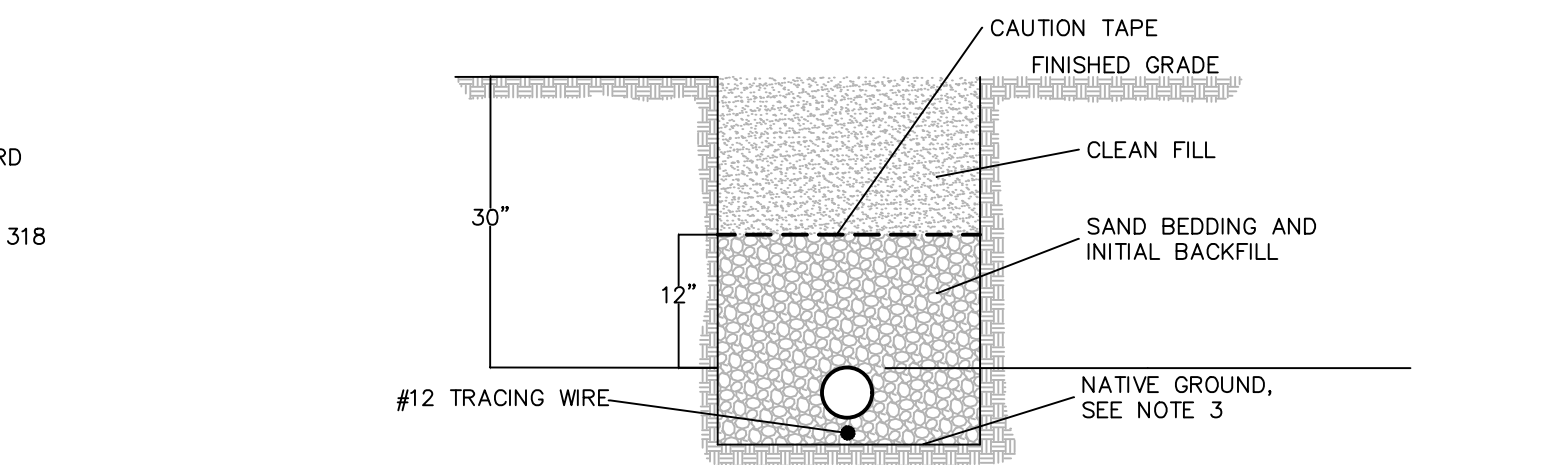
NOTE:  
MAXIMUM PAY WIDTH FOR BEDDING MATERIAL & TRENCH EXCAVATION IS I.D. + 2'-0\"/>



## SANITARY DOG HOUSE MANOLE BASE-PRECAST

N.T.S

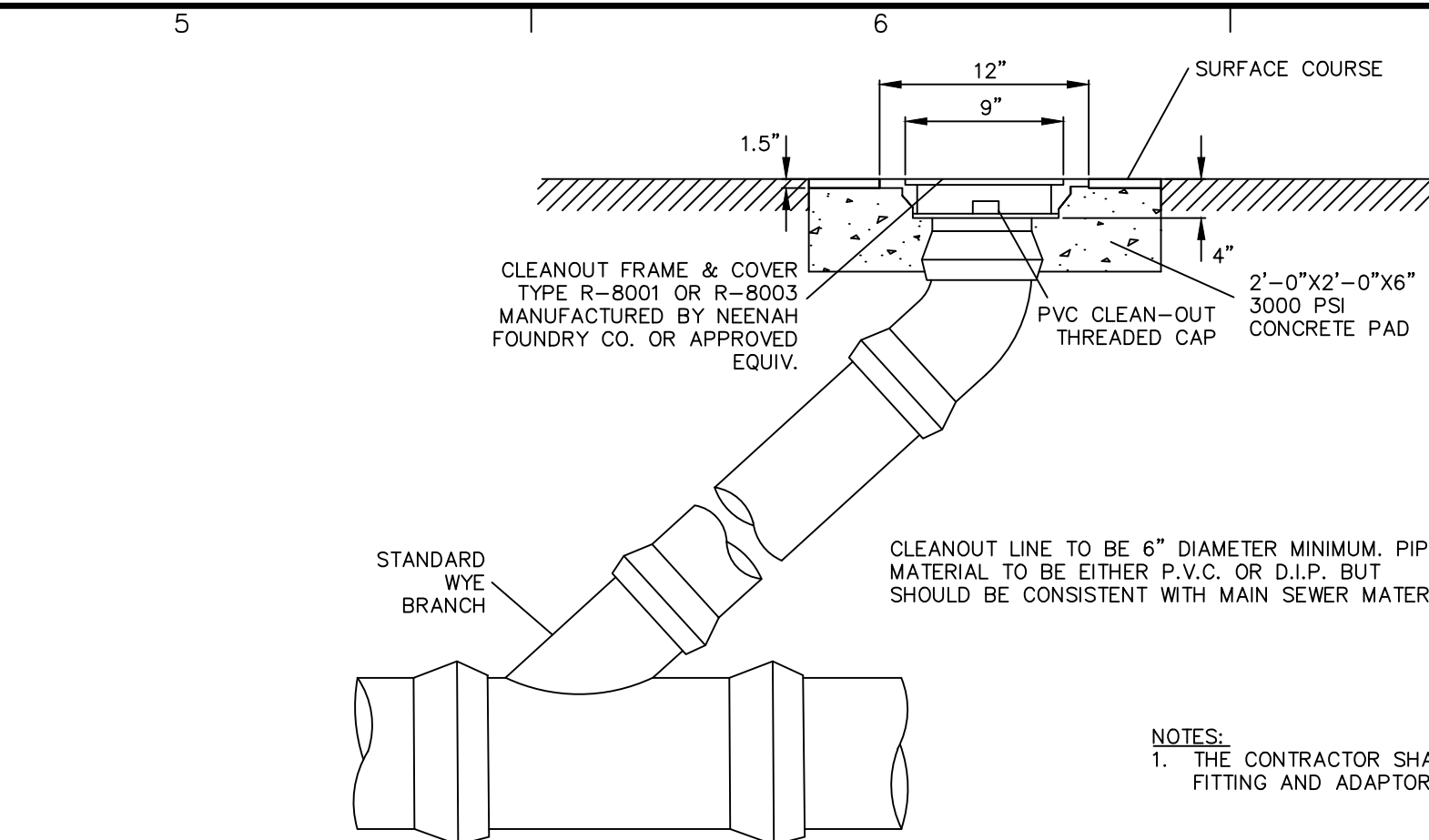
NOTES:  
1. FOR ALL OTHER REQUIREMENTS, SEE TYPICAL PRECAST SEWER MANHOLE DETAIL.  
2. CONTRACTOR SHALL CONFIRM PIPE SIZE, ANGLES AND CONFIGURATION PRIOR TO MANUFACTURE OF THE DOG HOUSE MANHOLE.



NOTES:  
1. TRENCHES IN STABLE SOIL OVER 5 FT DEEP SHALL BE REINFORCED  
2. BY APPROVED OSHA METHODS.  
3. TRENCHES SHALL BE COMPACTED.  
4. IF NATIVE GROUND IS NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO AN ACCEPTABLE DEPTH AND INSTALL MATERIALS AS APPROVED BY ENGINEERS AND UTILITY COMPANY.  
CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, SAND BACKFILL AND FIND BACKFILL. GAS COMPANY TO PROVIDE INSTALLATION OF ALL GAS PIPING AND SERVICES.

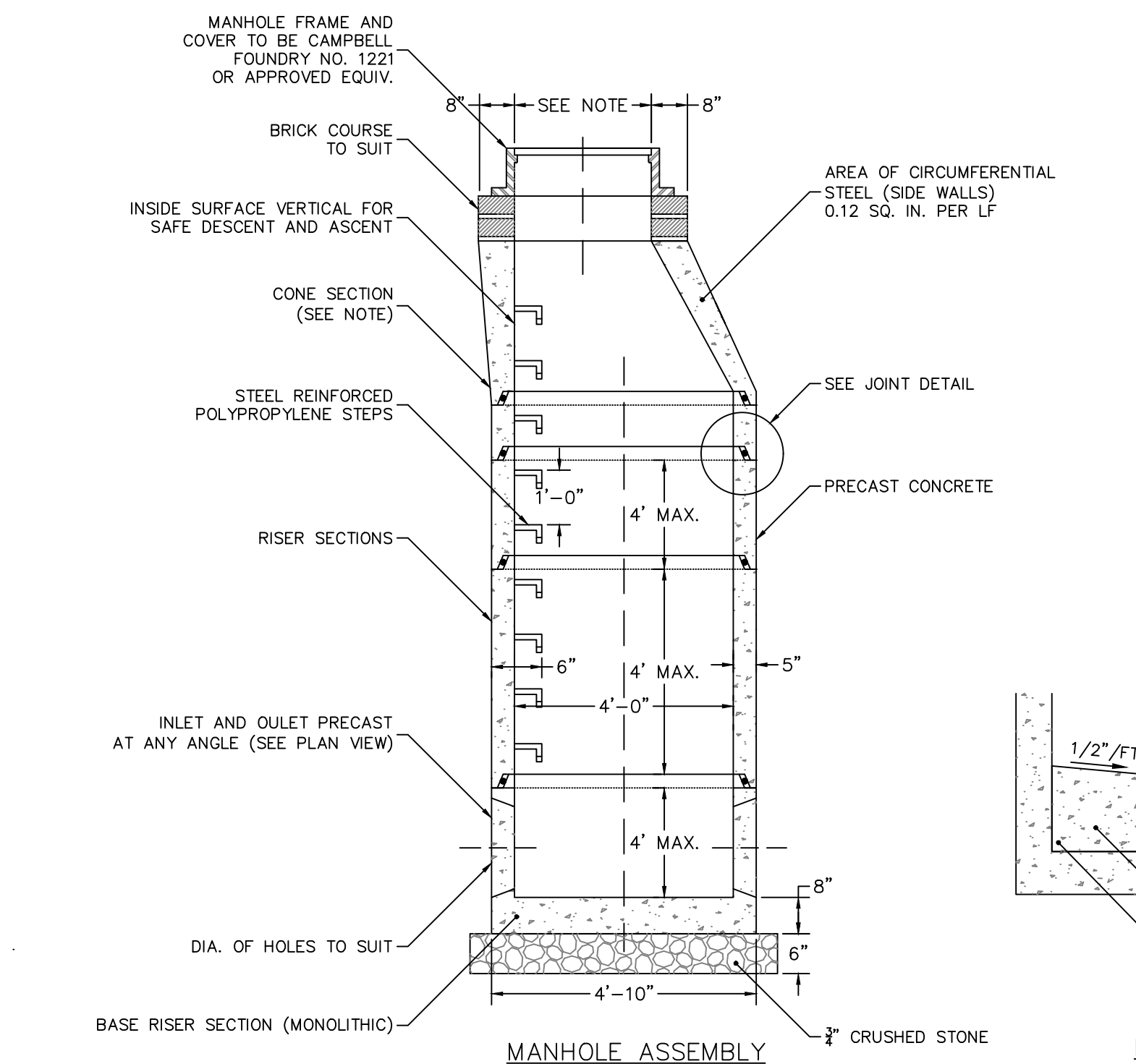
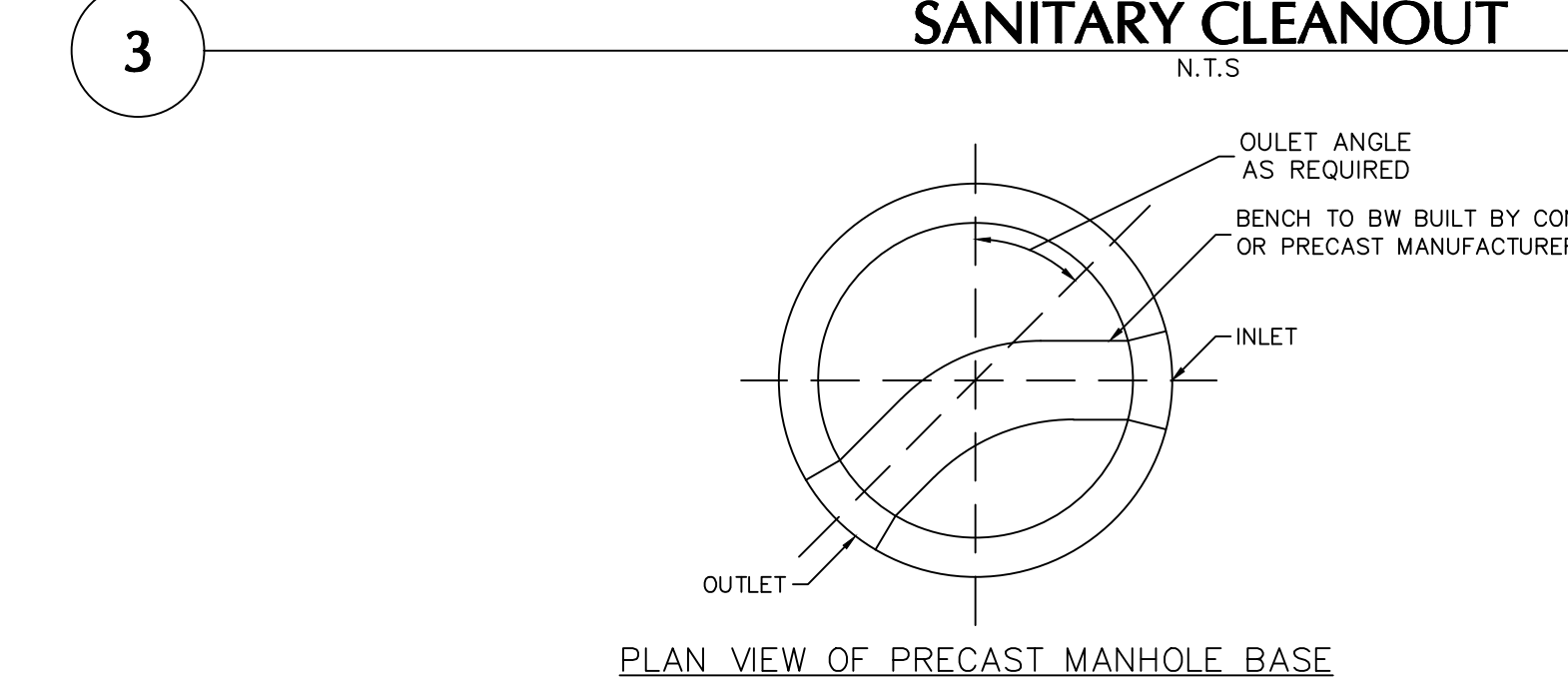
## GAS MAIN TRENCH DETAIL

N.T.S



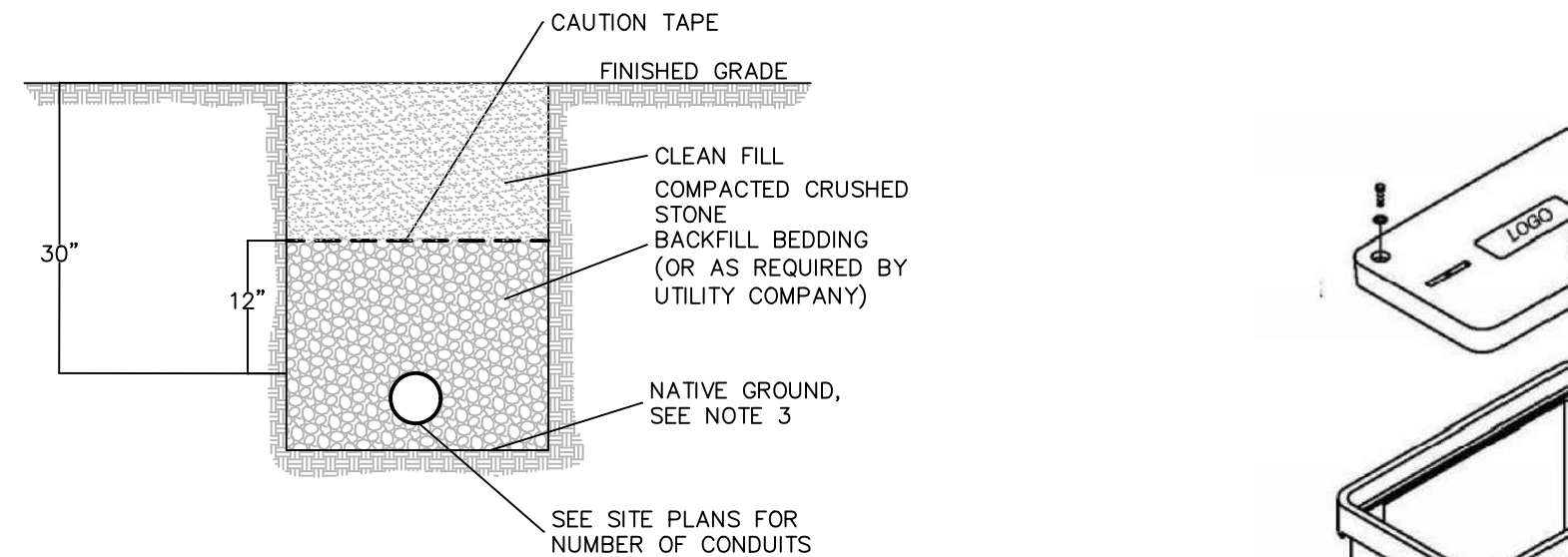
## SANITARY CLEANOUT

N.T.S



## SANITARY MANHOLE

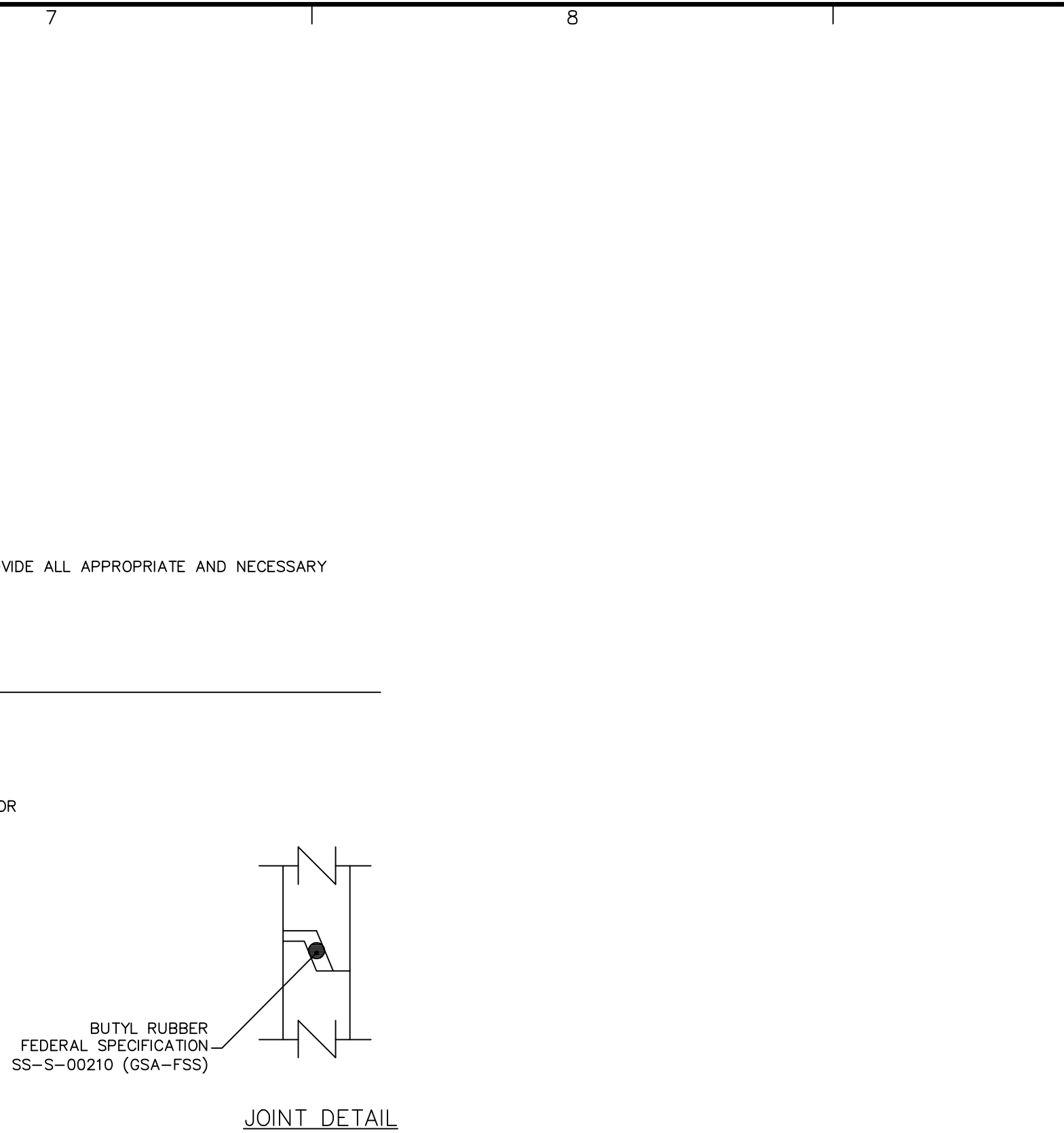
N.T.S



NOTES:  
1. TRENCHES IN STABLE SOIL OVER 5 FT DEEP SHALL BE  
2. REINFORCED BY APPROVED OSHA METHODS.  
3. TRENCHES SHALL BE COMPACTED.  
IF NATIVE GROUND IS NOT SUITABLE, THE CONTRACTOR SHALL EXCAVATE TO AN ACCEPTABLE DEPTH AND INSTALL MATERIALS AS APPROVED BY ENGINEERS AND UTILITY COMPANY.

## TELEPHONE TRENCH DETAIL

N.T.S

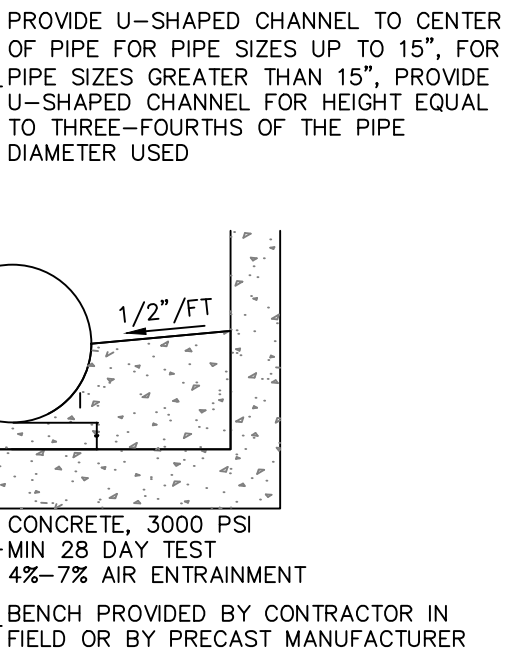


## HANDHOLE

N.T.S

NOTE:	
CONE DIMENSIONS	
DIA. OPENING	HEIGHT
24"	24" OR 36"
30"	36"

CONCRETE TO TEST 3000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH ASTM C-478-68  
MANHOLES SHALL HAVE PAVED INVERTS.



Date	Description	No.
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### Revisions



## LANGAN

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Project

## DEVELOPMENT AT EVERGREEN WALK

MAP NO. 27, BLOCK No. 15, UNIT No. 2  
801 EVERGREEN WAY  
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

Drawing Title

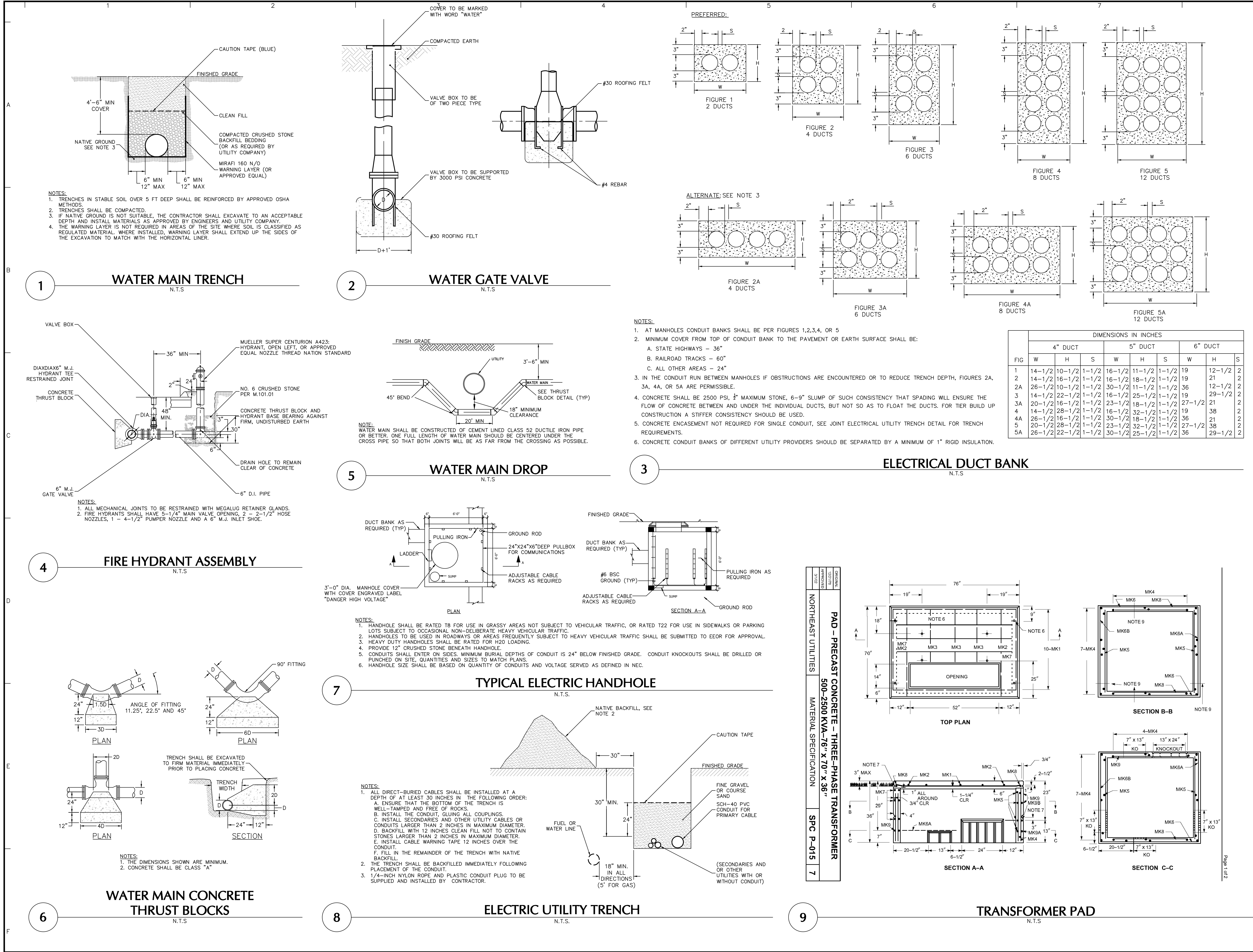
## UTILITY DETAILS I

Project No. 140222801 Drawing No. CU501

Date 04/06/2021

Drawn By IJAB

Checked By DTC



Date

Description

No.

Revisions

SEAL OF THE STATE OF CONNECTICUT

PROFESSIONAL ENGINEER

No. 25780

DAVID S. O'BRIEN

LANGAN

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Project

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Drawing Title

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140222801

Drawing No.

CU502

Date

04/06/2021

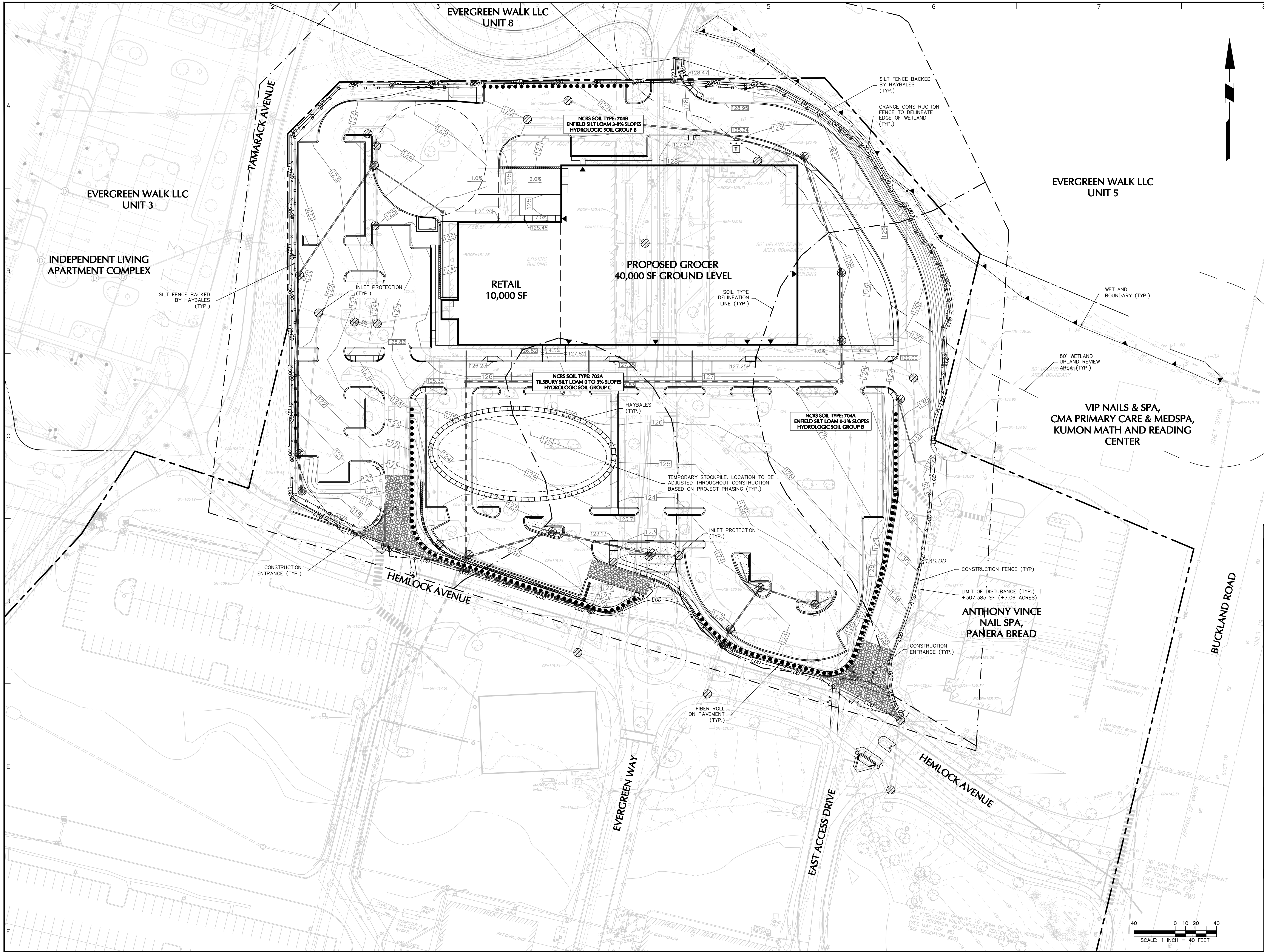
Drawn By

IJAB

Checked By

DTG

Date: 4/8/2021 Time: 16:57 User: afedus Style Table: Langan.stb Layout: CU502 Document Code: 140222801-0503-CU501-0102



Date	Description	No.
Revisions		



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Project

**DEVELOPMENT AT EVERGREEN WALK**  
MAP NO. 27, BLOCK No. 15, UNIT No. 2  
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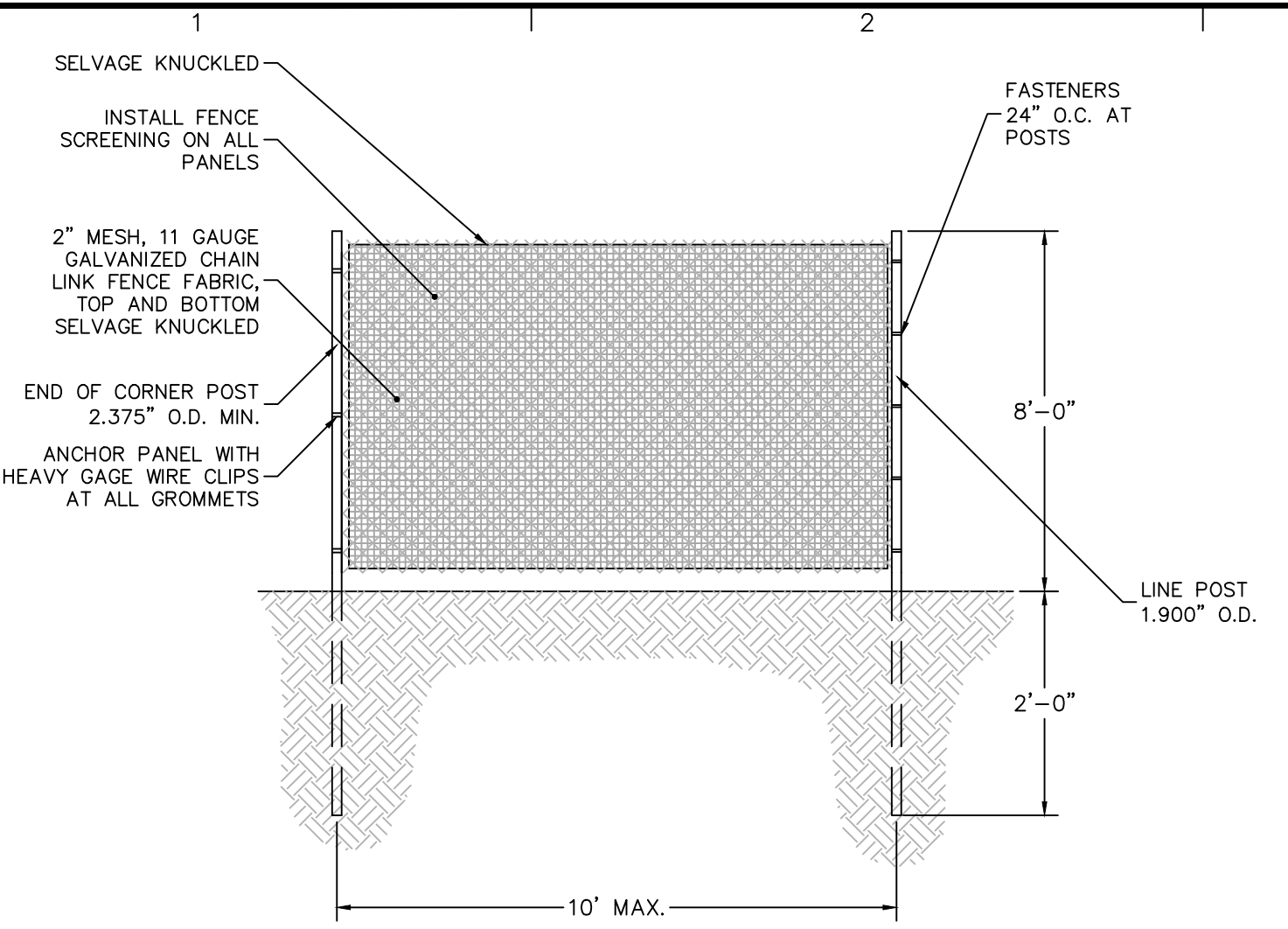
HARTFORD COUNTY CONNECTICUT

Drawing Title

**SOIL EROSION & SEDIMENT CONTROL PLAN**

Project No.	140222801	<b>CE101</b>
Date	04/06/2021	
Drawn By	HES	
Checked By	JEL	

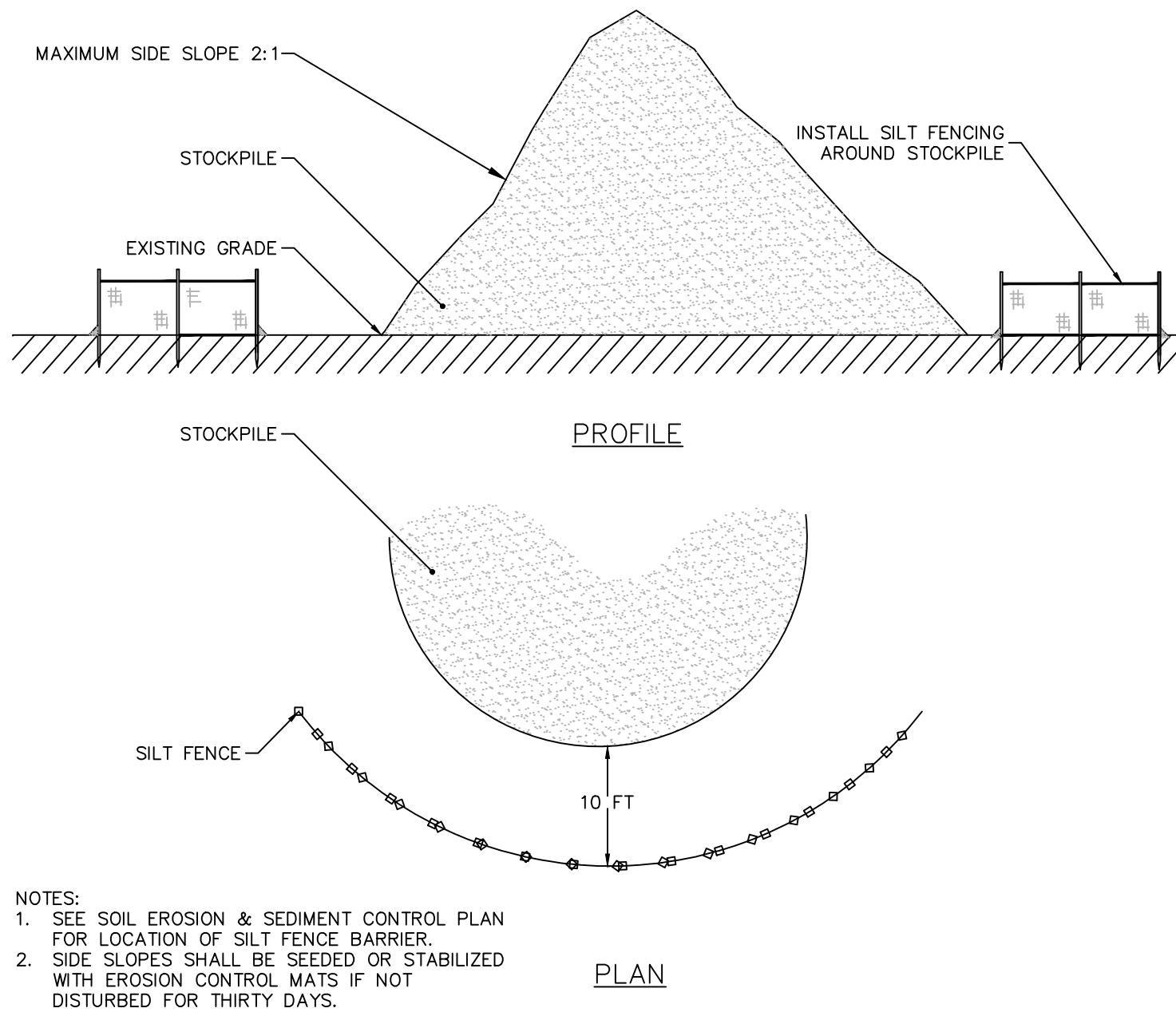
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NOTES:  
1. PIPE POSTS SHALL BE IMBEDDED INTO THE GROUND. PEDESTAL MOUNTED FENCING WILL ONLY BE ALLOWED AT AREAS APPROVED BY THE PROJECT MANAGER. WHEN ALLOWED, PROVIDE CONCRETE OR GALVANIZED-STEEL BASES FOR SUPPORTING POSTS. PROVIDE BLUE REINFORCED SORIM SHEETING ON ALL FENCING.

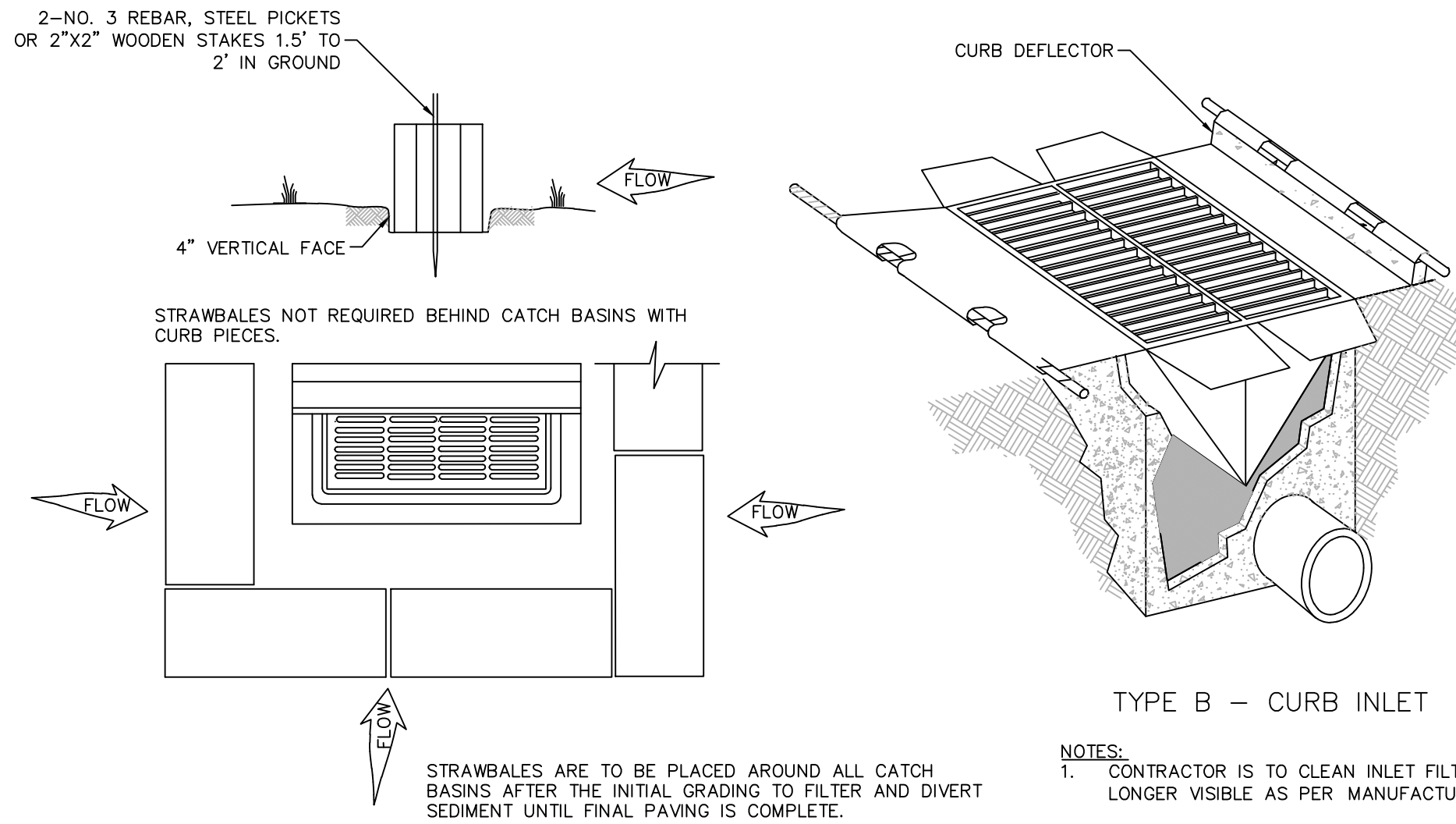
## 1 TEMPORARY CONSTRUCTION FENCE

N.T.S



## 2 TEMPORARY STOCKPILE

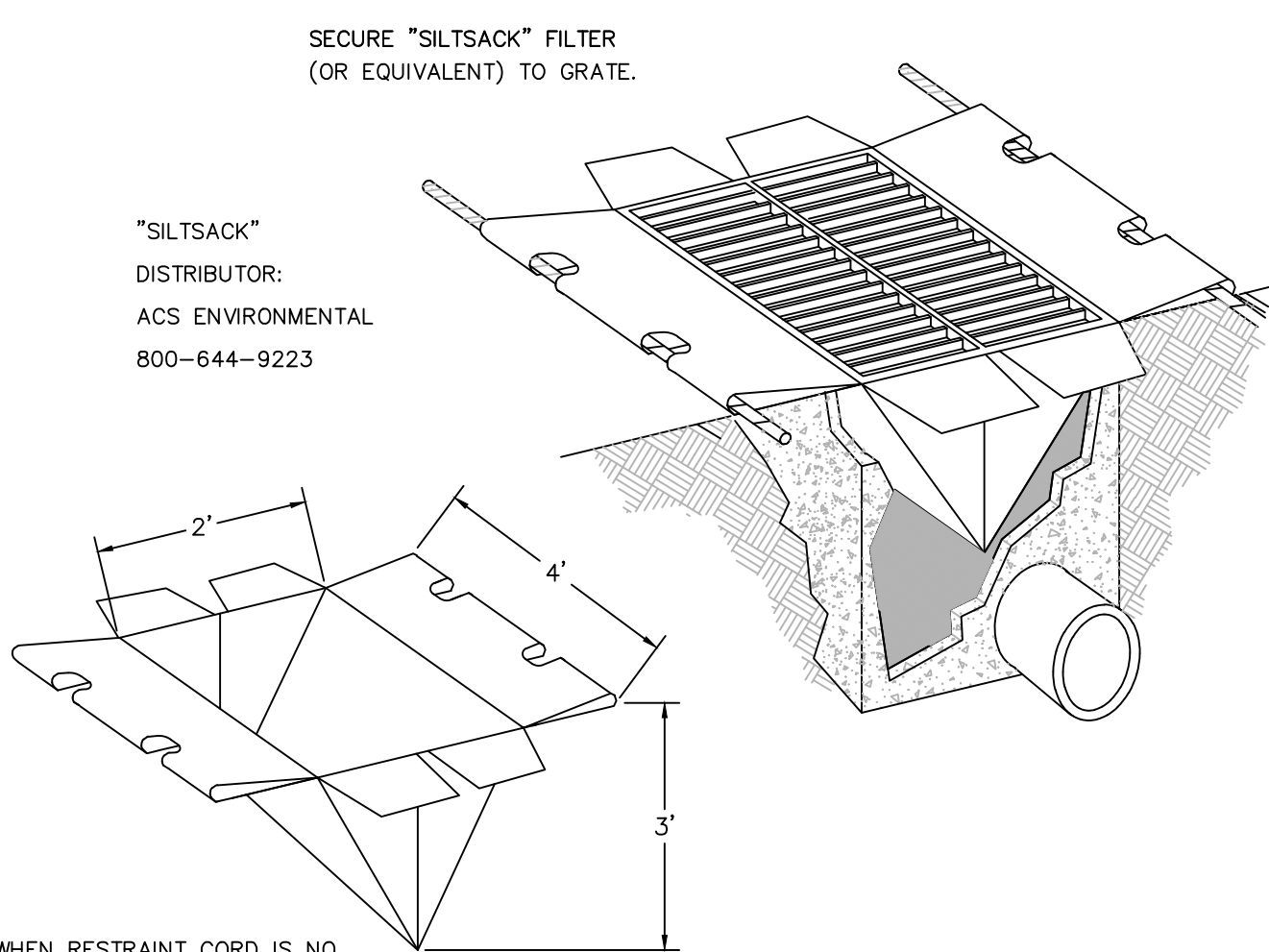
N.T.S



NOTES:  
1. CONTRACTOR IS TO CLEAN INLET FILTER WHEN RESTRAINT CORD IS NO LONGER VISIBLE AS PER MANUFACTURER'S SPECIFICATIONS.  
2. CONTRACTOR TO REMOVE FILTER JUST PRIOR TO PAVING.

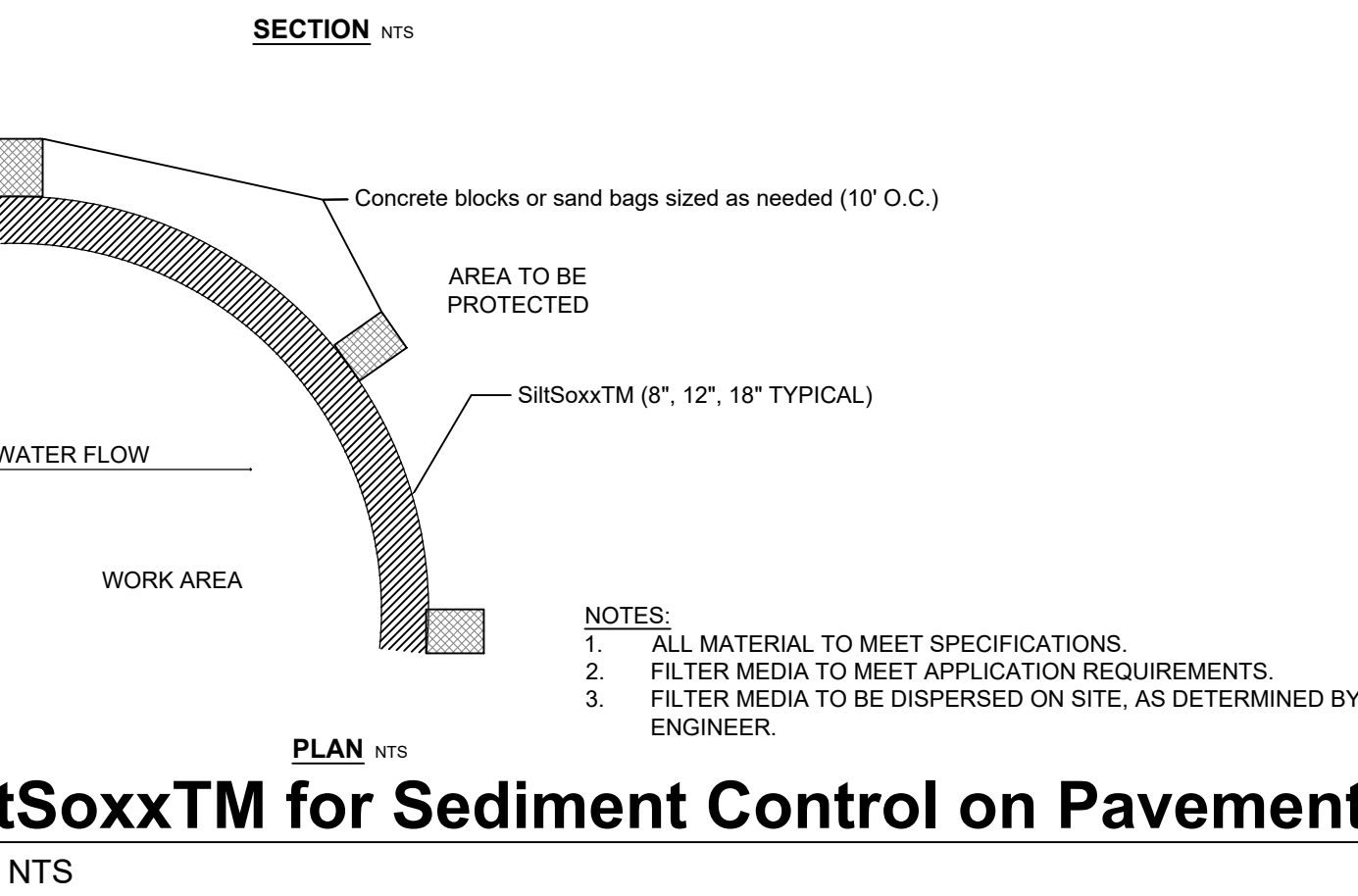
## INLET PROTECTION

N.T.S



## 3 COMPOST FILTER TUBE

N.T.S



## SiltSoxxTM for Sediment Control on Pavement

NTS

- FROM THE EARTH CHANGE AREA SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.
15. THE CONTRACTOR SHALL CORRECT ANY OMISSIONS, ERRORS, OR FIELD OPERATIONS IMMEDIATELY AND IN ACCORDANCE WITH THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
16. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
17. SOIL EROSION AND SEDIMENT CONTROLS MUST BE INSPECTED BY THE ZONING ENFORCEMENT OFFICER BEFORE WORK MAY COMMENCE.
18. THE PROPERTY OWNER AND/OR HIS/HER AGENTS MUST MAINTAIN (REPAIR/REPLACE), WHEN NECESSARY, THE SILTATION CONTROL UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- TEMPORARY STABILIZATION**
- SEDIMENT DISPOSAL AREAS AND TOPSOIL STOCKPILES NOT SCHEDULED FOR CONSTRUCTION ACTIVITIES WITHIN THIRTY (30) DAYS OF DISTURBANCE SHALL BE STABILIZED AS FOLLOWS:
- A. SOIL AMENDMENTS AS NECESSARY.
- B. ANNUAL RYE GRASS SEEDING APPLIED AT A RATE OF NOT LESS THAN 1 LB. PER 1,000 SF.
- C. MULCH ALL NEWLY SEEDED AREAS WITHIN 80 LBS. OF SALT HAY OR SMALL GRAIN STRAW PER 1,000 SF.
- D. WHEN DISTURBED AREAS ARE SCHEDULED FOR IMMEDIATE LANDSCAPING THEY MAY BE MULCHED AND SEEDED PER ITEM C ABOVE.
- PERMANENT STABILIZATION**
- REFER TO PLANS FOR PERMANENT STABILIZATION METHODS + PROPOSED SEED MIXES.
- A. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL DISTURBED LAND AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. AMEND SOIL AS NEEDED PRIOR TO PERMANENT SEEDING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER COMPLETION OF AN EARTH CHANGE OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. ALL DISTURBED AREAS, STOCKPILES OF FILL OR EXCAVATED MATERIAL SHALL BE STABILIZED IN SUCH A MANNER AS NOT TO CAUSE UNREASONABLE HAZARD TO PERSONS OR PROPERTY.
- B. MATERIALS SPECIFICATION: LAWN + MEADOW AREAS
- (i) ANY SOIL HAVING A pH OF FOUR OR LESS CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE INCHES OF SOIL HAVING A pH OF FIVE OR MORE PRIOR TO SEED BED PREPARATION.
- C. MULCHING SHALL BE DONE AT THE RATE OF SEVENTY TO NINETY POUNDS (70-90 LBS) PER 1,000 SQUARE FEET WITH UNROTATED SALT HAY.
- D. LIQUID MULCH BINDERS MUST BE USED TO ANCHOR SALT HAY, HAY OR STRAY MULCHES.
- (i) APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CREATED BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

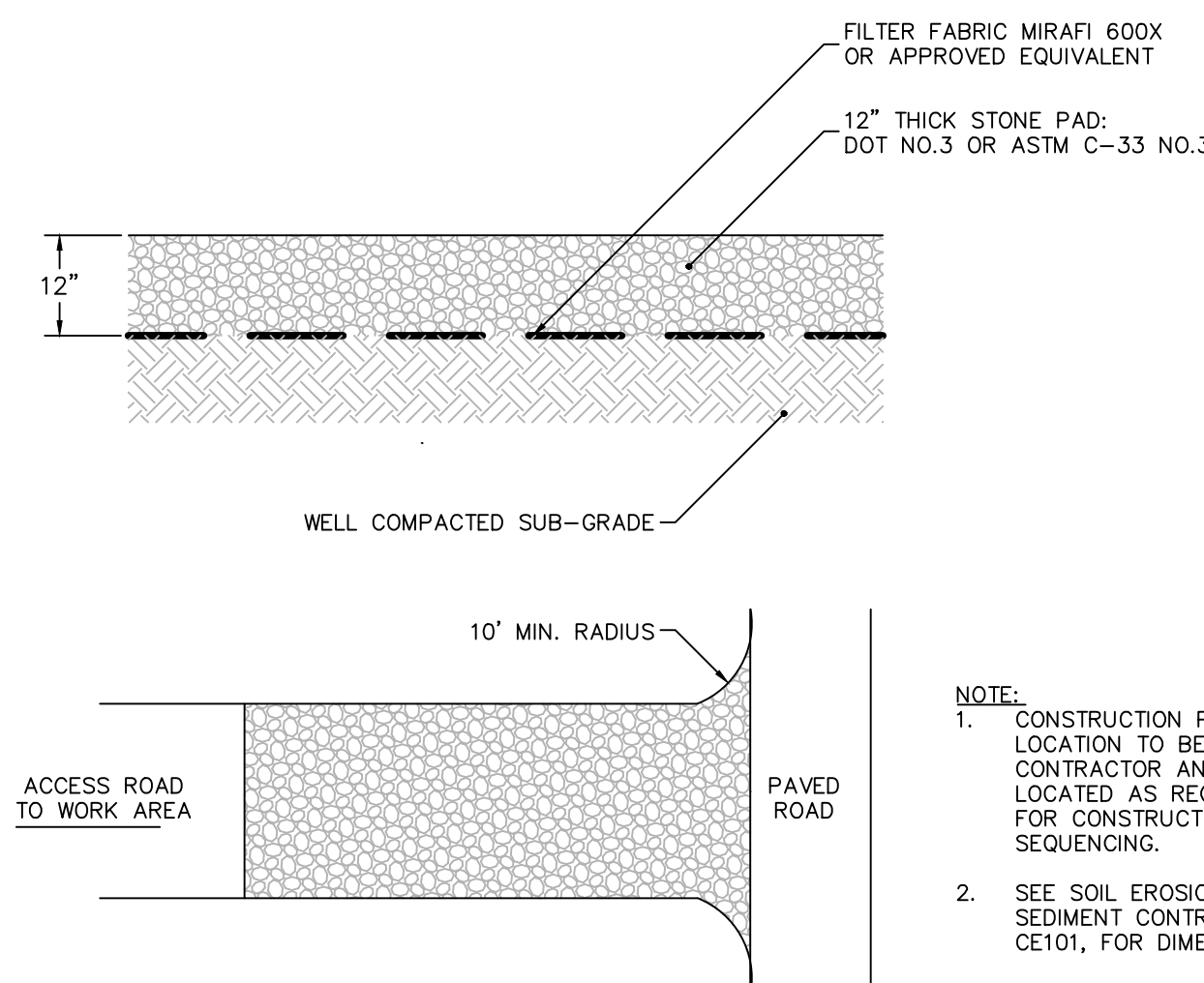
# SOIL EROSION-SEDIMENT CONTROL NOTES

- PROPOSED DEVELOPMENT**
1. CONSTRUCTION WILL INCLUDE EARTHWORK, CURBING, PAVING, UTILITY INSTALLATION, LANDSCAPING AND BUILDING CONSTRUCTION. ALL DEMOLITION DEBRIS AND SOIL REMOVAL RELATED TO CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAWS GOVERNING SUCH ACTIVITIES.
2. THE DETAILED EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN ON DRAWING CE01. THE PROPOSED MEASURES HAVE BEEN DESIGNED TO PREVENT THE MIGRATION OF SOIL SEDIMENT FROM THE SITE.
- SOIL EROSION AND SEDIMENT CONTROL NOTES**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING OF SOIL AND SEDIMENT CONTROL PRACTICES TO ENSURE SOIL AND SEDIMENT ARE PREVENTED FROM LEAVING THE DEVELOPMENT AREA THROUGHOUT DEMOLITION & CONSTRUCTION.
2. THE SOIL AND SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY AND THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION AND THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
3. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO START OF DEMOLITION AND CONSTRUCTION AND DISTURBANCE OF SITE CONTRIBUTORY DRAINAGE AREAS. THE OWNER OR ITS CONTRACTOR SHALL INSPECT, REPAIR AND REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES AS INDICATED HEREIN. ALL EARTH CHANGES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED IN SUCH A MANNER SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST POSSIBLE PERIOD OF TIME.
4. DISPOSAL OF COLLECTED SEDIMENT SHALL BE MADE TO AREA DESIGNATED BY THE OWNER'S SOIL ENGINEER.
5. FILTER FABRIC/SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
6. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING/LANDSCAPED AREAS SHALL BE REMOVED FROM THE SITE IMMEDIATELY, IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW. ALL TOPSOIL TO BE USED IN LANDSCAPED AREAS SHALL BE STORED/STOCKPILED IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL LAW STANDARDS.
7. ALL AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
8. PAVEMENT BASE COURSE MUST BE PLACED IN ALL NEW ROADWAY AREAS UPON COMPLETION OF FINE GRADING.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL PAVED ROADWAYS, ON AND OFF-SITE, WHICH MUST BE KEPT FREE OF SITE GENERATED SEDIMENT AT ALL TIMES. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHOD.
10. ALL STORM DRAINAGE OUTLETS MUST BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
11. SILT FENCES AND BARRIERS MUST BE CLEANED OR REPLACED PERIODICALLY TO REMOVE BUILT-UP SILT.
12. SEDIMENT TRAPS MUST BE CLEANED WHEN CAPACITY HAS BEEN REDUCED BY AN AVERAGE OF 2'-0" OVER ITS TOTAL AREA OR TO 70% OF ITS DESIGN VOLUMES, WHICHEVER OCCURS FIRST.
13. ALL EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSPECTED ON A DAILY BASIS AND CLEANED IMMEDIATELY AFTER EACH STORM.
14. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR

- (ii) USE ONE OF THE FOLLOWING: SYNTHETIC OR ORGANIC BINDERS. BINDERS SUCH AS CURASOL, DCA-70, PETRO SET, TERRA TACH, HYDRO MULCH AND AEROSPRAY MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER OF ANCHOR MULCH MATERIALS. BINDERS CONTAINING PETROLEUM PRODUCTS SHALL NOT BE USED.
- NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE TO THE EXCLUSION OF OTHER PRODUCTS.
- D. FILL MATERIAL SHALL BE FREE FROM DEBRIS, PERISHABLE OR COMBUSTIBLE MATERIAL AND FROZEN OR WET EARTH OR STONES LARGER THAN THREE INCHES IN MAXIMUM DIMENSION.
- E. CONSTRUCTION AREAS SHALL BE PERIODICALLY SPRAYED WITH WATER UNTIL THE SURFACE IS WET TO CONTROL THE GENERATION OF DUST.
- F. ALL REVISIONS AFTER APPROVAL HAS BEEN GRANTED SHALL BE FORWARDED TO THE APPROPRIATE DISTRICT FOR REVIEW.
- G. THE LOCAL GOVERNING AUTHORITY SHALL RECEIVE WRITTEN NOTIFICATION SEVENTY TWO HOURS BEFORE THE START OF ANY CONSTRUCTION.
- H. SEEDBED PREPARATION:
- (i) TOPSOIL SHOULD BE A MINIMUM OF SIX INCHES DEEP (LIGHTLY COMPACTED) BEFORE SEEDING.
- (ii) TOPSOIL SHALL BE TESTED PRIOR TO SEEDING.
- (iii) WORK SOIL AMENDMENTS INTO SOIL AS NECESSARY AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE ALL CLAY OR SILTY SOIL AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEED BED WHEREVER FEASIBLE.
- (iv) REMOVE FROM THE SURFACE ALL STONES ONE INCH OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- (v) INSPECT SEED BED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT SOIL COMPACT, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
- CONTINGENCY SOIL EROSION AND SEDIMENT CONTROL NARRATIVE**
19. THE GENERAL CONTRACTOR WILL DESIGNATE PERSONNEL FOR 24 HOUR EMERGENCY RESPONSE IN THE EVENT OF SEVERE WEATHER AND INCREASED POTENTIAL FOR SEVERE EROSION.
20. THE GENERAL CONTRACTOR IS REQUIRED TO MAINTAIN ON SITE OR HAVE THE ABILITY TO RETRIEVE WITHIN 12 HOURS THE FOLLOWING MATERIALS IN THE EVENT THAT THERE ARE DEFICIENCIES IN THE SESC MEASURES:
- A. 25% OF THE INSTALLED LENGTH OF SILT FENCE
- B. EQUIVALENT TONNAGE OF STONE FOR STABILIZATION OF 2 STABILIZATION ENTRANCES. STONE COULD BE USED FOR SLOPE REPAIRS, ENERGY DISSIPATER ENHANCEMENTS, ETC.
- C. HEAVY EQUIPMENT CAPABLE OF TRENCHING/EXCAVATING LARGE AREAS TO DIVERT AND CONTROL RUNOFF IN A CONTROLLED MANNER.
- D. HAVE DESIGNATED A HYDRO-SEED CONTRACTOR CAPABLE OF RESPONDING TO THE SITE WITHIN 12 HOURS
21. ANY STUMP GRINDINGS OR WOOD CHIPS GENERATED ON-SITE SHOULD BE RETAINED FOR USE TO BACK UP SILT FENCES.

## 4 SILT FENCE

N.T.S



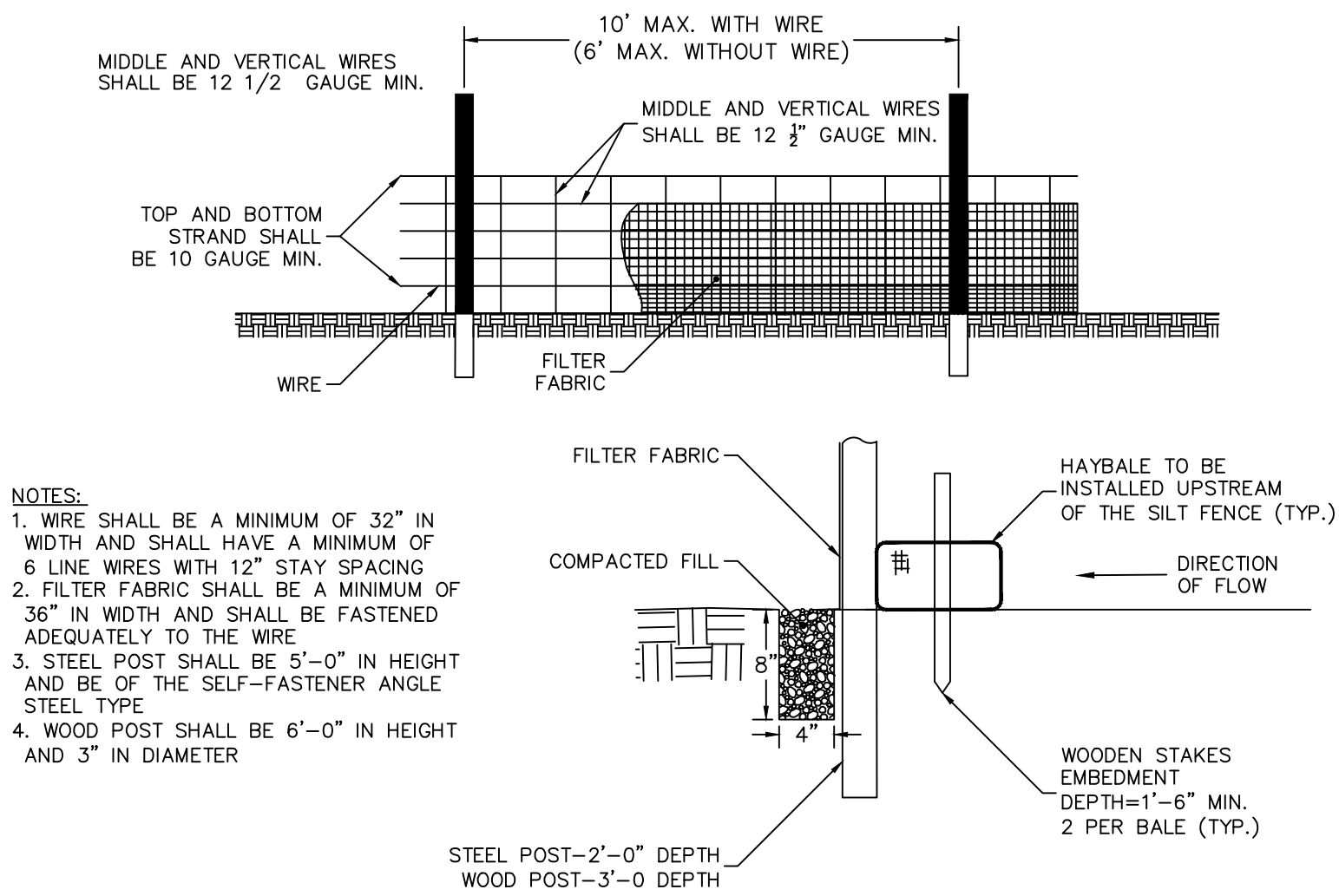
NOTE:  
1. CONSTRUCTION PAD LOCATION TO BE SET BY CONTRACTOR AND LOCATED AS REQUIRED FOR CONSTRUCTION SEQUENCING.  
2. SEE SOIL EROSION & SEDIMENT CONTROL PLAN, CE101, FOR DIMENSIONS.

## CONSTRUCTION ENTRANCE

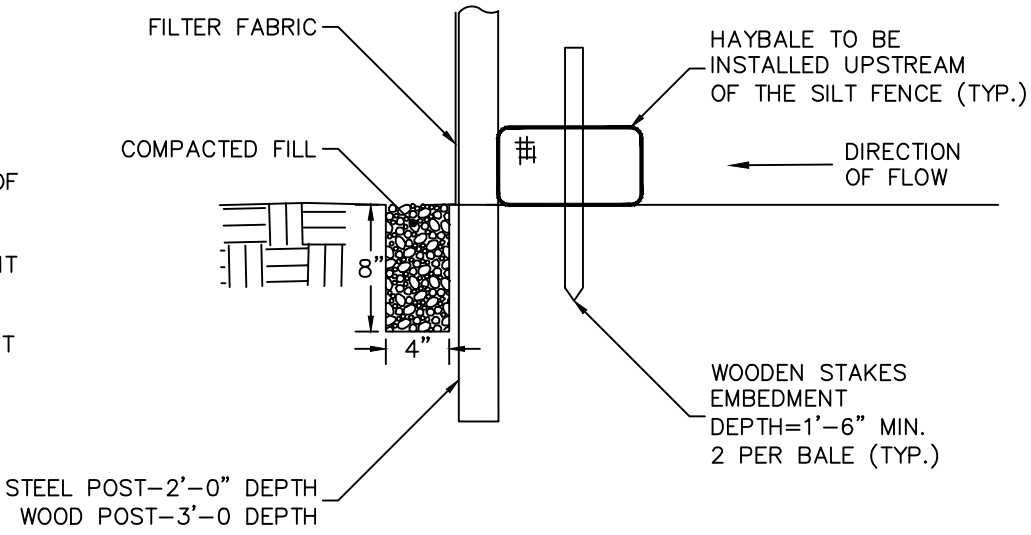
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<b>LANGAN</b>		
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Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title		
<b>SOIL EROSION &amp; SEDIMENT CONTROL DETAILS I</b>		
Project No.	Drawing No.	
140222801	CE501	
Date	04/06/2021	
Drawn By	IJAB	
Checked By	DTG	

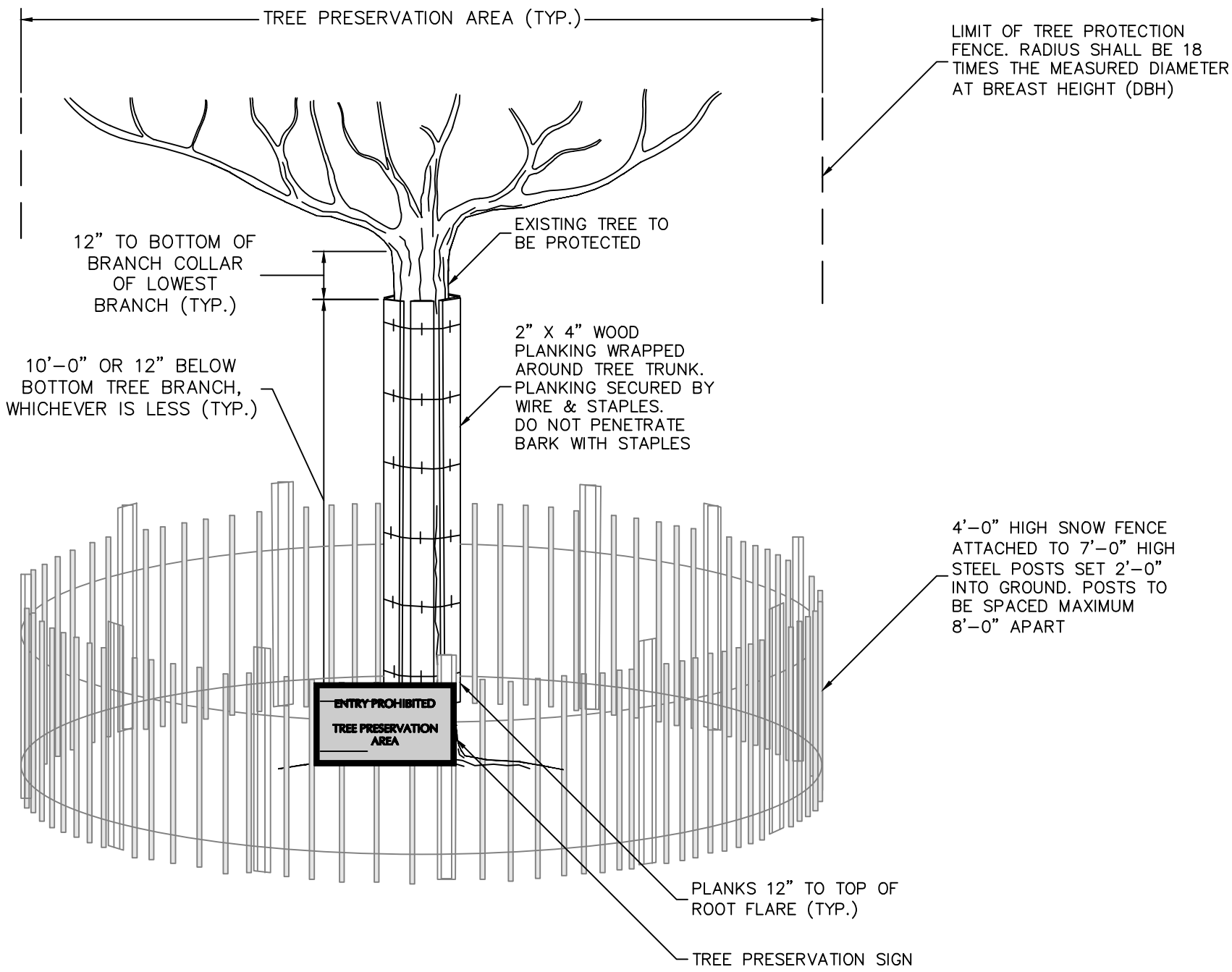
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- NOTES:
1. WIRE SHALL BE A MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING
  2. FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE
  3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE
  4. WOOD POST SHALL BE 6'-0" IN HEIGHT AND 3" IN DIAMETER



- NOTES:
1. ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE RADIUS SHALL BE 18 TIMES THE MEASURED DIAMETER-AT-BREAST-HEIGHT (DBH), UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
  2. TREE PROTECTION PLANKING SHALL BE INSTALLED ON ALL EXISTING TREES WHERE WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO DETAIL ON THIS SHEET.
  3. IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
  4. TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE IMMEDIATELY REPLACED WHEN DAMAGED.
  5. DEMOLITION WORK WITHIN THE TREE PROTECTION FENCE OF PROTECTED TREES SHALL BE PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE DISTURBED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS.
  6. ALL TEMPORARILY EXPOSED TREE ROOTS SHALL BE COVERED WITH 2 INCHES OF SHREDDED HARDWOOD MULCH AND THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
  7. ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S REPRESENTATIVE OR THE PROJECT LANDSCAPE ARCHITECT.



1

SILT FENCE BACKED BY HAYBALE

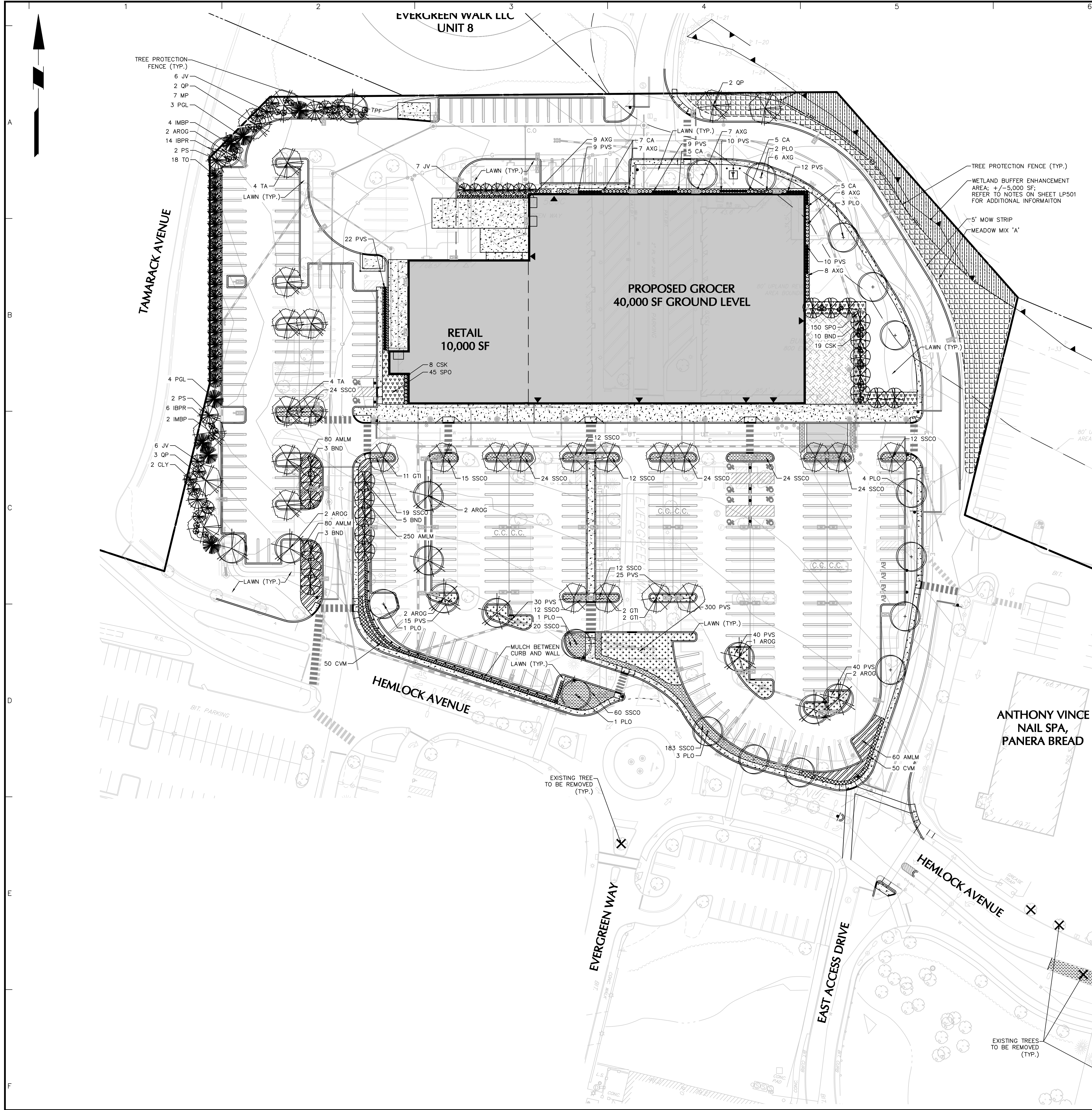
N.T.S

2

TREE PROTECTION

N.T.S

Date	Description	No.
Revisions		
		
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Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title		
<b>SOIL EROSION &amp; SEDIMENT CONTROL DETAILS II</b>		
Project No.	<b>CE502</b>	
Date		
Drawn By		
Checked By		



INTERMITTENT STREAM AND BUFFER ENHANCEMENT AREA PLANT SCHEDULE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
SHADE TREE(S)					
10	CORNUS AMOMUM	SILKY DOGWOOD	3-4'	5-10 FEET	-
5	CORNUS RACEMOSA	GRAY DOGWOOD	3-4'	5-10 FEET	-
5	JUNIPERUS COMMUNIS	COMMON JUNIPER	3-4'	10 FEET	-
10	SALIX DISCOLOR	PUSSY WILLOW	3-4'	5-10 FEET	-
10	VIBURNUM LENTAGO	NANNYBERRY	3-4'	5-10 FEET	-
10	ARONIA MELANOCARPA	BLACK CHOKEBERRY	3-4'	5-10 FEET	-

- NOTE:
- INTERMITTENT STREAM AND BUFFER ENHANCEMENT AREA PLANT SCHEDULE AS PROVIDED BY ALL-POINTS TECHNOLOGY CORPORATION.
  - PLANTING STOCK USED IN THE WETLAND MITIGATION AREA SHALL BE INSPECTED FOR PESTS, DISEASE AND OVERALL HEALTH TO ENSURE SUITABLE SPECIMENS ARE USED. UNSUITABLE SPECIMENS WILL BE REJECTED AND REPLACED WITH SUITABLE SPECIMENS. ANY PLANTING SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ALL WOODY PLANT STOCK SHALL BE CONTAINER-GROWN OR BURLAP BALLED. DEVIATIONS TO THE PLANTING PLAN MUST BE APPROVED BY THE PROJECT WETLAND SCIENTIST. ONLY PLANT MATERIALS NATIVE AND INDIGENOUS TO CONNECTICUT SHALL BE USED. INVASIVE PLANT SPECIES WILL NOT BE USED IN THE MITIGATION AREA.
  - ALL PLANTINGS TO BE SPACED GENERALLY AS NOTED ON THE PLANTING SCHEDULE WITH ASSISTANCE FROM A WETLAND SCIENTIST, AS NECESSARY, TO SIMULATE NATURAL GROWTH PATTERNS.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AROG	11	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B	-
GTI	15	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	2 1/2-3" CAL.	B+B	-
PLO	15	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	3-3 1/2" CAL.	B+B	-
QP	7	QUERCUS PALUSTRIS	PIN OAK	2 1/2-3" CAL.	B+B	-
TA	8	TILIA AMERICANA	BASSWOOD	2 1/2-3" CAL.	B+B	-
ORNAMENTAL TREE(S)						
BND	21	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12'	B+B	-
EVERGREEN TREE(S)						
PGL	7	PICEA GLAUCA	WHITE SPRUCE	6-7'	B+B	-
TO	18	THUJA OCCIDENTALIS 'GREEN GIANT'	'GREEN GIANT' EASTERN ARBORVITAE	6-7'	B+B	-
JV	19	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-7'	B+B	-
PS	4	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B	-
EVERGREEN SHRUB(S)						
IBPR	20	ILEX X MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	24-30"	CONTAINER	-
IMBP	6	ILEX X MESERVEAE 'BLUE PRINCE'	BLUE PRINCE HOLLY	24-30"	CONTAINER	-
DECIDUOUS SHRUB(S)						
AMLM	470	ARONIA MELANOCARPA 'LOWSCAPE MOUND'	LOWSCAPE MOUND BLACK CHOKEBERRY	2 GAL.	CONTAINER	spaced @ 30" o.c.
AXG	43	ABELIA X GRANDIFLORA	GLOSSY ABELIA	2 GAL.	CONTAINER	-
CA	22	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	2 GAL.	CONTAINER	-
CSK	27	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED OSIER DOGWOOD	2 GAL.	CONTAINER	-
PERENNIAL(S)						
CVM	100	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	1 GAL.	CONTAINER	spaced @ 24" o.c.
ORNAMENTAL GRASS(ES)						
PVS	522	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER	spaced @ 30" o.c.
SPO	195	SPOROBOLUS HETEROLEPIS	PRARIE DROPEED	2 GAL.	CONTAINER	spaced @ 30" o.c.
SSCO	627	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2 GAL.	CONTAINER	spaced @ 30" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

IRRIGATION NOTES:

- THE IRRIGATION CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE IRRIGATION INSTALLATION PLAN AND CUT-SHEETS FOR ALL COMPONENTS FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE IRRIGATION INSTALLATION PLAN SHALL BE COMPLETE WITH ZONE DESIGNATIONS AND WATER USAGE IN GALLONS PER MINUTE PER ZONE, RUN TIME SCHEDULE, LEGEND OF COMPONENTS AND PLAN GRAPHICS WITH QUANTITIES, MINIMUM SYSTEM REQUIREMENTS INCLUDING STATIC PRESSURE AT THE WATER CONNECTION POINT, ESTIMATED WATER BUDGET, CONSTRUCTION DETAILS AND IRRIGATION NOTES. THE PLAN SHALL ALSO INCLUDE LOCATIONS OF ALL PROPOSED SLEEVES AND THEIR SIZES, LOCATIONS OF ALL LATERAL LINE SIZE STEP-DOWNS WITH SIZE INDICATIONS, LOCATION OF ALL SOIL MOISTURE SENSORS, CONTROLLER, VALVES AND ALL OTHER COMPONENTS NECESSARY FOR THE SYSTEMS OPERATION.
- LANDSCAPE AREAS SHALL BE IRRIGATED IN SUFFICIENT DENSITY TO COVER THE ENTIRE AREA.
- CONTRACTOR TO AVOID DISTURBANCE OF EXISTING PLANT MATERIAL WHEN LOCATING VALVES AND PIPE LINES. ANY PLANT MATERIAL DAMAGED AS A RESULT OF IRRIGATION INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXCAVATION MATERIAL SHALL BE PLACED BACK IN TRENCHES.
- ALL DISTURBED LANDSCAPE AND PAVED AREAS SHALL BE RESTORED TO THE CONDITION FOUND PRIOR TO START OF INSTALLATION.
- DEPTH OF TRENCHES SHALL BE SUFFICIENT OR PROVIDE A MINIMUM COVER ABOVE THE TOP OF PIPE AS FOLLOWS:
  - 12" OVER NON-PRESSURE LATERAL LINES
  - 18" OVER NON-PRESSURE LATERAL LINES UNDER PAVING
  - 18" OVER CONTROL WIRES
  - 18" OVER MAIN LINE
  - 24" OVER MAIN LINE UNDER PAVING
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE PLUMBING TIE-INS, SLEEVES UNDER PAVEMENTS (AS NECESSARY), AND CONTROL DEVICES WITH THE GENERAL CONTRACTOR, OWNER, AND OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING.
- CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING INSTALLATION WORK.
- WATERPROOF ALL WIRE CONNECTORS USING 3M "DIP" WATERPROOF CONNECTORS OR EQUIVALENT.
- DRAIN VALVES ARE TO BE PROVIDED AT SUFFICIENT INTERVALS TO PROVIDE COMPLETE DRAINAGE OF ALL PIPING.
- COORDINATE THE LOCATION OF CONTROLS, IRRIGATION CONTROLLER, AND SOIL MOISTURE SENSORS WITH THE PROJECT MEP AND OWNER PRIOR TO INSTALLATION.
- IRRIGATION CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO IRRIGATION DESIGN WHERE REQUIRED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS, AS DESIGNATED ON THIS PLAN.
- INSTALLATION MUST COMPLY WITH ALL LOCAL CODES AND CONDITIONS.
- ALL IRRIGATION WORK SHALL BE GUARANTEED FOR 1 YEAR AFTER COMPLETION OF ALL WORK.
- CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS-BUILTS, SERVICE MANUALS AND INSTRUCTIONS TO THE OWNER OR OWNER'S REPRESENTATIVE.
- ALL SPRINKLER HEADS SHALL BE SET BACK 4" MINIMUM FROM BACK OF ALL CURBS.
- CONTRACTOR MAY SUBMIT ALTERNATE EQUIVALENT MATERIALS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT.

Date	Description	No.
Revisions		
<b>LANGAN</b>		
Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511		
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Project

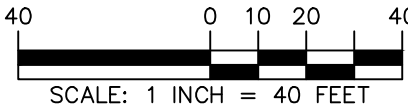
**DEVELOPMENT AT  
EVERGREEN WALK**  
MAP NO. 27, BLOCK No. 15, UNIT No. 2  
801 EVERGREEN WAY  
SOUTH WINDSOR

HARTFORD COUNTY CONNECTICUT

Drawing Title

**PLANTING PLAN**

Project No.	140222801	<b>LP101</b>
Date	04/06/2021	
Drawn By	AC	
Checked By	MH	



1. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
2. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL GRASS OR PRAIRIE SOIL COVER.
3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
4. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT AND BE HEALTHY AND BE FREE FROM DISEASE AND PESTS.

- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS' ORIGINAL POSITION. PLANTS OF THE SAME SPECIES AND SIZE SHALL BE PLANTED AT THE SAME SPACING. THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES AND RECORD THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS OF THE SPECIFIED LANDSCAPE MATERIAL. IF NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND, TOGETHER, WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND TRUNKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANT MATERIAL AT ANY TIME DURING PROCESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- DELIVERY, STORAGE, AND HANDLING
  - A. PACKAGED MATERIALS - PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND DATE OF MANUFACTURE. MATERIALS SHALL BE PROTECTED FROM DEGRADATION DURING DELIVERY AND WHILE STORED AT SITE.
  - B. TREES AND SHRUBS - TREES AND SHRUBS SHALL BE PROVIDED TREES AND SHRUBS DOWNS FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE OR DESTROY THEM. TREES AND SHRUBS SHALL BE COVERED AND PROTECTED DURING COVERING DURING TRANSPORT. DO NOT DROP BALLED AND BURLEDUP STORED DURING DELIVERY OR HANDLING.
  - C. ALL PLANTS SHALL BE BALLED OR BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN PLANTS SHALL BE PLANTED. PLANTS SHALL BE PLANTED WITHIN THE SPECIFIED PLANTING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL. AT THE END OF THE PLANTING SEASON, THE BALLS SHALL BE REMOVED FROM THE PLANTING AREA. THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN PLANTS, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE BALL.
  - D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE IN PREPARATIONS FOR PLANTING. TREES AND SHRUBS SHALL BE DELIVERED TO SITE WITHIN 24 HOURS OF DELIVERY. MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM EXPOSURE TO MECHANICAL DAMAGE AND EXCESS HEAT. TREES AND SHRUBS MUST BE COVERED WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRUNKS AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES. THERE SHALL BE NO STAKING OR MARKING OF AREAS TO BE PLANTED.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL PROVIDED FOR THE PROJECT SHALL BE GUARANTEED TO BE REPLACED AT THE CONTRACTOR'S EXPENSE IF THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THROUGHTLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN PLANT VIGOR AND HEALTH.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL THING HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETED. REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- MULCH SHOULD NOT BE PILED UP ALONG THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE PLACED ON THE FINISHED GRADE OF ANY PLANT MATERIAL OR THE ROOT COLLAR.
- ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
- FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHALL SHOW SHALL GOVERN.
- PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING

**MAINTENANCE OPERATIONS BEFORE APPROVAL:**

A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.

B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND WIRING AS ORIGINALLY INSTALLED, AND WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.

C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.

**2. MAINTENANCE DURING CONSTRUCTION:**

A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAINED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PERMANENT ACCEPTANCE OF THE PROJECT. PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SURFACE RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRING SHALL BE TIGHTENED AND REPLACED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.

B. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS AND THE DAMAGE INCURRED FROM THE REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.

C. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED ON THE PLANT LIST. REPLACEMENTS SHALL BE REPLANTED IMMEDIATELY RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS SUCH AS C.R.C., AND OTHERS. REPLACEMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.

D. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.

E. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIREMENT BY CONTRACTOR IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.

**3. LAWN MAINTENANCE:**

A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.

B. WATER TO KEEP SURFACE SOIL MOIST, REPAIR WEAR AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING, NOW TO 2 1/2 - 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT. MOW FROM FRONT TO BACK, CROSS GRASS FROM EXTERIOR TO INTERIOR, AND FINISH BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.

THE FOLLOWING WATERING SCHEDULE COVERS ROUGHLY 8 WEEKS TO ESTABLISH A HEALTHY STAND OF GRASS. FROM SEEDING, THE CONTRACTOR SHALL BE OBLIGATED TO ENSURE A HEALTHY STAND OF GRASS AT THE END OF EACH MAINTENANCE PERIOD. ANY BARE OR DEAD AREAS IN THE LAWN SHALL BE PREPARED, RESEEDED AND REESTABLISHED PRIOR TO THE END OF THE MAINTENANCE/BOND PERIOD AND TO THE SATISFACTION OF THE PROJECT LANDSCAPE ARCHITECT AND THE OWNER.

IMPORTANT ASPECTS TO ATTAINING AND SUSTAINING A HEALTHY STAND OF GRASS ARE THE INSTALLATION OF THE SEED AT THE CORRECT DEPTH, ATTENDING TO THE SOIL, THE SEEDING PLANT SPECIES, FERTILIZING, MULCH COVERING, AND SUFFICIENT WATERING PER THESE NOTES AND/OR PROJECT SPECIFICATIONS.

1. SEEDING SHALL BE DONE DURING THE SEASONS SPECIFIED IN THE LAWN SEED MIX NOTES AND/OR PROJECT SPECIFICATIONS.
2. AFTER THE SEEDBED IS PREPARED, SEED IS INSTALLED, AND MULCH IS APPLIED, WATER LIGHTLY TO KEEP THE TOP 2 INCHES OF SOIL CONSISTENTLY MOIST, NOT SATURATED. AT NO TIME SHOULD WATER BE APPLIED TO THE SEED AT THE RATE OF RUNOFF OR FLOODING.
3. DEPENDING ON SOIL TEMPERATURES, IT MAY TAKE SEVERAL WEEKS FOR GERMINATION TO OCCUR. DIFFERENT SPECIES WITHIN THE MIX GERMINATE AT DIFFERENT TIMES AND THEREFORE CONTRACTOR SHOULD CONTINUE THE LIGHT WATERING, AS DESCRIBED ABOVE, UNTIL THERE IS AT LEAST 2 INCHES OF GRASSY THROUGHOUT.
4. AT THIS POINT, WATERING FREQUENCY MAY BE REDUCED TO EVERY 3 TO 5 DAYS. WATER SHALL BE APPLIED TO WET A 6 INCH MINIMUM SOIL DEPTH TO PROMOTE HEALTHY DEEP ROOTS.
5. BEGIN MOWING ONE PER WEEK AFTER THE GRASS HAS REACHED 3 INCHES HEIGHT. NOT TO A HEIGHT OF NO LESS THAN 2-1/2 INCHES. AFTER 2 TO 3 WEEKS OF MOWING, CONTINUE TO WATER TO A 6 INCH MINIMUM SOIL DEPTH AS NECESSARY PER WEATHER CONDITIONS, AND SOIL MOISTURE SENSORS IF APPLICABLE.

1. PLANTING SOIL, ALTERNATIVELY, MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRAGILE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TONKS, TRASH AND STONES OVER 1/2" DIA. IT SHOULD HAVE A HIGH ORGANIC CONTENT, BE SUITABLE FOR HEALTHY PLANT GROWTH AND SHOULD MEET ALL NECESSARY PLEASING HAVING NO NOXIOUS ODORS.

2. PLANTING SOIL.

REFUSE REFURF SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA. REFUSE SOILS WHICH FAIL TO PASS ANY OF THE FOLLOWING CRITERIA: PLANTS, STONES, GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PLANTING, THE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT OF SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.

SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL DEPTHS AT LEAST 4" DEEP DO NOT OBTAIN FROM AGRICULTURAL LAND, BODYS, MARSHES OR CONTAMINATED SITES.

CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE OPENED AND TESTED FOR MOISTURE, pH, AND ORGANIC CONTENT. THE CONTRACTOR SHALL PROVIDE THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND PROTECTED FROM WEATHER AND EXCESSIVE SOIL EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF ACTUAL USE.

ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR ANOTHER STATE APPROVED TESTING LABORATORY. THE CONTRACTOR SHALL FURNISH THE FOLLOWING TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO BE TESTED. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TEST RESULTS TO THE LANDSCAPE ARCHITECT TO EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENTS DETERMINES THAT THE TESTING AGENTS ARE NOT QUALIFIED TO TEST FOR ANY OF THE CRITERIA LISTED, THE LANDSCAPE ARCHITECT SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.

A. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION.

a. PARTICLE SIZE ANALYSIS - LOAMY SAND: 60-75% SAND, 25-40% SILT, AND 5-10% CLAY.

b. pH - RANGE 6.0 TO 7.5.

c. ORGANIC MATTER - RANGE 3-5%.

d. POTASSIUM, CALCIUM AND MAGNESIUM

e. GASEOUS MATTER - RANGE 1-2%.

f. NATIVE SOILS, UP TO 10% IN AMENDED SOILS.

g. TOXIC SUBSTANCE ANALYSIS

h. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED

i. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A # 20 SIEVE.

3. A. ORGANIC MATTER AS A TOP SOIL LAYER: LEAF MOULD WITH 60-80% ORGANIC CONTENT BY WEIGHT, SHEPHERD FEE LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES AND OTHER HAZARDOUS MATERIAL. 10 CM DEEP.

B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.

C. AMENDMENTS FOR BACK FILL IN TREES AND SHRUB PLITS:

- a. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
  - BRING pH LEVELS TO 4.5 MIN. TO 6.5 FOR NON-ERICAECIOUS PLANTS
  - BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICAECIOUS PLANTS
- b. TERESA-SORB BY PLANT HEALTH CARE (SEE MANUFACTURER RECOMMENDATIONS)
- c. USED N- PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS
- d. TOPSOIL SAYER BY PLANT HEALTH CARE (SEE MANUFACTURER RECOMMENDATIONS)
- e. USED N- PLANTER BACKFILL MIXTURE WITH TREES.

4. WHERE PLANTING ARES ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (WITH AN ORGANIC CONTENT OF LESS THAN 2%) TO THE TOPSOIL AND PLANTING SOILS WILL BE PLACED DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.

5. CLEAN SOIL FILL IN LANDSCAPE AREAS:

LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM (WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A pH BETWEEN 5 - 7).

**6. SOIL PLACEMENT:**

- a. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS.
- b. TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS.
- c. SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS.
- d. THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.

**7. SCARIFY AND/OR TILL, COMPACTED SUBSOLS TO A MINIMUM DEPTH OF 6 INCHES, THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOL PRIOR TO PLACING PLANTING SOIL AT THE DEPTH OF THE SUBSOL. AFTER PLANTING SOIL IS PLACED IN THE 12"-18" LIFTS AND WORN THOROUGHLY, BEFORE INSTALLING NEXT LIFT, REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO PLANTING SOIL TO BE PLACED IN A FROZEN OR MUDDY CONDITION.**

**8. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.**

**7. SOIL CONDITIONING:**

- a. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER PH VALUES (ACIDIC) ALLOWED. SULFUR ONLY, PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS.
- b. MINIMUM PH VALUE: MINIMUM PH VALUE SHALL BE 5.5. MINIMUM ORGANIC MATTER: TOTAL ORGANIC MATTER PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE.

**8. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.**

**9. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):**

- a. THOROUGHLY TILL ORGANIC MATERIAL (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SITES TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE PREVIOUSLY TESTED TO AVOID CONTAMINATION OF PLANTING SOIL. ALL PRODUCTS SHOULD BE OF A STABLE STRUCTURE, AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS A SOIL WATER AMENDMENT.
- b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY CLAY OR PLANTING SOIL WITH SAND (UP TO 30% BY VOLUME) AND/OR SUBSOLING SUBSATE DRAINAGE LINES.
- c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATERIAL AND/OR DRY, SHREDDED LEAF LOAM UP TO 30% OF THE TOTAL MIX.

1. SOD IS TO BE A TALL FESCUE/BLUEGRASS BLEND APPROXIMATELY 50/50%. SOD IS TO BE INDIGENOUS TO THE AREA AND BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.
2. PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.
3. ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.
4. SOD TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAYED OUT JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.
5. SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1½") PER WEEK UNTIL ROOT MASS BEGINS TO SHOW. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.
6. ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.

MEADOW MIX A - ERNST SEED MIX (NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS)	
31% LULIUM MULTIFLORUM	ANNUAL RYEGRASS
28% SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM
15% ELYMUS CANADENSIS	CANADA WIDYRE
5% ELYMUS VIRIDICUS	WINDMILL WIDYRE
4% AGROSTIS PERENNANS	ANNUAL BENTGRASS
5% AGROSTIS SCABRA	TICKLERGRASS
2% TRIDENS FLAVUS	PURPLETOP
2% MONARDA FISTULOSA	WILD BERGAMOT
2% PENSTEMON DIGITALIS	TALL WHITE BEARSTONGUE
2% RUBICEKIA HIRTA	BLACKEYED SUSAN
NOTES:	
SEED AT A RATE OF 60 LBS/ACRE OF 100% PURE LIVE SEED.	

SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 15) OR THE FALL (SEPTEMBER 1 TO OCTOBER 15).

ALL UNWANTED SHRUBS AND BRUSH IN AREAS TO BE SEEDDED PRIOR TO INSTALLATION, ELIMINATE REMAINING VEGETATION PRIOR TO SEEDING USING A STATE-APPROVED, AQUATIC FRIENDLY HERBICIDE PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ENSURE HERBICIDE IS INDICATED FOR USE AROUND WATERBODIES AND AROUND AND NEARBY WILDLIFE. HERBICIDE APPLICATIONS SHALL BE REVIEWED AND APPROVED BY CONSERVATION COMMISSION PRIOR TO APPLICATION.

SEEDING SHALL BE DONE TO SEEDS RECOMMENDED TO APPLY HERBICIDE PER MANUFACTURER'S SPECIFICATIONS, MOW LAWN AREA TO GRASS, AND DRILL SEED.

ALL AREAS NOT DISTURBED DUE TO SITE GRADING SHALL NOT BE TILLED. A TRUCK-TYPE DRILL SEEDER SHALL BE USED IN THOSE AREAS WHERE TILLAGE IS REQUIRED.

SEEDING METHODOLOGY TO BE DETERMINED BY THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL BY THE CONSERVATION COMMISSION.

PROTECT ALL EXISTING TREES AND SHRUBS TO REMAIN PER TREE PROTECTION DETAILS. NO DRILL OR TILLAGE SHALL BE WITHIN 10 FEET OF ANY TREE OR SHRUB TO REMAIN.

THERE MUST BE CONTINUOUS SOIL MOISTURE FOR 4-6 WEEKS TO ALLOW PROPER GERMINATION.

[illegible]

DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.

6" IMPORTED PLANTING SOIL (OR AMENDED EXISTING PLANTING SOIL) SHALL BE ROTO-TILLED INTO SUBGRADE TO A DEPTH OF 12".

12" MIN.

6"

SUBGRADE WITHIN 2"-6" OF FINISH GRADE IN PLANTING AREAS SHALL CONSIST OF FREE DRAINING SANDY SOIL FILL.

\*EXISTING SOIL STRIPPED FROM SITE CAN BE USED FOR PLANTING SOIL UPON APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT. CONTRACTOR SHALL REFER TO PLANTING SOIL SPECIFICATIONS FOR REQUIRED SUBMITTALS.

**PLANTING SOIL WITHIN AREAS OF CUT OR RAISED GRADE**

12" MIN.

EXISTING SOIL IN ALL PROPOSED PLANTING AREAS SHALL BE ROTO-TILLED TO A DEPTH OF 12" (EXCLUDING TREE PROTECTION AREAS) AND AMENDED IN ACCORDANCE WITH PLANTING SOIL SPECIFICATIONS. EXISTING SOIL WITHIN TREE PROTECTION AREAS SHALL BE LOOSENED AND AMENDED BY NON-MECHANICAL METHODS, PROTECTING ROOT MASS AGAINST DAMAGE.

SUBGRADE

**PLANTING SOIL WITHIN AREAS OF UNCHANGED GRADE**

NOTES:

1. CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
2. RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
3. IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCESS OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
4. CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.)
5. NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

Diagram illustrating the correct planting technique for a tree in a wire basket. The tree is shown with its root ball in a wire basket, which is placed in a planting hole. The diagram includes the following callouts and instructions:

- CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED
- PLANTING SOIL AS SPECIFIED
- 5" MULCH LAYER OVER WEED BARRIER FABRIC; DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK
- SET TOP OF ROOTBALL FLUSH TO GRADE OR 25-50mm (1-2") HIGHER IN SLOWLY DRAINING SOILS
- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL AND ALL NON-BIODEGRADABLE MATERIAL
- 100mm (4") HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200mm (8") INTO PLANTING HOLE
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL

25.5 BALL DIA. MIN

The diagram shows two planting scenarios side-by-side. On the left, a 'LARGE SHRUB (B&B)' is shown with its root ball wrapped in burlap and twine. It is being planted in a hole that is '3 TIMES ROOTBALL DIA.' wide and '3 TIMES ROOTBALL DIA.' deep. The root ball is labeled '8\"

1. COMPENSATE FOR THE ENCRoACHMENT INTO THE UPLAND REVIEW AREA AND BY PROVIDING AN ENHANCEMENT TO THE INTERMITTENT STREAM RIPARIAN CORRIDOR THROUGH THE REMOVAL OF INVASIVE PLANTS AND REPLANTING WITH NATIVE SPECIES WHICH WILL ENHANCE FUNCTIONS AND VALUES, PARTICULARLY THE WILDLIFE HABITAT FUNCTION.
2. PLANT THE RIPARIAN CORRIDOR ENHANCEMENT AREA WITH SUFFICIENT DENSITY, FOCUSING ON SUPPORTING THE EXISTING FORESTED CANOPY AND REPLACE AREAS WHERE WOODY INVASIVE PLANTS, WHICH DOMINATE THE UNDERSTORY, HAVE BEEN REMOVED.

1. THE PROJECT WETLAND SCIENTIST WITH EXPERTISE IN WETLAND MITIGATION AND IN INVASIVE PLANT SPECIES IDENTIFICATION AND REMOVAL/ERADICATION WILL SUPERVISE ALL ELEMENTS OF THE MITIGATION PLAN. DEAN GUSTAFSON, SENIOR WETLAND SCIENTIST, WITH ALL-POINTS TECHNOLOGY CORPORATION, P.C. WILL SERVE AS THE PROJECT WETLAND SCIENTIST; (860) 552-2033. DGUSTAFSON@POINTS.TECH.COM

4. THE PROJECT WETLAND SCIENTIST WITH EXPERTISE IN WETLAND MITIGATION AND IN INVASIVE PLANT SPECIES IDENTIFICATION AND REMOVAL/ERADICATION WILL SUPERVISE ALL ELEMENTS OF THE MITIGATION PLAN. DEAN GUSTAFSON, SENIOR WETLAND SCIENTIST, GUSTAFSON & ASSOCIATES, P.C., WILL SERVE AS THE PROJECT WETLAND SCIENTIST; (860) 552-2033, GUSTAFSON@PONTIACMICHIGAN.COM.
5. TO THE EXTENT PRACTICAL, WETLAND ENHANCEMENT ACTIVITIES SHALL BE PERFORMED DURING PERIODS OF LOW FLOW IN THE INTERMITTENT STREAM. DISTURBED SOILS SHALL BE PERMANENTLY STABILIZED BY THE END OF THE FIRST FULL GROW SEASON FOLLOWING WETLAND MITIGATION PLAN ACTIVITIES.
6. ANY FOREIGN DEBRIS AND LITTER THAT HAS ACCUMULATED ON THE SURFACE OF THE MITIGATION AREA SHALL BE REMOVED AND PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
7. PLASTIC MESH SLEEVES AND ROOT REPELLANTS WILL BE USED AS NECESSARY TO PROTECT PLANTED SHRUBS FROM EXCESSIVE WATER DRAINAGE. EXCESSIVE WATER DRAINAGE SHALL BE REPLACED BY AN APPROPRIATE NATIVE SUEDE MIXES DEPENDING UPON SHAD AND SOIL MOISTURE CONDITIONS OF THE AFFECTED AREAS.
8. THE USE OF FERTILIZER AND PESTICIDES IN THE WETLAND MITIGATION AREA IS PROHIBITED. HERBICIDE USAGE WILL ONLY OCCUR AS NECESSARY FOR THE CONTROL OF INVASIVE SPECIES.
9. A PRE-CONSTRUCTION MEETING WILL BE HELD ON SITE BETWEEN THE PROJECT WETLAND SCIENTIST AND CONTRACTOR(S) PERFORMING ALL ASPECTS OF THE WETLAND MITIGATION PLAN. THE PRIMARY INTENT OF THE PRE-CONSTRUCTION MEETING WILL BE TO DISCUSS THE IDENTIFICATION OF REQUIRED ELEMENTS OF REQUIRED ELEMENTS NECESSARY TO ACHIEVE THESE GOALS AND SEQUENCE OF ELEMENTS. THE TOWN OF SOUTH WINDSOR ENVIRONMENTAL PLANNER WILL BE PROVIDED NOTICE OF THIS MEETING A MINIMUM OF 3 BUSINESS DAYS PRIOR TO THE MEETING.
10. THE TOWN OF SOUTH WINDSOR ENVIRONMENTAL PLANNER WILL BE NOTIFIED IN ADVANCE OF ALL PHASES OF THE MITIGATION PROJECT.

INVASIVE WOODY SHRUB AND VINE SPECIES CURRENTLY DOMINATING THE UNDERSTORY OF THE WOOD AND MITIGATION AREA INCLUDING JAPANESE HONEYSUCKLE (LONICER SP.), MULTIFLORA ROSE (ROSE MULTIFLORA), AUTUMN OLEUR (ELAEOAGNUS UMBELLATA), AND ASIATIC Bittersweet (CELASTRUS ORBICULATUS) SHALL BE REMOVED BY HAND CUTTING DOWN TO THE STUMP AND STUMP SHALL BE DESTROYED BY BURNING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPLICATIONS WILL BE CONDUCTED BY A STATE-LICENSED UNDERSTANDING THE CONTRACTOR IS RESPONSIBLE FOR SECURING NECESSARY LOCAL, STATE AND/OR FEDERAL PERMITS, INCLUDING A PERMIT FROM CTDEP TO APPLY THE HERBICIDE IN AN AQUEOUS SOLUTION TO THE TARGETED SPECIES. HERBICIDE APPLICATIONS SHALL BE CONDUCTED IN THE WOOD AND MITIGATION STREAM. IT IS RECOMMENDED THAT HERBICIDE APPLICATIONS OCCUR DURING THE DRY PERIOD WITH NO SURFACE WATER PRESENT IN THE INTERMITTENT STREAM. REFER TO THE CONNECTICUT INVASIVE PLANT WORKING GROUP INVASIVE PLANT GUIDE FOR GUIDANCE ON HERBICIDE APPLICATIONS. FOR ADDITIONAL INFORMATION ON HERBICIDE CONTROL AND REMOVAL RECOMMENDATIONS ([HTTP://WWW.HORTUSCONNECTIONS.ORG/ART/PUBS/GUIDE/UNDERSTANDING.HTML](http://www.HORTUSCONNECTIONS.ORG/ART/PUBS/GUIDE/UNDERSTANDING.HTML)).

2. THE PROJECT WETLAND SOILS TEST RESPONSIBLE FOR THIS WETLAND MITIGATION PLAN DESIGN SHALL BE NOTIFIED BY THE CONTRACTOR A MINIMUM OF SEVEN (7) BUSINESS DAYS PRIOR TO ANY PHASE OF THE MITIGATION PROJECT INCLUDING REMOVAL OF INVASIVE PLANTS AND PLANTING OF NATIVE SHRUBS TO MONITOR AND OVERSEE IMPLEMENTATION OF THE MITIGATION PLAN. PLEASE CONTACT CARMEN GUSTAFSSON, SENIOR WETLAND SPECIALIST, ALL-POINTS TECHNOLOGY CORP., P.C. AT (860) 552-2033 OR GUSTAFSSON@ALLPOINTSTECH.COM.
3. SOIL EXPOSED AS A RESULT OF INVASIVE SPECIES REMOVAL OR NATIVE SPECIES PLANTING ACTIVITIES IN UPLAND AREAS NOT SHAVED WILL BE UNDER SOWN WITH THE NEW ENGLAND CONSERVATION/WILDLIFE MIX (NEW ENGLAND WETLAND PLANTING MIX) WHEREAS UPLAND AREAS SHAVED WILL BE UNDER SOWN WITH THE NEW ENGLAND CONSERVATION/WILDLIFE MIX (NEW ENGLAND WETLAND PLANTING MIX) UNDER SOWN WITH NEW ENGLAND SEMI SHADE GRASS WITH FORB MIX (NEMP, OR APPROVED EQUIVALENT). SOILS EXPOSED IN UPLAND AREAS WILL BE UNDER SOWN WITH NEW ENGLAND WILDLIFE MIX (NEMP, OR APPROVED EQUIVALENT). THESE MIXES PROVIDE A DIVERSITY OF PLANT SPECIES, FORBES, WILDOVERSEEDS, LEGUMES, AND GRASSES TO PROVIDE BOTH GOOD EROSION CONTROL AND WILDLIFE HABITAT VALUE.

PLANTS TO BE INSTALLED ALTERNATELY.

- PRIOR TO PLANTING, REMOVE PLANT FROM CONTAINER AND GENTLY COME OUT ROOTS
- PLANTING SOIL AS SPECIFIED
- 2" MULCH LAYER. MULCH TO BE PLACED DOWN BEFORE PLANTINGS.

MINIMUM

UNDISTURBED SUBGRADE

Date	Description	No
Revisions		
		

GENERAL NOTE

1. PRIOR TO INSTALLATION OF CURBS, PAVEMENT, AND PLACEMENT OF PLANTING SOILS, CONTRACTOR SHALL EVALUATE DRAINAGE OF SUBSOILS WITHIN PARKING LOT PLANTING ISLANDS AND ADJ. UNDERDRAINS CONNECTED TO THE STORMWATER SYSTEM AS REQUIRED PER BELOW DETAIL.
2. DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN ISLANDS TEND TO BECOME HIGHLY COMPACTED AND CAN PREVENT DRAINAGE. THIS CONDITION CREATES A SATURATED SOIL THAT CAN CAUSE ROOT ROT THAT CAN BE DETECTED BY VISUAL INSPECTION OF PLANTING. CONTRACTOR SHALL PERFORM REPRESENTATIVE PERCOLATION TESTS (MINIMUM ONE PER TEN ISLANDS) TO VERIFY DRAINAGE RATES IN INCHES PER HOUR. PERCOLATION TESTS SHOULD BE IN ACCORDANCE WITH THE MOST CURRENT CONNECTICUT STORMWATER MANUAL AND CTDEP REQUIREMENTS. IN ISLANDS WHERE DRAINAGE RATES ARE LESS THAN 1" PER HOUR, CONTRACTOR IS REQUIRED TO INSTALL UNDERDRAINS PER BELOW DETAIL.

PLACED, CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO COMPLETION OF STORMWATER SYSTEM, PAVEMENT INSTALLATION, AND PLACEMENT OF PLANTING SO

2. ISLAND AREAS TO BE FREE OF DEBRIS AND RUBBLE PRIOR TO PLANTING OPERATION.

3. MOUND PARKING ISLAND AS SHOWN.

3

SITE LIGHTING STATISTICS					
DESCRIPTION	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
WHOLEFOODS PARKING — NORTH	5.0 fc	6.8 fc	3.4 fc	2.0:1	1.5:1
WHOLEFOODS PARKING — SOUTH	5.0 fc	7.3 fc	1.9 fc	3.9:1	2.6:1
WALKWAY	4.4 fc	6.7 fc	2.1 fc	3.2:1	2.1:1
WHOLEFOODS DRIVEWAY	5.1 fc	7.6 fc	2.0 fc	3.8:1	2.6:1
WHOLEFOODS LOADING	2.4 fc	4.3 fc	1.6 fc	2.7:1	1.5:1
WEST PARKING	2.0 fc	7.5 fc	0.5 fc	15.0:1	4.0:1
NORTH PARKING	1.2 fc	3.6 fc	0.6 fc	6.0:1	2.0:1
DRIVE AISLE	2.0 fc	6.5 fc	0.7 fc	9.3:1	2.9:1
PROPERTY LINE	0.08 fc	0.24 fc	0.0 fc	N/A	N/A

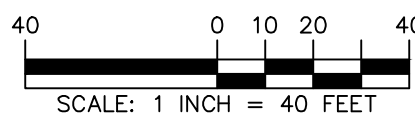
NOTE:  
LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE INCLUDED IN THE ABOVE STATISTICS.

#### SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	WATTS	OPTICS	LUMENS	LLF	COLOR TEMP	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
	A	15	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED TWIN AREA LIGHT FIXTURES; COLOR — DARK BRONZE	25'-0"	258W	TYPE 5	12,713	0.9	4000K	AR5E35-120L4K-IES	AR5-E35-120L-4K -VOLTS-DB-LS -CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR — DARK BRONZE	25'-0"	RSS-K-25-50-DBS-2 -DRILL-BLT-WM2	-
	A*	7	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED TWIN AREA LIGHT FIXTURES; COLOR — DARK BRONZE	25'-0"	258W	TYPE 5	12,713	0.9	4000K	AR5E35-120L4K-IES	AR5-E35-120L-4K -VOLTS-DB-LS -CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR — DARK BRONZE	22'-5"	RSS-K-25-50-DBS-2 -DRILL-BLT-WM2 (FACTORY-CUT)	30" HIGH EXPOSED CONCRETE BASE
	B	5	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED AREA LIGHT FIXTURE; COLOR — DARK BRONZE	20'-0"	129W	TYPE 4 NFO	10,010	0.9	4000K	AR4E35-120L4K-NFO-IES	AR4-E35-120L-4K -VOLTS-DB-LS -NFO-CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR — DARK BRONZE	20'-0"	RSS-K-20-50-DBS-1 -DRILL-BLT	-
	C	9	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED AREA LIGHT FIXTURE; COLOR — DARK BRONZE	25'-0"	129W	TYPE 3 NFO	9,640	0.9	4000K	AR3E35-120L4K-NFO-IES	AR3-E35-120L-4K -VOLTS-DB-LS -NFO-CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR — DARK BRONZE	25'-0"	RSS-K-25-50-DBS-1 -DRILL-BLT-WM2	-
	C*	9	KIM LIGHTING	THE ARCHETYPE LARGE PICOEMITTER LED	POLE-MOUNTED AREA LIGHT FIXTURE; COLOR — DARK BRONZE	20'-0"	129W	TYPE 3 NFO	9,640	0.9	4000K	AR3E35-120L4K-NFO-IES	AR3-E35-120L-4K -VOLTS-DB-LS -NFO-CONTROL	KIM LIGHTING	ROUND STRAIGHT STEEL POLE; COLOR — DARK BRONZE	20'-0"	RSS-K-20-50-DBS-1 -DRILL-BLT	-
	D	17	ARCHITECTURAL AREA LIGHTING	PROMENADE PRMS2	PEDESTRIAN LIGHT FIXTURE; COLOR — BLACK MATTE TEXTURED	14'-0"	76W	TYPE 5W	8,379	0.9	4000K	PRMS2-72L-335-4K7-5W-IES	PRMS2-72L-335-4K7-5W-BLT-SIND-MNT-CONTROL-VOLTS	ARCHITECTURAL AREA LIGHTING	DECORATIVE POLE; COLOR — BLACK TEXTURED	14'-0"	DB3-4R14-125-14-BLT	-
	E	8	HUBBELL	GEOPAK SERIES 2 TRP2	WALL-MOUNTED LIGHT FIXTURE; COLOR — BLACK MATTE TEXTURED	20'-0" ABOVE FFE	90W	TYPE 4	8,709	0.9	3000K	TRP2-32L-90-3K7-4-IES	TRP2-32L-90-3K7-4-VOLTS-BLT-CONTROL	-	-	-	-	-
	F	9	BEGA	24034	WALL-MOUNTED ACCENT LIGHT FIXTURE; COLOR — GRAPHITE	8'-0" ABOVE FFE	12W	TYPE 5	1,740	0.9	3000K	BE_24034K3-IES	24034 K3	-	-	-	-	-

NOTES:  
1. REFER TO ELECTRICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ELECTRIFICATION PLAN, EGRESS LIGHTING, CANOPY LIGHTING AND LIGHTING VOLTAGES.  
2. CONTRACTOR TO CONFIRM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PER CODE. BID PRICING SHALL INCLUDE CONTROL SYSTEM.  
3. ALL POLES WITH HEIGHT OF 25 FT OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPERS.

NOTE: REFER TO SHEET LL501 FOR LIGHTING NOTES AND DETAILS.



Date	Description	No.
Revisions		
<b>LANGAN</b>		
Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511		
T: 203.562.5771 F: 203.789.6142 www.langan.com		
Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR		
HARTFORD COUNTY CONNECTICUT		
Drawing Title		
<b>SITE LIGHTING PLAN</b>		
Project No.	140222801	<b>LL101</b>
Date	04/06/2021	
Drawn By	xw	
Checked By	MH	

**GENERAL**

1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/ DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS. NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
2. LIGHT LEVEL POINT SPACING IS 10 FT. LEFT TO RIGHT AND 10 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

**COMPLIANCE**

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

## COMPLIANCE

## COORDINATION

## POLES AND FOOTINGS

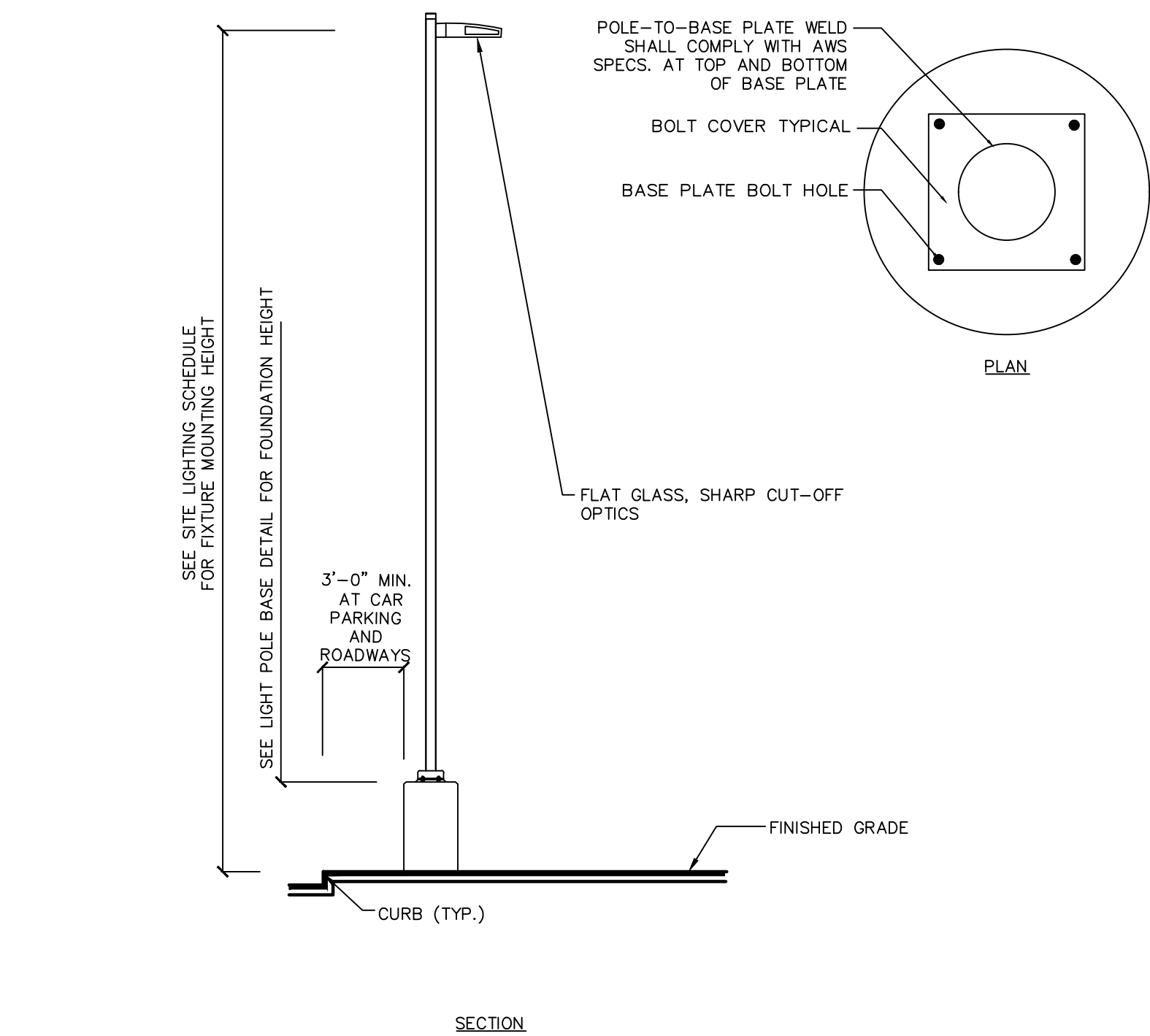
### WALL MOUNTED FIXTURES

## ADJUSTMENT AND INSPECTION

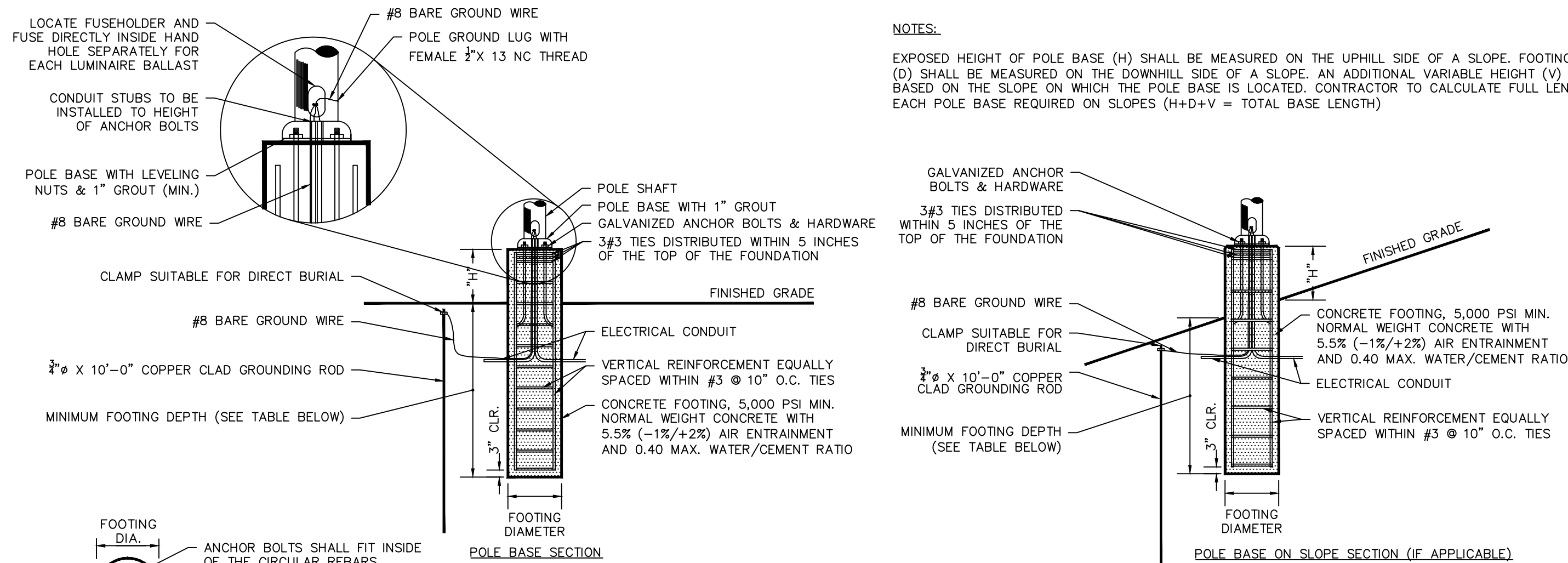
### REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLIFIED TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:

- A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF ANY SUBSTITUTION SHALL BE BORNE BY THE CONTRACTOR.
- B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.
- C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTICAL ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOXL PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTIC, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER RELEVANT INFORMATION.
- D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
- F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

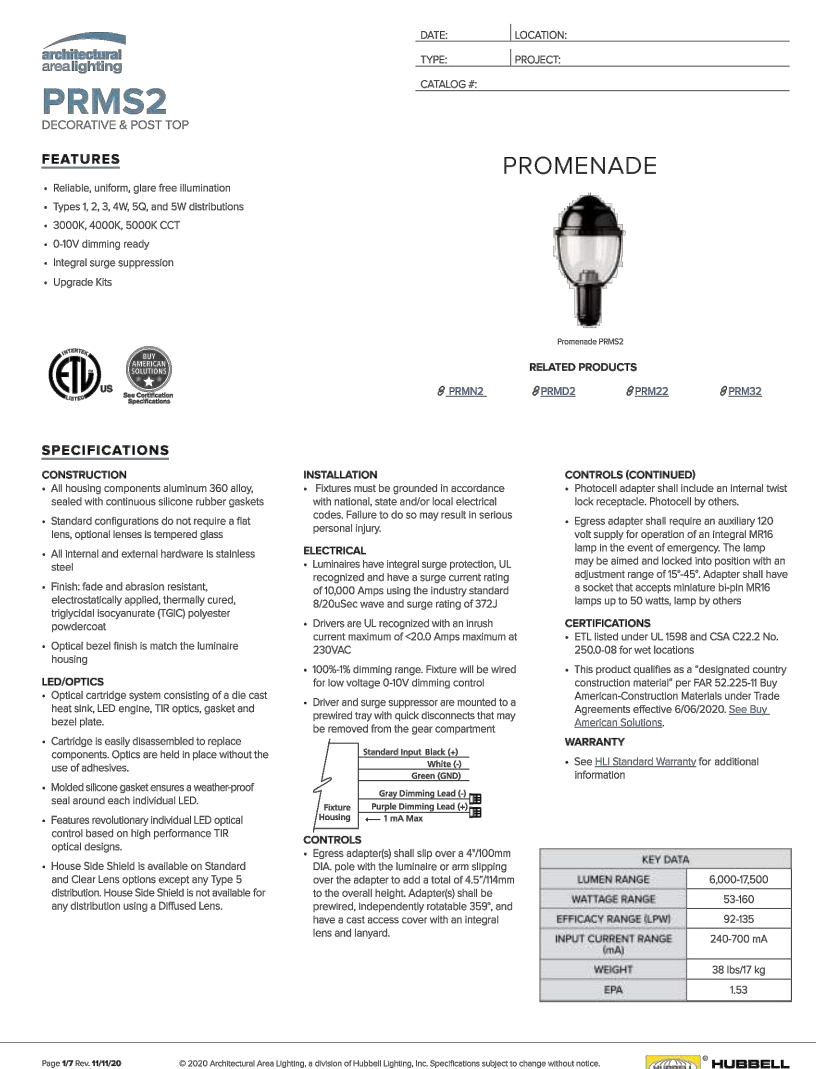


## 1 LIGHT FIXTURE AND POLE

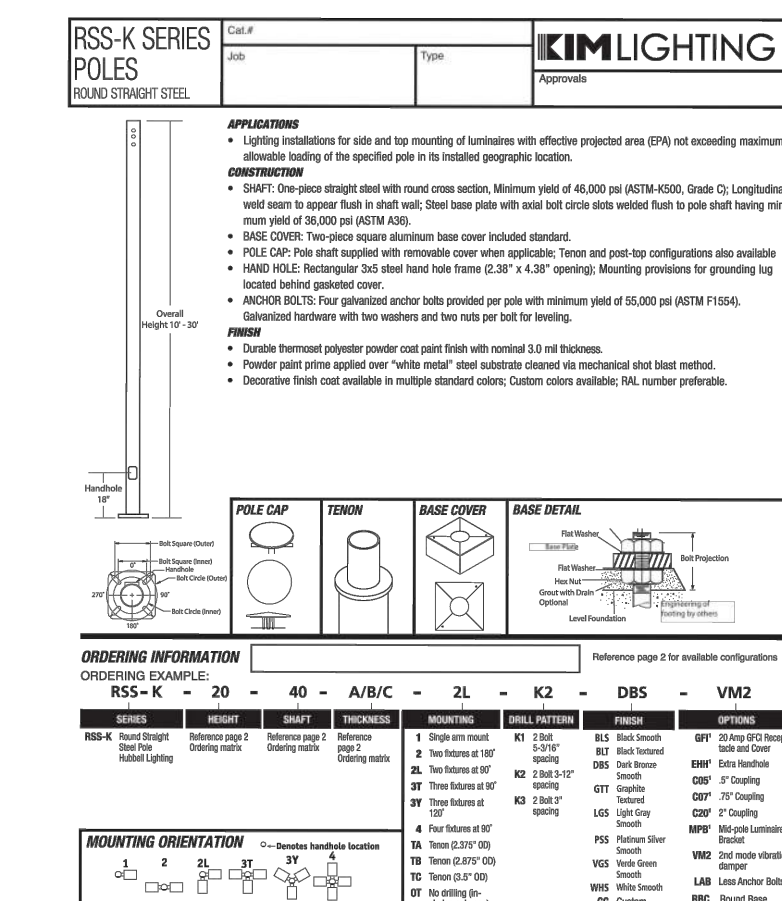


## 2 LIGHT POLE BASE

FIXTURE TYPE	MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	EXPOSED HEIGHT "H"	VERTICAL REINFORCEMENT
A, B, C	25"	5'-6"	2'-0"	0'-0"	6#5 BARS
A*	25"	5'-6"	2'-0"	2'-6"	6#5 BARS
C*	20"	4'-6"	2'-0"	0'-0"	6#5 BARS
D	14"	4'-6"	2'-0"	0'-0"	6#5 BARS



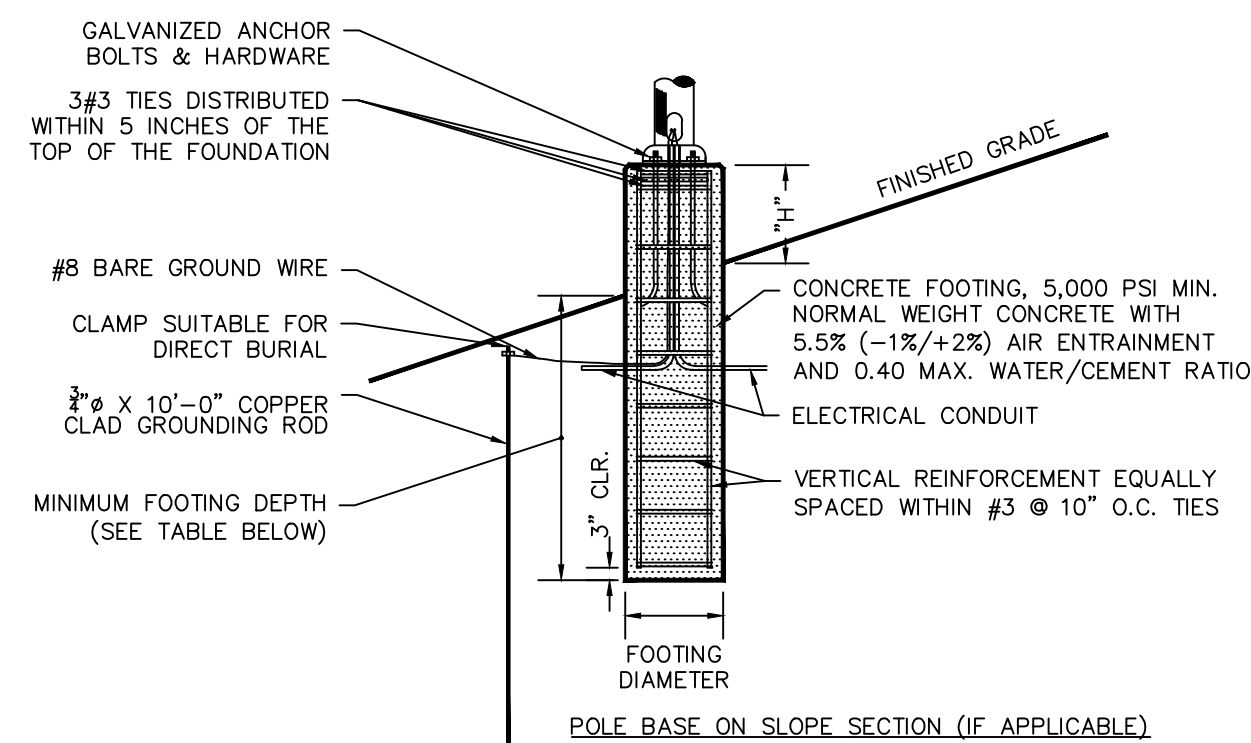
### LIGHT FIXTURE TYPE D



### LIGHT POLE FOR FIXTURE TYPE A, B AND C

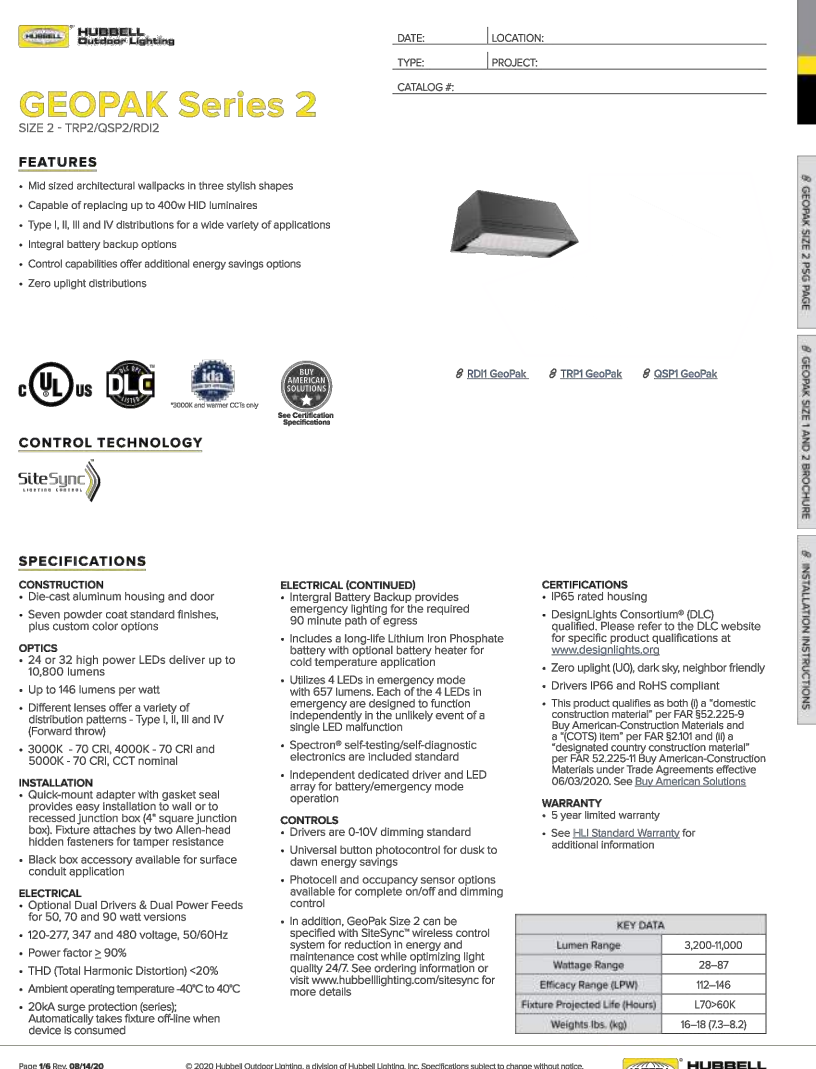
NOTES:

EXPOSED HEIGHT OF POLE BASE (H) SHALL BE MEASURED ON THE UPHILL SIDE OF A SLOPE. FOOTING DEPTH (D) SHALL BE MEASURED ON THE DOWNHILL SIDE OF A SLOPE. AN ADDITIONAL VARIABLE HEIGHT (V) WILL BE BASED ON THE SLOPE ON WHICH THE POLE BASE IS LOCATED. CONTRACTOR TO CALCULATE FULL LENGTH OF EACH POLE BASE REQUIRED ON SLOPES ( $H+D+V$  = TOTAL BASE LENGTH)

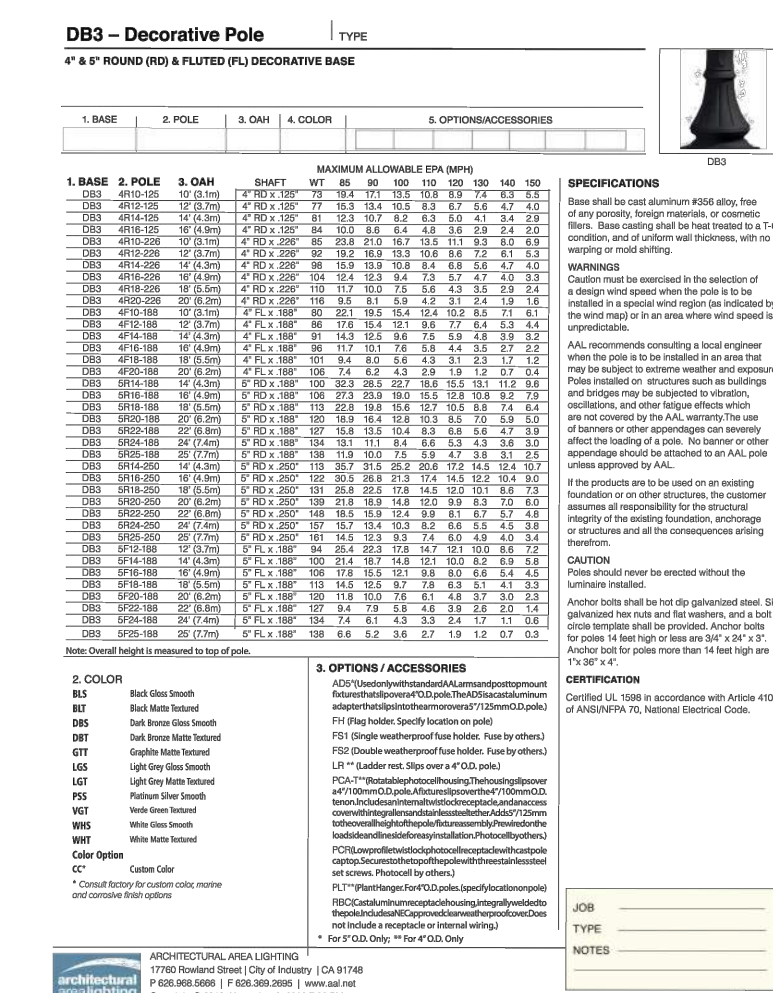


NOTES:

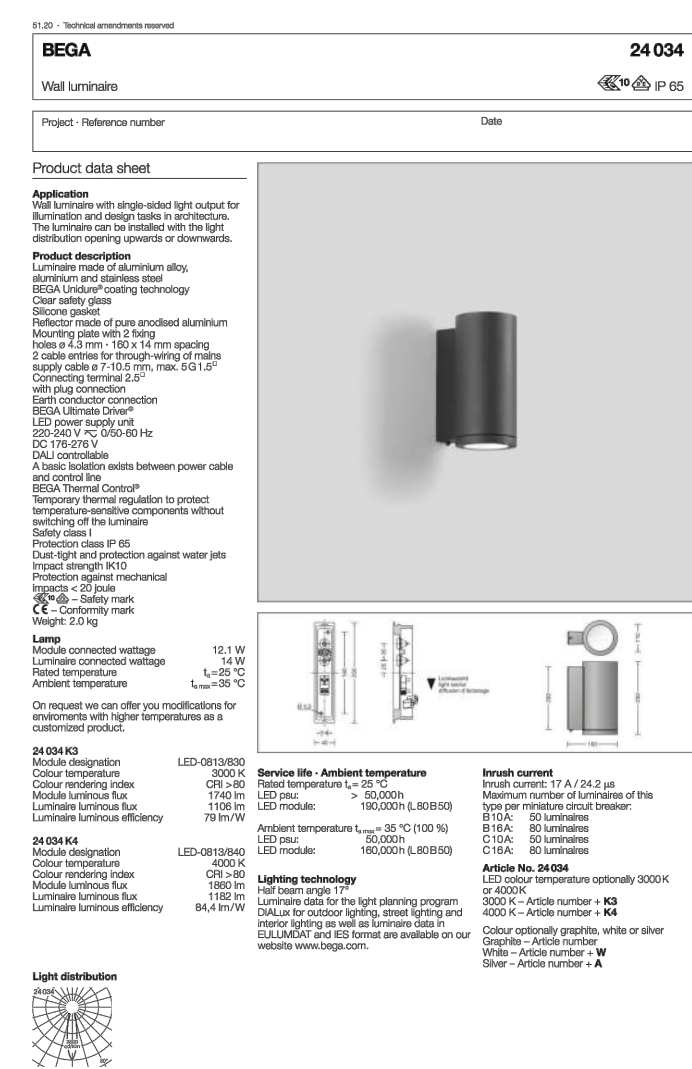
1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONSTRUCTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
2. EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250-65, N.E.C.
3. CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318, CAST-IN-PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT LEAST 5,000 PSI AT 28-DAYS; DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
4. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
5. THE BASE IS CAST-IN-PLACE. THE CASTING BEING FOUR FEET DIAMETER. THE BASE SHALL BE HAND-ROBED SMOOTH.
6. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
7. THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES; LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS, AND MANUFACTURER'S RECOMMENDATIONS.
8. CONTRACTOR TO CONFIRM GROUNDING DESIGN WITH MEP.



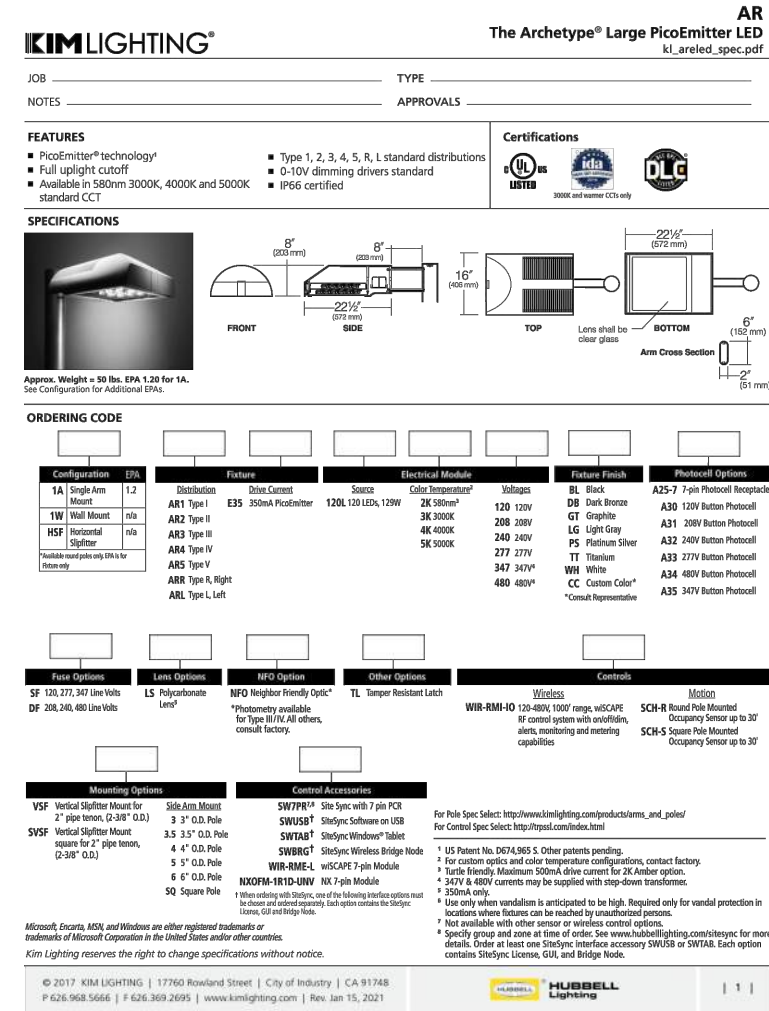
### 5 LIGHT FIXTURE TYPE E



## 8 LIGHT POLE FOR FIXTURE TYPE D



### LIGHT FIXTURE TYPE F



### 3 LIGHT FIXTURE TYPE A, B AND C

Date	Description	No.
Revisions		
 <p>MICHAEL SZURA LICENSED LANDSCAPE ARCHITECT STATE LIC. No. 1339</p>		
<b>LANGAN</b> Langan CT, Inc. 555 Long Wharf Drive New Haven, CT 06511 T: 203.562.5771 F: 203.789.6142 <a href="http://www.langan.com">www.langan.com</a>		
Project		
<b>DEVELOPMENT AT EVERGREEN WALK</b> MAP NO. 27, BLOCK No. 15, UNIT No. 2 801 EVERGREEN WAY SOUTH WINDSOR HARTFORD COUNTY CONNECTICUT Drawing Title		
<b>SITE LIGHTING NOTES AND DETAILS</b>		
Project No.		Drawing No.
140222801		
Date		
04/06/2021		
Drawn By		
XW		LL501
Checked By		
MH		